

INSPECTION REPORT



For the Property at:
27356 ALPEN DR
LAKE ARROWHEAD, CA 92352

Prepared for: HOLGER & CRISTINA NAGEL

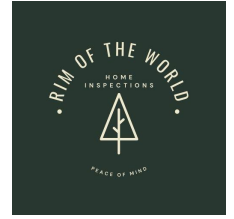
Inspection Date: Friday, August 27, 2021

Prepared by: Tristan Anthony



Rim of the world home inspections LLC.
pobox 355
running springs, CA 92382
714-209-0991

rimoftheworldhomeinspections.com
tristan@rimoftheworldhomeinspections.com



August 27, 2021

Dear Holger & Cristina Nagel,

RE: Report No. 1107
27356 Alpen Dr
Lake Arrowhead, CA
92352

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Tristan Anthony
on behalf of
Rim of the world home inspections LLC.

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INVOICE

August 27, 2021

Client: Holger & Cristina Nagel

Report No. 1107

For inspection at:

27356 Alpen Dr

Lake Arrowhead, CA

92352

on: Friday, August 27, 2021

Home inspection, 2001 - 3000 sq. ft.

\$450.00

Total

\$450.00

PAID IN FULL - THANK YOU!

Rim of the world home inspections LLC.
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tristan@rimoftheworldhomeinspections.com

SUMMARY

27356 Alpen Dr, Lake Arrowhead, CA August 27, 2021

Report No. 1107

rimoftheworldhomeinspections.com

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

SITE INFO

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Rot or insect damage](#)

Fall risk

Location: Front Deck

Task: Repair or replace

Time: Immediate

Condition: • [Loose](#)

Fall risk

Location: Left Side

Task: Correct

Time: Immediate

Condition: • [Openings between spindles \(balusters\) too large](#)

Fall risk

Location: Throughout Exterior Deck

Task: Improve

Time: Immediate

Electrical

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Location: First Floor Kitchen

Task: Provide

Time: Immediate

Insulation and Ventilation

FOUNDATION \ Interior insulation

Condition: • [No vapor barrier](#)

Missing vapor barrier, insulation installed reversed

Location: Throughout Crawl Space

Task: Provide

Time: Immediate

This concludes the Summary section.

SUMMARY

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The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

ROOFING

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Description

Sloped roofing material:

- [Asphalt shingles](#)



1. Asphalt shingles



2. Asphalt shingles

Sloped roof flashing material:

- Metal



3. Metal

Flat roofing material: • Unknown

Limitations

Roof inspection limited/prevented by: • Lack of access (too high/steep)

Inspection performed: • From the ground • With a camera on pole

Recommendations

RECOMMENDATIONS \ General

1. **Condition:** • Recommend to remove debris from roof and gutters

Location: Throughout Exterior Roof

Task: Clean

Time: Immediate

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4.

Description

Gutter & downspout material:

- [Aluminum](#)



5. Aluminum

Downspout discharge:

- [Above grade](#)



6. Above grade

Lot slope:

- [Away from building](#)



7. Away from building

- [Towards building](#)

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8. Towards building

Wall surfaces and trim:

- [Wood](#)

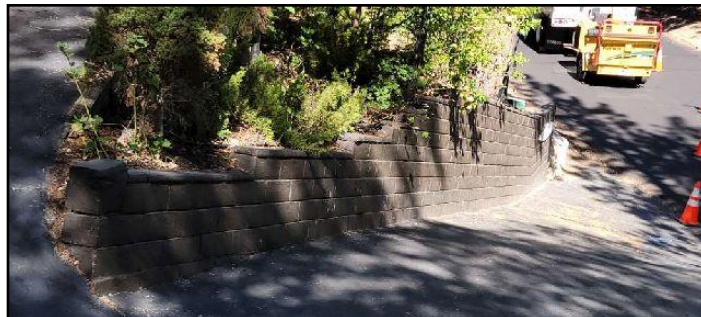
Wood with wood trim



9. Wood

Retaining wall:

- [Masonry](#)



10. Masonry

- [Stone](#)

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11. Stone

Driveway:

- Asphalt



12. Asphalt

Walkway:

- Cobblestones



13. Cobblestones

- Wood
Decks

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14. *Wood*

Garage:

- Detached



15. *Detached*

Garage vehicle doors:

- Present



16. *Present*

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Garage vehicle door operator: • Manually operated

Carport: • Not applicable

Limitations

Inspection limited/prevented by: • New finishes/paint/trim • Storage in garage • Poor access under steps, deck, porch • Vines/shrubs/trees against wall • Inaccessible wall

Recommendations

OPTIONAL \ Exterior

2. Condition: • Other

Small structure over gas meter in disrepair

Location: Rear

Task: Repair or replace

Time: Immediate



17. Other

3. Condition: • Other

We recommend a pest/wood inspection along side all home inspections

Location: Throughout

Task: Further evaluation

Time: Immediate

WALLS \ Wood siding

4. Condition: • Vines on wall , recommend to remove to prevent wood rot and potential fire danger

Location: Front Exterior Wall

Task: Correct

Time: Immediate

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18.

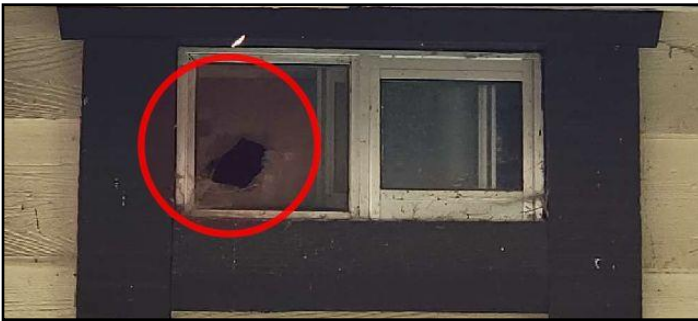
EXTERIOR GLASS/WINDOWS \ Storms and screens

5. **Condition:** • [Torn or holes](#)

Location: Rear Third Floor Bathroom

Task: Repair or replace

Time: Immediate



19. *Torn or holes*



20. *Torn or holes*

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General notes

6. **Condition:** • Deck has normal wear and tear , should be painted/stained to prevent any rot or sun damage

Location: Throughout Exterior Deck

Task: Service

Time: Immediate



21.



22.

EXTERIOR

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23.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Columns / Posts

7. Condition: • [Wood/soil contact](#)

Remove dirt and plants from post

Location: Right Side

Task: Service

Time: Immediate



24. Wood/soil contact



25. Wood/soil contact



26. Wood/soil contact



27. Wood/soil contact

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28. Wood/soil contact



29. Wood/soil contact



30. Wood/soil contact

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Joists

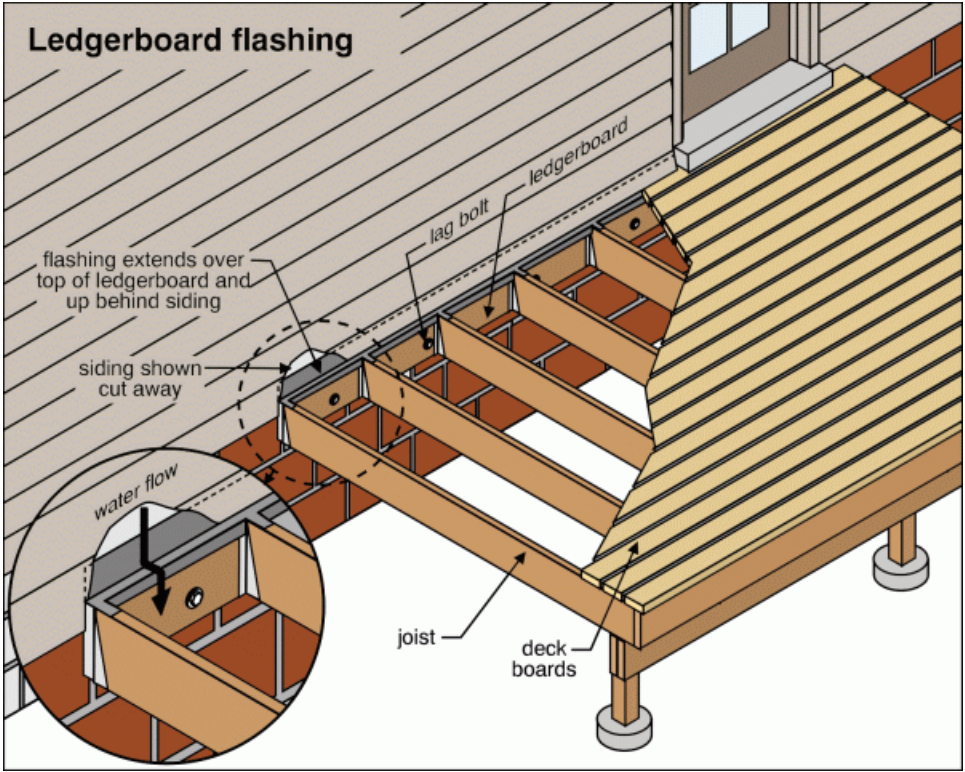
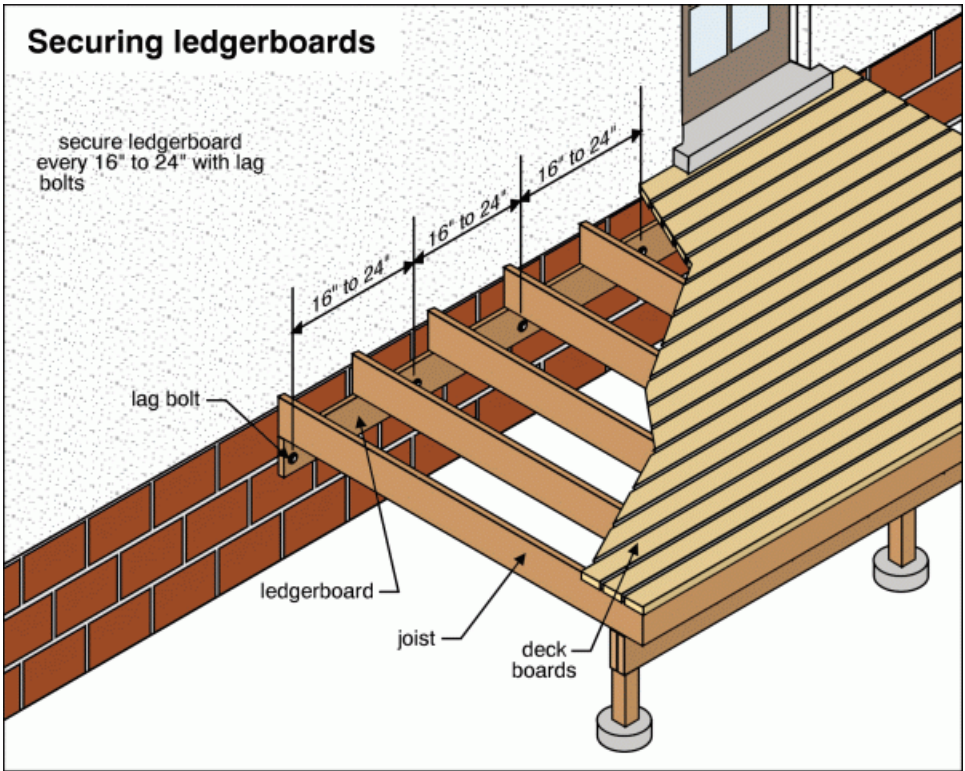
8. Condition: • [Missing flashing at deck connection](#)

Not a standard in homes built at this time

Location: Throughout Exterior Wall Deck

Task: Provide

Time: Immediate



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31. Missing flashing at deck connection

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Stairs and landings | Stringers

9. Condition: • Earth to wood contact , remove dirt from contact with deck. To prevent rot

Location: Rear Yard Deck

Task: Correct

Time: Immediate



32.

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

10. Condition: • [Rot or insect damage](#)

Fall risk

Location: Front Deck

Task: Repair or replace

Time: Immediate



33. Rot or insect damage

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11. Condition: • [Loose](#)

Fall risk

Location: Left Side

Task: Correct

Time: Immediate



34. Loose



35. Loose

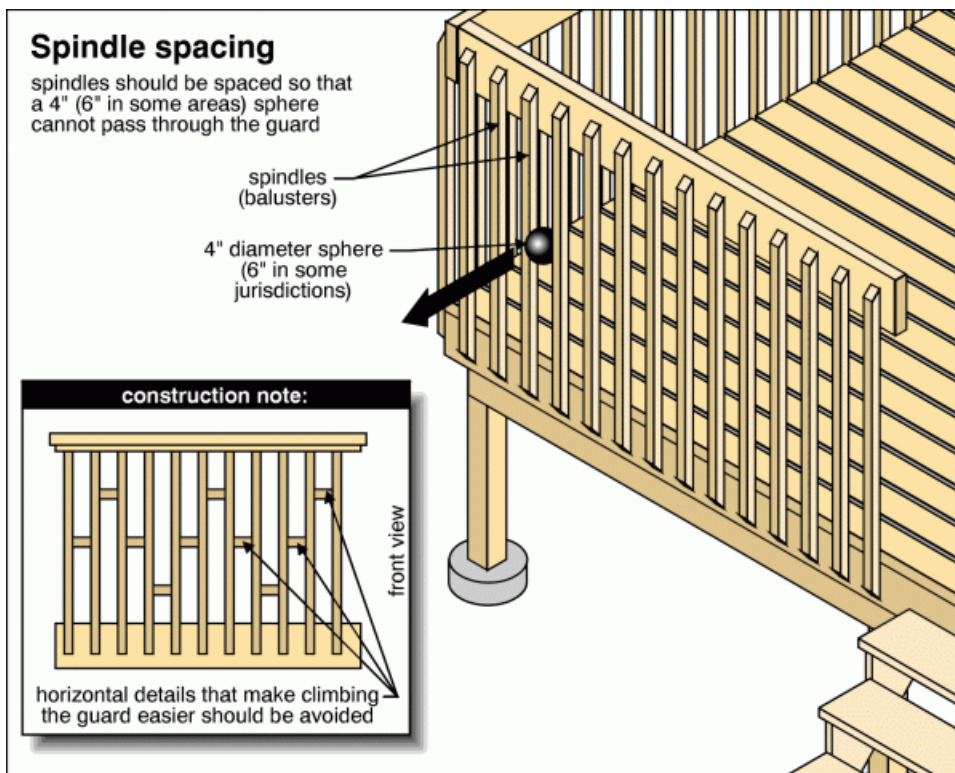
12. Condition: • [Openings between spindles \(balusters\) too large](#)

Fall risk

Location: Throughout Exterior Deck

Task: Improve

Time: Immediate



EXTERIOR

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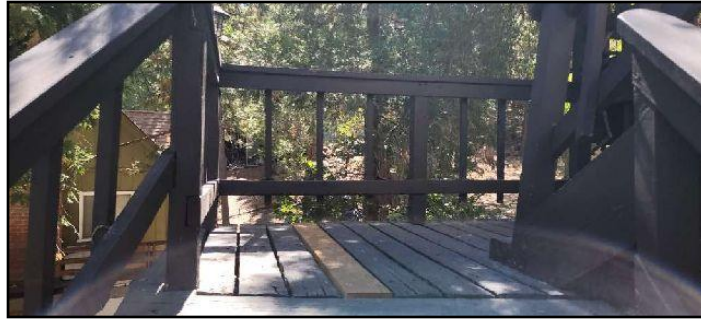
COOLING

INSULATION

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36. *Openings between spindles (balusters) too...*

Description

Configuration:

- [Crawlspace](#)



37. Crawlspace

Foundation material:

- [Poured concrete](#)



38. Poured concrete

Floor construction:

- [Joists](#)



39. Joists

Exterior wall construction:

- [Wood frame](#)

SUMMARY

ROOFING

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40. Wood frame

Roof and ceiling framing: • Rafters/ceiling joists

Location of access to under-floor area:

- Exterior
- Right side under deck

Limitations

Inspection limited/prevented by: • Ceiling, wall and floor coverings • Carpet/furnishings • Storage • New finishes/paint • Insulation

Attic/roof space: • Inspected from access hatch

Crawlspace: • Entered but access was limited

Description

Service size:

- [100 Amps \(240 Volts\)](#)



41. 100 Amps (240 Volts)

Main disconnect/service box type and location:

- [Breakers - exterior wall](#)



42. Breakers - exterior wall

Distribution panel type and location: • [Breakers - den](#)

Electrical panel manufacturers: • Fryant

SUMMARY	ROOFING	EXTERIOR	STRUCTURE	ELECTRICAL	HEATING	COOLING	INSULATION	PLUMBING	INTERIOR
SITE INFO									

Smoke alarms (detectors): • One needed on each floor and in each bed room

Carbon monoxide (CO) alarms (detectors): • One needed on each floor , not in closed room

Limitations

Inspection limited/prevented by: • Restricted access

Recommendations

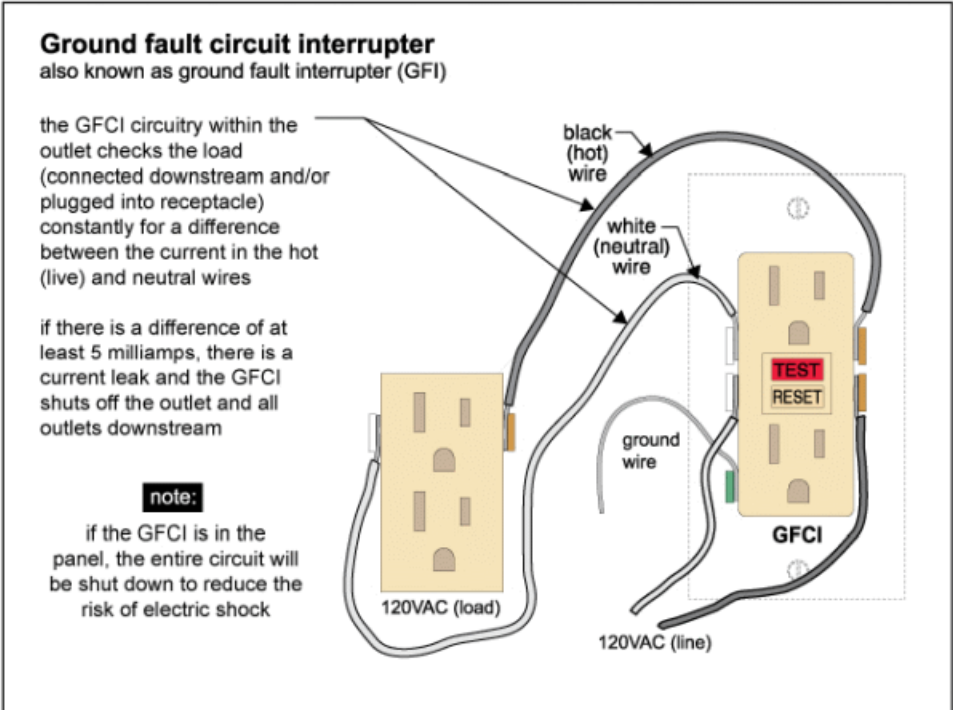
DISTRIBUTION SYSTEM \ Outlets (receptacles)

13. Condition: • [GFCI/GFI needed \(Ground Fault Circuit Interrupter\)](#)

Location: First Floor Kitchen

Task: Provide

Time: Immediate



45. GFCI/GFI needed (Ground Fault Circuit...

14. Condition: • blank note
Location: First Floor Bedroom
Task: Request disclosure
Time: Immediate



46.

Description

System type:

- [Furnace](#)



47. Furnace

Fuel/energy source:

- [Gas](#)

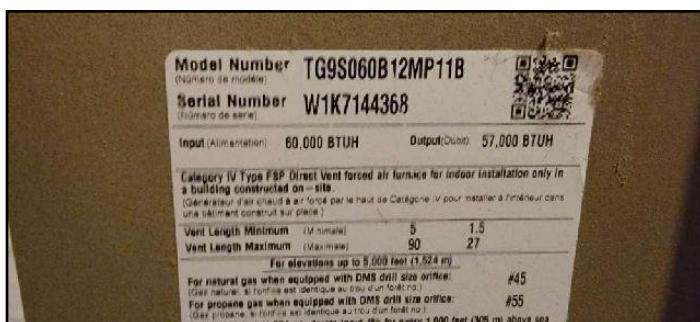


48. Gas

Heat distribution: • [Ducts and registers](#)

Approximate capacity:

- [60,000 BTU/hr](#)



49. 60,000 BTU/hr

Efficiency: • [Mid-efficiency](#)

Exhaust venting method:

- [Forced draft](#)

HEATING

27356 Alpen Dr, Lake Arrowhead, CA August 27, 2021

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50. Forced draft

Combustion air source: • Interior of building

Main fuel shut off at:

- Meter



51. Meter

Air filter:

- 14" x 24"

HEATING

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52. 14" x 24"

Fireplace/stove:

- [Wood-burning fireplace](#)



53. Wood-burning fireplace

Chimney/vent: • [Metal](#)

Chimney liner: • [Metal](#)

Location of the thermostat for the heating system:

- Living Room

HEATING

27356 Alpen Dr, Lake Arrowhead, CA August 27, 2021

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54. Living Room

Limitations

Inspection prevented/limited by: • Restricted access

Fireplace/wood stove: • Access restricted

Recommendations

**CHIMNEY AND VENT ** Inspect/sweep chimney

15. **Condition:** • [Inspect \(and/sweep if needed\) before using](#)

COOLING & HEAT PUMP

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SUMMARY

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Description

Air conditioning type: • None present

Heat pump type: • None present

Location of the thermostat for the cooling system: • Not applicable

Limitations

Inspection limited/prevented by: • Not applicable

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof insulation amount/value: • 6 inches

Attic/roof air/vapor barrier: • [None found](#)

Wall insulation amount/value: • Not visible

Foundation wall insulation material:

• Not visible



55. Not visible



56. Not visible

Foundation wall insulation amount/value: • Not determined

Foundation wall air/vapor barrier: • Not determined

Floor above basement/crawlspace insulation material:

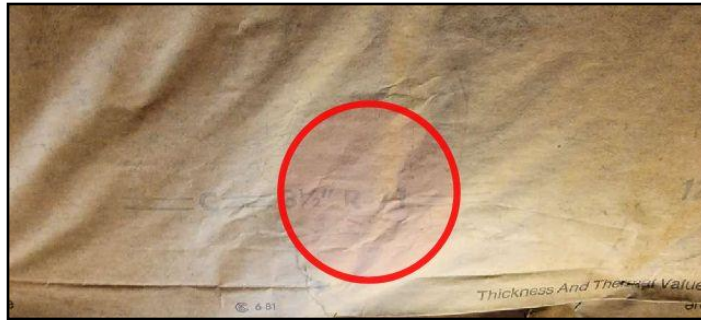
• [Glass fiber](#)



57. Glass fiber

Floor above basement/crawlspace insulation amount/value: • R-11

- SUMMARY
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58.

Floor above basement/crawlspace air/vapor barrier: • None found

Crawlspace ventilation: • [Wall Vents](#)

Recommendations

FOUNDATION \ Interior insulation

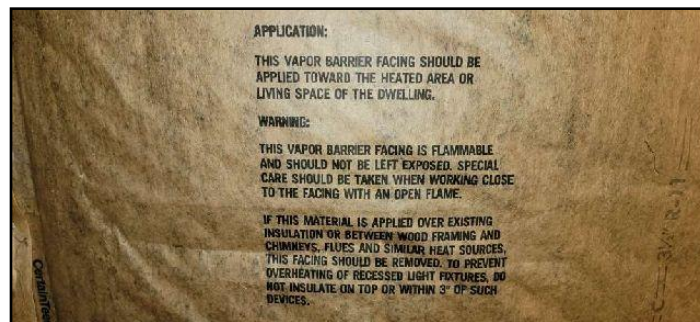
16. Condition: • [No vapor barrier](#)

Missing vapor barrier, insulation installed reversed

Location: Throughout Crawl Space

Task: Provide

Time: Immediate



59. No vapor barrier

Description

Water supply source (based on observed evidence): • Public

Supply piping in building:

- [Copper](#)



60. Copper

Main water shut off valve at the:

- Crawlspace



61. Crawlspace

Water heater type:

- [Conventional](#)



62. Conventional

Water heater fuel/energy source:

- [Gas](#)

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63. Gas

Water heater manufacturer:

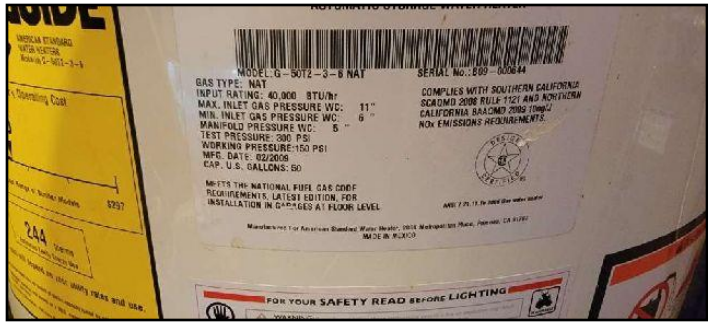
- American Water Heater Group



64. American Water Heater Group

Water heater tank capacity:

- 50 gallons



65. 50 gallons

Water heater approximate age: • 12 years

Waste disposal system: • Conventional

Waste and vent piping in building:

- [ABS plastic](#)

PLUMBING

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66. ABS plastic

Main fuel shut off valve at the:

- Gas meter



67. Gas meter

Location of fuel storage tank/system: • Water heater located in crawlspace

Limitations

Inspection limited/prevented by: • Not applicable

Fixtures not tested/not in service: • All tested

Recommendations

WATER HEATER \ Tank

17. **Condition:** • Safety pan and drain missing

Location: Crawl Space

Task: Provide

Time: Immediate



68. Safety pan and drain missing

FIXTURES AND FAUCETS \ Faucet

18. Condition: • [Drip, leak](#)

Location: First Floor Bathroom

Task: Repair or replace

Time: Immediate



69. Drip, leak

FIXTURES AND FAUCETS \ Basin, sink and laundry tub

19. Condition: • Drain stop ineffective

Drain stop not working

Location: First Floor Bathroom

Time: Immediate

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70. Drain stop ineffective

Description

Major floor finishes:

- [Hardwood](#)



71. *Hardwood*

Major wall and ceiling finishes:

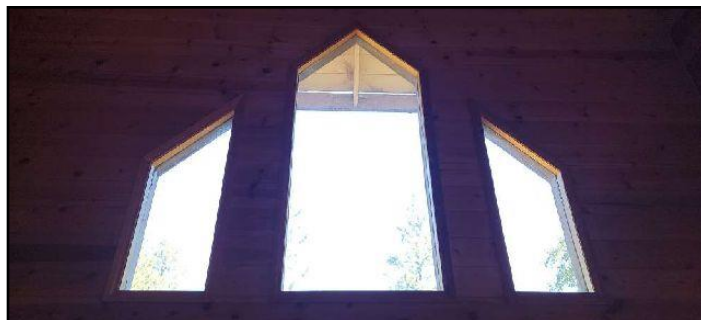
- [Paneling](#)



72. *Paneling*

Windows:

- [Fixed](#)



73. *Fixed*

- [Single/double hung](#)

INTERIOR

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74. Single/double hung

Exterior doors - type/material: • [Sliding glass](#) • [Solid wood](#)

Limitations

Inspection limited/prevented by: • Carpet • Storage/furnishings • New finishes/paint

Recommendations

WINDOWS \ Storms and screens

20. Condition: • [Missing](#)

Location: Living Room

Task: Provide

Time: Immediate



75. Missing

SITE INFO

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Weather: • Sunny

Approximate temperature: • 84°

Attendees: • Seller

Access to home provided by: • Seller

Occupancy: • The home was occupied at the time of the inspection.

Utilities: • All utilities were on during the inspection.

Approximate inspection Start time: • The inspection started at 10:00 a.m.

Approximate inspection End time: • The inspection ended at 11:30 a.m.

Approximate age of home: • 40 to 50 years

Approximate date of construction: • 1982

Approximate size of home: • 2000 ft.²

Building type: • Detached home

Number of dwelling units: • Single-family

Number of stories: • 2

Number of bedrooms: • 3

Number of bathrooms: • 4

Number of kitchens: • 1

Below grade area: • Crawlspace

Area: • Rural

Street type: • Residential

Street surface: • Paved

END OF REPORT