

- 47 Tiled shower, seat, and glass enclosure as shown - W/ fiber-mat reinforced cement
- 48 See detail (A13) for guardrail at exterior stairs
- 49 Entry / Exit door must open over a landing not more than 1.5" below the threshold. Exception: providing the door does not swing over the landing. Landing shall be not more than 7.75" below the threshold. Storm and screen doors are permitted to swing over all exterior stairs and landings. (CBC 1008.1.6, R311.3.1); Landing shall be sloped away from door a minimum of 2% and no less than the width of the door or the stairs served - whichever is greater.
- 50 Outline of smoke/carbon monoxide combo detector/alarm

- 38 Pole and shelf at walk in closet
- 39 Outline of retaining wall - see foundation plan
- 40 2x pressure treated stud laid against retaining wall, typical - see plans for flat stud location
- 41 Outline of stairs on grade above cut line
- 42 Full height linen cabinet
- 43 Concrete stairs on grade per (A12)
- 44 Outline of deck above - 3' clear of P.L.
- 45 For aging in place Bathroom requirements see detail (A13)

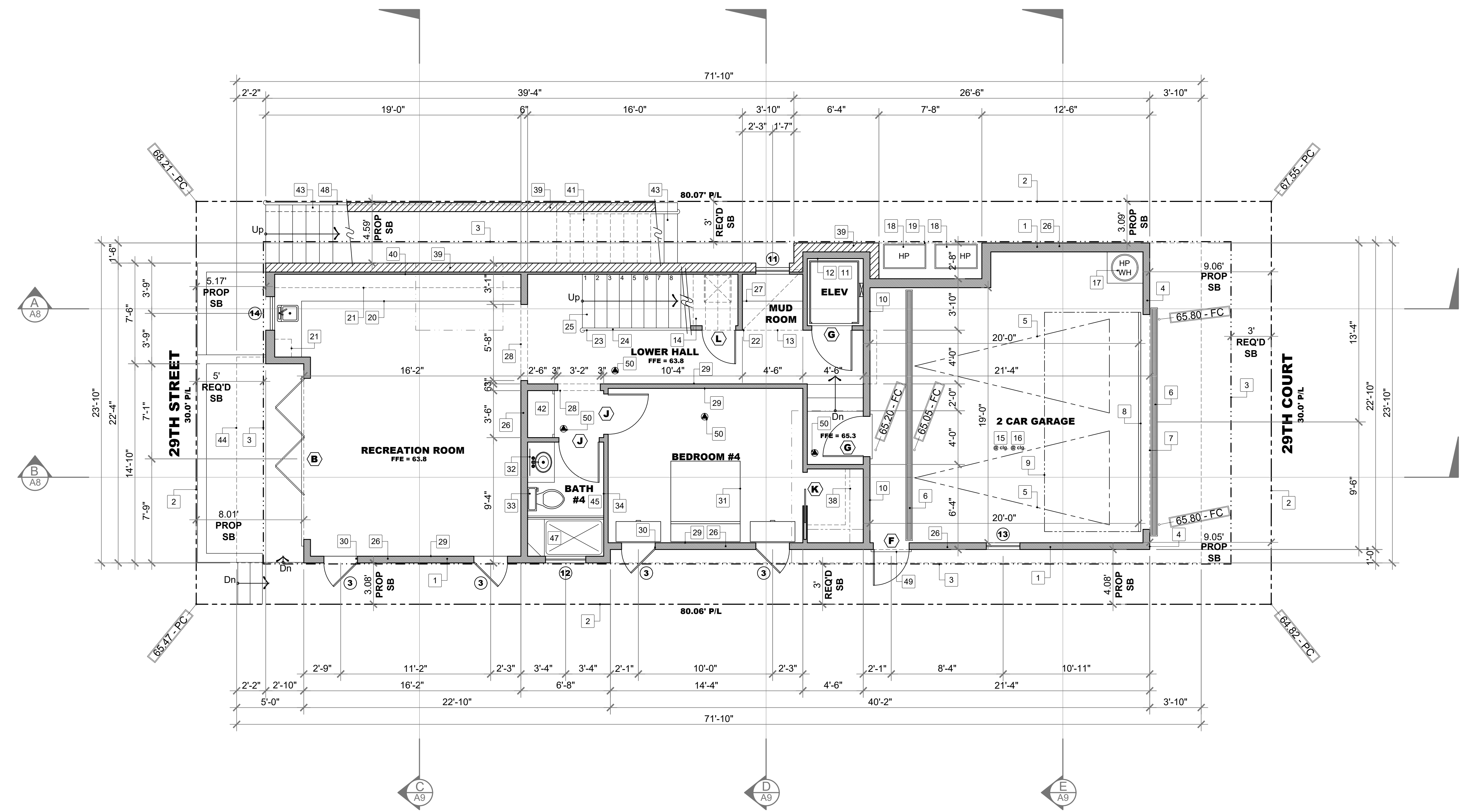
- 31 Outline of furniture
- 32 Base cabinet with countertop and sink selected by owner - provide mirror above
- 33 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 34 Provide possible wainscot at this bathroom per (A13)
- 35 Consult designer about furr down areas if needed for ducting - Use (A11)
- 36 Tiled shower, seat, and glass enclosure as shown - W/ fiber-mat reinforced cement
- 37 All new fixtures shall be water conserving - CPC 402.0

- 24 Provide 34" to 38" tall handrail per (A12) (A12)
- 25 See (A12) and (A12) for stair construction
- 26 All bearing walls shall be 3x4 or 2x6 construction
- 27 Mud room built ins per interior designer
- 28 See detail (A11) for cased out opening - consult client about finish treatment
- 29 See detail (A13) for baseboards at this floor, typical
- 30 See detail (A10) for interior window finish, typical

- 17 Outline of Electric 80 Gal. Heat Pump water heaters on 18" high platform w/ straps located in the upper and lower 1/3 of its vertical dimension (CPC 507.2).
- 18 HVAC Electric Heat Pump unit on 4" Conc. Pad.
- 19 Outline of floor above
- 20 Outline of lower cabinets and countertop per developer
- 21 Outline of upper cabinets
- 22 Outline of post for handrail - see (A11)
- 23 Stair must utilize "open stairway" design, meaning a stairway which has a minimum of one wall which not more than forty-two (42) inches high opening into at least one (1) room from which the stairway connects the floor

- 10 5/8" typ. x gypboard finish between garage and living areas - See detail (A11)
- 11 Contact elevator manufacturer prior to erecting shaft
- 12 Provide one hour construction at elevator shaft per (A13)
- 13 Outline of stairs above - Provide one hour construction per (A11)
- 14 Storage area under stairs
- 15 5/8" typ. x gypboard at ceiling - See (A11)
- 16 Ducts penetrating wall or ceiling penetrations between garage and dwelling unit shall be constructed of 26 gage minimum sheet metal and shall have no opening into the garage - per Sect. R302.5.2

- ### Floor Plan Notes - First Floor
- 1 All exterior walls shall be minimum 2x6 construction in order to fit R-21 Insulation
 - 2 Outline of property line
 - 3 Outline of setback line
 - 4 Provide 2x6 studs at garage door wall
 - 5 Outline of parking spots
 - 6 Trench drain - connect to sump pump See Civil sheets
 - 7 Outline of furring above garage door
 - 8 Outline of garage door (7'-0" Height x 16'-0" Wide)
 - 9 Outline of garage door in open position



FIRST FLOOR PLAN
 1/4" = 1'-0" Living 952 sq ft Garage 454 sq ft

DATE	1/28/26
SIGNATURE	
LICENSED ARCHITECT	C-38326
JOSEPH FOURNIER	REVISED
1	
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PROJECT #	2025 - 15

- 44 See detail (A13) for winding stairs - similar
- 45 See detail (A13) for guardrail at exterior stairs
- 46 Clothes dryer duct to roof shall be of metal and a minimum of 4" in diameter. The exhaust duct shall not exceed a total combined horizontal and vertical length of 14', including two 90 degree elbows. Two feet shall be deducted for each 90 degree elbow in excess of two. (504.4.2 CMC)
- 47 Outline of smoke/carbon monoxide combo detector/alarm

- 39 Slope deck surface to deck drains typ. 1/4" per ft. minimum. Provide scupper overflow 2" above fin. fir. & align w/ drain - See detail (A12)
- 40 Provide 42" tall guardrail at deck per (A11)
- 41 Impervious moisture barrier at balcony floor shall not be concealed until it has been inspected and approved by the city inspector - CRC Section R109.1.5.3.
- 42 Provide stone or tile at deck w/ Dex-o-tex waterproofing - See ESR-1757
- 43 Electric Clothes Dryer Ready - Section 150.0(v)
 - Provide a junction box within 3 feet of the gas dryer with no obstruction with a minimum 30A rated branch circuit conductor (3 #10 conductors + #10 ground).
 - Mark the junction box cover as "240V ready".
 - Reserve a 2 pole breaker space and label as "for future 240V use".

- 31 Outline of upper cabinets
- 32 See detail (A11) for cased out opening - consult client about finish treatment
- 33 Outline of built cabinets or day bed per interior designer
- 34 Outline of washer and dryer per owner
- 35 Built-in cabinetry - consult interior designer
- 36 Outline of stairs above - provide one hour protection per (A11)
- 37 Outline of exterior stairs on grade See detail (A12)
- 38 Doors other than the required egress door shall be provided with landings or floors not more than 7/8 inches below the top of the threshold. (CRC R311.3.2)

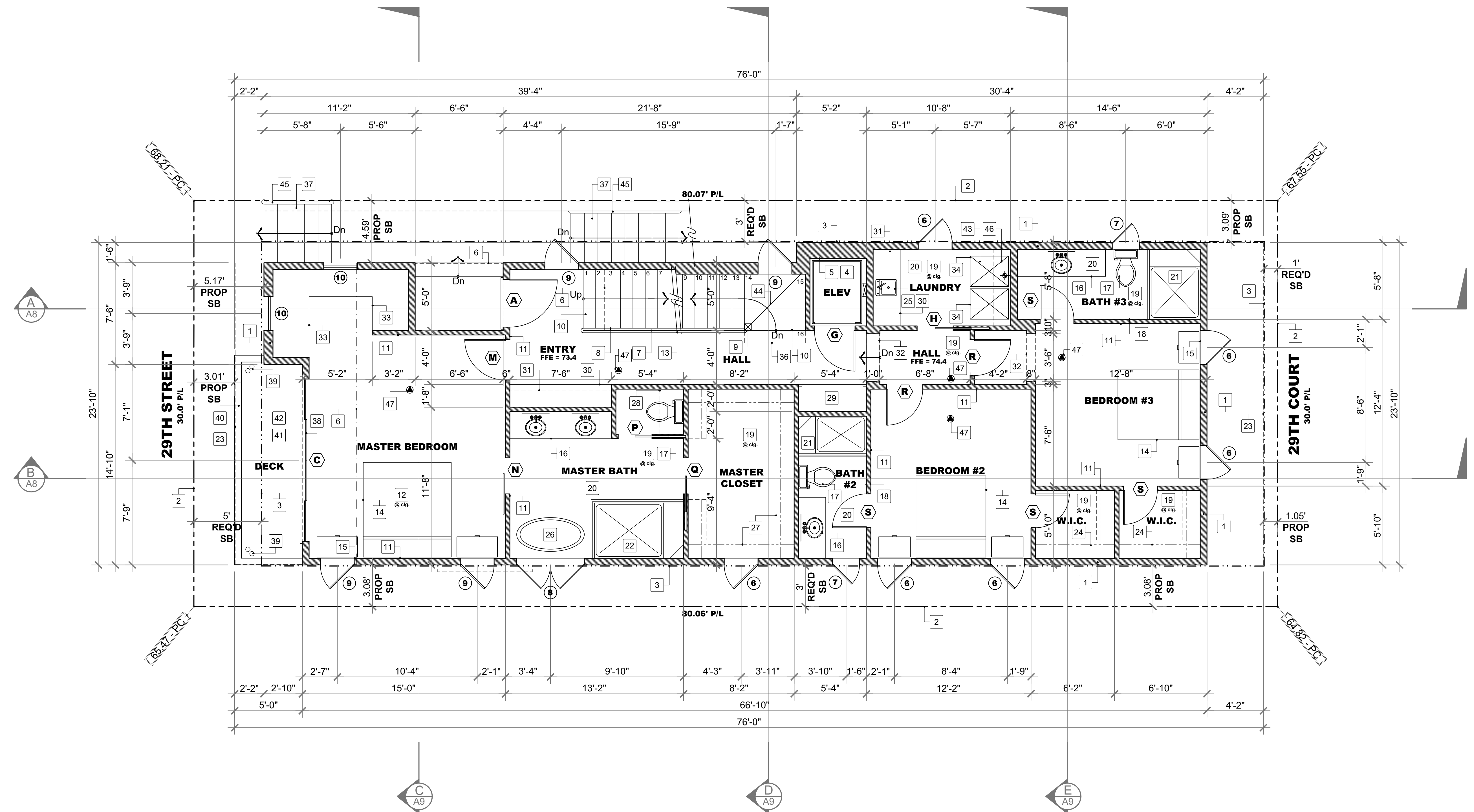
- 23 Outline of deck above
- 24 Walk in closet with pole and shelf
- 25 Utility sink
- 26 Owner to choose stand alone tub
- 27 Consult developer about master closet cabinetry, shelving, and hanging
- 28 Outline of upper cabinet above water closet
- 29 Full height linen cabinet
- 30 36" tall base cabinets with countertops chosen by owner

- 16 Base cabinet with countertop and sink selected by owner - provide mirror above
- 17 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 18 Provide possible wainscot at this bathroom per (A13)
- 19 Consult designer about furr down areas if needed for ducting - Use (A12)
- 20 All new fixtures shall be water conserving - CPC 402.0
- 21 Tiled shower, seat, and glass enclosure as shown - W/ fiber-mat reinforced cement
- 22 Provide fully tiled shower with seat and glass enclosure - consult owner about steam unit

- 8 Provide 34" to 38" tall handrail per (A12) (A12)
- 9 Outline of post for handrail - see (A11)
- 10 See (A12) and (A12) for stair construction
- 11 See detail (A13) for baseboards at this floor, typical
- 12 Provide 1x T&G at ceiling - consult owner
- 13 Provide 42" tall guardrail per (A12)
- 14 Outline of furniture
- 15 See detail (A11) for interior window finish, typical

Floor Plan Notes - Second Floor

- 1 All exterior walls shall be minimum 2x6 construction in order to fit R-21 Insulation
- 2 Outline of property line
- 3 Outline of setback line
- 4 Contact elevator manufacturer prior to erecting shaft
- 5 Provide one hour construction at elevator shaft per (A13)
- 6 Outline of floor above
- 7 Stair must utilize "open stairway" design, meaning a stairway which has a minimum of one wall which has a minimum of forty-two (42) inches high opening into at least one (1) room from which the stairway connects the floor



SECOND FLOOR PLAN
1/4" = 1'-0"

NORTH
Living 1,527 sq ft

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PHONE: 310-617-4856
INSTAGRAM: JFOURNIERDESIGN
WEBSITE: WWW.JFOURNIERDESIGN.COM

TRIWEST DEVELOPMENT
220 29th Street, Hermosa Beach

DATE: 1/28/26
SIGNATURE: [Signature]
LICENSED ARCHITECT: [Seal]
JOSEPH FOURNIER
REVISED: [List]
PROJECT #: 2025 - 15

A3

- 42 Outline of built-ins per interior designer
- 43 Outline of dining room table
- 44 Outline of built-ins and desk per interior designer
- 45 Outline of stairs above - provide one hour protection per (7) A11
- 46 Built-in shelving at pantry
- 47 Waterproof exterior stairs leading to roof deck - dex-o-tex
- 48 See detail (4) A13 for winding stairs - similar
- 49 See detail (10) A11 for interior window finish, typical
- 50 Outline of smoke/carbon monoxide combo detector/alarm

- 35 Outline of trash and recycle bin
- 36 Outline of dishwasher per owner
- 37 Outline of double sink or farmhouse sink - consult owner
- 38 36" tall bar / island - stone countertop with storage below - Consult w/ owner & Interior designer
- 39 Outline of bar stools
- 40 Provide knee space at island for bar stools
- 41 Outline of roof deck above

- 31 Outline of furniture
- 32 Provide 48" wide gas range with double oven and ventilation hood per owner Electric Cooktop Ready - Section 150.0(u)
 - Provide a junction box within 3 feet of the gas cooktop with no obstructions and with a minimum of 50A rated branch circuit conductors (3 #6 conductors + #10 ground).
 - Mark the junction box cover as "240V ready".
 - Reserve a 2 pole breaker space and label as "for future 240V use".
- 33 Provide 30" wide refrigerator with water lines
- 34 Provide 30" wide freezer with water lines

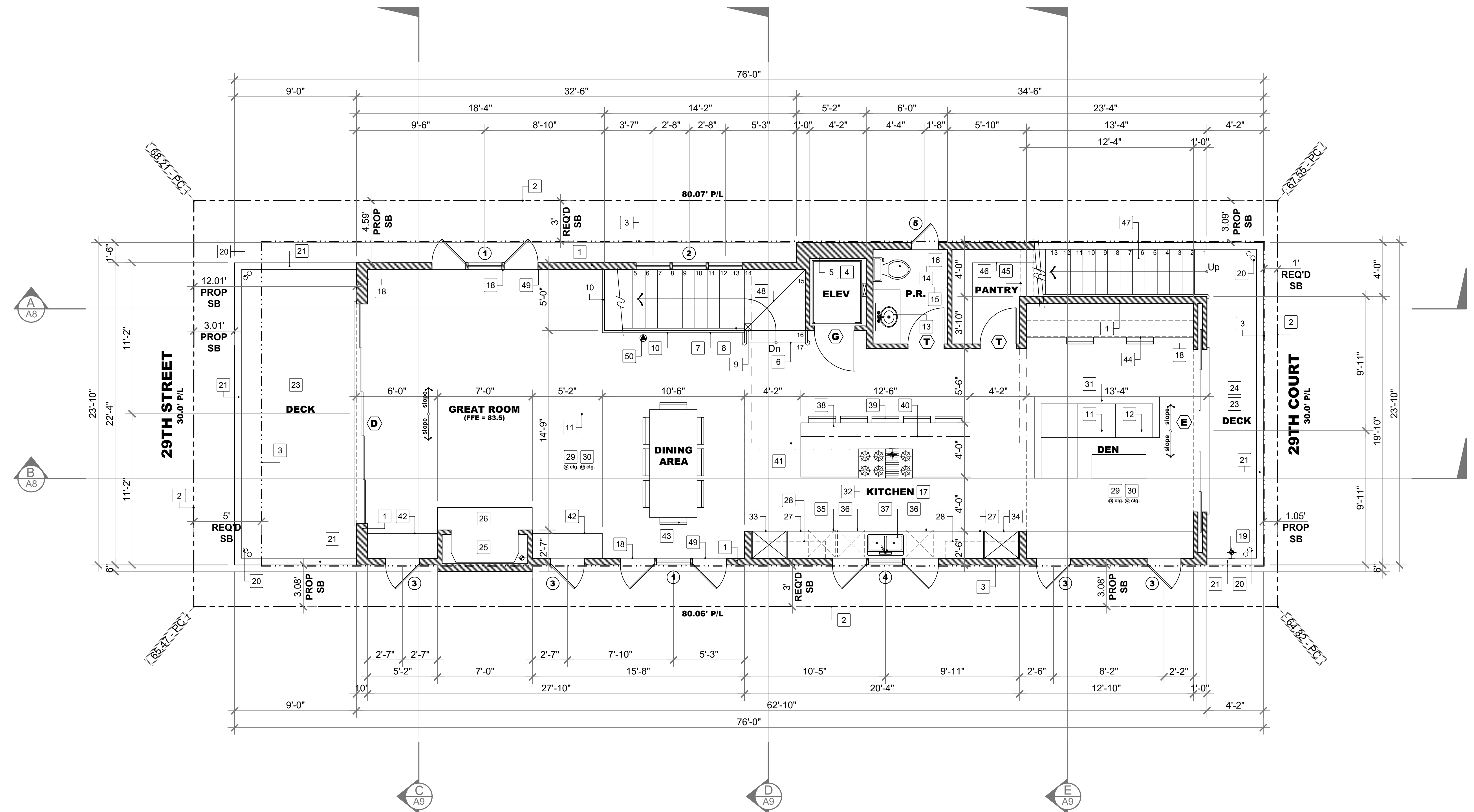
- 24 Impervious moisture barrier at balcony floor shall not be concealed until it has been inspected and approved by the city inspector - CRC Section R109.1.5.3.
- 25 60" metal fireplace per owner - gas appliance only - direct vent - ESR-2316 Earthcore Industries
- 26 Provide 20" minimum stone hearth
- 27 36" tall base cabinets with countertops chosen by owner
- 28 Outline of upper cabinets
- 29 Provide 1x T&G at ceiling - consult owner
- 30 Ducts penetrating wall or ceiling penetrations shall be constructed of 26 gage minimum sheet metal

- 16 Consult designer about furr down areas if needed for ducting - Use (1) A12
- 17 All new fixtures shall be water conserving - CPC 402.0
- 18 See detail (1) A13 for baseboards at this floor, typical
- 19 Gas line for future barbecue
- 20 Slope deck surface to deck drains typ. 1/4" per ft. minimum. Provide scupper overflow 2" above fin. flr. & align w/ drain - See detail (3) A12
- 21 Provide 42" tall guardrail at deck per (3) A11
- 22 42" tall Pony Wall per (4) A11
- 23 Provide stone or tile at deck w/ Dex-o-tex waterproofing - See ESR-1757

- 8 Provide 34" to 38" tall handrail per (7) A12 (5) A12
- 9 Outline of post for handrail - see (9) A11
- 10 Provide 42" tall guardrail per (7) A12
- 11 Outline of roof above
- 12 Outline of ceiling transition from sloped to flat - see sections
- 13 Base cabinet with countertop and sink selected by owner - provide mirror above
- 14 Water closet per owner - Provide 24" min. in front of and 30" min. width
- 15 Provide possible wainscot at this bathroom per (2) A13

Floor Plan Notes - Third Floor

- 1 All exterior walls shall be minimum 2x6 construction in order to fit R-21 Insulation
- 2 Outline of property line
- 3 Outline of setback line
- 4 Contact elevator manufacturer prior to erecting shaft
- 5 Provide one hour construction at elevator shaft per (3) A13
- 6 See (2) A12 and (3) A12 for stair construction
- 7 Stair must utilize "open stairway" design, meaning a stairway which has a minimum of one wall which not more than forty-two (42) inches high opening into at least one (1) room from which the stairway connects the floor



THIRD FLOOR PLAN
1/4" = 1'-0"

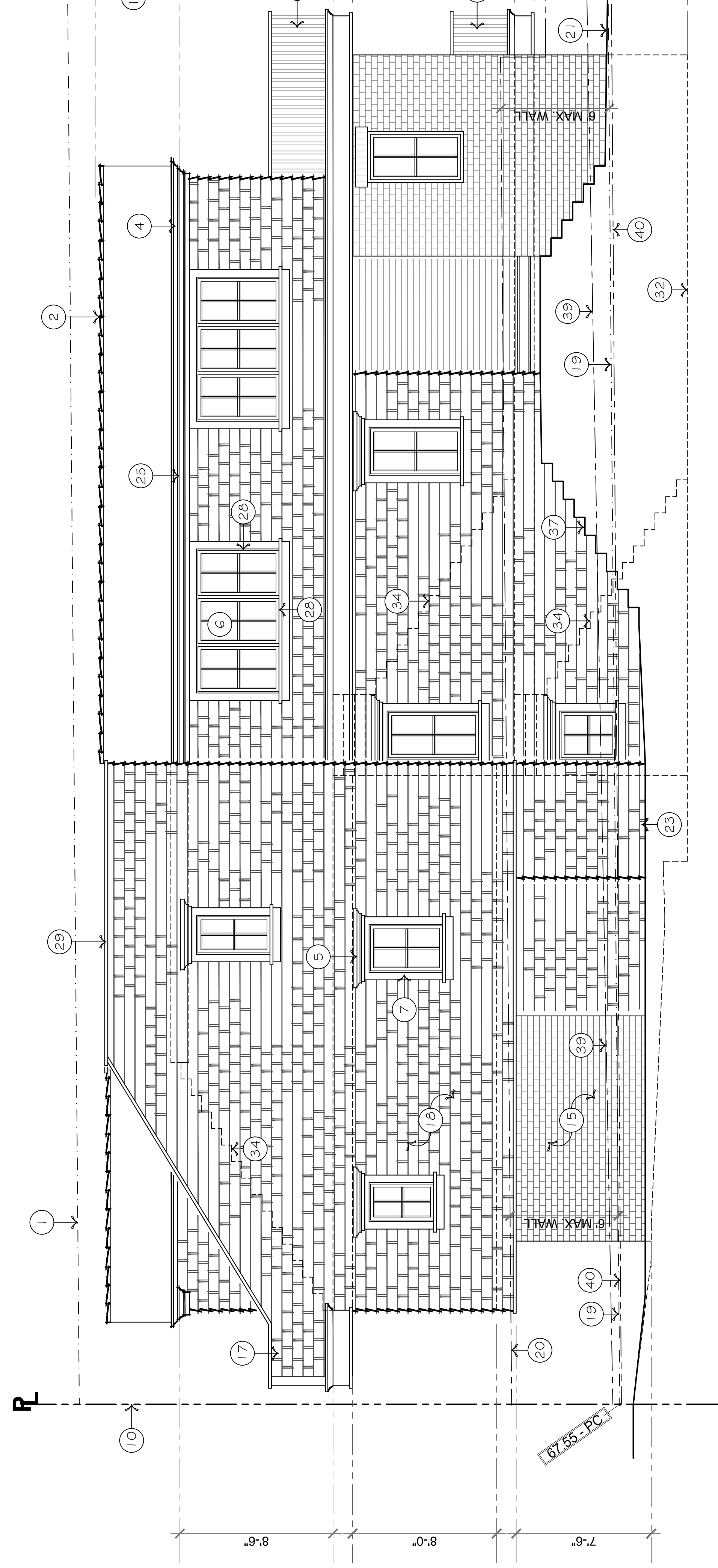
Living 1,405 sq ft

JOSEPH FOURNIER DESIGN
362 TERMINO AVENUE, LONG BEACH, CA 90814
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INSTAGRAM: JFOURNIERDESIGN
WEBSITE: WWW.JFOURNIERDESIGN.COM

TRIWEST DEVELOPMENT
220 29th Street, Hermosa Beach

DATE: 1/28/26
SIGNATURE:
LICENSED ARCHITECT
C-38326
STATE OF CALIFORNIA
JOSEPH FOURNIER
REVISED
PROJECT # 2025 - 15

A4



LEFT SIDE EAST ELEVATION
1/4" = 1'-0"

Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

ELEVATION NOTES:

- 1 Outline of maximum height limit
- 2 Cedar Lite roofing per developer
- 3 See detail (A15) for brick lintel at window
- 4 5" Ø half round G.I. gutter
- 5 Cove or moulding above window - See (A14)
- 6 Aluminum clad window assembly w/ muntins as shown
- 7 2x trim/painted around windows for head, jamb, and sill per (A15), (A15), (A15)
- 8 Aluminum clad pocket french door assembly w/ muntins as shown
- 9 Decorative lighting
- 10 Outline of property line
- 11 Brick lintel above door - See detail (A15)
- 12 Brick at jamb of door - See detail (A15)
- 13 Sliding french doors w/ muntins as shown

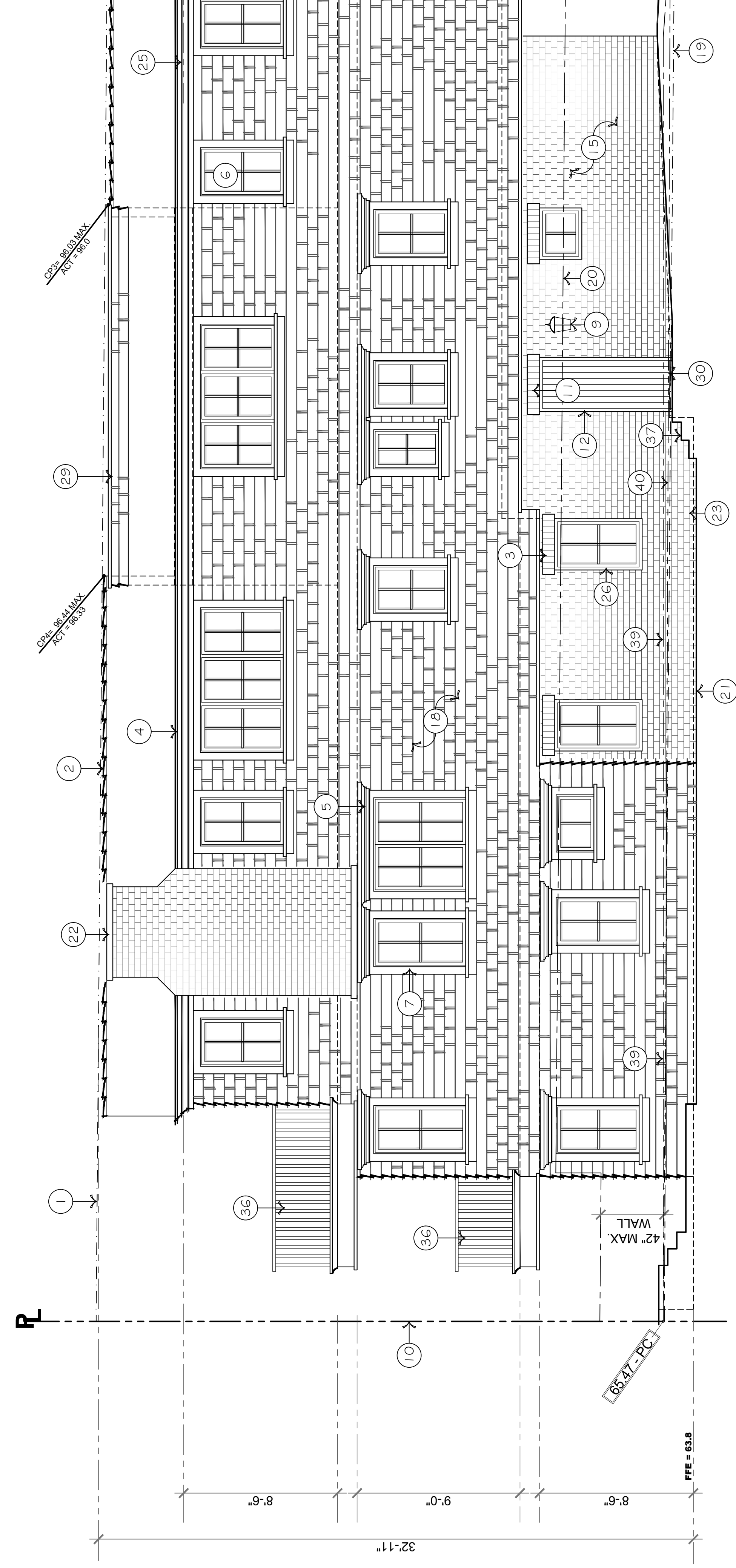
- 14 Outline of landscape
- 15 See details (A13) and (A13) for brick veneer
- 16 Sectional roll-up garage door w/ remote opener and glass in top panels as shown/painted - 16'-0" Wide Clear x 7'-0" Tall
- 17 42" Tall ponywall at deck - see (A11)
- 18 Shingle over 15# felt per owner
- 19 Line of interpolated grade from property corner to property corner
- 20 Outline of 3'-6" or 6'-0" interpolated fence height
- 21 Outline of Finished Grade
- 22 Chimney cap as shown - per detail (A10)
- 23 See detail (A11) for G.I. weep screed
- 24 See details (A11) & (A14) for head & jamb @ garage door
- 25 See detail (A10) for eave detail
- 26 See details (A15) and (A15) for typ. window jamb and sill detail with brick

- 27 Outline of rake per (A10)
- 28 See details (A14) & (A14) for head & jamb @ fixed windows with string
- 29 Outline of roof deck
- 30 See details (A14) and (A14) for thresholds at doors on grade
- 31 See detail (A15) for threshold at doors at deck
- 32 Outline of finished floor above or below grade
- 33 See details (A14) & (A14) for head & jamb @ door with trim
- 34 Outline of interior stairs or stair landing
- 35 Bifold french doors with muntin pattern as shown
- 36 42" tall metal guardrail per (A11)
- 37 See site plan for concrete stairs on grade - See detail (A12)

- 38 Outline of exterior staircase leading to deck
- 39 Outline of neighbor's grade or adjacent grade
- 40 Existing Grade

VERY IMPORTANT NOTES
Framer and general contractor shall verify elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.

- 1. Parapets, satellite antennae, rails, skylight and roof equipment must be within the height limit.
- 2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels)



RIGHT SIDE WEST ELEVATION

1/4" = 1'-0"

Any addition or changes made to the approved Exterior elevation design either on the drawings or during construction will require Planning Division and Building & Safety Division review and approval and may result in a delay of the project or the removal of non-approved work.

ELEVATION NOTES:

- 1 Outline of maximum height limit
- 2 Cedar Lite roofing per developer
- 3 See detail ¹/_{A15} for brick lintel at window
- 4 5" Ø half round G.I. gutter
- 5 Cove or moulding above window - See ¹/_{A14}
- 6 Aluminum clad window assembly w/ muntins as shown
- 7 2x trim/painted around windows for head, jamb, and sill per ²/_{A15}, ³/_{A15}, ⁴/_{A15}
- 8 Aluminum clad pocket french door assembly w/ muntins as shown
- 9 Decorative lighting
- 10 Outline of property line
- 11 Brick lintel above door - See detail ⁴/_{A15}
- 12 Brick at jamb of door - See detail ⁵/_{A15}
- 13 Sliding french doors w/ muntins as shown

- 14 Outline of landscape
- 15 See details ⁵/_{A13} and ⁷/_{A13} for brick veneer
- 16 Sectional roll-up garage door w/ remote opener and glass in top panels as shown/painted - 16'-0" Wide Clear x 7'-0" Tall
- 17 42" Tall ponywall at deck - see ⁴/_{A11}
- 18 Shingle over 15# felt per owner
- 19 Line of interpolated grade from property corner to property corner
- 20 Outline of 3'-6" or 6'-0" interpolated fence height
- 21 Outline of Finished Grade
- 22 Chimney cap as shown - per detail ⁷/_{A10}
- 23 See detail ¹/_{A11} for G.I. weep screed
- 24 See details ¹¹/_{A14} & ¹²/_{A14} for head & jamb @ garage door
- 25 See detail ²/_{A10} for eave detail
- 26 See details ²/_{A15} and ³/_{A15} for typ. window jamb and sill detail with brick

- 27 Outline of rake per ¹/_{A10}
- 28 See details ⁵/_{A14} & ⁶/_{A14} for head & jamb @ fixed windows with string
- 29 Outline of roof deck
- 30 See details ⁸/_{A14} and ¹⁰/_{A14} for thresholds at doors on grade
- 31 See detail ⁶/_{A15} for threshold at doors at deck
- 32 Outline of finished floor above or below grade
- 33 See details ⁷/_{A14} & ⁸/_{A14} for head & jamb @ door with trim
- 34 Outline of interior stairs or stair landing
- 35 Bifold french doors with muntin pattern as shown
- 36 42" tall metal guardrail per ³/_{A17}
- 37 See site plan for concrete stairs on grade - See detail ¹²/_{A12}

- 38 Outline of exterior staircase leading to deck
- 39 Outline of neighbor's grade or adjacent grade
- 40 Existing Grade

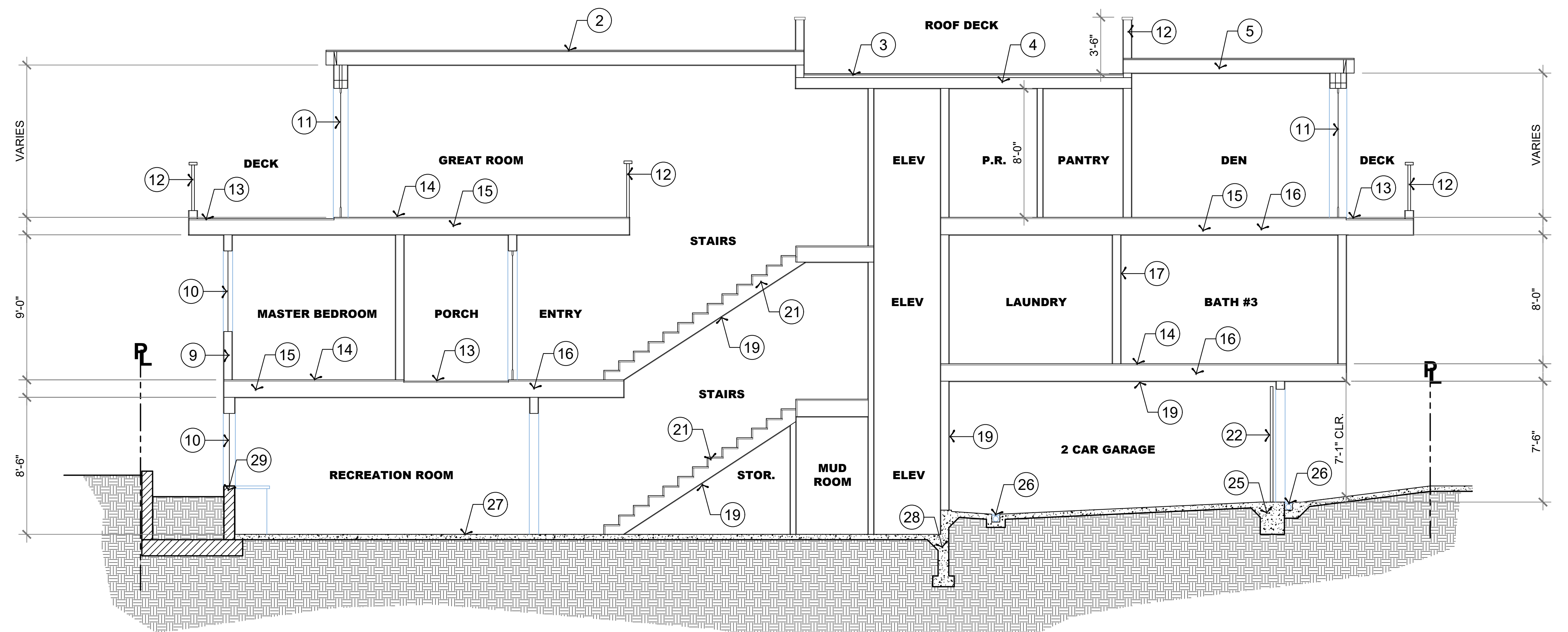
VERY IMPORTANT NOTES

Framer and general contractor shall verify elevation of highest beam and shall notify architect of this elevation prior to any roof framing. Adjustments may be required with respect to height limit.

1. Parapets, satellite antennae, rails, skylights and roof equipment must be within the height limit.
2. Provide 2-layers of 15# felt or equivalent over all exterior wall plywood (shear panels)

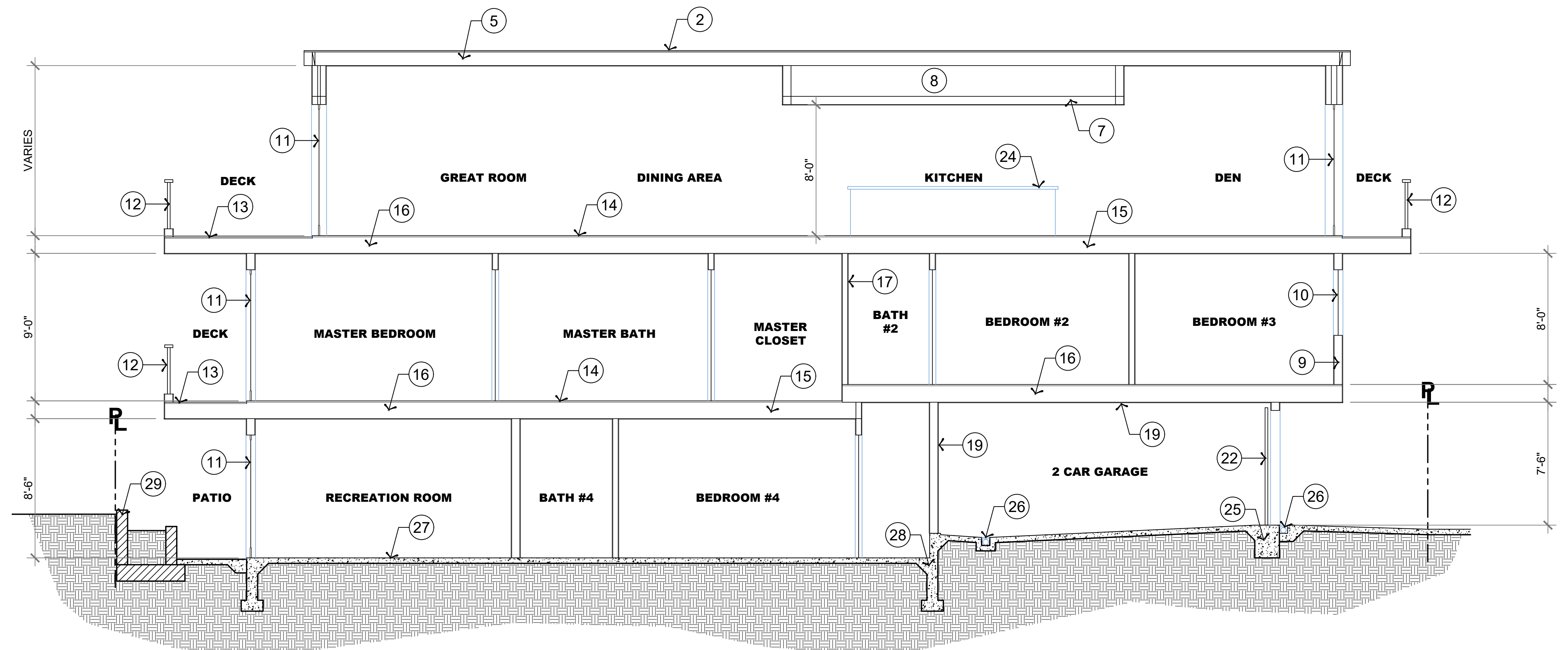
SECTION NOTES:

- 1 See floor plan for clip ceiling locations
- 2 Plywood roof sheathing w/ Radiant Barrier
See Energy Calcs.
- 3 Built-up Decking/Roofing - 2x Rippings
- 4 Typ. roof deck joist - See Framing Plan
- 5 Typ. roof rafter - See Framing Plan
- 6 R-30 insulation @ sloped / flat roof
- 7 Typ. ceiling joist
- 8 R-30 insulation @ attic space
- 9 2x stud wall w/ R-21 insulation @ exterior
- 10 Typ. aluminum clad window assembly
- 11 Typ. aluminum clad (french) door assembly
- 12 Guardrail assembly
- 13 Deck finish over waterproof membrane -
Dex-o-tex ESR-1757
- 14 Floor plywood
- 15 Typ. floor joist - See Framing Plan
- 16 R-30 insulation @ floor
- 17 Interior finish
- 18 Parallam beams - See Framing Plans
- 19 5/8" type 'x' gypboard @ walls & ceiling
throughout garage, against living area &
beneath stairs
- 20 Steel Beam - See Framing Plans
- 21 Stringer at stairs
- 22 Garage Door
- 23 Outline of wall beyond
- 24 Outline of cabinetry
- 25 Grade Beam
- 26 Outline of trench drain - See C Sheets
- 27 Concrete slab on grade
- 28 Continuous concrete footing - See
Foundation Plan
- 29 Retaining wall, typ. - See Foundation Plan



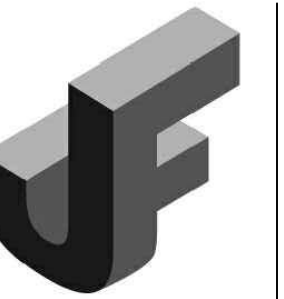
SECTION
1/4" = 1'-0"

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SECTION
1/4" = 1'-0"

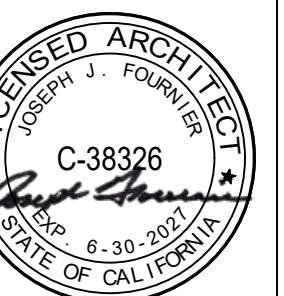
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**JOSEPH FOURNIER
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TRIWEST DEVELOPMENT
220 29th Street, Hermosa Beach

DATE
1/28/26
SIGNATURE

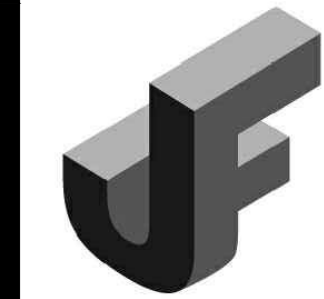


JOSEPH FOURNIER
REVISED

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PROJECT #
2025 - 15

A8



**JOSEPH FOURNIER
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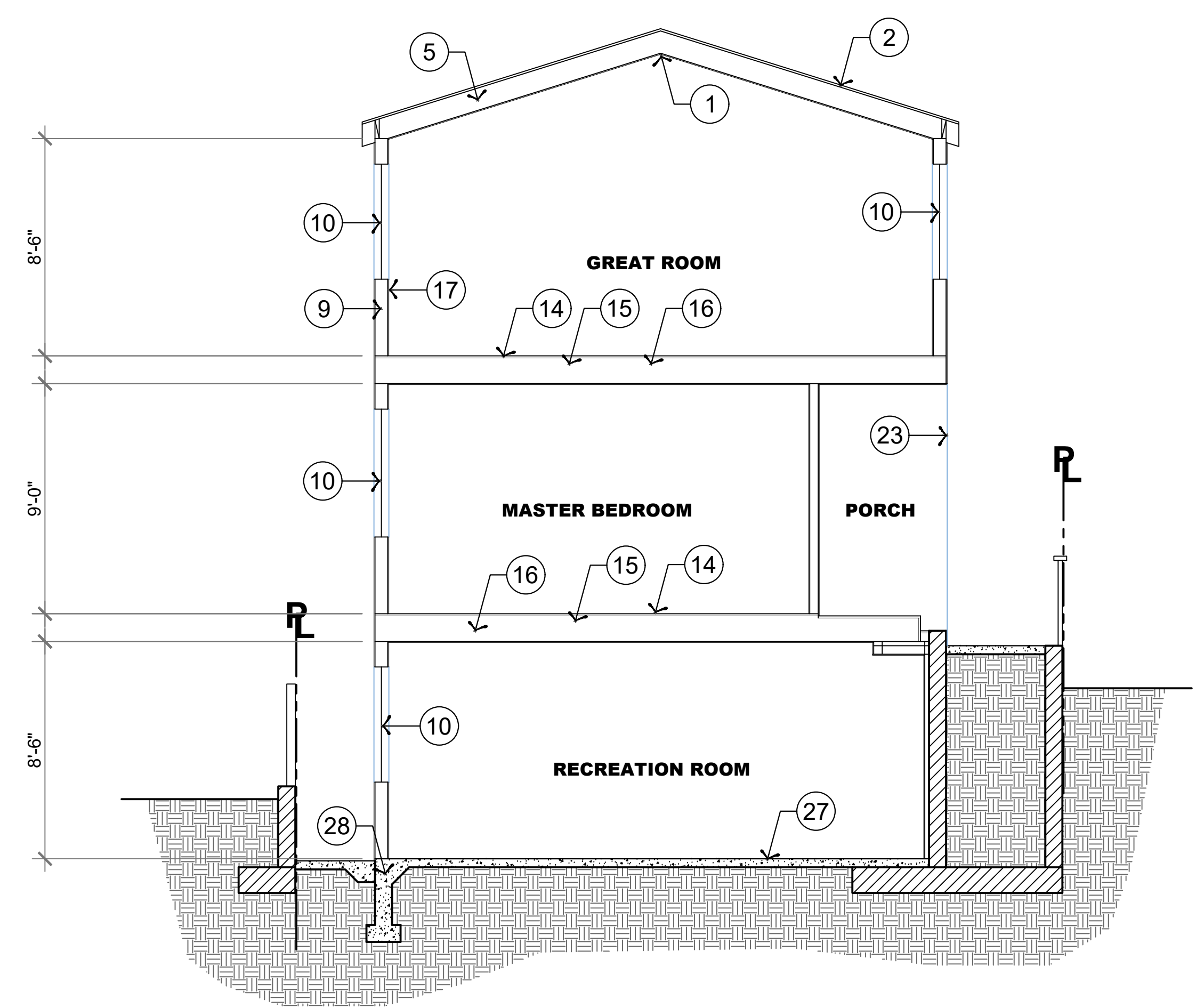
TRIWEST DEVELOPMENT
220 29th Street, Hermosa Beach

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1/28/26
SIGNATURE

JOSEPH FOURNIER
REVISED
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PROJECT #
2025 - 15

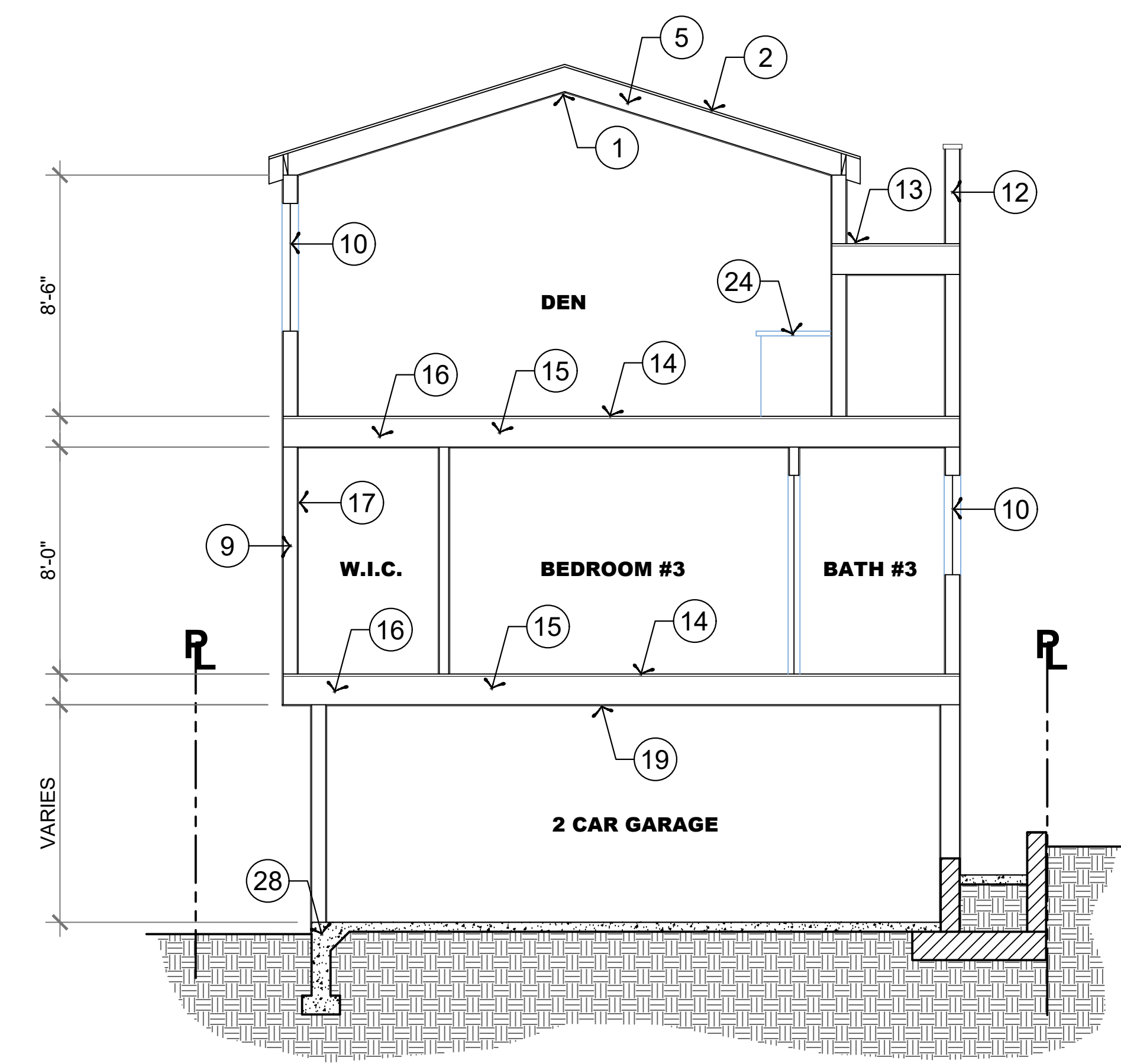
SECTION NOTES:

- 1 See floor plan for clip ceiling locations
- 2 Plywood roof sheathing w/ Radiant Barrier
See Energy Calcs.
- 3 Built-up Decking/Roofing - 2x Rippings
- 4 Typ. roof deck joist - See Framing Plan
- 5 Typ. roof rafter - See Framing Plan
- 6 R-30 insulation @ sloped / flat roof
- 7 Typ. ceiling joist
- 8 R-30 insulation @ attic space
- 9 2x stud wall w/ R-21 insulation @ exterior
- 10 Typ. aluminum clad window assembly
- 11 Typ. aluminum clad (french) door assembly
- 12 Guardrail assembly
- 13 Deck finish over waterproof membrane -
Dex-o-tex ESR-1757
- 14 Floor plywood
- 15 Typ. floor joist - See Framing Plan
- 16 R-30 insulation @ floor
- 17 Interior finish
- 18 Parallam beams - See Framing Plans
- 19 5/8" type 'x' gypboard @ walls & ceiling
throughout garage, against living area &
beneath stairs
- 20 Steel Beam - See Framing Plans
- 21 Stringer at stairs
- 22 Garage Door
- 23 Outline of wall beyond
- 24 Outline of cabinetry
- 25 Grade Beam
- 26 Outline of trench drain - See C Sheets
- 27 Concrete slab on grade
- 28 Continuous concrete footing - See
Foundation Plan
- 29 Retaining wall, typ. - See Foundation Plan



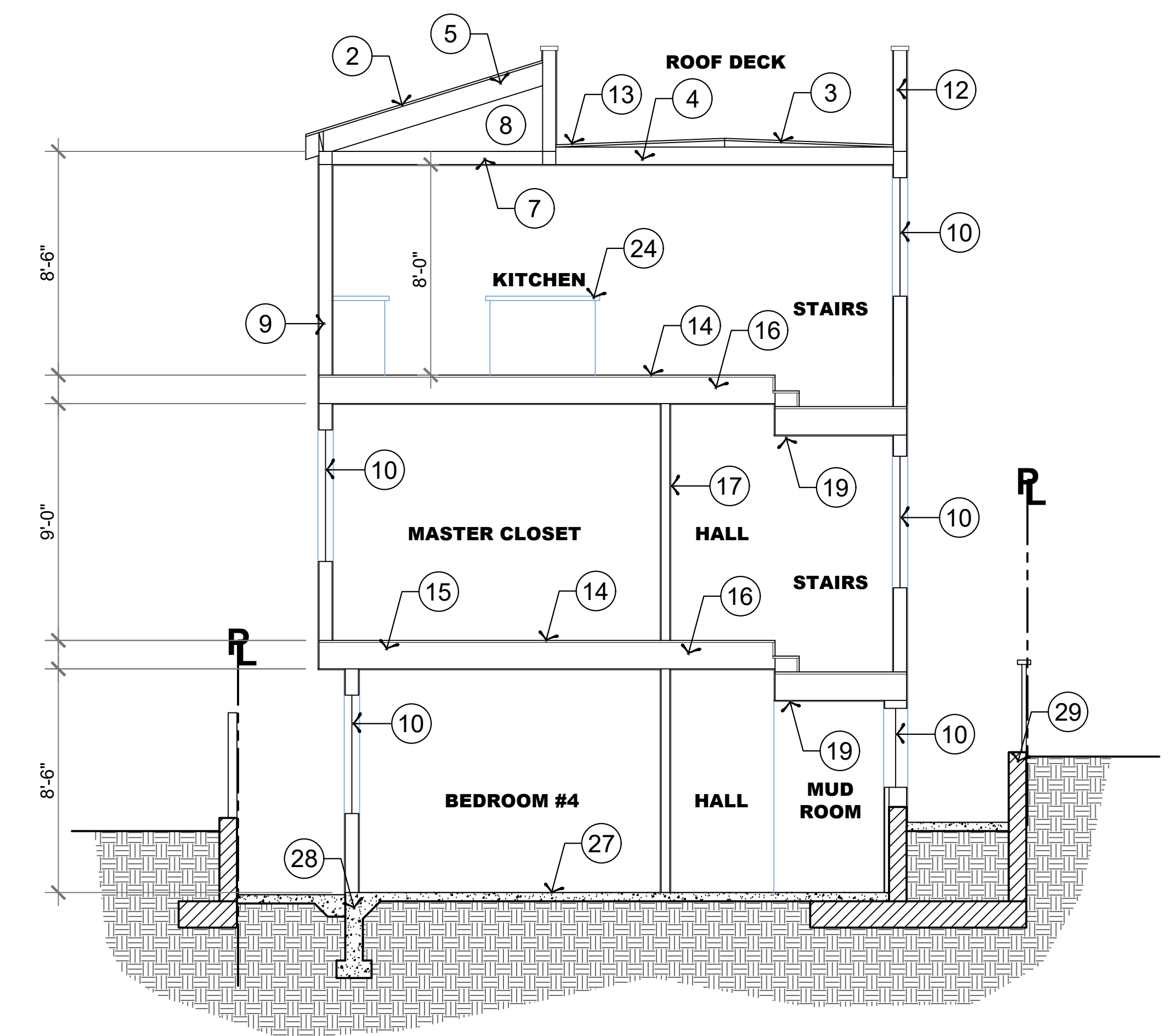
SECTION
1/4" = 1'-0"

C



SECTION
1/4" = 1'-0"

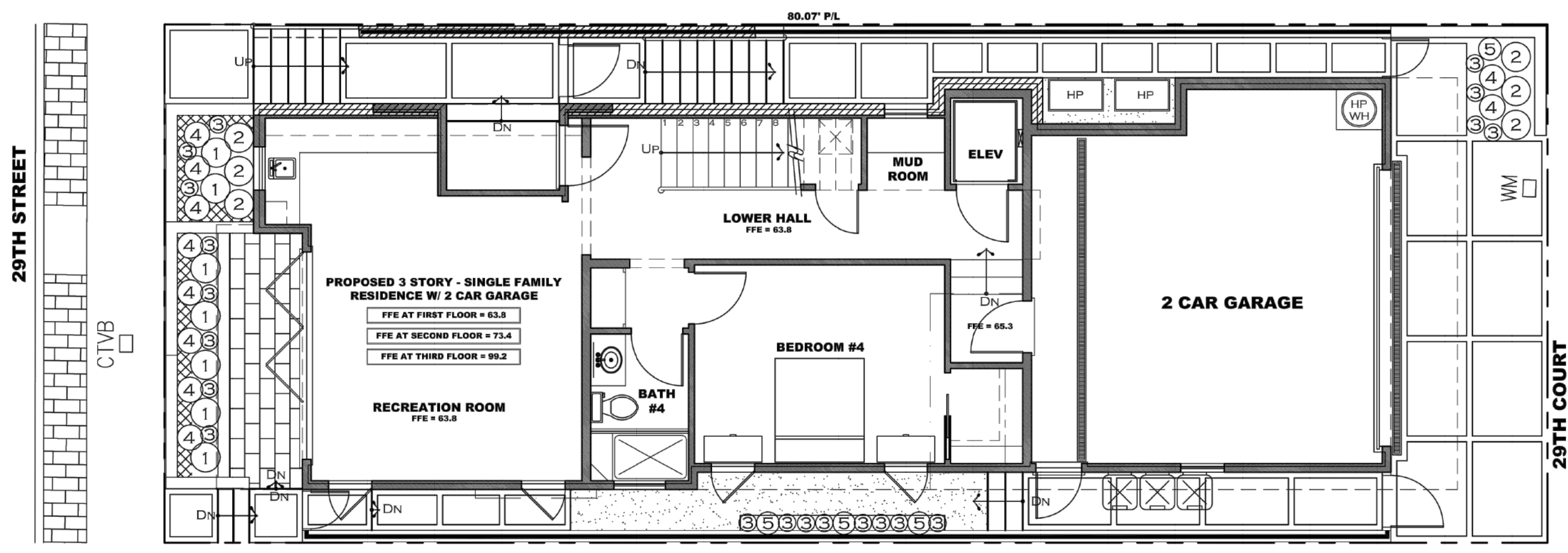
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SECTION
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PLANTING PLAN



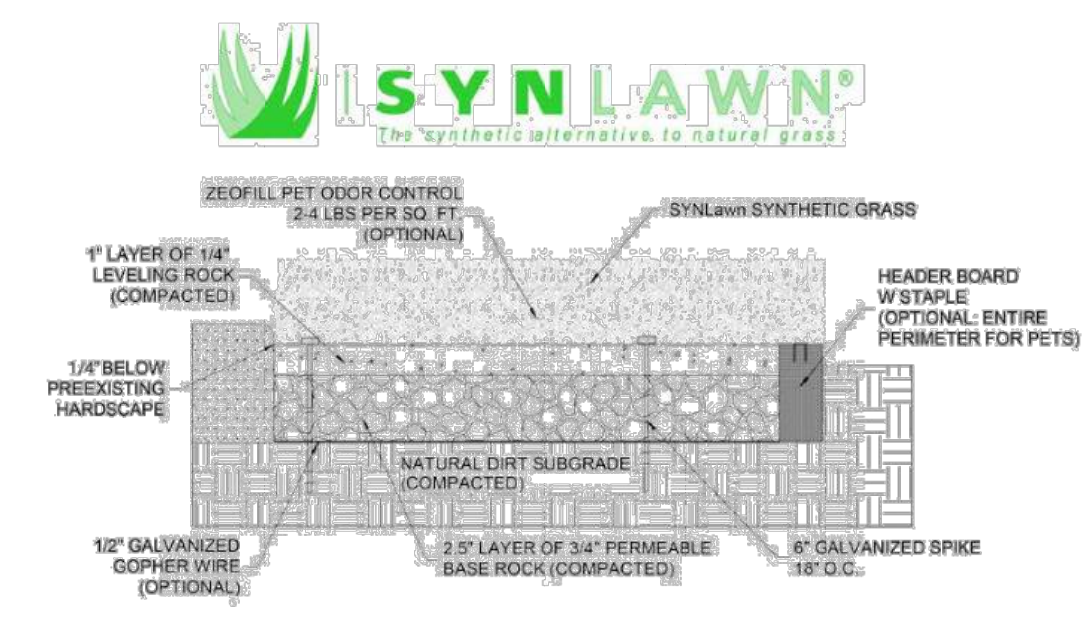
PLANTING AND TREE LEGEND:

BOTANICAL NAME	COMMON NAME	SIZE	QTY.	MATURITY HEIGHT	YRS. TO MATURITY	WUCOLS/ PF	SPEC.
1 TRICHOSTEMA LANATUM	WOOLLY BLUE CURLS	5 GAL	7	3' IN HEIGHT	1+ YEARS	VERY LOW/ 0.1	CALIFORNIA NATIVE (SHRUB)
2 WESTRINGIA FRUTICOSA 'GREY BOX'	WEST COAST ROSEMARY	5 GAL	6	2'-3' IN HEIGHT	1-2 YEARS	LOW/ 0.3	DROUGHT TOLERANT (SHRUB)
3 SISYRINCHIUM BELLUM	BLUE EYED GRASS	1 GAL	20	6"-12" IN HEIGHT	1-2 YEARS	LOW/ 0.3	CALIFORNIA NATIVE (SHRUB)
4 ARISTIDA PURPUREA	PURPLE THREE AWN	5 GAL	10	1'-2' IN HEIGHT	1-2 YEARS	VERY LOW/ 0.1	CALIFORNIA NATIVE (SHRUB)
5 DICHLONDR A ARGENTEA	SILVER FALLS	4" CONT.	25	N/A (GROUND COVER)	1-2 YEARS	LOW/ 0.3	DROUGHT TOLERANT (GROUND COVER)
6 HARDENBERGIA VIOLACEA	LILAC VINE (STAKED)	5 GAL	4	N/A (VINE)	1-2 YEARS	LOW/ 0.3	DROUGHT TOLERANT (VINE)

NOTE: MULCH/ WOOD CHIPS (ALL BEDS) MULCH SHALL BE 3" THICK (NO SOIL SHALL BE VISIBLE IN ANY PLANTER AREA)

PLANTING NOTES:

- THE PLANTING PLAN IS DIAGRAMMATIC. ALL PLANT LOCATIONS ARE APPROXIMATE. PLANT SYMBOLS TAKE PRECEDENCE OVER PLANT QUANTITIES SPECIFIED.
- QUANTITIES SHOWN ON THE PLANTING PLAN ARE APPROXIMATE AND ARE FOR THE CONVENIENCE OF THE CONTRACTOR.
- THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF DISCREPANCIES BETWEEN QUANTITIES & SYMBOLS SHOWN.
- THE LANDSCAPE CONTRACTOR SHALL SUBMIT A SOILS REPORT FROM AN AUTHORIZED TESTING AGENCY, BUTLERS MILL, OR EQUIVALENT, TO THE OWNER OR LA BEFORE BEGINNING WORK.
- PRIOR TO PLANTING, ALL IRRIGATION SYSTEMS SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE THOROUGHLY SOAKED. ADJUST IRRIGATION SYSTEM, HEADS, SPRAY ANGLES, ETC.
- ALL AREAS TO BE PLANTED, WHICH HAVE A SLOPE OF LESS THAN 10% SHALL BE CROSS-RIPPED TO A DEPTH OF 6" AND THE FOLLOWING AMENDMENTS SPREAD EVENLY THROUGHOUT BLENDING IN PER 1,000 SQUARE FEET (QUANTITIES SUBJECT TO CHANGE PER SOIL REPORT): A) 4 CUBIC YARDS NITROGEN FORTIFIED REDWOOD SHAVINGS. B) 100 POUNDS AGRICULTURAL GYPSUM. C) 15 POUNDS SOIL SULFUR. D) 25 POUNDS 16-6-8 SLOW RELEASE FERTILIZER.
- EACH PLANT SHALL RECEIVE "AGRIFORM" OR EQUIVALENT 21 GRAM PLANT TABLETS AS FOLLOWS: 1 GALLON CONTAINER = 1 21 GRAM. 5 GALLON CONTAINER = 3-21 GRAM. 15 GALLON CONTAINER = 5-21 GRAM. PER 3 INCH BOXED TREE SIZE = 1 21 GRAM.
- PLAN BACKFILL SHALL BE 50% SITE SOIL, AND 50% NITROGEN FORTIFIED REDWOOD SHAVINGS BY VOLUME, OR APPROVED EQUIVALENT.
- PLANT PITS SHALL BE TWICE THE SIZE OF THE DESIGNATED NURSERY CONTAINERS.
- PLANT MATERIAL SHALL NOT BE ROOT BOUND. FIVE GALLON PLANTS AND LARGER SHALL HAVE BEEN GROWN IN CONTAINERS FOR A MINIMUM OF 6 MONTHS AND A MAXIMUM OF 2 YEARS. PLANTS SHALL EXHIBIT HEALTHY GROWTH FREE OF DISEASES AND PESTS.
- REMOVE NURSERY STAKES ON ALL VINES AND ATTACH TO ADJACENT WALLS OR FENCES WITH NON-METALLIC TIES. REMOVE NURSERY STAKES AND TIES FROM ALL TREES OR NURSERY STOCK. MAINTAIN SIDE GROWTH ON ALL TREES. DOUBLE STAKE ALL 5 AND 15 GALLON, AND 24" BOX TREES. TRIPLE GUY ALL 36" BOX AND LARGER TREES.
- TREES, SHRUBS AND VINES SHALL NOT BE PLACED WITHIN 12" OF SPRINKLER HEADS.
- SHRUBS SHOWN IN PLANTER AREAS SHALL BE UNDER-PLANTED WITH GROUND COVERS SHOWN BY ADJACENT SYMBOL TO WITHIN 12" OF MAIN PLANT STEM.
- THE LANDSCAPE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN CONDITION, REMOVING ALL UNUSED MATERIAL, TRASH, AND TOOLS DAILY.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL DRAINAGE, IRRIGATION, PLANTING AND LOW VOLTAGE LIGHTING SYSTEMS FOR A PERIOD OF 60 CALENDAR DAYS AFTER COMPLETION AND ACCEPTANCE OF WORK. PROVIDE A SEPARATE LANDSCAPE MAINTENANCE LINE ITEM IN BID.
- PRIOR TO THE END OF MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OWNER AND LA TO ARRANGE FOR A FINAL WALK THROUGH. THE OWNER MUST ACCEPT ALL MAINTAINED AREAS PRIOR TO THE END OF THE MAINTENANCE PERIOD.
- ALL POTS: THE CONTRACTOR SHALL DRILL A DRAINAGE HOLE IN THE BOTTOM OF ALL POTS. INSTALL DRIP THROUGH HOLE IN POT. SEAL INSIDE POTS WITH 'EASY SEAL'. PROVIDE 2" LAYER OF 1/2" SIZE GRAVEL IN BOTTOM OF POTS. BACKFILL POTS WITH POT PLANTER MIX TO WITHIN 3" OF RIM OF POT AFTER SETTLING. BACKFILL SHALL BE "MELLOG SUPPLY INC." POT PLANTER MIX OR EQUIVALENT. ALL POTS SHALL RECEIVE 4-21 GRAM "AGRIFORM" PLANT TABLETS PER POT. PROVIDE THREE POT SHIMS TRIANGULAR SPACED AROUND SAUCER BASE. OWNER TO REVIEW AND APPROVE POT LAYOUT, COLOR AND FINISH.



220 29TH STREET



PLANTING

- ALL TREES 5 GAL OR LARGER SHALL BE SINGLE STAKED.
- ALL TREES 24" BOX OR LARGER SHALL BE DOUBLE STAKED FOR SINGLE TRUNK TREES. GUYED FOR MULTY TRUNK TREES.
- GROUND COVER PLANT MATERIAL SHALL BE TRIANGULARLY SPACED.
- ALL TREES PLANTED WITHIN 5' OF HARDSCAPE SHALL HAVE A ROOT BARRIER DEVICE INSTALLED ADJACENT TO HARDSCAPE AREA.

SOIL PREPARATION

- ALL TURF AREAS TO RECEIVE ROTOTILLING AND SOIL PREPARATION TO A DEPTH OF 6".
- SHRUB AREAS TO RECEIVE SOIL PREPARATION AT LOCATION OF SHRUB ONLY.
- GROUND COVER AND COVER AREAS TO RECEIVE SOIL PREPARATION THROUGHOUT PLANTING AREA TO A DEPTH OF 2".

TREE/DRAINAGE INSTALLATION NOTE:

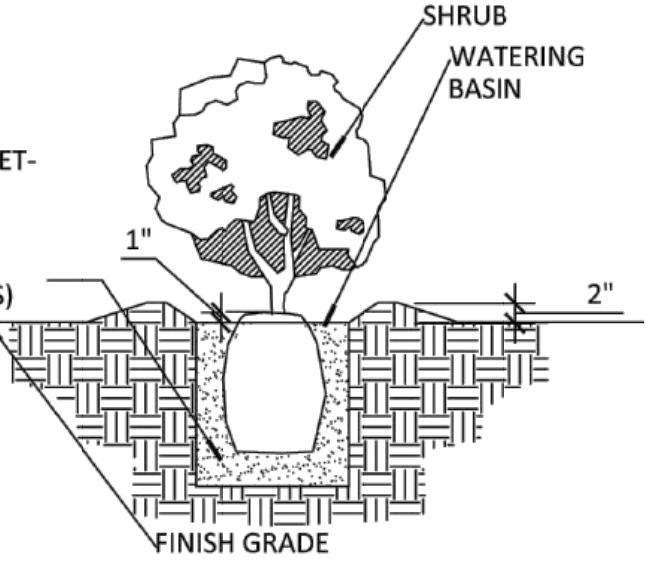
LANDSCAPE CONTRACTOR SHALL COORDINATE THE TREE ROOTBALL LOCATION WITH THE MECHANICAL DRAINAGE LINE LOCATIONS TO AVOID CONFLICTS WITH THE PLACEMENT OF EACH. WHEN A DRAIN LINE LOCATION IS LOCATED ADJACENT TO THE TREE'S ROOT BALL, A ROOT BARRIER DEVICE SHALL BE IMPLEMENTED.

ADDITIONAL NOTE:

ALL TREES WITHIN 6" OF HARDSURFACE SHALL HAVE A ROOT BARRIER INSTALLED.

BACKFILL MIX:

- 1/3 SITE SOIL
- 2/3 SAND
- 3/4 GROMULCH
- 4/5 AGRIFORM TABLET (20-10-5)



SHRUB PLANTING SCALE: NTS

SUITABLE IMPORT TOPSOIL

GENERAL - TOPSOIL SHALL BE FREE OF ROOTS, CLDS, STONES LARGER THAN 1-INCH IN THE GREATEST DIMENSION, POCKETS OF COARSE SAND, NOXIOUS WEEDS, STICKS, LUMBER, BRUSH AND OTHER LITTER. IT SHALL NOT BE INFESTED WITH NEMATODES OR OTHER UNDESIRABLE DISEASE-CAUSING ORGANISMS SUCH AS INSECTS AND PLANT PATHOGENS.

TOPSOIL SHALL BE FRAGILE AND HAVE SUFFICIENT STRUCTURE IN ORDER TO GIVE GOOD TILT AND AERATION TO THE SOIL.

GRADATION LIMITS - SOIL SHALL BE A SANDY LOAM. THE DEFINITION OF SOIL TEXTURE SHALL BE THE USDA CLASSIFICATION SCHEME. GRAVEL OVER 2 MILLIMETERS IN DIAMETER SHALL BE LESS THAN 20% BY WEIGHT.

PERMEABILITY RATE - HYDRAULIC CONDUCTIVITY RATE SHALL BE NOT LESS THAN ONE INCH PER HOUR NOR MORE THAN 10 INCHES PER HOUR WHEN TESTED IN ACCORDANCE WITH THE USDA HANDBOOK NUMBER 60, METHOD 34B OR OTHER APPROVED METHODS.

FERTILITY - THE RANGE OF THE ESSENTIAL ELEMENTAL CONCENTRATION IN SOIL SHALL BE AS FOLLOWS:

	AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM) DRY WEIGHT BASIS
PHOSPHORUS	2-40
POTASSIUM	40-220
IRON	2-35
MANGANESE	0.3-6
ZINC	0.5-8
COPPER	0.1-5
BORON	0.2-1.0
MAGNESIUM	50-150
SODIUM	0-100
SULFUR	25-500
MOLYBDENUM	0.1-1.0

SOIL MAY NEED TO BE AMENDED AND CONDITIONED TO OPTIMIZE PLANT GROWTH. THE ABOVE LISTED FERTILITY IS FOR SOIL SELECTION.

CONCENTRATION OF NUTRIENTS FOR FINAL ACCEPTANCE

	AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM) DRY WEIGHT BASIS
PHOSPHORUS	15-40
POTASSIUM	125-220
IRON	5-35
MANGANESE	0.6-6
ZINC	1-8
COPPER	0.3-5
BORON	0.2-1.0
MAGNESIUM	50-150
SODIUM	0-100
SULFUR	25-500
MOLYBDENUM	0.1-1.0

ACIDITY - THE SOIL PH RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 21A, USDA HANDBOOK NUMBER 60) SHALL BE 6.5 - 7.9.

SALINITY - THE SALINITY RANGE MEASURED IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 0.5 - 2.5 DS/M.

CHLORIDE - THE MAXIMUM CONCENTRATION OF SOLUBLE CHLORIDE IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 150 MG/L (PARTS PER MILLION).

BORON - THE MAXIMUM CONCENTRATION OF SOLUBLE BORON IN THE SATURATION EXTRACT (METHOD 3A, USDA HANDBOOK NUMBER 60) SHALL BE 1.0 MG/L (PARTS PER MILLION).

SODIUM ADSORPTION RATIO (SAR) - THE MAXIMUM SAR SHALL BE 3 MEASURED PER METHOD 20b, USDA HANDBOOK NUMBER 60.

ALUMINUM - AVAILABLE ALUMINUM MEASURED WITH THE AMMONIUM BICARBONATE/DTPA EXTRACTION SHALL BE LESS THAN 3 PARTS PER MILLION.

SOIL ORGANIC MATTER CONTENT - SUFFICIENT SOIL ORGANIC MATTER SHALL BE PRESENT TO IMPART GOOD PHYSICAL SOIL PROPERTIES BUT NOT BE EXCESSIVE TO CAUSE TOXICITY OR CAUSE EXCESSIVE REDUCTION IN THE VOLUME OF SOIL DUE TO DECOMPOSITION OF ORGANIC MATTER. THE DESIRABLE RANGE IS 3% TO 6% ON A DRY WEIGHT BASIS. THE CARBON:NITROGEN RATIO SHOULD BE ABOUT 10.

CALCIUM CARBONATE CONTENT - FREE CALCIUM CARBONATE (LIMESTONE) SHALL NOT BE PRESENT FOR ACID-LOVING PLANTS.

HEAVY METALS - THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION IN THE SOIL SHALL NOT EXCEED THE FOLLOWING CONCENTRATIONS:

	AMMONIUM BICARBONATE/DTPA EXTRACTION PARTS PER MILLION (MG/KILOGRAM) DRY WEIGHT BASIS
ARSENIC	1
CADMIUM	1
CHROMIUM	10
COBALT	2
LEAD	30
MERCURY	1
NICKEL	5
SELENIUM	3
SILVER	0.5
ZINC	3

IF THE SOIL PH IS BETWEEN 6 AND 7, THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION SHALL BE REDUCED 50%. IF THE SOIL PH IS LESS THAN 6.0, THE MAXIMUM PERMISSIBLE ELEMENTAL CONCENTRATION SHALL BE REDUCED 75%. NO MORE THAN THREE METALS SHALL BE PRESENT AT 50% OR MORE OF THE ABOVE VALUES.

PHYTOTOXIC CONSTITUENT, HERBICIDES, HYDROCARBONS ETC. - GERMINATION AND GROWTH OF MONOCOTS AND DICOTS SHALL NOT BE RESTRICTED MORE THAN 10% COMPARED TO THE REFERENCE SOIL. TOTAL PETROLEUM HYDROCARBONS SHALL NOT EXCEED 50 MG/KG DRY SOIL MEASURED PER THE MODIFIED EPA METHOD NO. 8015. TOTAL AROMATIC VOLATILE ORGANIC HYDROCARBONS (BENZENE, TOLUENE, XYLENE AND ETHYLBENZENE) SHALL NOT EXCEED 0.5 MG/KG DRY SOIL MEASURED PER EPA METHODS NO. 8020.

ORGANIC SOIL AMENDMENT:

- HUMUS MATERIAL SHALL HAVE AN ACID-SOLUBLE ASH CONTENT OF NO LESS THAN 6% AND NO MORE THAN 20%. ORGANIC MATTER SHALL BE AT LEAST 50% ON A DRY WEIGHT BASIS.
- THE PH OF THE MATERIAL SHALL BE BETWEEN 6 AND 7.5.
- THE SALT CONTENT SHALL BE LESS THAN 10 MILLIMO/CM @ 25° C. ON A SATURATED PASTE EXTRACT.
- BORON CONTENT OF THE SATURATED EXTRACT SHALL BE LESS THAN 1.0 PART PER MILLION.
- SILICON CONTENT (ACID-INSOLUBLE ASH) SHALL BE LESS THAN 50%.
- CALCIUM CARBONATE SHALL NOT BE PRESENT IF TO BE APPLIED ON ALKALINE SOILS.
- TYPES OF ACCEPTABLE PRODUCTS ARE COMPOSTS, MANURES, MUSHROOM COMPOSTS, STRAW, ALFALFA, PEAT MOSES ETC. LOW IN SALTS, LOW IN HEAVY METALS, FREE FROM WEED SEEDS, FREE OF PATHOGENS AND OTHER DELETERIOUS MATERIALS.
- COMPOSTED WOOD PRODUCTS ARE CONDITIONALLY ACCEPTABLE [STABLE HUMUS MUST BE PRESENT]. WOOD BASED PRODUCTS ARE NOT ACCEPTABLE WHICH ARE BASED ON RED WOOD OR CEDAR.
- SLUDGE-BASED MATERIALS ARE NOT ACCEPTABLE.
- CARBON:NITROGEN RATIO IS LESS THAN 25:1.
- THE COMPOST SHALL BE AEROBIC WITHOUT MALODOROUS PRESENCE OF DECOMPOSITION PRODUCTS.
- THE MAXIMUM PARTICLE SIZE SHALL BE 0.5 INCH, 80% OR MORE SHALL PASS A NO. 4 SCREEN FOR SOIL AMENDING.

MAXIMUM TOTAL PERMISSIBLE POLLUTANT CONCENTRATIONS IN AMENDMENT IN PARTS PER MILLION ON A DRY WEIGHT BASIS:

ARSENIC	20	COPPER	150	SELENIUM	50
CADMIUM	15	LEAD	200	SILVER	10
CHROMIUM	300	MERCURY	10	VANADIUM	500
COBALT	50	MOLYBDENUM	20	ZINC	300
NICKEL	100				

HIGHER AMOUNTS OF SALINITY OR BORON MAY BE PRESENT IF THE SOILS ARE TO BE PRELEACHED TO REDUCE THE EXCESS OR IF THE PLANT SPECIES WILL TOLERATE THE SALINITY AND/OR BORON.

REVISIONS

NO.	DATE	DESCRIPTION

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cal. contractors lic. #1011989
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SHEET TITLE:
PLANTING PLAN

PROJECT ADDRESS:
TRIWEST DEVELOPMENT
220 29TH STREET
HERMOSA BEACH, CA.

DRAWN
AG
CHECKED
AG
DATE
7.21.25
SCALE
3/16"=1'-0"
JOB NO.

SHEET
L-2

JOSEPH FOURNIER
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REVISED
1
2
3
4
5
PROJECT #
2025 - 15
L2

PLANTING PLAN

