

# A NEW THREE STORY PLUS BASEMENT RESIDENCE: FLUOR RESIDENCE

## 2821 ALMA AVENUE MANHATTAN BEACH, CA. 90266



ARCHITECTURE

2617 N. SEPULVEDA  
MANHATTAN BEACH  
CALIFORNIA 90266

TEL: 310-318-8089  
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### GENERAL NOTES

- 2013 CBC, 2013 CRC, 2013 CMC, 2013 CPC, 2013 CEC, 2013 CGBS, 2008 CEES AND THE CITY OF MANHATTAN BEACH
- AQMD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.
- SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED BY SECTION 1804.1-1804.4 UBC.
- STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.
- INSTALLATION OF INTERIOR AND EXTERIOR WALL AND CEILING COVERINGS SHALL CONFORM TO CHAPTER 25 UBC.
- ALL WATER CLOSETS TO FLUSH WITH 1.6 GALLON MAX. (CPC 402.1, 402.2)
- ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE.
- PROVIDE APPROVED BACKWATER VALVE FOR ALL PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE NEXT UPSTREAM MANHOLE COVER. FIXTURES ABOVE SUCH ELEVATION SHALL NOT DISCHARGE THROUGH THE BACKWATER VALVE. PROVIDE CAST IRON WASTE PIPING RISERS.
- ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.
- WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD), (714)396-2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.
- ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.
- GARAGE TO BE FULLY SPRINKLERED.
- PROVIDE DRIP PAN OR SIMILAR DEVICE FOR LAUNDRY ROOM, WATER HEATER, AND DISHWASHER.
- PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.
- THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE.
- IAPMO APPROVAL REQUIRED FOR ONE PIECE LAVATORY.
- POST INSULATION COMPLIANCE CARD IN CONSPICUOUS LOCATION IN DWELLING PRIOR TO FINAL INSPECTION.
- IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.
- CONTROL VALVE FOR SHOWERS AND TUB/SHOWERS SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. UPC, SECT. 410.7.
- VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING PERMIT IS ISSUED.
- GARAGE DOOR EXTENSION SPRINGS SHALL BE FABRICATED FROM EITHER HAND DRAWN - SPRING WIRE (ASTM. A227-21) OR OIL-TEMPERED WIRE (ASTM. A229-71) AND INSULATED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTION. (CBC. 1211)
- DESIGN STANDARDS. MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES. (ONE CYCLE IS EQUAL TO DOOR OPENING PLUS DOOR CLOSING AT MAXIMUM WORKING LOAD). (CBC. 1211.2)
- PHYSICAL CYCLING TESTS OF EACH EXTENSION SPRING DESIGN AND CONTAINMENT DEVICES SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY. (CBC. 1211.3)
- EACH EXTENSION SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. (CBC. 1211.4)
- CERTIFICATE OF INSTALLATION (CF2R-ENV, CF2R-LTG AND CF2R-MECH) SHALL BE COMPLETED BY THE APPLICABLE CONTRACTORS INSTALLING ENERGY FEATURES. WHEN COMPLIANCE REQUIRES HERS FIELD VERIFICATION AND OR TESTING, ALL CF2R FORMS SHALL BE SUBMITTED ELECTRONICALLY TO AN APPROVED HERS PROVIDER DATA REGISTRY. THE CF2R FORMS SHALL BE POSTED AT THE JOB SITE IN A CONSPICUOUS LOCATION.
- CERTIFICATE OF VERIFICATION (CF3R) SHALL BE COMPLETED, REGISTERED AND SIGNED/ CERTIFIED BY THE HERS RATER. THE REGISTERED CF3R FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUILDING.

### SEPARATE PERMIT

CONTRACTOR TO SUBMIT SEPARATE PERMIT APPLICATIONS FOR SHORING, GRADING, DEMOLITION, FIRE SPRINKLER SYSTEM, HYDROLOGY CALCULATIONS & ENCROACHMENT

### PUBLIC WORKS NOTES

- ALL LANDSCAPE IRRIGATION BACKFLOW DEVICES MUST MEET CURRENT CITY REQUIREMENTS FOR PROPER INSTALLATION.
- NO DISCHARGE OF CONSTRUCTION WASTEWATER, BUILDING MATERIALS, DEBRIS, OR SEDIMENT FROM THE SITE IS PERMITTED. NO REFUSE OF ANY KIND GENERATED ON A CONSTRUCTION SITE MAY BE DEPOSITED IN RESIDENTIAL, COMMERCIAL, OR PUBLIC REFUSE CONTAINERS AT ANY TIME. THE UTILIZATION OF WEEKLY REFUSE COLLECTION SERVICE BY THE CITY'S HULLER FOR ANY REFUSE GENERATED AT THE CONSTRUCTION SITE IS STRICTLY PROHIBITED. FULL DOCUMENTATION OF ALL MATERIALS/TRASH LANDFILLED AND RECYCLED MUST BE SUBMITTED TO THE PERMITS DIVISION IN COMPLIANCE OF THE CITY'S CONSTRUCTION AND DEMOLITION RECYCLING ORDINANCE.
- A CLAY 6" PROPERTY LINE CLEANOUT MUST BE INSTALLED ON A CLAY 6" SANITARY SEWER LATERAL. IF THERE IS NO 6" SEWER LATERAL, THEN A NEW ONE MUST BE INSTALLED. THE PROPERTY LINE CLEANOUT MUST STAY WITHIN THE JOB SITES PROPERTY LINES. SEE CITY STANDARD PLAN ST-5. CLEANOUT MUST BE ADDED TO THE SITE PLAN.
- A BACKWATER VALVE IS REQUIRED ON THE SANITARY SEWER LATERAL IF THE DISCHARGES FROM THE FIXTURES WITH FLOOD LEVEL RIMS ARE LOCATED BELOW THE NEXT UPSTREAM MANHOLE COVER OF THE PUBLIC SEWER. SEE CITY STANDARD PLAN ST-24. MUST BE SHOWN ON THE PLAN IF APPLICABLE.
- IF ANY EXISTING 6" SEWER LATERAL IS USED, IT MUST BE TELEVIEWED TO CHECK ITS STRUCTURAL INTEGRITY. THE TAPE MUST BE MADE AVAILABLE FOR REVIEW BY THE PUBLIC WORKS DEPARTMENT. THE PUBLIC WORKS DEPARTMENT WILL REVIEW THE TAPE AND DETERMINE AT THAT TIME IF THE SANITARY LATERAL NEEDS REPAIRING, REPLACED, OR THAT IT IS STRUCTURALLY SOUND AND CAN BE USED IN ITS PRESENT CONDITION.
- ANY UNUSED WATER OR SANITARY SEWER LATERALS MUST BE ABANDONED AT THE CITY MAIN.
- RESIDENTIAL PROPERTIES MUST PROVIDE AN ENCLOSED STORAGE AREA FOR REFUSE CONTAINERS. THESE AREAS MUST BE CONSTRUCTED TO MEET THE REQUIREMENTS OF M.B.M.C. 5 24.030. THE AREA MUST BE SHOWN IN DETAIL ON THE PLANS BEFORE A PERMIT IS ISSUED. SEE SHEET A.01.
- THE SIDEWALK MUST BE REPLACED FROM THE SOUTH PROPERTY LINE TO THE NORTH PROPERTY LINE AND SHOWN ON THE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ALL STREET SIGNS, STREET LAMPS/LIGHTS, PARKING METERS, AND OR TREES AROUND THE PROPERTY. IF THERE ARE DAMAGED, LOST OR REMOVED, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE THEM AT THE CONTRACTORS EXPENSE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ANY STREET MARKINGS THAT ARE DAMAGED OR REMOVED BY THE CONTRACTORS OPERATIONS. CONTACT THE PUBLIC WORKS INSPECTOR FOR SPECIFICATIONS AND SUPPLIERS.
- THE BACK OF DRIVEWAY APPROACH MUST BE SIX INCHES HIGHER THAN THE FLOW LINE ON THE STREET. M.B.M.C. 9.76.050.
- SIDEWALK, DRIVEWAY, CURB, AND GUTTER REPAIRS OR REPLACEMENT MUST BE COMPLETED PER PUBLIC WORKS SPECIFICATIONS. SEE CITY STANDARD PLANS ST-1, ST-2, AND ST-3. THE PLANS MUST HAVE A PROFILE OF THE DRIVEWAY, PERCENTAGE (%) OF SLOPE ON DRIVEWAY, AND DRIVEWAY ELEVATIONS FOR EACH SIDE AND THE MIDDLE. IN THE CASE WHERE THE GARAGE LEVEL IS BELOW THE STREET DRAINAGE FLOW LINES, THE COMBINED SLOPE OF PUBLIC AND PRIVATE APPROACH SHALL NOT EXCEED 15%. PLANS/SURVEY MUST SHOW ELEVATIONS FOR EACH ADJOINING PROPERTY. NO DEVIATIONS IN ELEVATIONS BETWEEN PROPERTIES OF MORE THAN 1/4".
- WATER METERS MUST REMAIN ACCESSIBLE FOR METER READERS DURING CONSTRUCTION. WATER METER SHALL BE PLACED NEAR THE PROPERTY LINE AND OUT OF THE DRIVEWAY APPROACH WHENEVER POSSIBLE. WATER METER LOCATION MUST BE SHOWN ON THE PLANS.
- THE WATER METER BOX MUST BE PURCHASED FROM THE CITY, AND MUST HAVE A TRAFFIC RATED LID IF THE BOX IS LOCATED IN THE DRIVEWAY.
- IF ANY PARKWAY TREES ARE REMOVED, THEY MUST BE REPLACED WITH TREES SELECTED FROM THE CITY'S APPROVED PARKWAY TREE LIST, AND PLANTED IN ROOT BARRIER BOXES.
- EROSION AND SEDIMENT CONTROL DEVICES BMP'S (BEST MANAGEMENT PRACTICES) MUST BE IMPLEMENTED AROUND THE CONSTRUCTION SITE TO PREVENT DISCHARGES TO THE STREET AND ADJACENT PROPERTIES. BMP'S MUST BE IDENTIFIED AND SHOWN ON THE PLAN. CONTROL MEASURES MUST ALSO BE TAKEN TO PREVENT STREET SURFACE WATER ENTERING THE SITE.
- ALL STORM WATER, NUISANCE WATER, ETC. DRAIN LINES INSTALLED WITHIN THE STREET RIGHT OF WAY MUST BE CONSTRUCTED OF DUCTILE IRON PIPE. DRAINS MUST BE SHOWN ON PLANS.
- ALL RUNOFF WATER FROM THE ROOF AND SIDE YARDS AND PATIOS MUST DISCHARGE ONTO MANHATTAN AVENUE. DRAINS MUST BE SHOWN ON THE PLANS.
- PLAN HOLDER MUST HAVE THE PLANS RECHECKED AND STAMPED FOR APPROVAL BY THE PUBLIC WORKS DEPARTMENT BEFORE THE BUILDING PERMIT IS ISSUED.
- PUBLIC WORKS CORRECTIONS: MUST SHOW DRIVEWAY ELEVATION POINTS AT BOTH EDGES AND AT THE CENTER OF DRIVEWAY. IT MUST SHOW FROM THE CENTER LINE OF THE STREET TO THE CURB FLOW LINE AND FROM THE CURB FLOW LINE TO THE GARAGE FLOOR FINISH GRADE.
- IT SHALL BE THE DUTY OF EVERY PERSON CUTTING OR MAKING AN EXCAVATION IN OR UPON ANY PUBLIC PLACE, TO PLACE AND MAINTAIN BARRIERS AND WARNING DEVICES FOR THE SAFETY OF THE GENERAL PUBLIC. M.B.M.C. 17.16.80. IF ANY EXCAVATION IS MADE ACROSS ANY PUBLIC STREET, ALLEY, OR SIDEWALK. ADEQUATE CROSSINGS SHALL BE MAINTAINED FOR VEHICLES AND PEDESTRIANS. M.B.M.C. 17.16.100.

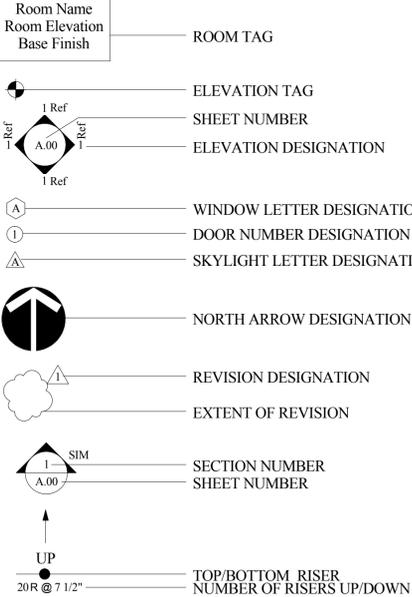
### SHORING NOTES & EXCAVATION NOTES

- PROVIDE CONTINUOUS INSPECTION DURING EXCAVATION OF SHORING AND INSTALLATION OF SHORING MEMBERS. (MBMC 9.01.070)
- AN EXCAVATION/CONSTRUCTION PERMIT SHALL BE OBTAINED PRIOR TO CONSTRUCTION OF ANY IMPROVEMENTS WITHIN PUBLIC RIGHT-OF-WAY. THIS INCLUDES, BUT IS NOT LIMITED TO, STANDARD SIDEWALKS, CURBS, GUTTERS, DRIVEWAY APPROACHES, OR UNDERGROUNDING OF UTILITIES.
- CONTRACTOR TO PROVIDE EVIDENCE OF PERMIT FROM CALIFORNIA STATE DEPARTMENT OF INDUSTRIAL SAFETY FOR EXCAVATION 5'-0" OR DEEPER. CALL 213.736.3041.
- IT IS THE CONTRACTORS RESPONSIBILITY TO CONTACT "DIG ALERT" PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. (800) 227-2600
- PROVIDE TEMPORARY SHORING OF ADJACENT PROPERTY. QUALIFIED PERSONS REGISTERED WITH THE STATE SHALL DESIGN SHORING. H.B.
- A PERMIT IS REQUIRED FROM THE STATE DIVISION OF INDUSTRIAL SAFETY FOR TRENCHES OR EXCAVATION 5' (1.52 METERS) OR DEEPER OR BUILDING/STRUCTURE OVER 3 STOREY HIGH, OR BUILDING OVER 36' (11 METERS) HIGH. H.B.
- SEE SHT SP-03 FOR GEOTECHNICAL INFORMATION PER NORCAL ENGINEERING

### PLANNING NOTES

- ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INDICATED ON SITE/PLOT PLAN.
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.
- FENCE, WALL, HANDRAIL HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE A MAXIMUM OF 42" IN THE FRONT YARD SETBACK, AND 72" AT ALL OTHER LOCATIONS ON SITE. (36" IF OBSTRUCTING DRIVEWAY VISIBILITY, COMBINED RETAINING AND FREE STANDING WALL).
- PROVIDE STREET ADDRESS LETTERS AT A MINIMUM 4" INCHES IN HEIGHT @ APPROVED LOCATION.
- PARKING IS NOT PERMITTED IN REQUIRED YARDS OR OPEN SPACE EXCEPT A 20' WIDE FRONT YARD DRIVEWAY.
- A 'CAPPED TEE' FITTING MUST BE INSTALLED OVER THE COLD WATER SUPPLY LINE ABOVE THE WATER HEATER FOR FUTURE SOLAR WATER HEATING. P&T RELIEF VALVE SHALL TERMINATE OUTSIDE THE BUILDING.
- ROUTE UNDERGROUND CONDUIT TO POWER POLE PER PUBLIC WORKS DEPARTMENT HANDOUT ST-13. STUB OUT TO PROPERTY LINE FOR FUTURE UNDERGROUNDING OF UTILITIES WHEN APPLICABLE.
- PROVIDE VISUAL SCREENING FOR PROPOSED MECHANICAL EQUIPMENT AND UTILITY METERS (TOP NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF DWELLING).
- GAS AND ELECTRIC METERS MUST CLEAR PROPERTY LINES BY 3'-0".
- CONTRACTOR TO CHECK CITY RECORDS TO DETERMINE EXISTENCE OF CESSPOOL ON PROPERTY. IF THERE IS AN EXISTING CESSPOOL, IT MUST BE LOCATED AND THEN INSPECTED BY CITY PERSONNEL BEFORE DEMOLITION OR BUILDING PERMITS CAN BE ISSUED.
- CHIMNEYS MAY EXCEED THE MAXIMUM PERMITTED HEIGHT BY NO MORE THAN 5 FEET, PROVIDED THE LENGTH AND WIDTH OF THE CHIMNEY PORTION EXCEEDING THE HEIGHT LIMIT SHALL NOT EXCEED 3 FEET IN WIDTH AND 5 FEET IN LENGTH.
- PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, ROOF EQUIPMENT, MUST BE WITHIN THE MAXIMUM ALLOWABLE HEIGHT LIMIT.
- AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD ADJOINING A STREET SHALL BE PLANTING AREA (MBMC10.12.030.0). SEE SITE PLAN.
- ALL UTILITY AND EQUIPMENT LOCATIONS, INCLUDING FIRE SPRINKLER CHECK VALVES, ELECTRIC AND WATER METERS, UTILITY CABINETS, ETC. AND ANY REQUIRED PROTECTIVE POLES. (NOTE: UBC AND SCE REQUIRE THAT ELECTRIC BOXES MUST PROVIDE 3 FEET CLEAR TO ANY OBSTRUCTION, AND IF LOCATED ADJACENT TO A PARKING AREA PROTECTIVE BARRIERS 3 FEET AWAY FROM THE BOX IS REQUIRED. PROTECTIVE BARRIERS MAY NOT ENCROACH INTO THE REQUIRED PARKING OR VEHICLE MANEUVERING AREA.)

### SYMBOL LEGEND



### ABBREVIATION

A.H.	ACTUAL HEIGHT
A.W.	AWNING WINDOW
B.O.W.	BOTTOM OF WALL
C.H.	CRITICAL HEIGHT
CL.G.	CEILING
CLR.	CLEAR
COL.	COLUMN
CONC.	CONCRETE
C.W.	CASEMENT WINDOW
DM.	DIMENSION
DN.	DOWN
ELEV.	ELEVATION
F.A.	FROM ABOVE
F.L.R.	FLOOR
FX	FIXED
HORIZ.	HORIZONTAL
HT.	HEIGHT
LAND.	LANDING
L.T.WT.	LIGHT WEIGHT CONCRETE
MAX.	MAXIMUM
MIN.	MINIMUM
OP.	OPERABLE
PL.	PROPERTY LINE
REQ.	REQUIRED
SECT.	SECTION
S.F.E.	SUB FLOOR ELEVATION
SHT.	SHEET
SK.	SKWEVED
SL.	SLOPED
T.O.W.	TOP OF WALL

### PROJECT DATA

#### PROPERTY OWNERS

JACK AND PAMELA FLUOR  
2821 ALMA AVENUE  
MANHATTAN BEACH, CA 90266

#### LEGAL DESCRIPTION

LOT 1  
BLOCK 23  
TRACT 3427  
M.B. 41-54  
APN 4176-019-001

#### OCCUPANCY AND ZONING

OCCUPANCY: R3/U  
ZONING: RM  
CONSTRUCTION TYPE: V-B FULLY-SPRINKLERED  
AREA DISTRICT: III  
NUMBER OF UNITS: 1  
NUMBER OF STORIES: 3+ BASEMENT  
AUTOMATIC FIRE SPRINKLERS REQUIRED FOR ENTIRE BUILDING PER CRC SECT. R313.2

#### CITY, STATE, NATIONALLY APPLICABLE CODES

2013 CRC, 2013 CBC, 2013 CMC, 2013 CPC, 2013 CEC, STATE OF CALIFORNIA, AND THE CITY OF MANHATTAN BEACH

#### AREA CALCULATIONS

LOT SIZE: 2,702 SF

BASEMENT FLOOR LIVING: 809 SF  
FIRST FLOOR LIVING: 822 SF  
SECOND FLOOR LIVING: 1761 SF  
THIRD FLOOR LIVING: 1181 SF  
TOTAL LIVING: 4573 SF

GARAGE FLOOR: 700 SF  
BALCONIES/DECKS: 743 SF  
STORAGE/ELEVATORS: 171 SF

#### HEIGHT CALCULATIONS

93.81' NW + 97.69' NE + 90.57' SW + 94.17' SE = 376.24'

376.24' / 4 = 94.06'  
94.06' + 30' = 124.06'

MAXIMUM ALLOWABLE HEIGHT = 124.06'  
ACTUAL HEIGHT =

#### BUILDABLE FLOOR AREA CALCS.

MAXIMUM ALLOWABLE B.F.A.: 2,702 SF X 1.6 = 4,323 SF  
ACTUAL B.F.A.  
GARAGE AREA OVER 600 S.F. = 100 (ENTIRELY BELOW GRADE)  
BASEMENT FLOOR 0SF  
FIRST FLOOR 822SF  
SECOND FLOOR 1761SF  
THIRD FLOOR 1181SF  
TOTAL B.F.A. 3864SF

#### OPEN SPACE CALCS.

OPEN SPACE REQUIRED: ACTUAL B.F.A 4844SF X 15% = 726 SF

OPEN SPACE PROVIDED: 726SF

FIRST FLOOR 339SF  
SECOND FLOOR 0SF  
THIRD FLOOR 263SF  
TOTAL OPEN SPACE PROVIDED 726SF

### CONSULTANTS CIVIL CONSULTANT

DENN ENGINEERS  
3914 DEL AMO BLVD, SUITE 921,  
TORRANCE, CA 90503  
T. 310.542.9433

### STRUCTURAL CONSULTANT

NAME  
ADDRESS  
CITY, STATE, ZIP

### GEO-TECHNICAL CONSULTANT

NORCAL ENGINEERING  
10641 HUMBOLT STREET,  
LOS ALAMITOS, CA 90720  
T. 562.799.9469

### ENERGY CONSULTANT

NAME  
ADDRESS  
CITY, STATE, ZIP

### INTERIOR DESIGNER

NAME  
ADDRESS  
CITY, STATE, ZIP

### LIGHTING CONSULTANT

NAME  
ADDRESS  
CITY, STATE, ZIP

### SHEET INDEX

SHEET #	SHEET NAME
A.01.2	ENCROACHMENT PLAN
A.2.1	FIRST FLOOR PLAN
A.3.1	THIRD FLOOR PLAN
E.01	BASEMENT & FIRST FLOOR ELECTRICAL PLAN
R.01	BASEMENT & FIRST REFLECTED CEILING PLAN
R.02	SECOND & THIRD REFLECTED CEILING PLAN
S.01	FOUNDATION FRAMING PLAN
S.02	FIRST & SECOND FLOOR FRAMING PLAN
S.03	THIRD FLOOR & ROOF FRAMING PLAN

#### G.00 PROJECT INFORMATION

#### C.01 CIVIL SURVEY

A.01	SITE PLAN
A.02	BASEMENT
A.03	SECOND PLAN
A.04	ROOF PLAN
A.05	ELEVATIONS
A.06	ELEVATIONS
A.08	SECTIONS
A.09	SECTIONS

#### PROJECT

**FLUOR RESIDENCE**  
2821 ALMA AVENUE  
MANHATTAN BEACH  
CA 90266

#### STAMP

#### REVISIONS

Revision Schedule		
Number	Description	Date

#### PROJECT NUMBER

15027

#### PRINT DATE

7/12/2016 4:58:13 PM

#### DRAWING

PROJECT INFORMATION

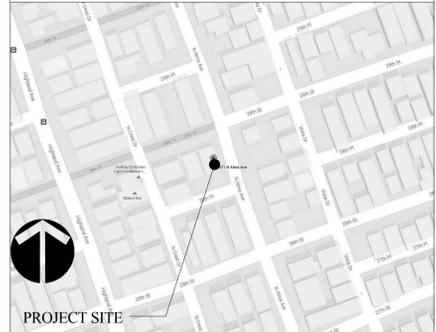
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#### SHEET NUMBER

G.00

### VICINITY MAP



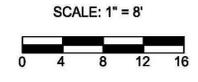
MANHATTAN BEACH, CA

**LEGEND**

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- +108.78 EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BCR BEGINNING OF CURB RETURN
- CL CENTERLINE
- ELY EASTERLY
- EM ELECTRIC METER
- FD FOUND
- FF FINISH FLOOR
- FH FIRE HYDRANT
- FL FLOW LINE
- GFF GARAGE FINISH FLOOR
- GM GAS METER
- GW GUY WIRE
- L&T LEAD AND TAG
- MH MANHOLE
- NLY NORTHERLY
- PC PROPERTY CORNER / PROP. CORNER
- PL, PL PROPERTY LINE / PROP. LINE
- PP POWER POLE
- S&W SPIKE AND WASHER
- SLY SOUTHERLY
- SPK SPIKE
- SSCO SANITARY SEWER CLEAN OUT
- SSMH SANITARY / SEWER MANHOLE
- STK STAKE
- STLT STREET LIGHT
- TC TOP OF CURB
- TW TOP OF WALL
- TX TOP OF DRIVEWAY APRON
- WLY WESTERLY
- WM WATER METER

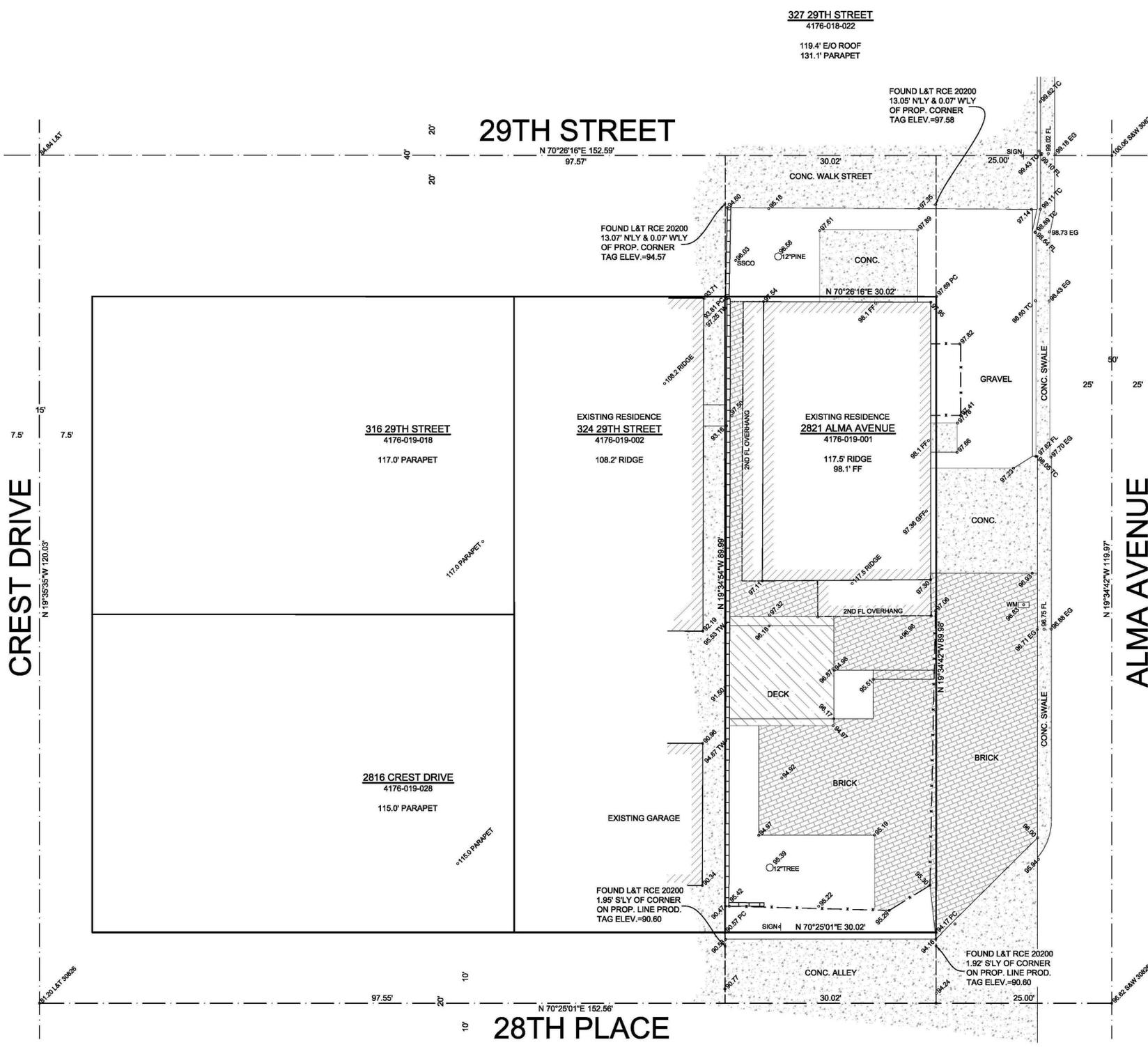
NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT: (310) 542-8433, M-F 8:00 AM TO 5:00 PM.



**JOB ADDRESS**  
2821 N. ALMA AVENUE  
MANHATTAN BEACH, CA.

**LEGAL DESCRIPTION**  
LOT 1, BLOCK 23  
TRACT NO. 3427  
M.B. 41-54  
APN 4176-019-001



**NOTE:**  
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

USA NATIONAL TITLE COMPANY, INC.  
ORDER NO. 071532983-30  
DATED JUNE 3, 2015

**PRELIMINARY HEIGHT SURVEY**  
FOR  
PAMELA & JACK FLUOR  
204 MARINE AVENUE  
MANHATTAN BEACH, CA 90266  
713-256-4216

DATE 6-29-15

DRAWN BY: M.W. CHECKED BY: M.W. REV

ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT WRITTEN CONSENT OF DENN ENGINEERS SHALL RELIEVE DENN ENGINEERS FROM ANY LIABILITY OR DAMAGE RESULTING FROM SUCH CHANGES OR MODIFICATIONS, INCLUDING ANY ATTORNEYS FEES OR COSTS INCURRED IN ANY PROCEEDING THAT DENN ENGINEERS MAY BE JOINED.

GARY J. ROEHL R.C.E. 30826

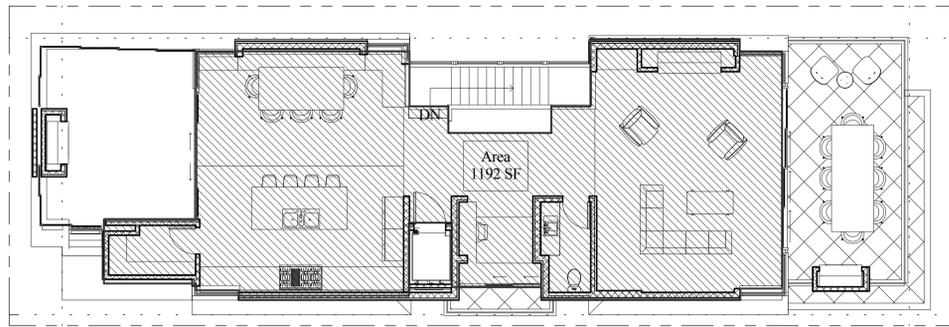
**DENN**  
ENGINEERS

JOB NO.  
15-332

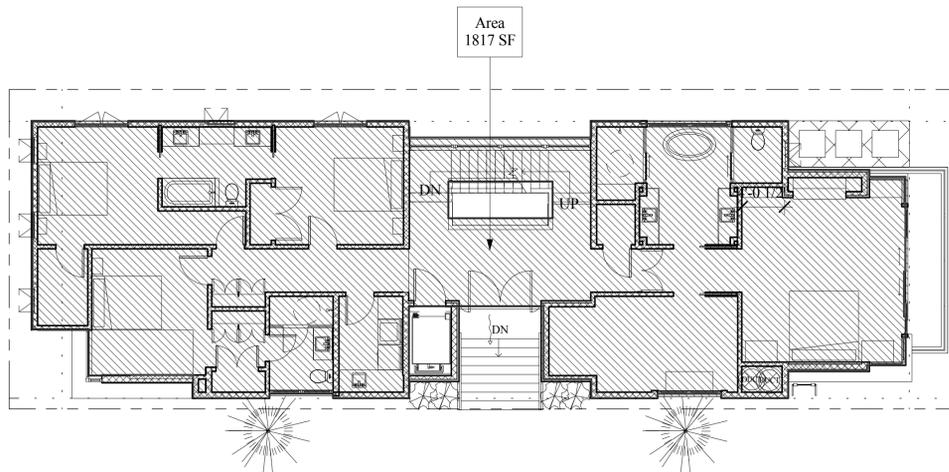
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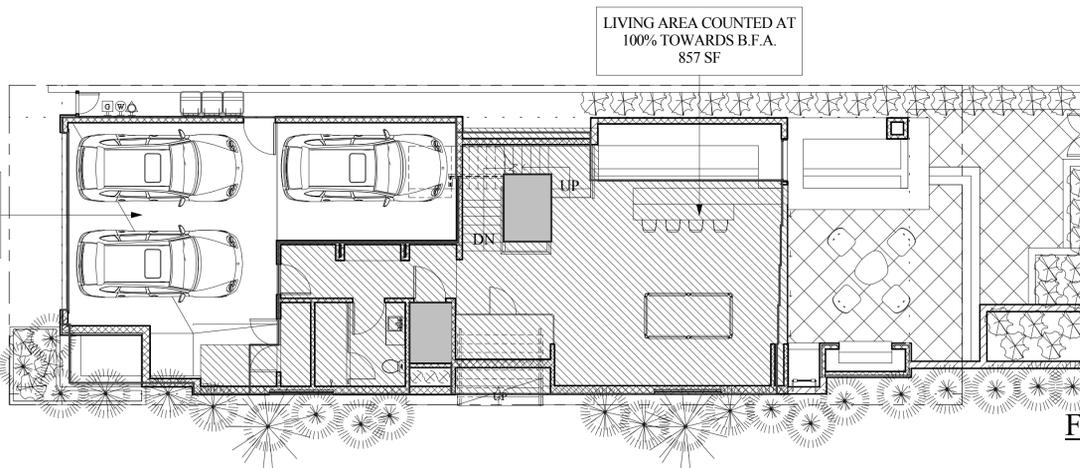
3914 DEL AMO BLVD, SUITE 921 • TORRANCE, CA 90503 • (310) 542-9433



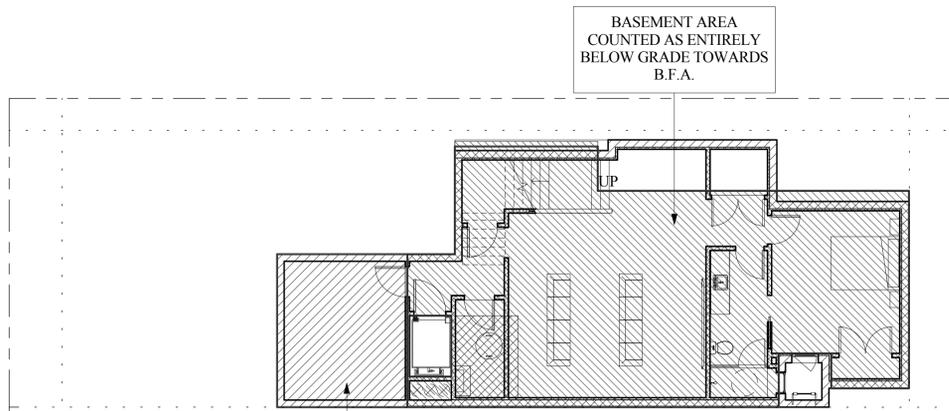
**THIRD FLOOR**  
SCALE: 1/8" = 1'-0"



**SECOND FLOOR**  
SCALE: 1/8" = 1'-0"



**FIRST FLOOR**  
SCALE: 1/8" = 1'-0"



STORAGE AREA COUNTED  
AS ENTIRELY BELOW  
GRADE TOWARDS B.F.A.

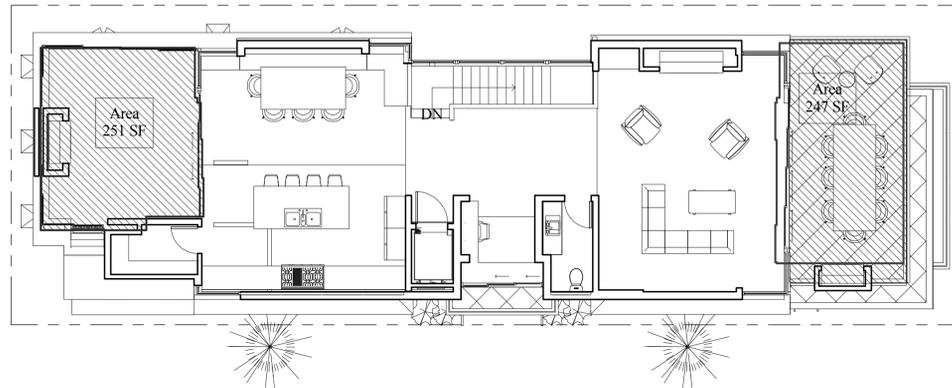
**BASEMENT**  
SCALE: 1/8" = 1'-0"



LIVING AREA: **4,824.73 SQ. FT.**  
GARAGE AREA OVER 600: **90 SQ. FT.**  
STORAGE AREA: **194.61 SQ. FT.**

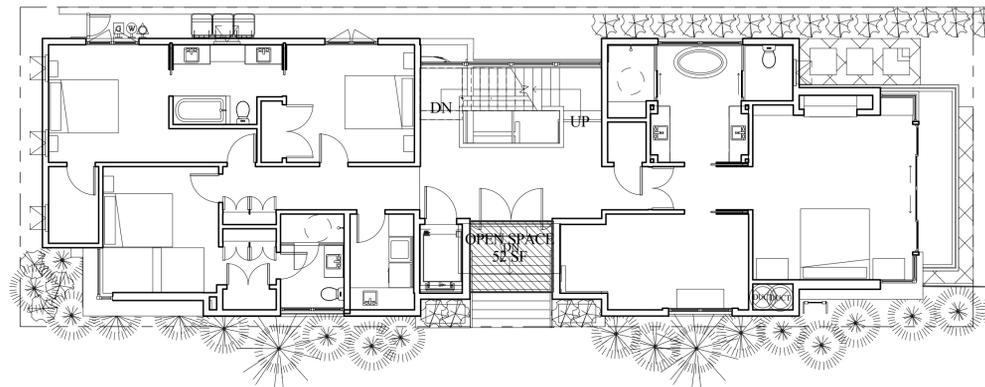
TOTAL AREA: **5,109.34 SQ. FT.**  
OPEN SPACE= **755 SQ. FT**

Revision Schedule		
Number	Description	Date



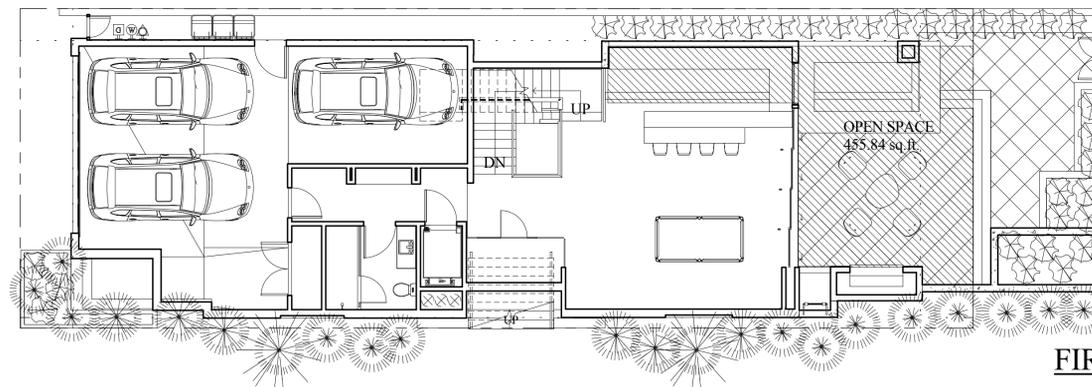
**THIRD FLOOR**

SCALE: 1/8" = 1'-0"



**SECOND FLOOR**

SCALE: 1/8" = 1'-0"

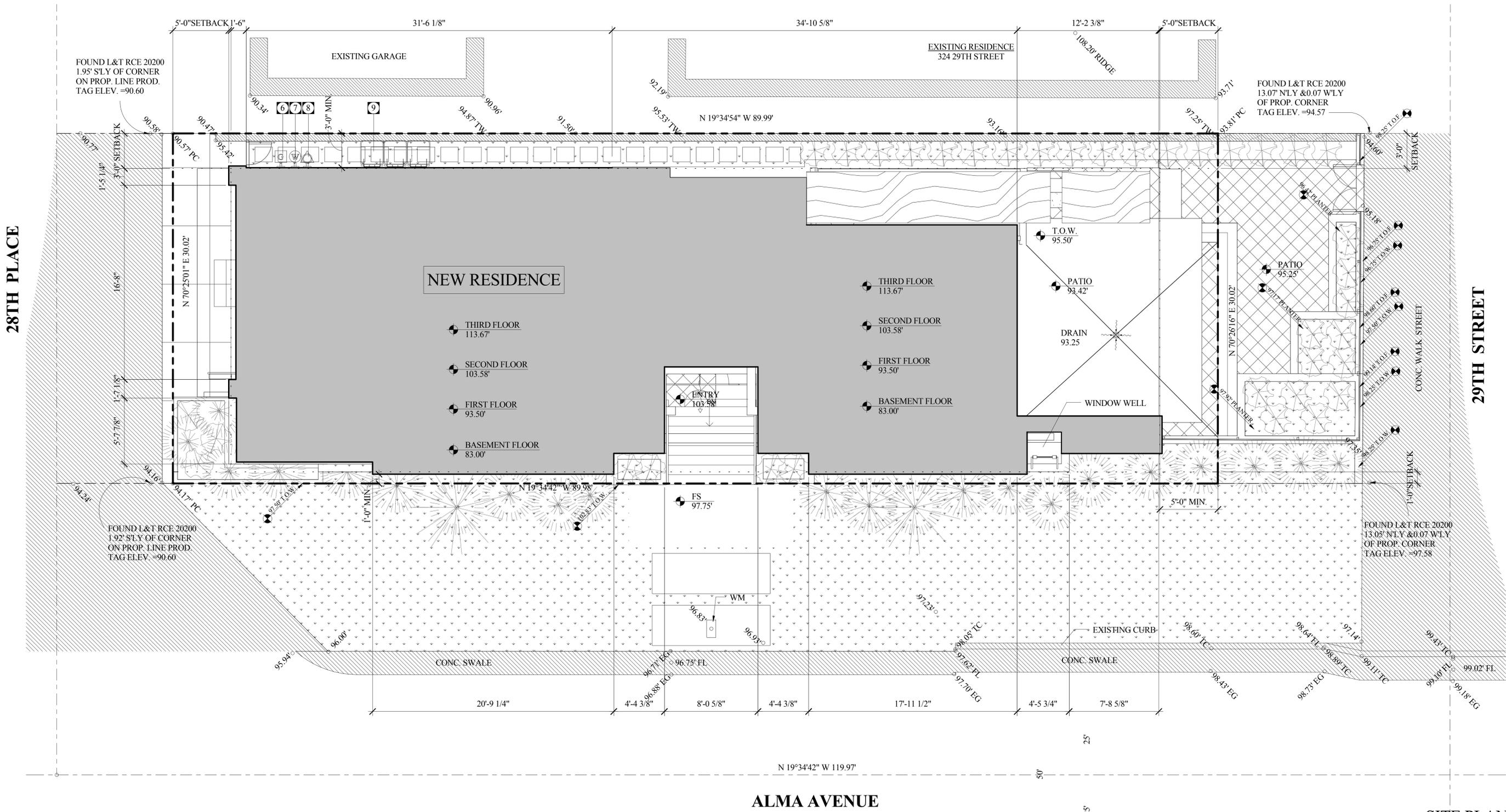


**FIRST FLOOR**

SCALE: 1/8" = 1'-0"

LIVING AREA: **4,824.73 SQ. FT.**  
GARAGE AREA OVER 600: **90 SQ. FT.**  
STORAGE AREA: **194.61 SQ. FT.**

TOTAL AREA: **5,109.34 SQ. FT.**  
OPEN SPACE= **640 SQ. FT**

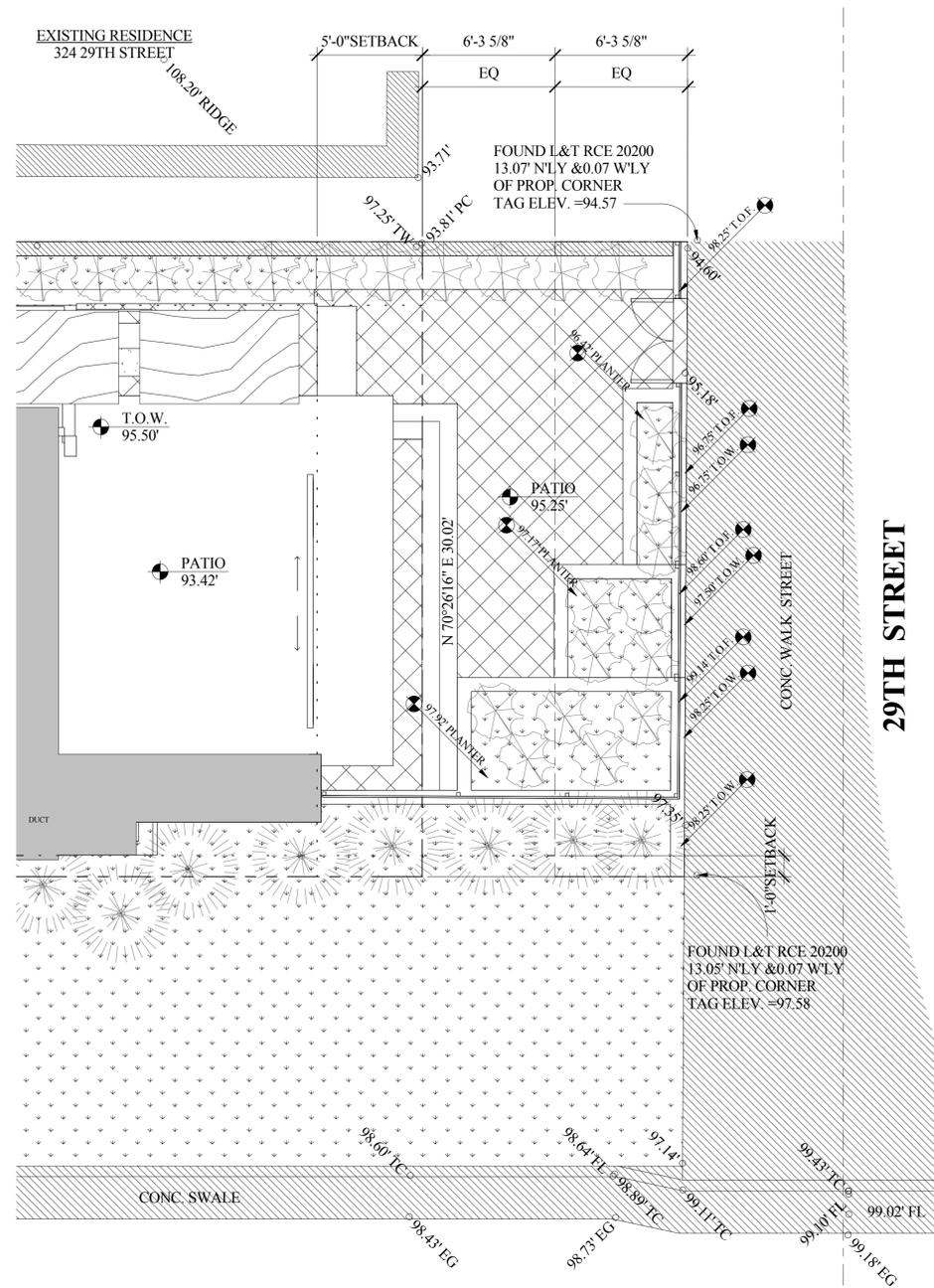


**SITE PLAN**  
SCALE: 1/4" = 1'-0"

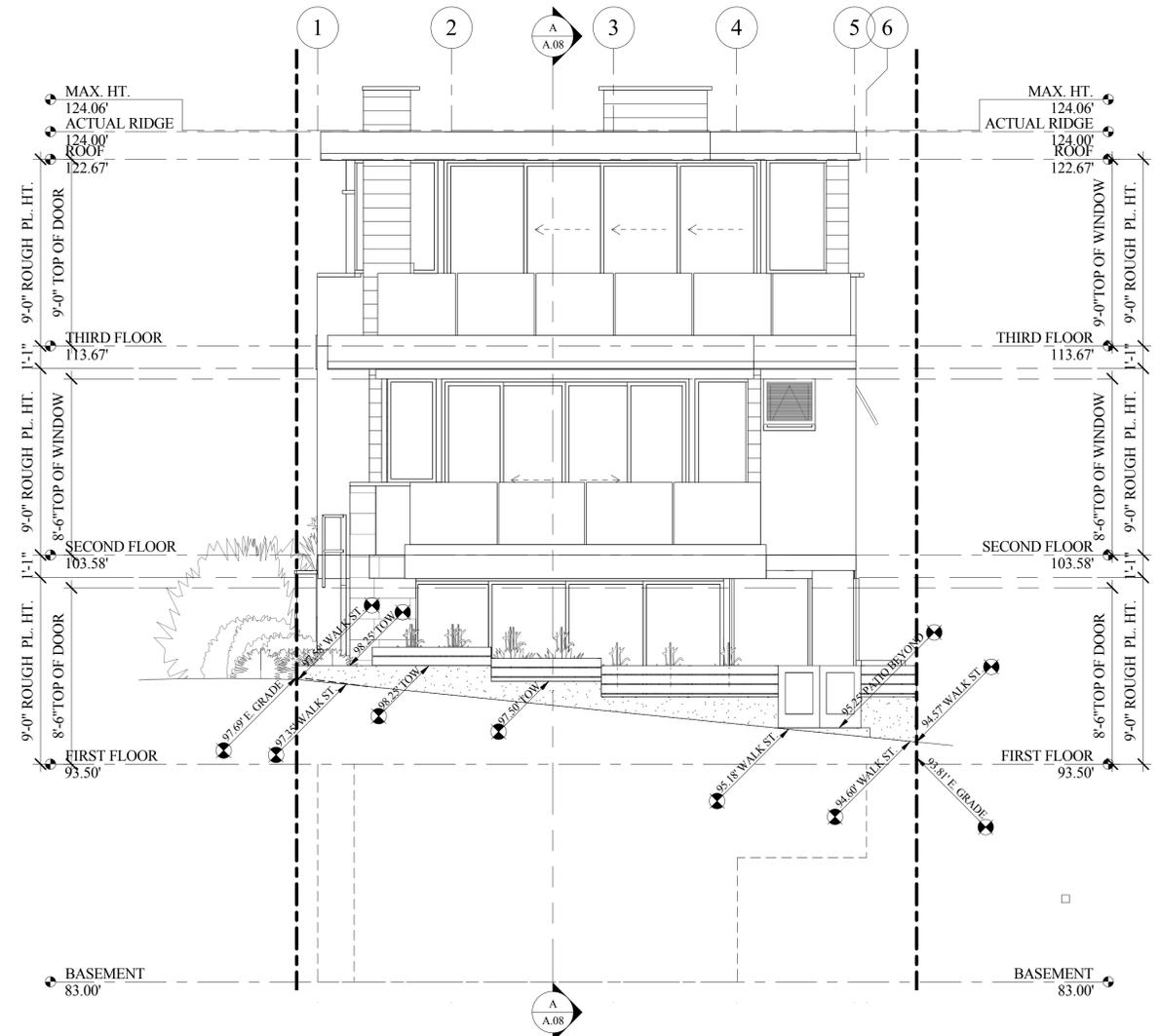
28TH PLACE

29TH STREET

ALMA AVENUE

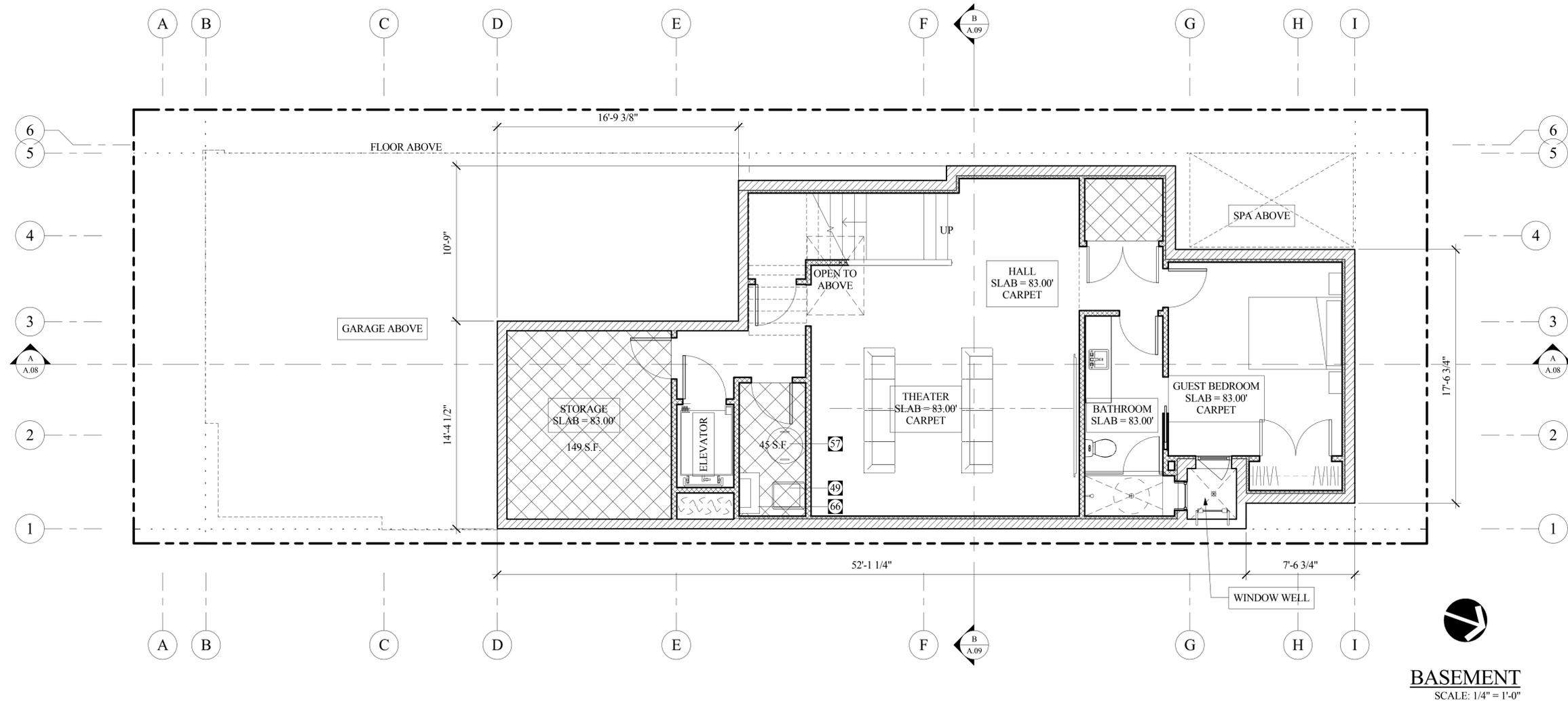


29TH STREET



**ENCROACHMENT NOTE**

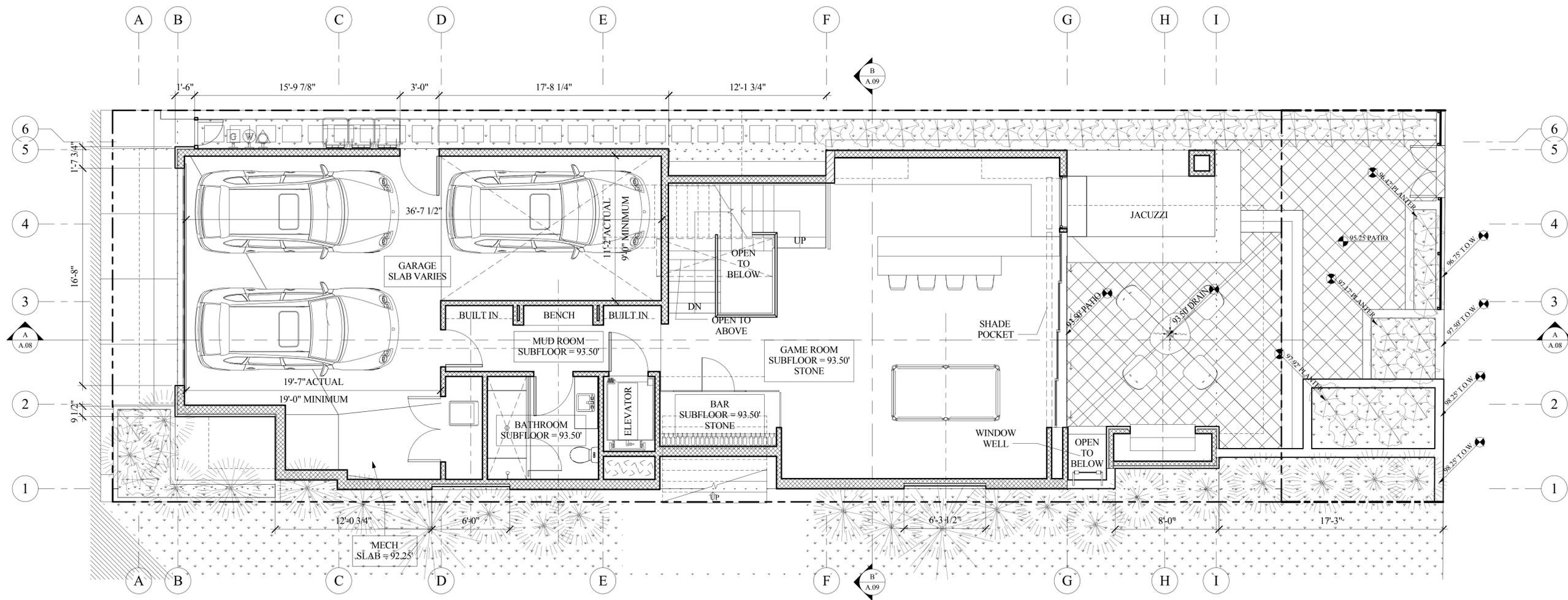
- ALL PLANT MATERIALS IN THE PLANED LANDSCAPE AREA SHALL NOT BE HAZARDOUS TO HEALTH AND SAFETY, SUCH AS PLANTS THAT CONTAIN THORNS, SPINES, TOXIC FRUITS OR LEAVES, AND THOSE THAT DROP EXCESSIVE SLIPPERY FRUITS AND FLOWERS, AND SURFACE ROOTING.
- ALL LANDSCAPE AREAS SHALL BE ON A FULLY AUTOMATED IRRIGATION SYSTEM SUPPLIED BY THE HOME OWNER.
- ALL WORKMANSHIP AND MATERIALS SHALL CONFORM WITH LOCAL BUILDING, PLUMBING, AND ALL OTHER APPLICABLE CODES HAVING JURISDICTION.
- HEIGHTS OF WALLS, FENCES, AND ALL OTHER ELEMENTS SHALL COMPLY WITH CITY ENCROACHMENT REGULATIONS.
- UTILITIES AND VISUAL OBSTRUCTIONS SHALL GENERALLY BE AVOIDED SO AS TO MAINTAIN ACCESS TO UNDERGROUND UTILITIES AND TO PROTECT VISTAS FROM NEIGHBORING PROPERTIES.
- PLANT MATERIALS SHALL NOT EXCEED 42" IN HEIGHT. TREES AND SHRUBS MAY BE PERMITTED IN CONJUNCTION WITH AN APPROVED LANDSCAPE PLAN.
- PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY-SIGNED INSURANCE ENDORSEMENT FROM #1(GENERAL) TO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO FINAL INSPECTION.



**BASEMENT**  
SCALE: 1/4" = 1'-0"

**GARAGE NOTE:**

1. PROVIDE 5/8" TYPE-X DRYWALL @ WALLS AND CEILING OF GARAGE AND STORAGE AREAS BELOW STAIRS.
2. PROVIDE FIRE SPRINKLERS PER MANHATTAN BEACH. CONTRACTOR TO SUBMIT PLAN TO MANHATTAN BEACH FIRE DEPT. FOR APPROVAL.
3. AUTOMATIC GARAGE DOOR OPENER EQUIPMENT AND THE GARAGE DOOR ENTRANCE MAY BE 6'-8" A.F.F.
4. REQUIRED PARKING AREA IS TO BE 9'X19' AND 9'X36' CLR. OF ANY OBSTRUCTIONS NOT LESS THAN 7' ABOVE FINISH FLOOR TO ANY BEAM, CEILING, PIPE, VENT, MECHANICAL EQUIP. OR SIMILAR CONSTRUCTION.
5. DUCTS PENETRATING A WALL OR CEILING BETWEEN GARAGE AND DWELLING UNIT SHALL BE CONSTRUCTED OF 26 GAUGE MINIMUM SHEET METAL AND SHALL HAVE NO OPENING INTO THE GARAGE - PER SECT R302.5.2
6. GARAGE DOOR SPRINGS: (PER SECT R309.5)
  - A. SPRING SHALL BE FABRICATED FROM EITHER HARD-DRAWN SPRING WIRE (PER ASTM A227-21) OR OIL-TEMPERED WIRE (PER ASTM A229-71).
  - B. MINIMUM DESIGN STANDARD SHALL BE 9,000 CYCLES.
  - C. PHYSICAL CYCLING TESTS SHALL BE PERFORMED AND CERTIFIED BY AN APPROVED TESTING AGENCY.
  - D. EACH SPRING SHALL BE EQUIPPED WITH AN APPROVED DEVICE CAPABLE OF RESTRAINING THE SPRING OR ANY PART THEREOF IN THE EVENT IT BREAKS. CONTAINMENT DEVICE SHALL BE TESTED AND CERTIFIED BY AN APPROVED TESTING AGENCY.
7. GARAGE FLOOR TO BE SLOPED TO FACILITATE MOVEMENT OF LIQUIDS TOWARDS A DRAIN PER SECTION R309.1. MIN. 1/4"=12" SLOPE. ALL AREA DRAINS TO DRAIN INTO SANITARY SEWER WITH TRAP PRIMER.



**FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"

STAMP

REVISIONS

Number	Description	Date

PROJECT NUMBER  
15027

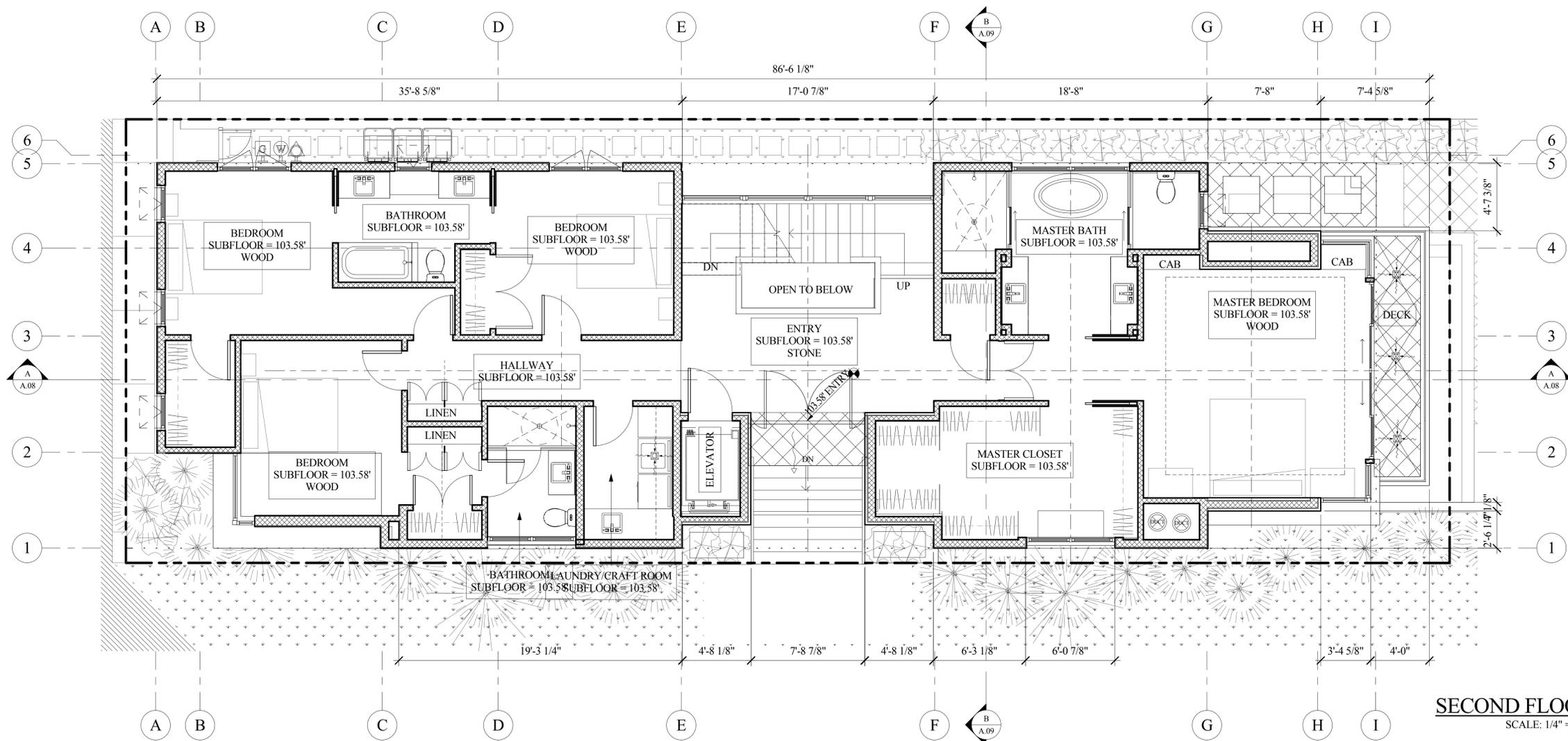
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DRAWING  
FIRST FLOOR  
PLAN

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SHEET NUMBER  
**A.2.1**





**SECOND FLOOR**  
SCALE: 1/4" = 1'-0"

STAMP

REVISIONS

Number	Description	Date

PROJECT NUMBER  
15027

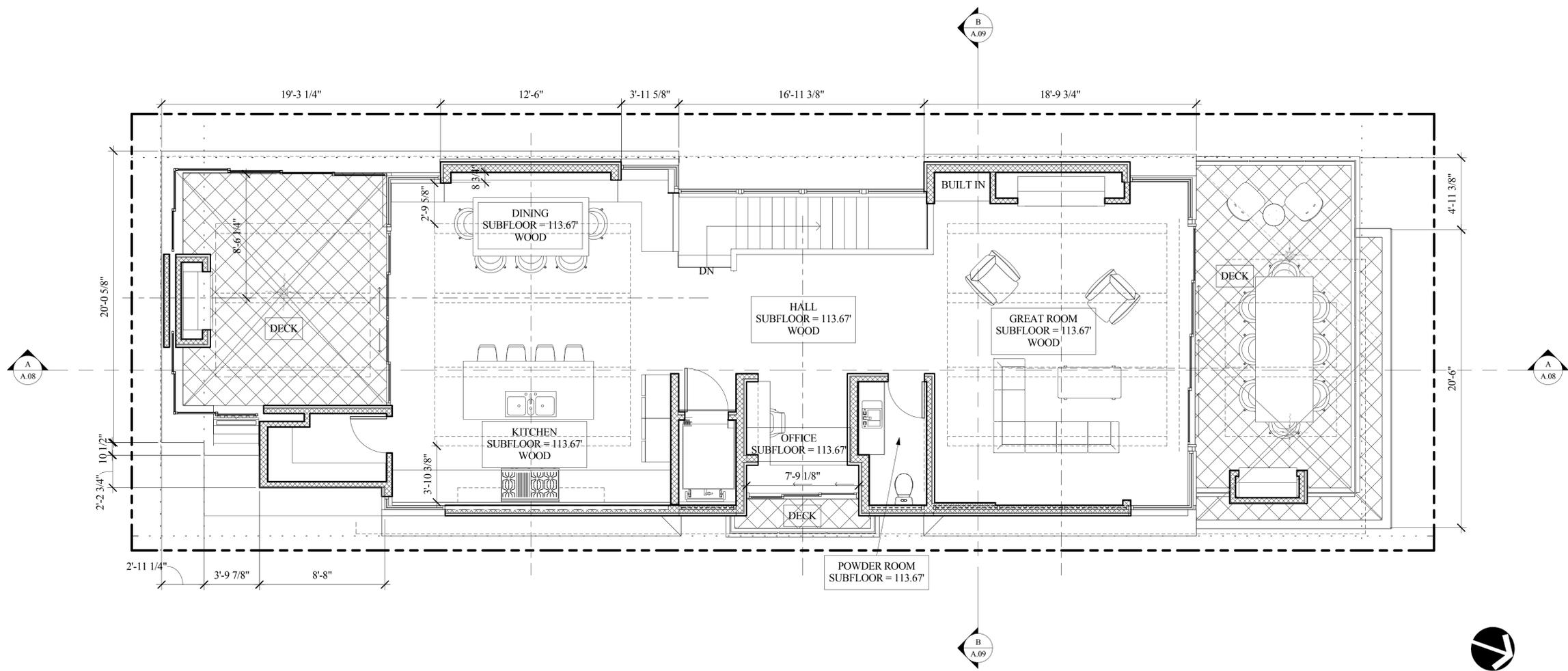
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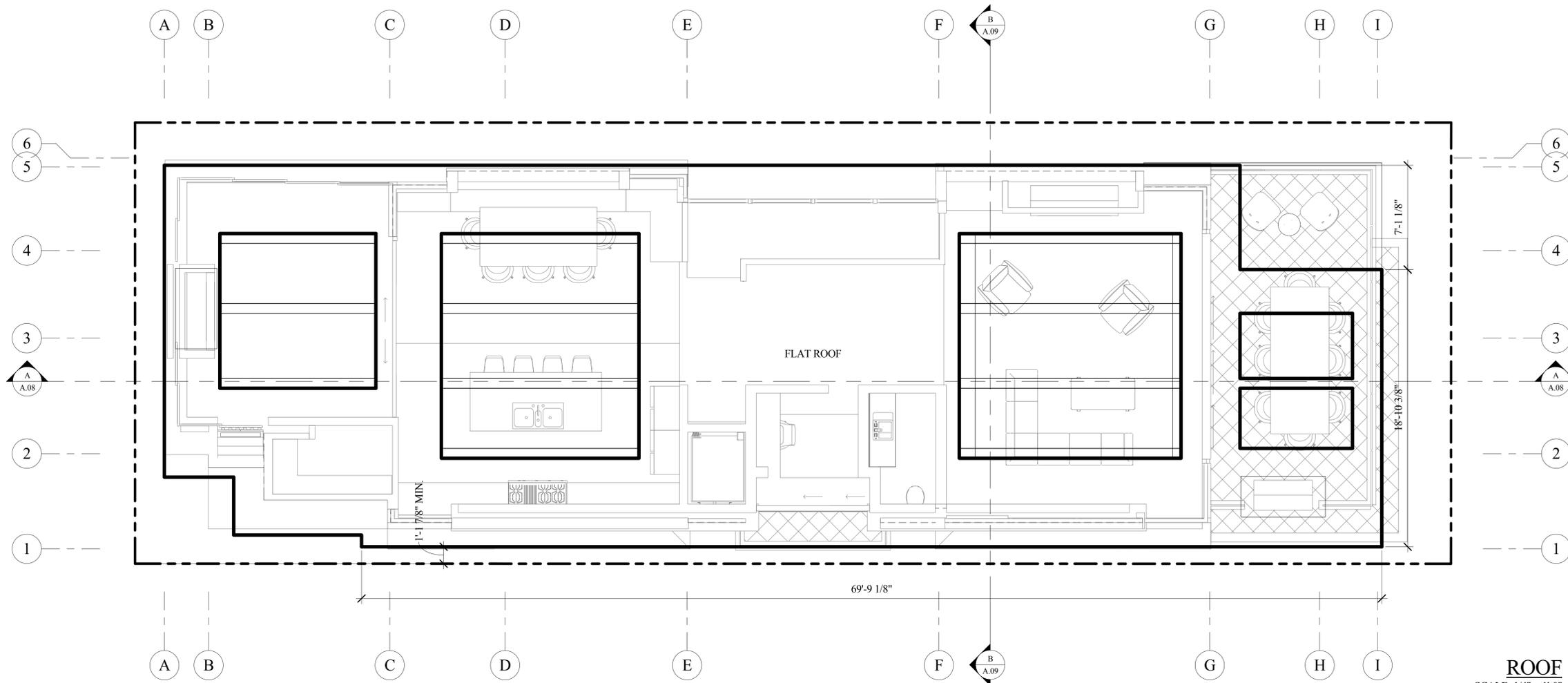
SHEET NUMBER  
**A.03**





**THIRD FLOOR PLAN**

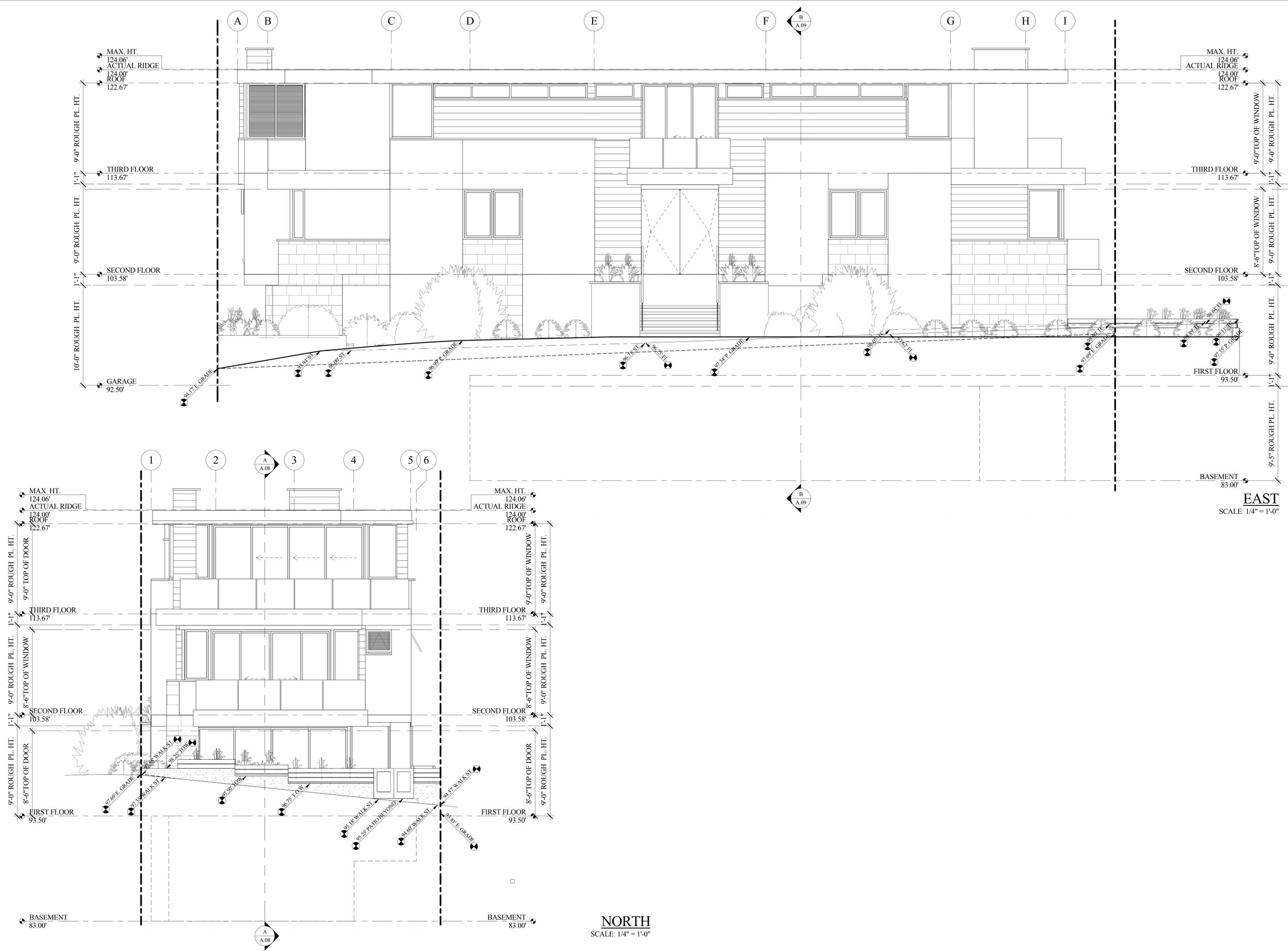
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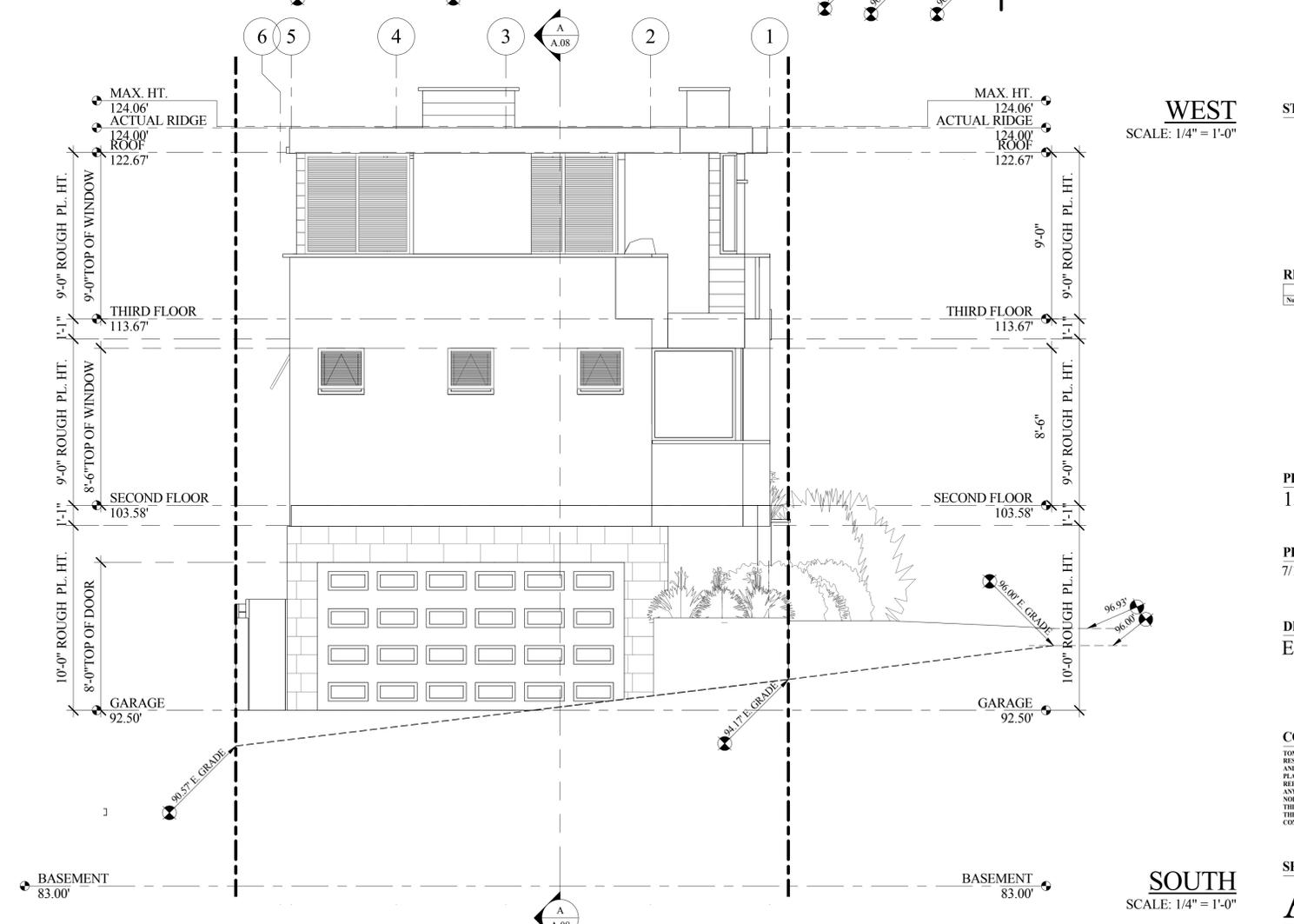
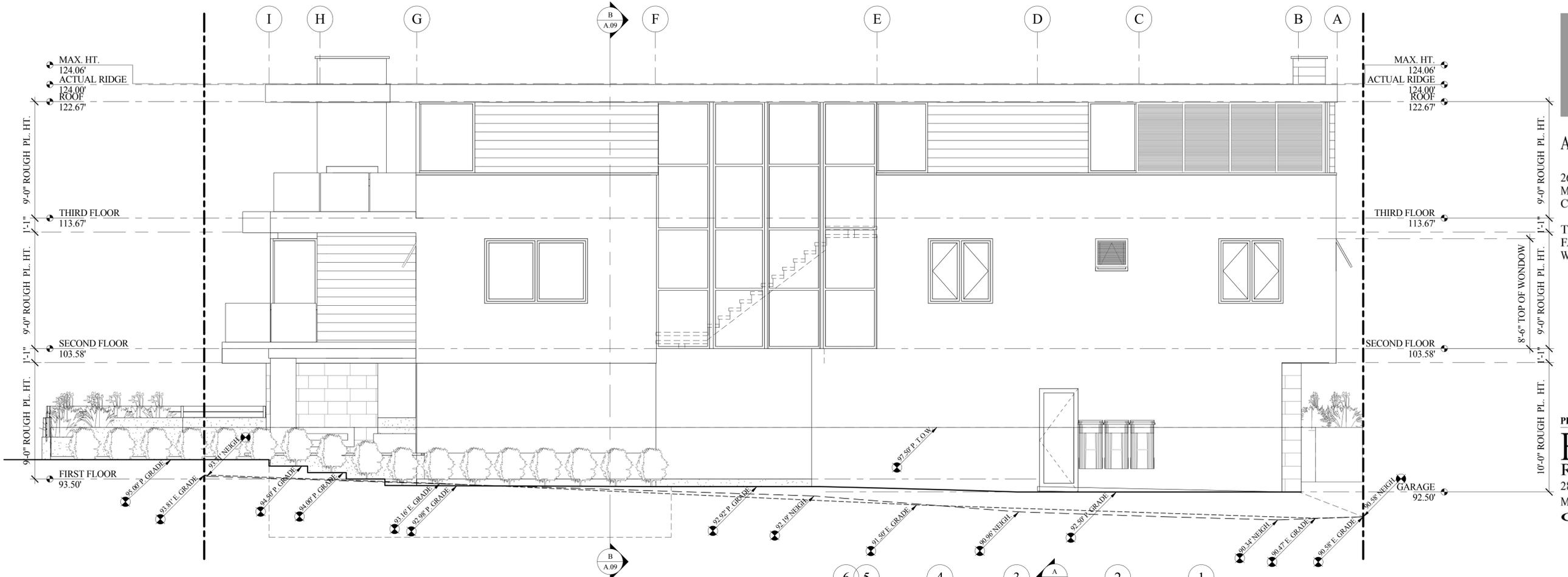
**ROOF**  
SCALE: 1/4" = 1'-0"



Revision Schedule		
Number	Description	Date



**NORTH**  
SCALE: 1/4" = 1'-0"



**WEST**  
SCALE: 1/4" = 1'-0"

**SOUTH**  
SCALE: 1/4" = 1'-0"

STAMP

REVISIONS

Number	Description	Date

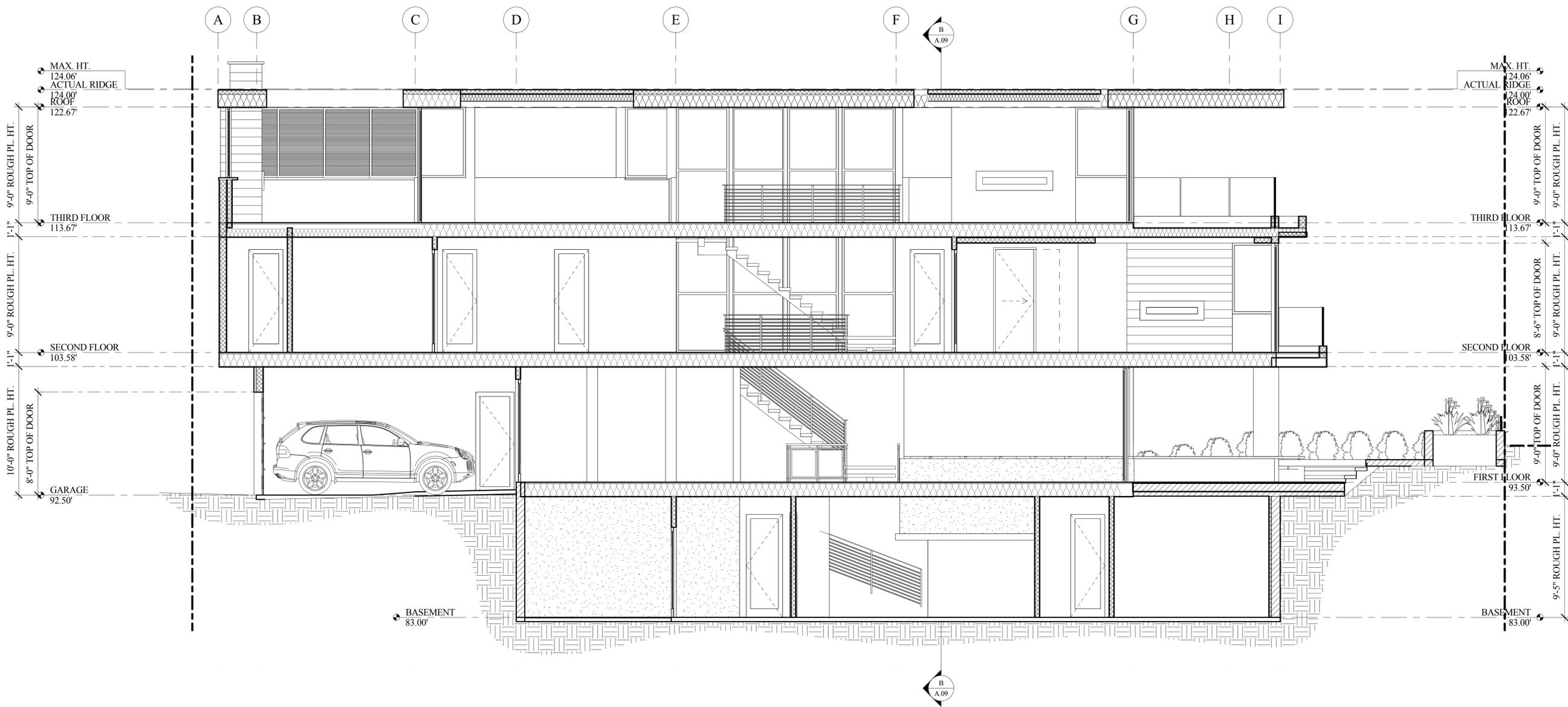
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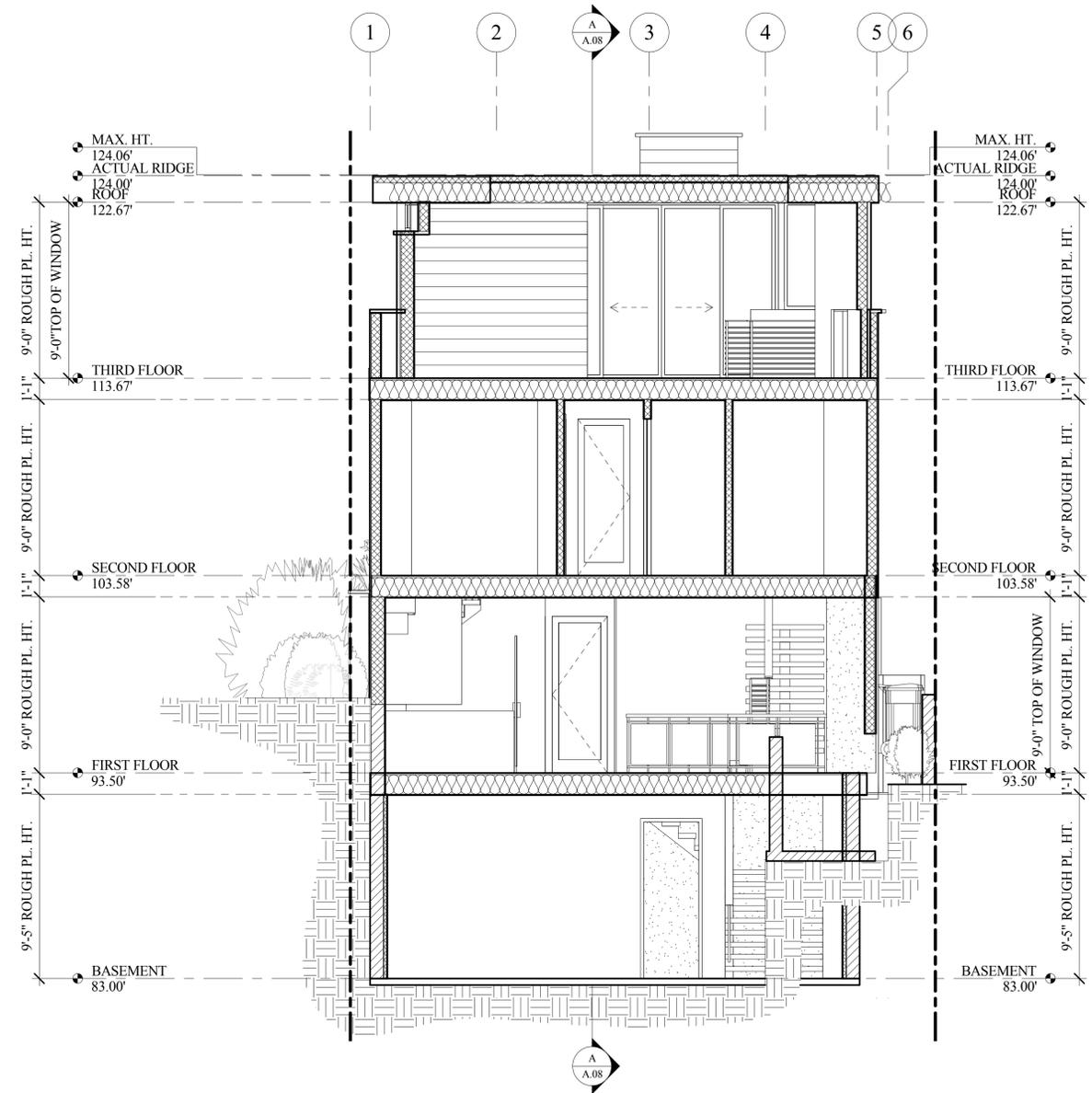
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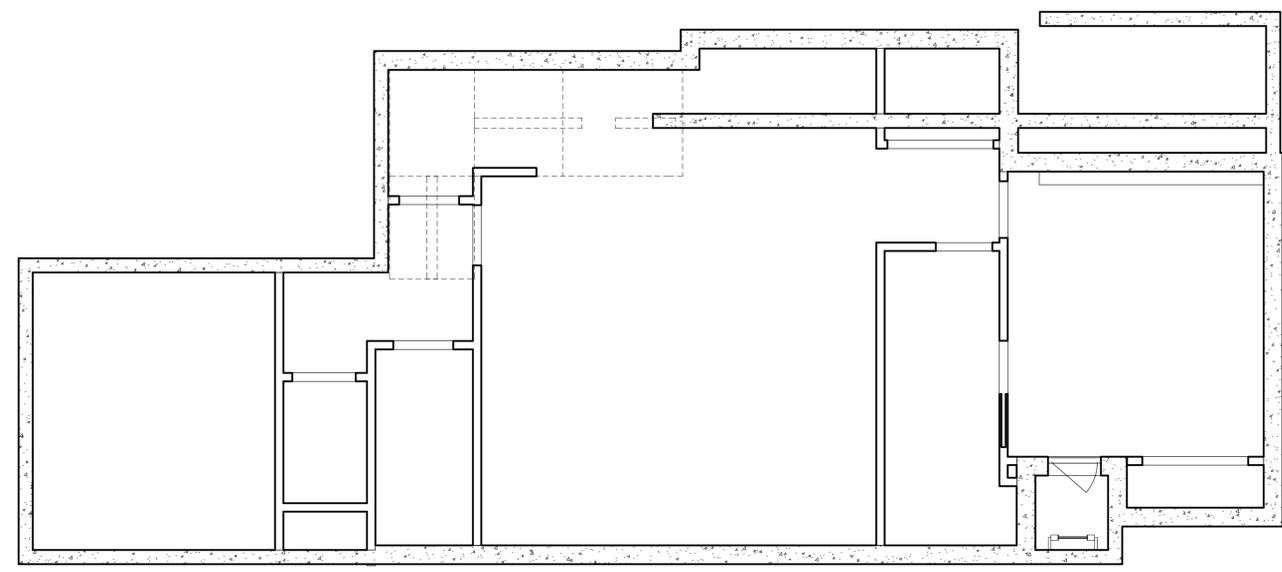
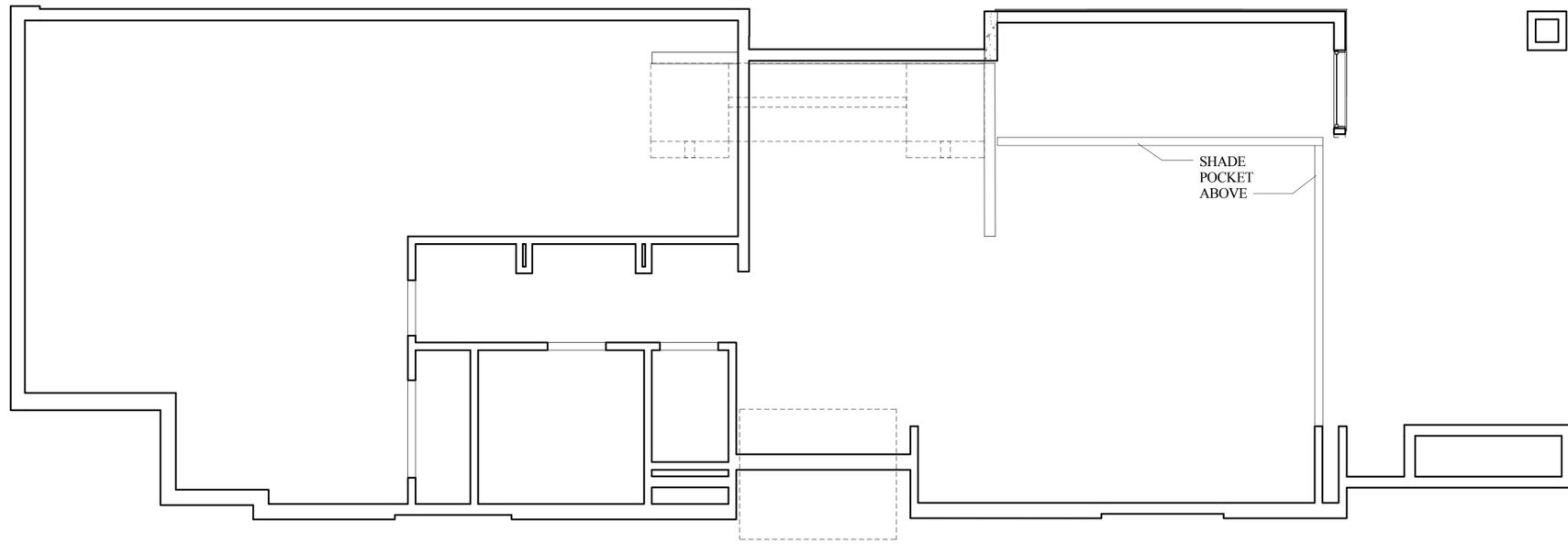
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**A.06**



Revision Schedule		
Number	Description	Date





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Revision Schedule		
Number	Description	Date

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SHEET NUMBER  
**R.01**



Revision Schedule		
Number	Description	Date

