



# Inspection Report

**Lynn Grimm**

**Property Address:**  
2301 Plumb St  
San Diego California 92106



**Nation Wide Inspections**

**Jason Havel**  
6275 Lorca Dr.  
San Diego, CA 92115

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<b>Date:</b> 2/4/2025	<b>Time:</b> 08:44 AM	<b>Report ID:</b> J020425A
<b>Property:</b> 2301 Plumb St San Diego California 92106	<b>Customer:</b> Lynn Grimm	<b>Real Estate Professional:</b>

### Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = This item was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = We did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit was not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

**Red Colored Items**- Items that are health and safety related, can cause personal injury or can create further damage or injury if not immediately repaired or evaluated. (Also items your inspector may think are very important for you to know).

**Blue Colored Items**- Items that are improper, worn or damaged. These items are in need of repair but are not life threatening, or health and safety related and should not cause devastating effects if not immediately corrected.

**Green Colored Items**- Recommendations for the issue(s) noted.

**IMPORTANT INFORMATION:** The summary located in the back of this report is intended to provide a convenient overview of the conditions and components that our inspectors have identified within our report as needing service. It does not include several of our notes and any extra components such as pools. **The summary should not be used as a substitute for reading the entire report.** The recommendations made throughout this report should be conducted and completed before the close of escrow by a licensed specialist, who may identify additional defects or recommend additional upgrades which could affect your evaluation of this property.

**Age Of Building:**

Over 85 Years

**Style of Building:**

Single Family Home

**Client Is Present:**

Yes

**Weather:**

Cloudy

**Temperature:**

Below 65

**Rain in last 3 days:**

No

**Water Test:**

Good Pressure, Pressure Falls Between  
45-80 PSI

# 1. Exterior

**The Home Inspector Shall Observe:** Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building.

**The Home Inspector Shall:** Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected.

**The Home Inspector is Not Required to Observe:** Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks.

**The Home Inspector is Not Required To:** Move personal items, panels, furniture, equipment, plant life, soil, or debris that obstructs access or visibility.

## Styles & Materials

**Siding Style:**

Cement stucco

**Siding Material:**

Masonry

**Exterior Entry Doors:**

Wood

**Appurtenance:**

Covered porch  
With Stairs

**Driveway/ Parking Area:**

Concrete

## Items

### 1.0 DRIVEWAY

Comments: Inspected

### 1.1 WALKWAYS AND PATHS

Comments: Inspected

**Improper Slope Towards House.** The hardscape at the front of the property allows water to run towards the house. It is recommended that surface drains be or other means be provided to keep water away from the house and foundation.



### 1.2 STEPS AND STAIRS

Comments: Repair or Replace

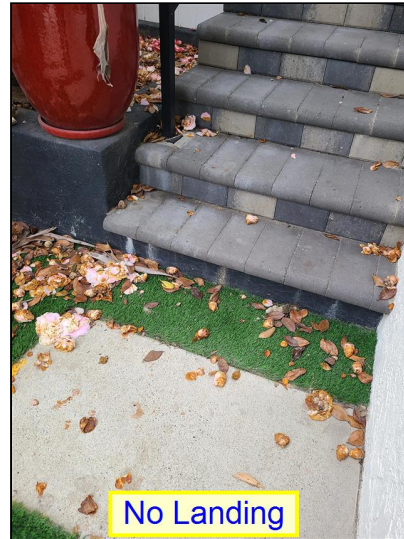
🏠 (1) **Short Hand Rail.** The hand rails at the stairs does not fully extend to the bottom of the stairs. **Hand rails should extend the full length of the stairs.** It is recommended that alterations be made to allow for a hand rail to extend the full length of the stairs.



(2) **Improper Rail Termination.** The ends of the hand rails, at the stairs, did not return to the wall or post. This can allow for loose clothing to catch on the end of the rail, increasing the risk of injury. Ends of hand rails should return to the wall or post. **This is a newer requirement that may not have been in effect when these rails were installed.** It is recommended that this be changed to meet today's standards.



(3) **No Landing.** There was not a landing provided at the bottom of the stairs. **Landings should be a minimum of 36 inches.** This is noted for your information and should be corrected.



**1.3 VEGETATION, GRADING, AND DRAINAGE**

Comments: Repair or Replace

📍 (1) **Poor Drainage.** There are areas around the house where the drainage is poor or there was no directional slope away from the house. There were no visible surface drains noted at these locations. It is important that all water shed away from the house and foundation. Ideally there should be a minimum slope of 6 inches within the first 10 feet of the house. It is recommended that swales, french drains or other means of drainage be provided to keep water away from house and foundation.



(2) **Trees Next To House.** It was noted that there was a large tree in close proximity to the house. Some trees can have evasive root structure which can potentially cause damage to house foundations, plumbing and irrigation systems. Others can come into contact with the home and roof causing exterior damage to these areas. **It is recommended that you consult an arborist or other plant specialist about this tree and the potential problems that might be associated with it.**



(3) **NOTE: Surface Drains.** It was noted that surface drains were present. **Surface drains are noted but are not tested for proper working order.** It is recommended that all drains be tested and kept clear of debris to ensure proper working order.

#### 1.4 EXTERIOR WALLS, FLASHING AND TRIM

Comments: Repair or Replace

🏠 (1) **NOTE: Stucco Cracks.** There were several areas of stucco with common cracking. Some of these cracks are small and others are larger. These cracks appear to be cosmetic due to house settlement and or concrete shrinkage. There does not appear to be any evidence of structural issues. This is noted for your information and can be further evaluated if you deem necessary. For more information about stucco cracks please read the following link: <http://ezinearticles.com/?Stucco-Cracks-and-Their-Remedies&id=6239712>

**NOTE: Patching Noted.** It was noted that there were areas of patchwork as some areas of the house. The reason for this patchwork could not be determined. There were currently no problems with these areas at the time of inspection and this is noted for your information only.

🏠 (2) **Delamination of Stucco.** There was some delamination of stucco noted at the exterior of the house. The stucco is beginning to delaminate at the exterior of the home. **This is common in older homes that are not provided with weep screed flashings at the stucco.** Although there are many causes of delamination, most often, it is due to excess moisture wicking into the stucco, and causing it to fail. **This is a cosmetic fix but, but efforts should be made to keep the area around your foundation dry.**



(3) **Wood Damage.** There was some wood damage noted at some of the trim work at the garage door. **It is recommended that you read your termite report thoroughly and that any damaged wood be repaired or replaced by a licensed contractor.**






**1.5 EAVES, SOFFITS AND FASCIAS**

Comments: Inspected

**1.6 WINDOW SCREENS**


Comments: Repair or Replace

 **NOTE: Worn Screens.** There were some window screens and frames that were worn and beginning to deteriorate. This is noted for your information and can be repaired as needed at your convenience.



**1.7 WINDOWS**

Comments: Repair or Replace


 (1) **NOTE: Newer Windows.** There are a few windows in this home that have been replaced. Retrofit windows often require permitting- depending on the local authority. It is not known if this city requires permits for the installation of these windows. Due to the nature of these windows, we are not able to verify that the flashings have been done correctly. It is recommended that you check with the local authority to determine if permits are required for the installation of these windows. If permits are not required, or were not taken out, these windows should be further evaluated by a licensed contractor specializing in window installation.

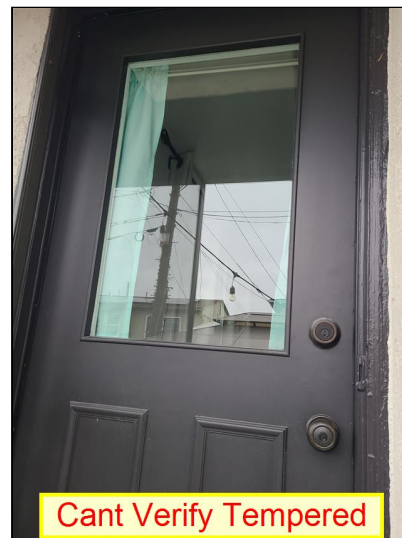
(2) **Hazy Windows.** There were windows at the exterior of the property that were hazy. **It was not able to be determined if the seals have been compromised.** Due to climatic and weather conditions, some windows may not show signs indicating that there are issues present. We cannot always determine if seals are broken and will not be held liable for broken window seals. Currently it appears that there are at least 2 windows that appear to have damaged seals. **It is recommended that all of the windows be further evaluated for potential damage and repaired as needed by a licensed contractor or specialist.**



## 1.8 DOORS (Exterior)

Comments: Repair or Replace

 **Cant Verify Tempered.** There are a few exterior doors that contain glass that could not be verified as being safety glass. Tempered glass is a safety glazing that is required in hazardous locations, it is usually indicated as being such by labeling in corner of pane. **This is typical to find in older homes and precautions should be taken. Recommend further analysis and replacement if necessary.**



## 1.9 PATIO AND PORCH COVERS

Comments: Not Present

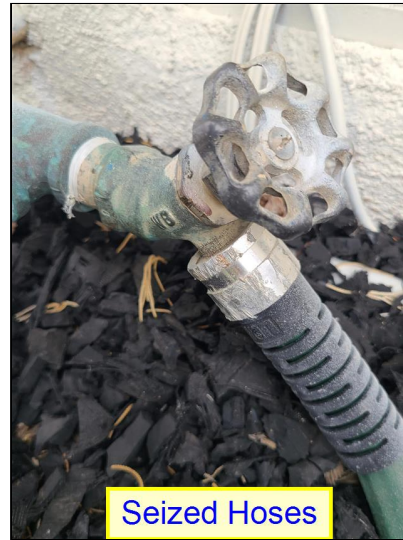
**1.10 RETAINING & EXTERIOR WALLS**

Comments: Not Present

**1.11 PLUMBING WATER FAUCETS (hose bibs)**

Comments: Repair or Replace

📌 (1) **Seized Hose on Faucet.** There were a few faucets that had hoses attached to the spigots. The hoses were currently seized to the faucet handle and was not able to be removed. **It is recommended that the hose be removed and plumbers (Teflon) tape applied at this location.**



(2) **No Vacuum Breakers.** The exterior hose bibs were not provided with vacuum breakers. **Although this was not a requirement for when this house was constructed, it is recommended that vacuum breakers be installed at all exterior hose bibs.** These are designed to prevent contamination should there be a pressure drop in the city's system. Vacuum breakers will prevent water from being siphoned backwards, potentially contaminating the public drinking water. **Recommend installation of these devices.**

(3) **Missing Handle.** There was a missing handle for one of the hose bibs at the rear of the property. **This fixture was not tested for proper working order. It is recommended that this handle be replaced to ensure proper working order.**

**1.12 EXTERIOR LIGHT FIXTURES AND OUTLETS**

Comments: Repair or Replace

📌 (1) **NOTE: Exterior Outlets:** Due to the natural elements and exterior moisture it is recommended all exterior outlets be listed for outdoor use (with covers) and be GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections

of the neutral. This is noted for your information.

**NOTE: Sensored Lights.** There are exterior lights that are equipped with a sensor, that does not allow the light to turn on during daylight hours. These lights were not able to be tested for proper working order at the time of the inspection.

📍 (2) **Inoperative Doorbell.** The door bell did not operate at time of inspection. It is recommended that this be repaired by a qualified person.



### 1.13 Screens and Vents

Comments: Repair or Replace

📍 **Missing/ Damaged Screen.** There was a missing or damaged screen noted at the garage. Screens help ventilate your garage and keep out unwanted bugs, cats, opossums, rodents and other creatures who may want to explore or reside within your garage. It is recommended that all missing or damaged screen are repaired or replaced as needed.



### 1.14 POOL SAFETY ACT (SB442)

Comments: Repair or Replace

📍 (1) **No Safety Features.** This Pool was not provided with any of the safety features mentioned above as pertaining to California Law SB442. It is recommended that a minimum of TWO of these drowning safety features be provided to help safeguard the pool and pool area. **Additional safety features should be installed to properly comply with all the necessary standards.** It is recommended that further evaluation and information, about about these features and their applicable costs, be conducted before the end of the

inspection contingency period. All work should be conducted by a licensed pool contractor who is familiar with the ASTM standards and all of the standards with the Health and Safety Codes of California SB442.

**Additional information can be found at the following links:**

[https://www.cpsc.gov/s3fs-public/pdfs/blk\\_media\\_SafetyBarrierGuidelinesResPools.pdf](https://www.cpsc.gov/s3fs-public/pdfs/blk_media_SafetyBarrierGuidelinesResPools.pdf)

<https://www.cpsc.gov/s3fs-public/359.pdf>

(2) **Spa Safety Cover.** This house had a spa with a manual cover that **DID NOT MEET** the safety standards.

**There were broken or missing straps/ locking mechanisms.** "An approved safety pool cover" means a manually or power-operated safety cover that meets **ALL** of the **performance standards** of ASTM Standard F1346-91. **Due to the limitations of our inspections it is not known if this cover meet's all of the performance standards of ASTM F1346-91.**

Some of the requirements call for specific tests to determine if the standards are met. Some of these tests cannot be done visually and are described in ASTM F1346-91. **Due to the limitations of our inspections this cover was not verified as complying with SB442.** It is recommended that this cover be further inspected, evaluated and tested by a licensed pool specialist who is familiar with the standards of F1346-91 as well as all of the new standards of California SB442 of the Pool Safety Act.



### 1.15 OTHER NOTES:

**Comments:** Not Inspected

(1) **NOTE: Asbestos and Lead Information.** Due to the age of construction, this house may have been built with materials that contain the use of asbestos and or lead. These materials can pose serious health risks if damaged, disturbed or ingested. **We are not able to determined if the materials used during construction contain either of these items.** If you are concerned about the affects or presence of Asbestos or Lead in this home, it is recommended that a specialist be called out to take samples and have them

professionally tested at a lab. For more information about these materials and their health risks please follow the provided links:

**Lead Based Paint:**

[http://portal.hud.gov/hudportal/HUD?src=/program\\_offices/healthy\\_homes/healthyhomes/lead](http://portal.hud.gov/hudportal/HUD?src=/program_offices/healthy_homes/healthyhomes/lead)

[http://en.wikipedia.org/wiki/Lead\\_paint](http://en.wikipedia.org/wiki/Lead_paint)

**Asbestos:**

<http://en.wikipedia.org/wiki/Asbestos>

<http://www.cancer.gov/cancertopics/factsheet/Risk/asbestos>

(2) **NOTE: Spa Not Inspected.** The spa was not part of this inspection and was not inspected. This includes safety hazards in and around the spa area, condition of spa and related equipment (including: verification of safety equipment, proper bonding, grounding and GFCI protection of equipment as well as working order of the pumps and heaters). It is recommended that the spa and all of the equipment be properly inspected by a qualified specialist.



The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 2. Electrical System

**The Home Inspector Shall Observe:** Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and accessible receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors.

**The Home Inspector Shall Describe:** Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors.

**The Home Inspector is Not Required To:** Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Test or operate the function of smoke and carbon monoxide detectors. Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

*Styles & Materials***Electrical Service Conductors:**

Overhead service

**Panel capacity:**

200 AMP

**Current Panel Output:**

200 AMP

**Panel Type:**

Circuit breakers

**Electric Panel Manufacturer:**CUTLER HAMMER  
SQUARE D**Branch wire 15 and 20 AMP:**

Copper

**Wiring Methods:**

Romex

*Items***2.0 SERVICE ENTRANCE CONDUCTORS**


Comments: Inspected

**2.1 LOCATION OF MAIN AND DISTRIBUTION PANELS**

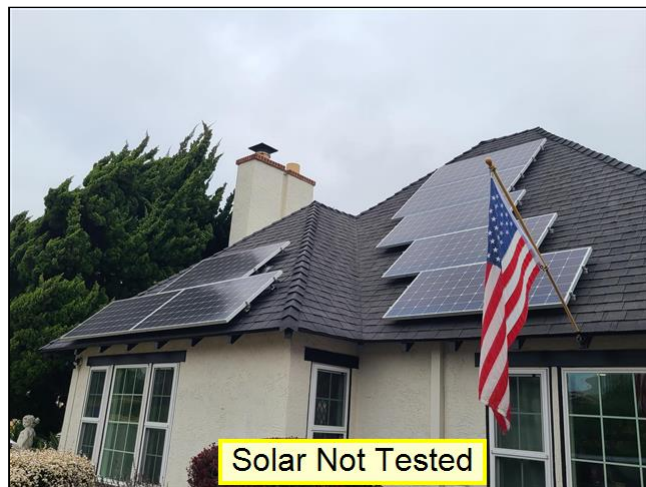
Comments: Inspected

FYI: **Main Disconnect is Located:** At the Back of the garage.FYI: **Sub-Panel Location:** At the Back of the garage.**2.2 MAIN DISTRIBUTION PANELS AND GROUNDING**

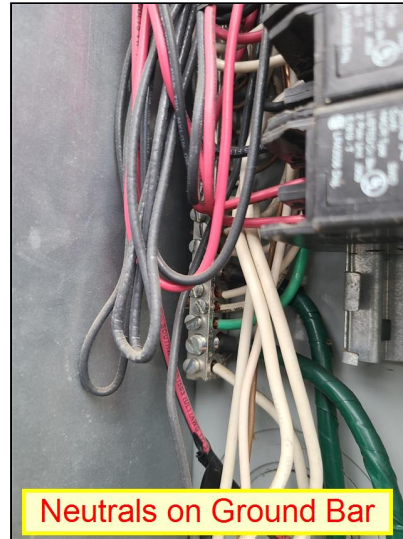
Comments: Repair or Replace

 (1) **NOTE: Grounding Rods.** For today's standards, homes and all detached buildings (with electrical panels) should be provided with 2 grounding rods. Previously, before 2016, only one rod was required. Grounding rods are metal electrode (rods) placed within the soil to ground the house to the earth. This is mentioned only for your information and this properly may or may not comply or need to comply with these new standards.

(2) **NOTE: Solar Not Tested.** This house is equipped with a solar voltaic system electrical system as well as being powered from the grid. **The working order of the solar system is not part of the inspection and was not tested for proper function.** This includes the function of the panel arrays and inverters. For further inspection of this system it is recommended that you contact a licensed electrician who is familiar with the working operation and installation of solar systems.



(3) **Neutrals on Grounding Bar.** The sub-panel currently has the neutral wires (White Wires) bonded to the grounding bar. In sub-panels, the neutral (white) wires should be "floating" (not touching the panel, the grounding wires ((bare copper or green)), or any other metal part of the panel) . In this application the neutral wires have been attached to the grounding bar . **Bonding of these conductors is improper and hazardous .** It is highly recommended that this be repaired by a licensed electrician.



### 2.3 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected

### 2.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

### 2.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected

**NOTE: GFCI Locations.** Although this unit may not have required GFCI outlets (Ground Fault Circuit Interrupters) at all the listed locations at the time of construction, they are recommended for all outlets in the kitchen, at exterior outlets, in all bathrooms, the laundry room and in the garage. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. It is recommend in these locations, that outlets be GFCI protected.

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 3. Interior Rooms

**The Home Inspector Shall Observe:** Walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows.

**The Home Inspector Shall:** Operate a representative number of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

**The Home Inspector is Not Required to Observe:** Minor blemishes, dings, nicks and scuff marks on paint, wallpaper, and other finish treatments or on the interior walls, ceilings, and floors; carpeting; or draperies, blinds, or other window treatments.

*Styles & Materials*



**Ceiling Materials:**

Drywall  
Plaster  
Wood

**Wall Material:**

Drywall  
Plaster

**Floor Covering(s):**

Carpet  
Tile  
Wood  
Laminated T&G

**Interior Doors:**

Solid  
Wood

**Window Types:**


Thermal/Insulated  
Sliders  
Single-hung  
Casement

**Window Manufacturer:**

UNKNOWN

*Items***3.0 FLOORS**

**Comments:** Repair or Replace

 (1) **NOTE: Furnished House.** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.

(2) **NOTE: Possible Asbestos.** This house has linoleum flooring at some areas of the house. Often linoleum of this age was made with the use of asbestos. Although asbestos in this form is not dangerous; disturbing, or removing it can often cause the asbestos to become airborne increasing the the risk and dangers. It could not be verified if this linoleum was made with the use of asbestos. It is recommended that if any work is to be done and removal or disturbance is required, that testing of the linoleum be conducted by qualified licensed testing agency to determine if asbestos is present. This is noted for your health and safety.



🏠 (3) **Worn Wood at Floors.** There were several areas of wood floor that were worn and should be refinished. Refinishing protects the wood from damage, prolonging the life of the wood. **We do not determine if these floors are capable of be resurfaced.** Sometime it is not possible to resurface flooring due to the diminished wood depth. **It is recommended that the wood floors be further evaluated by a qualified or professional flooring specialist.**



🏠 (4) **Floor Dings/ Scratches.** There was damage to the wood type floors of this house. These would include areas having small scratches and dings associated with flooring materials of this nature. **This is noted for your information.**




🏠 (5) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**



### 3.1 CEILINGS

Comments: Repair or Replace

 (1) **NOTE: Patching Noted.** There were some areas of patchwork noted at some of the ceilings. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

**NOTE: Settlement Cracks.** There were a few rooms in which there were some minor settlement cracks noted in the drywall. These are common and can be patched at your convenience, if so desired.

(2) **Ceiling Water Stains.** There was some water staining noted on the ceilings of the upstairs loft area. It appears that there have been a roof leaks at these locations at one time. **It could not be determined if these leaks have been properly repaired.** It is recommended that you ask the current owner about these stains and that a roofing contractor be hired to further evaluate these areas if needed.




(3) **Damage at Ceiling.** There was an area of ceiling that was damaged in the upper loft area. It is recommended that this be repaired or replaced as needed by a licensed contractor.



### 3.2 DOORS (REPRESENTATIVE NUMBER)


Comments: Repair or Replace

 **Missing Closet Doors.** The closet doors in bedroom #2 were not present at the time of the inspection. This is noted for your information and it is recommended that these doors and tracks be installed at your convenience.



### 3.3 WALLS

Comments: Repair or Replace

 (1) **NOTE: Furnished House.** Because there were furnishings at the time of the inspection there are areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no unknown or additional damage.

(2) **Water Damage Noted Under Window.** There was some water marks and wood damage noted at the underside of the loft windows. This was located in the upstairs loft area. **It was not able to be determined if these water mark was caused by a faulty window system, or the window having being left open during a rain.** This is noted for your information and should be further evaluated for potential problems.

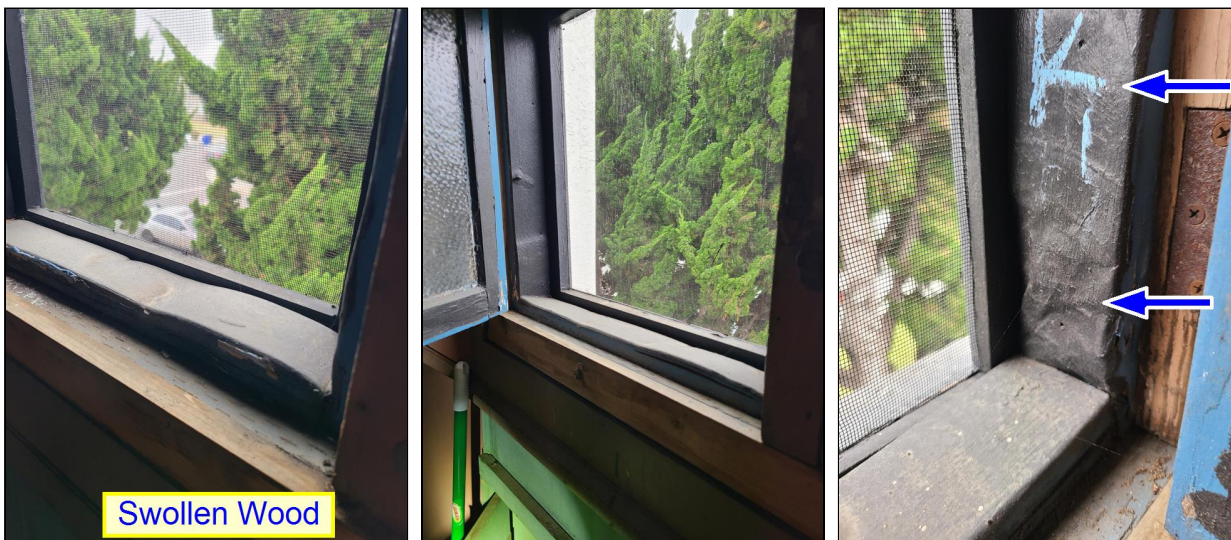


### 3.4 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Repair or Replace

🏠 (1) **Hazy Windows.** There were a few windows at the interior of the house that were hazy. **It was not able to be determined if the seals have been compromised.** Due to climatic and weather conditions, some windows may not show signs indicating that there are issues present. We cannot always determine if seals are broken and will not be held liable for broken window seals. **It is recommended that all of the windows be further evaluated for potential damage and repaired as needed by a licensed contractor or specialist.**

(2) **Wood Damage.** There were a few windows that had wood damage. There was some wood at the frames that was soft and deteriorated. It appears that the interior trim has gotten wet and has swollen. **It is recommended that these areas be further evaluated and repaired as needed by a licensed contractor.**



### 3.5 OUTLETS SWITCHES AND FIXTURES

Comments: Inspected

(1) **NOTE: Furnished.** Because of furnishings and other personal belongings, not all electrical outlets could be tested for proper working order. There were no problems with any of the outlets that were tested; however it is recommended that all outlets be tested at final walk through to ensure working order.

(2) **NOTE: Ungrounded Grounding.** Due to the year in which this house was built; there is no grounding for some of the electrical System. The original style of two pronged outlets have remained for your knowledge and reminder. These outlets can not be properly changed to the three pronged outlets unless the outlets have been properly grounded or are protected by a GFCI outlet or protected circuit, and a sticker has been added to the cover plate identifying that there is "No Equipment Ground". This is noted for your information. **It is important to know and understand that the two pronged outlets have not been upgraded and are NOT GROUNDED.**



(3) **Improper Light Clearance:** Due to the age in which this house was built, different standards have come into play. One of the newer standards is the clearance of light fixtures within closets. Currently the closet light fixture in some of the rooms does not meet today's standards for this type of fixture. **This is now considered a safety hazard.** It is recommended that this fixture be replaced to meet today's standards.



(4) **Improper Wiring of Switch.** The three-way switch provided for the hallway was incorrectly wired, and did not properly function. Currently one of the switches may not work if not in the correct configuration . It is recommended that this switch be properly wired by a licensed electrician.




(5) **Unknown Destination.** There were a switch in the primary bedroom, in which the destination could not be determined at time of inspection. It is possible that many of these switches operated half-hot receptacles that were not able to be accessed due to furnishings. It is recommended that you test all outlets at time of final walk through to ensure proper working order of all outlets and switches.

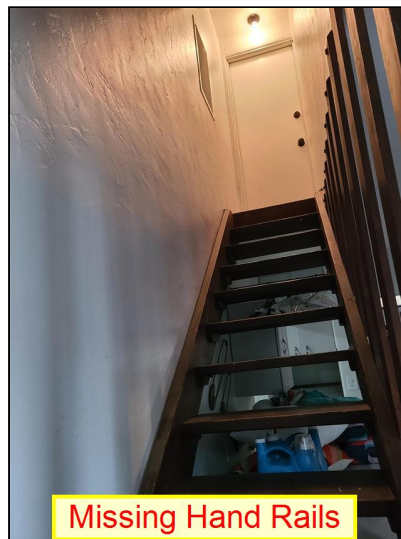


### 3.6 STAIRWAY

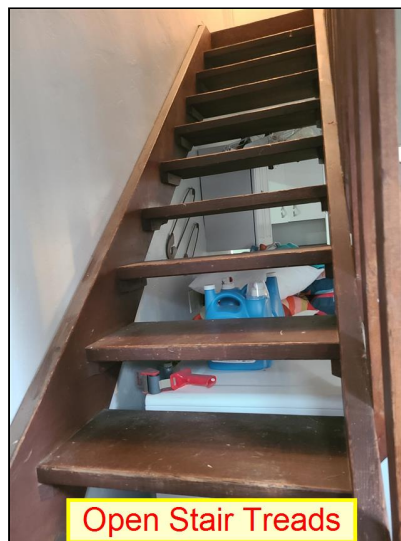
Comments: Repair or Replace

 (1) **Missing Hand Rails.** There are currently no hand railings for the stairs. Stairs are the most frequent location of injury accidents in the home. For safety reasons it is recommended that handrails be provided for stairways with 4 or more steps. Handrails should be located at a height of 34-36 inches from the floor and should have a grippable surface between 1.25 inches and 2 inches.

Recommend that handrails be provided at this location.



(2) **Open Stair Treads.** The stairway was not provided with backings at the treads. This increases the risks of objects and children being injured or falling. Although these stairs may have been built to standards at the time of construction, it is recommended that they be upgraded to today's standards. This is noted for your information and safety.



### 3.7 SMOKE DETECTORS

Comments: Inspected

**NOTE: Smoke detectors are recommended in the following locations:** In each bedroom, at each floor level and at a point centrally located in the hallway (or area giving access to each separate bedroom). It is recommend that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.

**Smoke Detectors Observed-Not Tested.** In compliance with our standards of practice, smoke detectors are verified as being present, under 10 years old, and located at the proper locations. **The units are not physically tested.** All smoke detectors should have the batteries replaced upon moving in or be replaced.

**NOTE: Smoke Detector Types.** The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: Ionization type smoke detectors are the most common because they are the cheapest, but can be more prone to false (nuisance) alarms than photoelectric



smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

**For more information about smoke alarms please visit the following sites:**

[https://www.usfa.fema.gov/prevention/technology/smoke\\_fire\\_alarms.html](https://www.usfa.fema.gov/prevention/technology/smoke_fire_alarms.html)

### 3.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

**NOTE: Carbon Monoxide Detectors.** It is recommended that the carbon monoxide tester be tested upon moving in and the batteries be changed (if applicable). The location and placement of these devices vary widely depending on Manufactures recommendations. Typically these are suppose to be installed outside the sleeping areas at eye level. It is recommended that that you read and follow the manufactures recommendation as to the proper location of these devices. Batteries should be changed every 6 months or when indicated by device or manufactures recommendations.

**Carbon Monoxide Detector Testing.** As part of our inspection, carbon monoxide detectors are verified as being present at required locations, but are not tested. It is recommended that all detectors be verified as being in working condition before moving in, and have the batteries replaced.

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 4(A) . Hall Bath

### *Styles & Materials*

#### **Ventilation Type:**

Window- No Fan

### *Items*

#### **4.0.A COUNTERS/SINK/ CABINETS**

Comments: Inspected

#### **4.1.A DOORS (REPRESENTATIVE NUMBER)**

Comments: Inspected

#### **4.2.A FLOORS**

Comments: Inspected

#### **4.3.A WALLS**

Comments: Inspected

#### **4.4.A CEILINGS**

Comments: Inspected

**4.5.A WINDOWS/ MIRRORS**

Comments: Inspected

**4.6.A Shower/ Tub enclosure.**

Comments: Repair or Replace

**↑ (1) NOTE: Shower Enclosures.** Shower enclosures are visually inspected for visible problems or defects. **How the waterproofing, setup and framing are conducted behind the surface is considered beyond the scope of the inspection.** Due to the waterproofing being installed behind the tile or finished material, improperly waterproofed enclosures can leak without having visible defects. Properly waterproofed and sealed enclosures should not leak even when there are cracked or damaged tiles/ grout. We will not be held accountable for leaks that do not have visible defects or those that do not show evidence of past leaks or issues. **If this is a newer enclosure, it is recommended that the contractual paperwork be collected to have the warranty and or installer's information and contractor number.**

**(2) Improper Pitch.** The pitch at the shower dam was not sufficient. This can cause water to exit the shower enclosure. **This is noted for your information and safety and efforts should be made to keep this area dry.**

**4.7.A PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**

Comments: Inspected

**4.8.A PLUMBING DRAIN, WASTE AND VENT SYSTEMS**

Comments: Inspected

**4.9.A OUTLETS SWITCHES AND FIXTURES**

Comments: Inspected

**4.10.A TOILET FIXTURE**

Comments: Inspected

**4.11.A EXHAUST FAN/ HEATER**

Comments: Not Present

**4(B) . Bedroom #1 Bath***Styles & Materials***Ventilation Type:**

Window- No Fan


*Items*

**4.0.B COUNTERS/SINK/ CABINETS**

Comments: Inspected

**4.1.B DOORS (REPRESENTATIVE NUMBER)**

Comments: Repair or Replace

 **Inoperative Lock.** The lock for the door at this bathroom did not function at time of inspection. For privacy purposes it is recommended that a locking device be provided on these doors.

**4.2.B FLOORS**

Comments: Inspected

**4.3.B WALLS**

Comments: Inspected

**4.4.B CEILINGS**

Comments: Inspected

**4.5.B WINDOWS/ MIRRORS**

Comments: Inspected

**4.6.B Shower/ Tub enclosure.**

Comments: Inspected

**NOTE: Shower Enclosures.** Shower enclosures are visually inspected for visible problems or defects. **How the waterproofing, setup and framing are conducted behind the surface is considered beyond the scope of the inspection.** Due to the waterproofing being installed behind the tile or finished material, improperly waterproofed enclosures can leak without having visible defects. Properly waterproofed and sealed enclosures should not leak even when there are cracked or damaged tiles/ grout. We will not be held accountable for leaks that do not have visible defects or those that do not show evidence of past leaks or issues. **If this is a newer enclosure, it is recommended that the contractual paperwork be collected to have the warranty and or installer's information and contractor number.**

**4.7.B PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**

Comments: Inspected

**4.8.B PLUMBING DRAIN, WASTE AND VENT SYSTEMS**

Comments: Inspected

**4.9.B OUTLETS SWITCHES AND FIXTURES**

Comments: Inspected

**4.10.B TOILET FIXTURE**

Comments: Inspected

**4.11.B EXHAUST FAN/ HEATER**

Comments: Not Present

## 5. Kitchen Components and Appliances

**The Home Inspector Shall Observe and Operate the Basic Functions of the Following Kitchen Appliances:** Permanently installed dishwasher (through its normal cycle- but not to determine it's effectiveness in cleaning); Range, cook top, and permanently installed oven; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven.

**The Home Inspector is Not Required to Observe:** Non built-in appliances (free-standing appliances), refrigerators, trash compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, indoor or outdoor barbecues, grills, or roasters, timers, clocks, thermostats, the self-cleaning capacity of ovens. Also included in this are concealed/ limited countertop views and other areas that are not readily visible.

### Styles & Materials

**Countertop:**

Quartz

**Cabinetry:**

Wood

**Flooring:**

Laminate

**Oven\ Stove:**

SAMSUNG

**Built in Microwave:**

Re-Circulated Through Filter  
GENERAL ELECTRIC

**Dishwasher Brand:**

SAMSUNG

**Disposer Brand:**

IN SINK ERATOR

**Clothes Dryer Vent Material:**

Semi-rigid Metal

**Dryer Power Source:**

Gas Connection


### Items

**5.0 COUNTERS AND SINK**

Comments: Inspected

**5.1 CUPBOARDS/DRAWERS/CLOSET DOORS**

Comments: Repair or Replace

 (1) **Worn Areas of Cabinets.** It was noted that a few areas of the kitchen cabinets show some wear at heavily used areas of the cabinet doors. **This is noted for your information.**



Worn Areas of Cabinets

(2) **Minor Dings**. It was noted that a few areas of the kitchen cabinets show some wear and some minor dings. **This is noted for your information.**

## 5.2 FLOORS

Comments: Inspected

## 5.3 WALLS

Comments: Inspected

## 5.4 CEILINGS


Comments: Inspected

## 5.5 WINDOWS

Comments: Inspected

## 5.6 RANGES/OVENS/COOKTOPS

Comments: Repair or Replace

 **No Safety Strap on Oven.** Ovens come with a child safety strap (Anti-tip strap) to prevent the oven from tipping and falling if children use the oven door as a step. **It is recommended, especially if children are present, that this oven be equipped with a safety strap.**



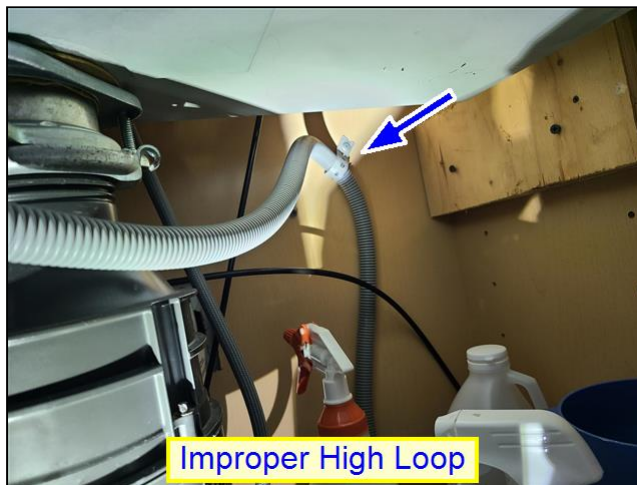
## 5.7 MICROWAVE COOKING EQUIPMENT

Comments: Inspected

## 5.8 DISHWASHER

Comments: Repair or Replace

🏠 (1) **Improper High Loop.** The dishwasher had a "low" high loop that was not supported. High loops should extend to the underside of the counter to help inhibit sewer water from backing into the dishwasher through the possibility of siphonage. It is recommended that this be corrected as needed by a qualified person.



(2) **Not on Dedicated Circuit.** The dishwasher was not on a dedicated circuit and shared the circuit with the countertop circuits. Dishwashers should be on a dedicated circuit (shared with the garbage disposal). It is recommended that these be on a circuit not shared with the countertop outlets.



## 5.9 GARBAGE DISPOSER

Comments: Inspected

## 5.10 FAUCETS/ FIXTURES And WATER SUPPLY PLUMBING


Comments: Inspected

## 5.11 PLUMBING DRAIN AND VENT SYSTEMS

Comments: Inspected

## 5.12 OUTLETS WALL SWITCHES and FIXTURES

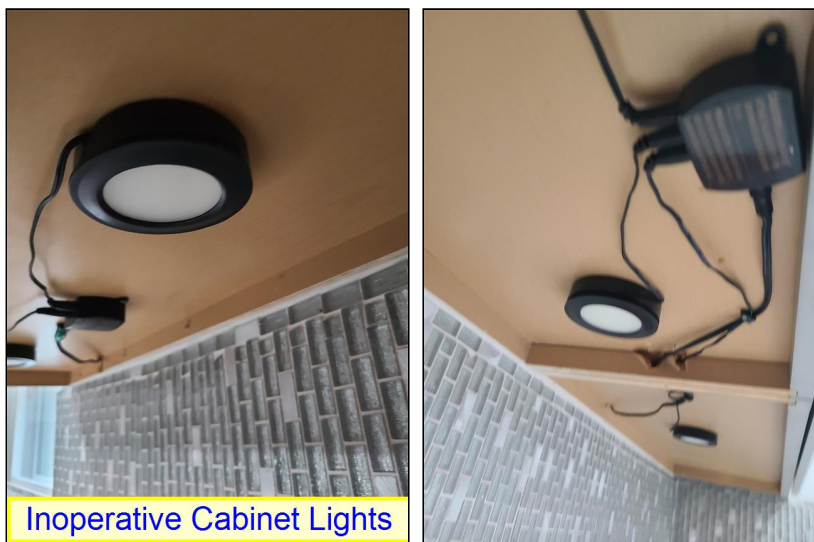
Comments: Repair or Replace

 (1) **NOTE: Minimal Circuits.** It is required that when any remodel is conducted, that the room being remodeled be brought to the building standards which apply for the year in which the remodel was completed. In this application, there were not enough circuits supplied for today's standards.

(2) **Hot/ Neutral Reversed.** There were outlets, at the island, that appear to have improperly wired. The hot and neutral have been reversed at both of the island outlets. **Because of the improper wiring of this outlet the GFCI does not properly function.** This is improper wiring and should be wired properly to reduce the risk of injury.



(3) **Inoperative Under Cabinet Lights.** The under cabinet lights did not function at the time of the inspection. It could not be determined if they do not work because of the bulb, the fixture, or a more extensive electrical issue. It is recommended that the bulb be replaced, and the light be tested. If that does not work, it is recommended that a licensed electrician be called out to further inspect and repair this issue.



### 5.13 WASHER/ DRYER AREA

Comments: Inspected

(1) **NOTE: Hose Lines.** Many washings machines are provided with rubber supply hoses. Rubber hoses are an older style, that have a higher failure rate than the newer steel-braided type. If this unit is supplied with a rubber type hoses, it is recommended that these lines be upgraded to the braided-type supply lines.

**NOTE: Washer Dryer Not Tested.** In accordance with industry standards, we do not test clothes dryers, washing machines, water connections or the drain lines to these units. Should the washing machine or dryer come with the sale of this house, it is recommended that you test each of these appliances to your satisfaction to ensure proper working order. Water supply lines for washing machines are typically left "ON" and older hoses have a greater risk of leaking under pressure. It is recommended that older rubber hoses be replaced with a braided type stainless steel line. This is noted for your information and convenience.

(2) **NOTE: Pan Recommended.**

Although it is not required, it is recommended that a pan with a drain be installed in the laundry area. This laundry sits on a raised foundation over structural wood framing. A water leak at the fixture can cause serious damage. **This is a recommendation and can be conducted at your convenience.**



(3) **Disconnected Vent.** The laundry vent line was disconnected at the underside of the house. Currently the lint and moisture is not properly exiting and is venting to the underside of the house. **This can allow for moisture related issues.** It is recommended that this the vent reconnected and the length shortened to allow for proper venting of air.



(4) **Improper Dryer Vent.** Flexible dryer vents are not permitted to be concealed spaces (between walls) and may not exceed 8 feet (6 feet per UMC). **Dryer runs can collect lint which can lead to dryer fires.** Limits are set in the distances in which these vents can run within mechanical venting. It is recommended that the dryer vent be properly run by a licensed HVAC specialist to ensure proper needs have been met.



The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 6. Garage or Carport

### Styles & Materials

**Garage Door Type:**

One automatic

**Garage Door Material:**

Metal

**Auto-opener Manufacturer:**

One Unit  
MARTIN


### Items

#### 6.0 OTHER

**Comments:** Inspected

#### 6.1 GARAGE FLOOR

**Comments:** Repair or Replace

 (1) **Pitting at Garage Floor.** There was some moderate pitting of the concrete at the garage floor. The cause of this was not able to be determined. Often this can be the result of sitting water. There was no evidence of water intrusion or efflorescence at this location. **The cause of this was not able to be determined. This is noted for your information.**



(2) **Cracks at Garage Floor.** There were several cracks at the garage floor . This is noted for your information and does not appear to be structural in nature.



## 6.2 GARAGE DOOR (S)

Comments: Repair or Replace

 **Damaged Garage Door Panel.**

The garage door is dented. This dent currently does not affect the opening/closing function of the garage, but is noted for your information. This panel can be replaced at your convenience if so desired.



## 6.3 EXTERIOR WALLS & ROOF

Comments: Inspected

## 6.4 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Comments: Inspected, Not Inspected

**NOTE: Not All Visible.** The walls of the garage were not all visible due to personal belongings and could not be inspected. It is recommended that these walls and other areas, which views are obstructed, be further inspected once belongings have been removed and access is available.



### 6.5 GARAGE CEILINGS

Comments: Inspected

### 6.6 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

Comments: Not Present


**NOTE: No Occupant Door.** There was not a door leading directly from the garage to the house. Access to the garage was from a side access door which does not require any safety equipment. This is noted for your information.

### 6.7 WINDOWS

Comments: Repair or Replace

(1) **NOTE: Plate Glass Windows.** Due to the age of the garage, the original windows are plate glass. In newer construction, windows in hazardous locations (within 18 inches from the ground, within 24 inches from a door, at the bottom of a stairwell. All glass within a door, and within areas of a pool...) are required to be equipped with safety glass. Glass which is less likely to cause severe injury when broken. Due to the year in which this garage was constructed, safety glass was not installed. If any of these windows were to break, the glass will be very sharp, and break in large shards. **It is recommended that if glass is replaced at hazardous locations, it be equipped with safety or tempered glass.** This is noted for your safety and information. Care should be taken with these windows.



 (2) **Cracked Window.** The garage window was cracked at time of inspection. Due to the serious nature and the increased risk of injury, it is highly recommended that this window be replaced as right away. Recommend that this window be replaced by a qualified professional.



#### 6.8 GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)

Comments: Inspected

**NOTE: Safety Devices In Working Order.** The garage door retracted, when (both) safety measures were tested: **(1.)** safety beam (six inches from ground) was disrupted. **(2.)** When pressure was applied to the garage door while closing. These are safety devices installed to ensure less risk of injury while door is closing. These items worked perfectly at time of inspection, and are mentioned solely for your awareness .



## 6.9 OUTLETS AND WIRING

Comments: Inspected

(1) **Protection of Wires.** All Romex less than 7'6" should be protected from damage. Currently there were some areas of Romex (NM Cable) that were not protected from physical damage. **It is recommended that these wire runs be protected from damage.**

(2) **Missing Light Bulb.** The light in the garage was missing the bulb. The power to this this location was not tested or inspected. It is not known if this fixture works. **It is recommended that this be tested and a light installed as needed by a licensed electrician.**



## 7. Heating / Central Air Conditioning

**The Home Inspector Shall Observe:** Permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room.

**The Home Inspector Shall Describe:** Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

**The Home Inspector is Not Required To:** Ignite or test any system in which the pilot is not lit or the system "OFF"; Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

**Cooling Equipment Type:**

Air conditioner unit (Split Unit)

**Cooling Equipment Energy Source:**

Electricity

**Cooling Equipment Manufacturer:**

YORK

**Number of AC Only Units:**

One

**Heat System Brand:**

UNKNOWN BRAND (No Label)

**Approximate Age of Heater:**

10-15 years old

**Energy Source:**

Gas

**Number of Heat Systems (excluding wood):**

One

**Ductwork:**

Insulated

**Filter Type:**

Disposable

**Types of Fireplaces:**

Solid Fuel

**Number Of Fireplaces.:**

One

Gas line capped.

**Operable Fireplaces:**

One


Items

**7.0 COOLING AND AIR HANDLER EQUIPMENT**

Comments: Repair or Replace

(1) **Cold Weather- Not Tested.** Due to the damage that can be caused by running an A/C unit at temperatures below 65 degrees, this unit was not tested. It is recommended that this unit be further inspection before initial use by a licensed HVAC specialist.



 (2) **Compressor Not Level.** The A/C unit, at the exterior of the house was not level. These units should be level to ensure proper working order. Generally when it is slightly out of level, it is best not to try an level the unit. This is noted for your information.



## 7.1 HEATING EQUIPMENT

Comments: Inspected

**NOTE: Gas Furnace- Limited Inspection.** The Scope of this inspection does not include a thorough analysis of the inner components of the furnace. This includes but is not limited to cracks in the heat exchanger and areas of the heater that are not accessible. The average live expectancy for gas fired furnaces is typically considered to be about 15-20 years depending on use. **It is recommended that all heaters be thoroughly evaluated by a licensed HVAC specialist every year to ensure proper working conditions.**

## 7.2 THERMOSTAT

Comments: Inspected

## 7.3 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

## 7.4 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

**FYI: Heater Temperature variance, tested normal.** The ambient air temperature variance test was performed by using thermometers on the air handler of the furnace unit. This is to determine if the difference in temperatures of the supply and return air, are between 14 degrees and 22 degrees. When tested, the supply air temperature for your system read 66 degrees, and the minimum return air temperature was 98 degrees. This indicates a normal range of temperature change. This is noted for your information only.

## 7.5 PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM

Comments: Inspected

## 7.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Inspected

**NOTE: Limited Inspection.** The chimney inspection was limited to the exterior of the chimney and firebox. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. **If this chimney has not been inspected within the last few years, it is recommended that a Class II inspection be conducted.** This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.

## 7.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Inspected

**Gas Line Capped- Not Connected.** The gas line for the fireplace has been capped and is not in use. **There was not a gas line leading to this location at the underside of the house.** This is noted for your information.

**NOTE: Damper Lock.** Should this fireplace use the gas option, the damper should be locked in the "open" position. This is to ensure that gas can properly vent if there is a leak, or the gas was accidentally left on.



### 7.8 HEARTH AND SURROUNDING AREAS

**Comments:** Inspected

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 8. Plumbing System

**The Home Inspector Shall Observe:** Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent systems (which are visible and accessible), including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all accessible plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

**The Home Inspector is Not Required To:** State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; Sump Pumps; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

### Styles & Materials

<b>Water Source:</b> Public	<b>Water Filters:</b> None	<b>Plumbing Water Supply (into home):</b> Copper
<b>Plumbing Water Distribution (inside home):</b> Copper	<b>Washer Drain Size:</b> 2" Diameter	<b>Plumbing Waste Line:</b> ABS Cast iron



Recommend these lines be scoped by a plumber

**Water Heater Power Source:**

Gas

**Water Heater Capacity:**

40 Gallon (1-2 people)

**Water Heater Manufacturer:**

RHEEM

Items

**8.0 MAIN WATER SHUT-OFF DEVICE (Describe location)**


**Comments:** Inspected

**FYI: The main Water Shut Off is Located:** Outside at the right side of the house/ building.

**NOTE: Good Water Pressure.** The water pressure at time of test was noted at being **Under 60 PSI**. It is required that when the water pressure exceeds **80lbs**, a water pressure regulator be installed due to heightened risk of plumbing malfunction due to pressure.

**8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**

**Comments:** Repair or Replace

 (1) **NOTE: Low Flow Fixture Information.** As part of this inspection, **we do NOT test the flow rates of the house fixtures for compliance.** With the exception of toilets, the flow rates are not printed or listed on the fixtures. **This is considered beyond the scope of the inspection.** For your information: beginning January 1, 2014, all Single Family Homes, built before January 1, 1994, require water saving plumbing fixtures be installed throughout the home (as a condition of building permits applied for after January 1, 2014).

As of January 1, 2017 all single-family homes built prior to January 1, 1994 must comply with these requirements (**permit or no permit**) and homeowners are required to install water saving fixtures, if the current fixtures are out of compliance. (This law will not affect commercial or multi-family properties until January 1, 2019).

**Sellers:** If you are selling your home after January 1, 2017, you are required to replace non-compliant fixtures or disclose what fixtures are non-compliant.

**As Stated Per The California Civil Code Section 1101.1-1101.8**

1101.4. (a) On and after January 1, 2014, for all building alterations or improvements to single-family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all noncompliant plumbing fixtures with water-conserving plumbing fixtures.

(b) On or before January 1, 2017, noncompliant plumbing fixtures in any single-family residential real property shall be replaced by the property owner with water-conserving plumbing fixtures.

(c) On and after January 1, 2017, a seller or transferor of single-family residential real property shall disclose in writing to the prospective purchaser or transferee the requirements of subdivision (b) and whether the real property includes any noncompliant plumbing fixtures.

**NOTE: Angle Stops/Valves.** The water shut off valves, for all fixtures, should be replaced every 10 or so years. These valves are not tested during the inspection. If these valves are more than 10-15 years old, it is possible that these valves may leak or not properly function when needed. **It is recommended that you consider changing these valves to a newer type upon possession.**

(2) **Corrosion at Supply Line.** There was a section of copper supply line, at the underside of the house, that had some moderate to severe corrosion. **There was some corrosion to the line at this location that could begin to leak.** It is recommended that this be further evaluated and repaired as needed by a licensed plumber.



(3) **Improper Support.** The copper piping, for the water supply lines, have some areas (in the attic) that are being supported by galvanized metal straps. Copper piping should be supported by a non-metallic plumbing strap or other means to avoid contact with incompatible materials. **Improper support can cause electrolysis, leading to pipe deterioration and the increased risk of leaks.** It is recommended that the plumbing supply lines be properly supported and protected from damage by a licensed plumber.



(4) **Incompatible Materials.** The copper piping, for the water supply lines, have areas that are in contact with incompatible materials. **Incompatible material contact can cause electrolysis, which can lead to pipe deterioration and increased risk of leaks.** It is recommended that the plumbing supply lines be further evaluated and protected from damage by a licensed plumber.



## 8.2 PLUMBING DRAIN, WASTE AND VENT SYSTEMS


Comments: Repair or Replace

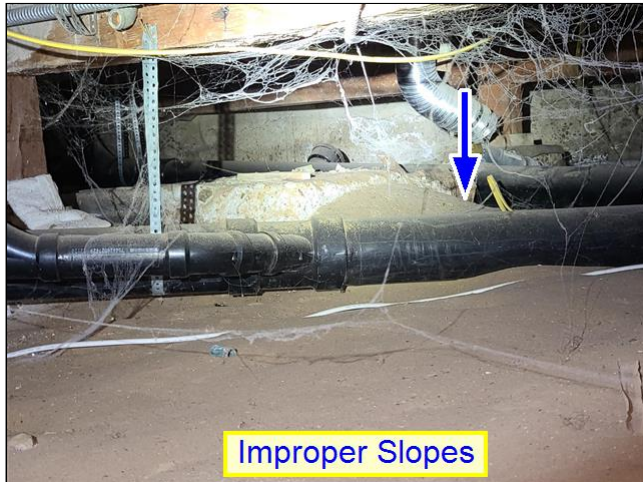
📍 (1) **Recommend Line Scope.** As part of this inspection, the waste lines have water flushed through the lines to ensure proper draining. The running of water ensures that there are no visible leaks, or blocks in the branch lines. We do not run water long enough to determine if there are blocks in the main line. **Main line blocks or partial blocks, within the branch lines, can occur without indication.** As a precaution, it is recommended that all waste lines be scoped with a camera by a licensed plumber or plumbing inspector. There are several issues that can arise within the waste lines; both with older Cast Iron as well as newer ABS. Cast iron lines are typically very old and generally at the end of their anticipated life. These lines deteriorate from the interior out, reducing the interior diameter of the pipe as it ages. These pipes can also incur cracks, breaks, pipe separation, root intrusion and improper slopes. ABS plumbing, although newer, can also incur some of these issues. **Due to our inability to see within these pipes, it is highly recommended that the waste lines of this property be scoped with a camera by a qualified professional.**


**NOTE: Older Construction- Scope Lines.** The waste lines for this property were originally constructed with cast iron. The waste lines are not visible all the way to the city connection. **Due to the year of this property, it is recommended that the waste lines be further evaluated.** Often times the replacement of the waste lines does not extend all the way to the city connection and problems can exist that we cannot see. **It is highly recommended that a plumber, equipped with a camera, be called out to scope the interior of the waste lines before the end of the contingency period.** This will help to determine the type of materials present as well as the true condition of the waste lines from the house to the city connection.

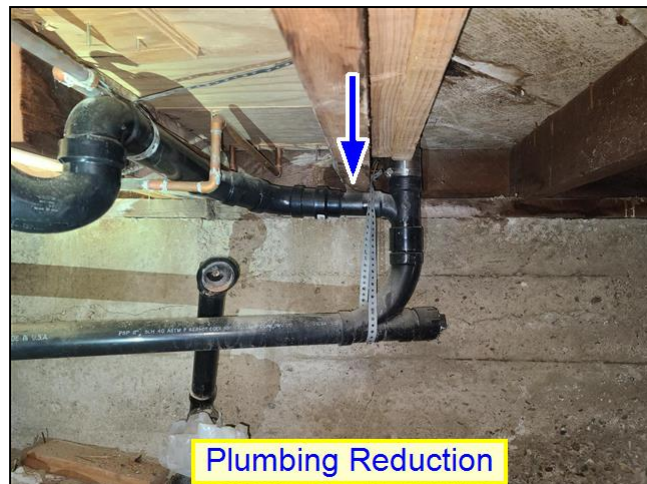
📍 (2) **NOTE: Replaced Plumbing Noted.** This house was originally plumbed with cast iron waste lines which typically have a life expectancy of about 50+ years. It was noted that some sections of the waste lines have had repairs made and have section replaced with ABS (a newer plastic type material). **This may indicate that the remaining plumbing may need repair or replacement in the near future.** This inspection

is limited and the condition of the pipes cannot all be viewed or determined. Only the visually accessible and exterior condition of the pipes are inspected. The condition of the pipes within the walls and under the ground are not known. **It is highly recommended in homes of this age that a plumber with a camera be called out for further evaluation of the waste lines.**

 (3) **Improper Slopes at Waste Lines.** There are waste lines at the underside of the house that do not have proper directional slopes. **Waste lines should always maintain a downward slope.** In this application there are sections of the plumbing that did not appear to have proper slopes. This can cause water and debris to remain within the pipe at this location. **It is recommended that these areas be further evaluated and that the slopes at these locations be corrected by a licensed plumber.**



 (4) **Pipe Reduction.** There was a pipe reduction noted at the underside of the house. This was noted at the underside of the hall bathroom. Pipe reductions are not permitted in waste line runs. **These reductions increase the risk of blockage.** **It is recommended that these be corrected as needed by a licensed and qualified plumber.**



(5) **Cast Iron Waste Lines.** This house is equipped with cast iron waste lines which are over 80 years old.

**Most visible sections have been replaced.** Although there were no leaks detected in the exposed pipes under the house at time of inspection, it is only a matter of time before leaks will develop. **Recommend that waste lines be replaced with ABS as leaks develop.**



### 8.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

**Comments:** Repair or Replace

(1) **Water Heater Note:** On Average water heaters typically have a 10 to 15 year life expectancy. **Currently this water heater was about 10 years old.** This is noted for your information.

**NOTE: Older Water Heater.** It is noted that this water heater is over 10 years old and is about at it's life expectancy. (Water heaters typically last 10 to 15 years- but have also been known to last longer). This heater may need replacement soon.



(2) **NOTE: Transite Vent Pipe.** It was noted that the water heater provided for this home appears to have a Transite vent pipe. Transite has a high probability of containing asbestos, a material that if damaged or disturbed can cause serious health risks. For more information about this material please read the provided links found in **Section 1.13.** of this report.



🏠 (3) **Missing Insulation.** The water supply lines were not insulated. **The first 5 feet of hot and cold water pipes are required to be insulated if they are exposed in unconditioned space . It is recommended that these lines be properly insulated.**



(4) **No Sediment Trap.** There was currently no sediment trap on the gas line leading into the hot water heater. It is recommended by the manufacturer that a sediment trap be installed at this heater. **It is recommended that a trap be installed by a licensed plumber.**



#### 8.4 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

**FYI: The main fuel shut off is located :** At gas meter outside at the rear of the building. **Recommend that a tool is secured to the gas line to allow you to shut off gas in case of an emergency.**

#### 8.5 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 9. Roofing / Chimneys / Roof Structure and Attic

**The Home Inspector Shall Observe:** Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The inspector will inspect any and all switched fans within the attic.

**The Home Inspector is Not Required To:** Walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, satellite and lightning arrestors. The home inspector does not adjust the settings, the controls or test the function, of any non-switched, timed or thermostatically controlled attic fans.


### Styles & Materials

<b>Viewed roof covering from:</b> Ground	<b>Roof-Type:</b> Gable	<b>Roof Covering:</b> Composition Shingle
<b>Chimney (exterior):</b> Masonry Stucco Metal Flue Pipe	<b>Sky Light(s):</b> None	<b>Method used to observe attic:</b> From entry Walked Inaccessible
<b>Roof Structure:</b> Stick-built 2 X 4 Rafters	<b>Ceiling Structure:</b> Unknown Not visible	<b>Attic info:</b> Stairs
<b>Attic Insulation:</b> Unknown Not Visible		

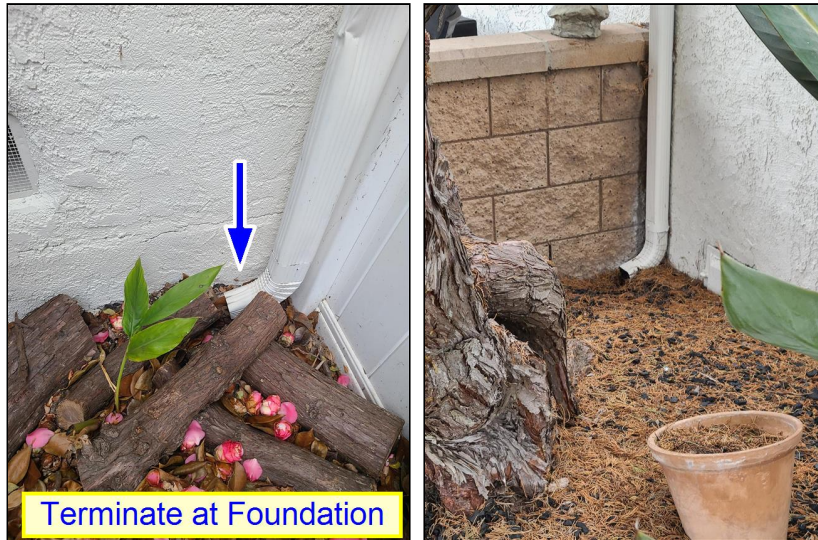
### Items

#### 9.0 ROOF DRAINAGE SYSTEMS (gutters and downspouts)

**Comments:** Repair or Replace

 (1) **Partial Gutters.** The partial drainage system for this roof is inadequate. Roof gutters direct water away from the house and foundation and are crucial in areas with drainage issues. It is recommended a complete gutter system be supplied for the house, and that the drainage system discharge away from the foundation of the house.

(2) **Gutters Terminate at Foundation.** The gutter system has a few down spouts that terminate at the house foundation. It is recommended that these termination points have fittings installed to kick water away from the house and foundation.



## 9.1 ROOF COVERINGS

Comments: Inspected

(1) **NOTE: Limited Inspection.** The roof inspection is a general overview of the roof's current condition. We are not roofing specialists. We cannot always accurately determine if there are active roof leaks. Often times a roof can leak due to problems or issues that are not visible at the time of the inspection. We will not be held liable for roof leaks that do not have visible issues at the time of the inspection. This includes patching of a roof. Visible evidence includes: physical damage, visible water staining at the interior ceilings, visible roof defects, improper roofing material or improper application of visible materials, worn areas, or improper and missing materials or flashings. Please understand that we do our best to determine and analyze the true condition of your roof and it's components. We try and report everything as accurately as we can. If you are concerned about any areas of this property, you are always encouraged to further evaluate any areas you have concerns about through a licensed specialist.


**NOTE: Steep Roof- Not Walked.** The roof of this house had a steep pitch and was not walked for safety purposes. The roof was observed from all sides with the use of a ladder. This is noted for your information.

(2) **Half-Life- Roofing Material.** The roof was older but in good condition. This roof appears to be about 15-20 years old. It appears that the roof is about at it's half-life. Typically roofs of this nature, if installed properly have about a 30-40 year life.

## 9.2 FLASHINGS

Comments: Repair or Replace




 **Seal Roof Jacks.** Some of the roof jacks are not properly sealed. Roof jacks are metal flashings which extend over the pipe and vent penetrations at the roof. Currently there are gaps between the jacks and the vents. This can allow for water to enter these locations. **It is recommended that the flashings at the vent terminations be properly sealed by a licensed contractor.**


### 9.3 SKYLIGHTS AND VENT TERMINATIONS

**Comments:** Inspected

### 9.4 CHIMNEY

**Comments:** Repair or Replace

 (1) **NOTE: Limited Inspection.** The chimney inspection was limited to the exterior of the chimney. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.

 (2) **Buried Ash Door.** The fireplace for this house had a buried door at the chimney ash dump. **It is recommended that this be repaired as needed to not only ensure proper working order, but also to ensure that animals do not enter or occupy this area.**




### 9.5 ROOF VENTILATION

**Comments:** Inspected

### 9.6 ROOF STRUCTURE AND ATTIC (Report leak signs or condensation)

**Comments:** Repair or Replace

 (1) **NOTE:** In accordance with industry standards, we will not enter an attic that has less than thirty-six inches (three feet) of headroom, is restricted by ducts, or in which access is hazardous or limited. During the inspection of the attic we do not move or disturb any portion of the insulation: This may limit the inspection of the water lines, electrical conduit (wires), junction boxes, exhaust fans, and other components which may be covered or obstructed by the insulation. We will do our best to observe all components found in this area and report any issues we find to the best of our abilities but will not be held liable for items not readily visible or accessible. This is noted for your information.

(2) **Water Staining Noted.** There was some minor water staining at some of the sheathing or rafters in the attic. **It could not be determined at time of inspection if these were active leaks.** There was no visible

evidence of roof or material damage at these locations. This is noted for your information and can be further evaluated if so desired.



Water Staining Noted

(3) **Wood Damage.** There was some minor wood damage noted at the roof rafters in the attic. It is recommended that you read your termite report. It is recommended that all damaged wood be repaired or replaced as needed by a license contractor.



Wood Damage

### 9.7 VENTILATION FANS (Kitchen, Bathroom and Exhaust Fans) IN ATTIC

Comments: Not Present

**NOTE:** Thermostatically Controlled and Timed Attic Fans are not tested as part of this inspection.

### 9.8 INSULATION IN ATTIC


Comments: Not Present

**Unknown Insulation.** There was currently no visible insulation in the attic. **The floor was finished and the insulation was not visible.** Insulation is used to help retain the heat in the winter and help cool your house in the summer. Areas missing insulation or with inadequate insulation, will not only cause your home to not

efficiently heat and cool; but it can also decrease the life expectancy of your roof. **Recommend replacement of missing or insufficient insulation.**

**9.9 VISIBLE ELECTRIC WIRING IN ATTIC**

Comments: Repair or Replace

 **Missing Cover on Junction Boxes.** There is at least one missing covers at the junction boxes in the attic. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire and shock. **Recommend installation of cover plates on all outlet boxes.**



The roof of the home was inspected and reported on with the above information and following the Standards of Practice set forth by CREIA. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be in working order, however may have improper installation or damage that is not visible at the time of the inspection. Because of the limited rainfall in this region, leaks are not always visible or able to be detected during the time of the inspection. Our inspectors make a vigilant attempt to find leaks but often due to weather conditions cannot. Leaks often go undetected until it rains, when they make themselves known. Please be aware that our inspectors have your best interest in mind. Any repair items mentioned in this report should be considered before purchase and. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## 10. Structural Components

**The Home Inspector Shall Observe Structural Components Including:** foundations, floors, walls, columns or piers, ceilings and roof.

**The Home Inspector Shall Describe:** The type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

**The Home Inspector is Not Required To:** Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

### Styles & Materials

<p><b>Method used to observe Crawlspace:</b> Crawled</p>	<p><b>Columns or Piers:</b> Wood posts Concrete piers</p>	<p><b>Foundation:</b> Pier / Post Perimeter Foundation Wall</p>
<p><b>Floor Structure:</b> 2 X 6</p>	<p><b>Anchor Bolts Provided?:</b> Yes</p>	<p><b>Wall Structure:</b> Wood 2 X 4 Wood</p>
<p><b>Floor System Insulation:</b> NONE</p>		

### Items

**10.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)**

Comments: Repair or Replace

📍 (1) **NOTE: Debris Under Building.** There was debris at the underside of the building. Currently there were sections of old cast iron waste lines laying on the ground. It is recommended that these abandoned objects be removed from the underside of the building.

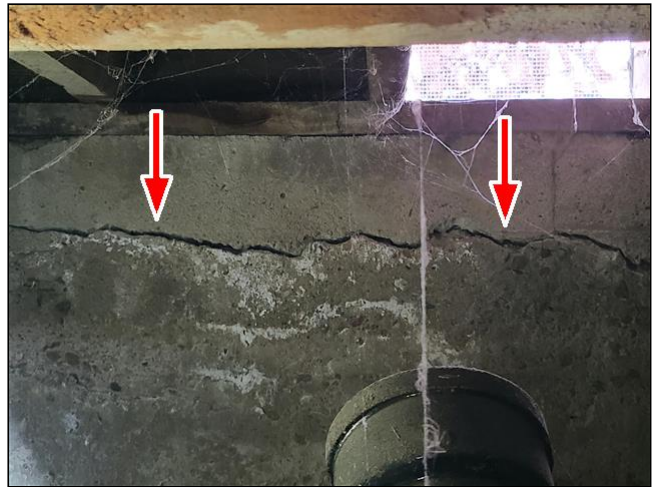


(2) **Large Horizontal Cracks.** There were areas at the underside of the house that have large horizontal cracks. These cracks were noted across the rear and left side of the property. These cracks had areas that were very deep, and some appear to penetrate through the entire wall. **These are considered structural deficiencies needing further evaluation and repair.** It is recommended that these locations be further evaluated by a structural engineer and or foundation specialist.

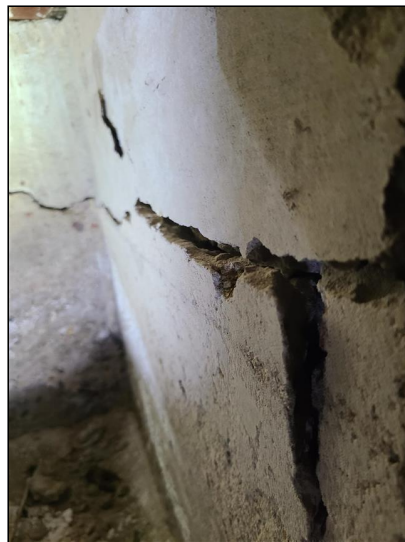




(Left Rear Corner)



OffSet Crack




(3) **Efflorescence Noted.** There were mild levels of efflorescence noted at the foundation wall. Efflorescence is a (powder-like substance) of calcium/ and salt which deposit at the exterior of the block as water evaporates. In new construction this may occur through hydration as the block or brick cures. On older block walls, this usually indicates that moisture is in contact with the masonry. Typically in these instances, efflorescence is not a structural concern, but more of an aesthetic issue . **This is noted for your information and should be observed over time.**

(4) **Minor/ to Severe Spalling.** There were a few areas in which there was spalling noted. Spalling is when the surface concrete begins to delaminate or flake away from the wall. Eventually this can lead to deterioration and weakening of the foundation. There were areas that range from minor to severe spalling. The worst of which is a section to the right of the front entry, where there is a large section of concrete pulling. **It is recommended that the spalling of the foundation be checked periodically, and if these areas dramatically worsen over time, that a licensed concrete specialist be called out for further analysis and repair.**



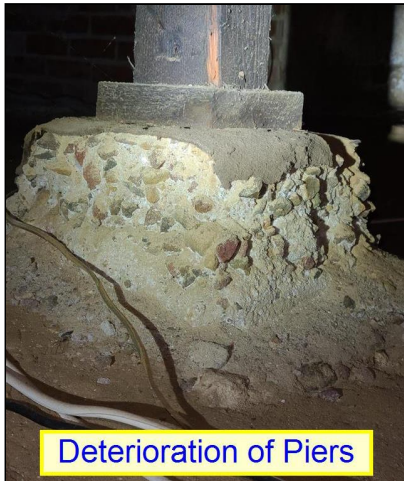
## 10.1 COLUMNS OR PIERS

Comments: Repair or Replace

 (1) **NOTE: No Straps.** This house has a foundation system that consists of a poured concrete perimeter foundation wall, and in interior pier and post support system. **This system is proper for this year in which**

**this house was constructed.** However homes constructed in this fashion today are required to have additional bracing and hardware at the piers and posts. Although it is not required for you to make additional changes or upgrades to this system it is recommended that additional bracing be supplied at the post/girder connections as well as the post/ pier connections. This is noted only for your information.

(2) **Deterioration of Piers.** There are at least 4 piers at the underside of the house have some moderate deterioration. **It is recommended that a licensed foundation contractor be called out for further evaluation and repair.**



Deterioration of Piers



## 10.2 FLOORS (Structural)

Comments: Repair or Replace

🏠 (1) **NOTE: Water Staining.** There were a few areas with water staining noted at the underside of the house. It appears that there have been past leaks. There were no areas of wood damage at these locations. This is noted only for your information.

**NOTE: Patching Noted.** It appears that there have been repairs made to the sub-floor at a few locations at the underside of the house. This is noted for your information.

🏠 (2) **Wood Damage Noted.** There was some wood damage to the flooring members noted under the #1 (laundry) bathroom. **It is recommended that a termite specialist be called out for further analysis and that all damaged wood be repaired or replaced by a licensed contractor.**



Wood Damage Noted

### 10.3 WALLS (Structural)

Comments: Inspected


**NOTE: Unknown Insulation.** Most homes and buildings built before 1978 were not provided with insulation within the exterior walls. Because this building was constructed before 1978, it was not known if insulation was provided in the exterior walls. Insulation helps to heat and cool the building more efficiently. You may wish to consider adding insulation to these walls.

### 10.4 CEILINGS (structural)

Comments: Inspected

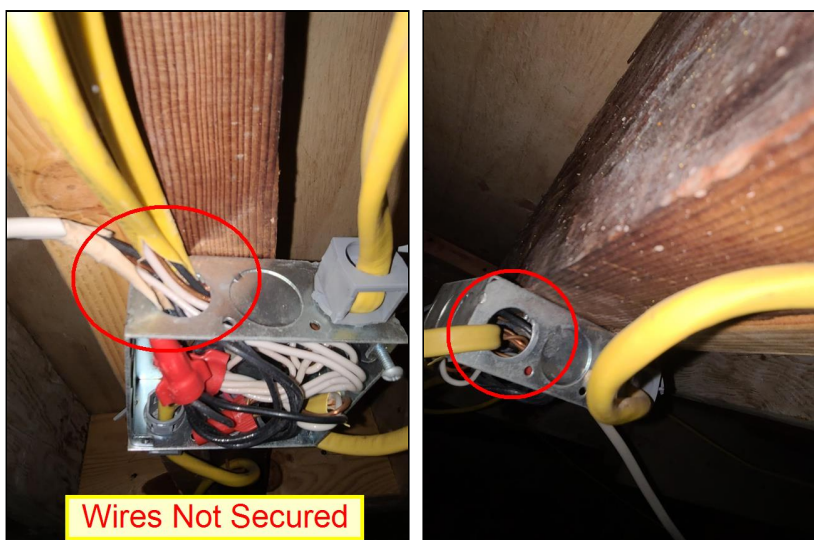
### 10.5 ELECTRICAL WIRING (Under Floor Space)

Comments: Repair or Replace

 (1) **Missing Cover on Junction Box.** There is a missing cover on a junction box in the crawl space. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire. **Recommend installation of cover plates on all outlet boxes.**



(2) **Wires Not Secured to Boxes.** There are junction boxes in which the wires are not secured to the boxes. All junction boxes should have the wires secured to the box via bushings or wire clamps. Not having secured wires can cause the wires to become loose or damaged causing increased risk of damage or injury. **It is recommended that a licensed electrician be called out to repair these boxes.**





**10.6 INSULATION UNDER FLOOR SYSTEM**

Comments: Not Present

**NOTE: No Insulation.** The floor system for the house is not insulated. Heat loss can occur more on this home than one that is properly insulated. This is noted for your information.

**10.7 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)**

Comments: Not Present

**10.8 VENTILATION OF FOUNDATION AREA (crawlspce or basement)**

Comments: Inspected

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The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

## General Summary



### Nation Wide Inspections

6275 Lorca Dr.  
San Diego, CA 92115

**Customer**  
Lynn Grimm

**Address**  
2301 Plumb St  
San Diego California 92106

## 1. Exterior

### 1.2 STEPS AND STAIRS

#### Repair or Replace



(1) **Short Hand Rail.** The hand rails at the stairs does not fully extend to the bottom of the stairs. **Hand rails should extend the full length of the stairs.** It is recommended that alterations be made to allow for a hand rail to extend the full length of the stairs.

### 1.3 VEGETATION, GRADING, AND DRAINAGE

#### Repair or Replace



(1) **Poor Drainage.** There are areas around the house where the drainage is poor or there was no directional slope away from the house. There were no visible surface drains noted at these locations. It is important that all water shed away from the house and foundation. Ideally there should be a minimum slope of 6 inches within the first 10 feet of the house. It is recommended that swales, french drains or other means of drainage be provided to keep water away from house and foundation.


### 1.4 EXTERIOR WALLS, FLASHING AND TRIM

#### Repair or Replace




(1) **NOTE: Stucco Cracks.** There were several areas of stucco with common cracking. Some of these cracks are small and others are larger. These cracks appear to be cosmetic due to house settlement and or concrete shrinkage. There does not appear to be any evidence of structural issues. This is noted for your information and can be further evaluated if you deem necessary. For more information about stucco cracks please read the following link: <http://ezinearticles.com/?Stucco-Cracks-and-Their-Remedies&id=6239712>

**NOTE: Patching Noted.** It was noted that there were areas of patchwork as some areas of the house. The reason for this patchwork could not be determined. There were currently no problems with these areas at the time of inspection and this is noted for your information only.

-  (2) **Delamination of Stucco**. There was some delamination of stucco noted at the exterior of the house. The stucco is beginning to delaminate at the exterior of the home. **This is common in older homes that are not provided with weep screed flashings at the stucco.** Although there are many causes of delamination, most often, it is due to excess moisture wicking into the stucco, and causing it to fail. **This is a cosmetic fix but, but efforts should be made to keep the area around your foundation dry.**


## 1.6 WINDOW SCREENS

### Repair or Replace

-  **NOTE: Worn Screens.** There were some window screens and frames that were worn and beginning to deteriorate. This is noted for your information and can be repaired as needed at your convenience.


## 1.7 WINDOWS

### Repair or Replace

-  (1) **NOTE: Newer Windows.** There are a few windows in this home that have been replaced. Retrofit windows often require permitting- depending on the local authority. It is not known if this city requires permits for the installation of these windows. Due to the nature of these windows, we are not able to verify that the flashings have been done correctly. It is recommended that you check with the local authority to determine if permits are required for the installation of these windows. If permits are not required, or were not taken out, these windows should be further evaluated by a licensed contractor specializing in window installation.


## 1.8 DOORS (Exterior)

### Repair or Replace

-  **Cant Verify Tempered.** There are a few exterior doors that contain glass that could not be verified as being safety glass. Tempered glass is a safety glazing that is required in hazardous locations, it is usually indicated as being such by labeling in corner of pane. **This is typical to find in older homes and precautions should be taken.** **Recommend further analysis and replacement if necessary.**


## 1.11 PLUMBING WATER FAUCETS (hose bibs)

### Repair or Replace


-  (1) **Seized Hose on Faucet.** There were a few faucets that had hoses attached to the spigots. The hoses were currently seized to the faucet handle and was not able to be removed. **It is recommended that the hose be removed and plumbers (Teflon) tape applied at this location.**

## 1.12 EXTERIOR LIGHT FIXTURES AND OUTLETS

### Repair or Replace


-  (1) **NOTE: Exterior Outlets:** Due to the natural elements and exterior moisture it is recommended all exterior outlets be listed for outdoor use (with covers) and be GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. This is noted for your information.

**NOTE: Sensored Lights.** There are exterior lights that are equipped with a sensor, that does not allow the light to turn on during daylight hours. These lights were not able to be tested for proper working order at the time of the inspection.

-  (2) **Inoperative Doorbell.** The door bell did not operate at time of inspection. **It is recommended that this be repaired by a qualified person.**


## 1.13 Screens and Vents

### Repair or Replace

-  **Missing/ Damaged Screen.** There was a missing or damaged screen noted at the garage. Screens help ventilate your garage and keep out unwanted bugs, cats, opossums, rodents and other creatures who may want to explore or reside within your garage. **It is recommended that all missing or damaged screen are repaired or replaced as needed.**

## 1.14 POOL SAFETY ACT (SB442)

### Repair or Replace

-  (1) **No Safety Features.** **This Pool was not provided with any of the safety features mentioned above as pertaining to California Law SB442.** It is recommended that a minimum of TWO of these drowning safety features

be provided to help safeguard the pool and pool area. **Additional safety features should be installed to properly comply with all the necessary standards.** It is recommended that further evaluation and information, about about these features and their applicable costs, be conducted before the end of the inspection contingency period. All work should be conducted by a licensed pool contractor who is familiar with the ASTM standards and all of the standards with the Health and Safety Codes of California SB442.

**Additional information can be found at the following links:**

[https://www.cpsc.gov/s3fs-public/pdfs/blk\\_media\\_SafetyBarrierGuidelinesResPools.pdf](https://www.cpsc.gov/s3fs-public/pdfs/blk_media_SafetyBarrierGuidelinesResPools.pdf)

<https://www.cpsc.gov/s3fs-public/359.pdf>


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## 2. Electrical System

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### 2.2 MAIN DISTRIBUTION PANELS AND GROUNDING

#### Repair or Replace

-  (1) **NOTE: Grounding Rods.** For today's standards, homes and all detached buildings (with electrical panels) should be provided with 2 grounding rods. Previously, before 2016, only one rod was required. Grounding rods are metal electrode (rods) placed within the soil to ground the house to the earth. This is mentioned only for your information and this properly may or may not comply or need to comply with these new standards.





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## 3. Interior Rooms

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### 3.0 FLOORS

#### Repair or Replace

-  (1) **NOTE: Furnished House.** Because this house was furnished at time of inspection it is recommended that all of the flooring, walls and closet space be further inspected at time of walk through. Because of the furnishings not all areas could be thoroughly inspected.
-  (3) **Worn Wood at Floors.** There were several areas of wood floor that were worn and should be refinished. Refinishing protects the wood from damage, prolonging the life of the wood. **We do not determine if these floors are capable of be resurfaced.** Sometime it is not possible to resurface flooring due to the diminished wood depth. **It is recommended that the wood floors be further evaluated by a qualified or professional flooring specialist.**
-  (4) **Floor Dings/ Scratches.** There was damage to the wood type floors of this house. These would include areas having small scratches and dings associated with flooring materials of this nature. **This is noted for your information.**
-  (5) **Carpet Discoloration.** There is carpet discoloration or stains throughout the rooms of this unit . It could not be determined if these areas of discoloration or stains can be removed. **It is recommended that a professional carpet cleaning company be called out to further evaluate these areas.**

### 3.1 CEILINGS


#### Repair or Replace

-  (1) **NOTE: Patching Noted.** There were some areas of patchwork noted at some of the ceilings. The reason for this patchwork could not be determined, but there did not appear to be any current damage or issues at these areas. This is noted only for your information.

**NOTE: Settlement Cracks.** There were a few rooms in which there were some minor settlement cracks noted in the drywall. These are common and can be patched at your convenience, if so desired.

### 3.2 DOORS (REPRESENTATIVE NUMBER)

#### Repair or Replace

-  **Missing Closet Doors.** The closet doors in bedroom #2 were not present at the time of the inspection. **This is noted for your information and it is recommended that these doors and tracks be installed at your convenience.**

### 3.3 WALLS

**Repair or Replace**

(1) **NOTE: Furnished House.** Because there were furnishings at the time of the inspection there are areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly recommended that a final walk through is completed once all belongings are out to ensure there is no unknown or additional damage.

**3.4 WINDOWS (REPRESENTATIVE NUMBER)****Repair or Replace**

(1) **Hazy Windows.** There were a few windows at the interior of the house that were hazy. **It was not able to be determined if the seals have been compromised.** Due to climatic and weather conditions, some windows may not show signs indicating that there are issues present. We cannot always determine if seals are broken and will not be held liable for broken window seals. **It is recommended that all of the windows be further evaluated for potential damage and repaired as needed by a licensed contractor or specialist.**

**3.6 STAIRWAY****Repair or Replace**

(1) **Missing Hand Rails.** There are currently no hand railings for the stairs. Stairs are the most frequent location of injury accidents in the home. For safety reasons it is recommended that handrails be provided for stairways with 4 or more steps. Handrails should be located at a height of 34-36 inches from the floor and should have a grippable surface between 1.25 inches and 2 inches. **Recommend that handrails be provided at this location.**

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**4(A) . Hall Bath**

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**4.6.A Shower/ Tub enclosure.****Repair or Replace**

(1) **NOTE: Shower Enclosures.** Shower enclosures are visually inspected for visible problems or defects. **How the waterproofing, setup and framing are conducted behind the surface is considered beyond the scope of the inspection.** Due to the waterproofing being installed behind the tile or finished material, improperly waterproofed enclosures can leak without having visible defects. Properly waterproofed and sealed enclosures should not leak even when there are cracked or damaged tiles/ grout. We will not be held accountable for leaks that do not have visible defects or those that do not show evidence of past leaks or issues. **If this is a newer enclosure, it is recommended that the contractual paperwork be collected to have the warranty and or installer's information and contractor number.**

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**4(B) . Bedroom #1 Bath**

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**4.1.B DOORS (REPRESENTATIVE NUMBER)****Repair or Replace**

**Inoperative Lock.** The lock for the door at this bathroom did not function at time of inspection. **For privacy purposes it is recommended that a locking device be provided on these doors.**

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**5. Kitchen Components and Appliances**

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**5.1 CUPBOARDS/DRAWERS/CLOSET DOORS****Repair or Replace**


(1) **Worn Areas of Cabinets.** It was noted that a few areas of the kitchen cabinets show some wear at heavily used areas of the cabinet doors. **This is noted for your information.**

**5.6 RANGES/OVENS/COOKTOPS****Repair or Replace**

-  **No Safety Strap on Oven.** Ovens come with a child safety strap (Anti-tip strap) to prevent the oven from tipping and falling if children use the oven door as a step. **It is recommended, especially if children are present, that this oven be equipped with a safety strap.**


## 5.8 DISHWASHER

### Repair or Replace

-  (1) **Improper High Loop.** The dishwasher had a "low" high loop that was not supported. High loops should extend to the underside of the counter to help inhibit sewer water from backing into the dishwasher through the possibility of siphonage. **It is recommended that this be corrected as needed by a qualified person.**

## 5.12 OUTLETS WALL SWITCHES and FIXTURES

### Repair or Replace


-  (1) **NOTE: Minimal Circuits.** It is required that when any remodel is conducted, that the room being remodeled be brought to the building standards which apply for the year in which the remodel was completed. In this application, there were not enough circuits supplied for today's standards.

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## 6. Garage or Carport


### 6.1 GARAGE FLOOR

#### Repair or Replace

-  (1) **Pitting at Garage Floor.** There was some moderate pitting of the concrete at the garage floor. The cause of this was not able to be determined. Often this can be the result of sitting water. There was no evidence of water intrusion or efflorescence at this location. **The cause of this was not able to be determined. This is noted for your information.**


### 6.2 GARAGE DOOR (S)

#### Repair or Replace

-  **Damaged Garage Door Panel.** The garage door is dented. This dent currently does not affect the opening/ closing function of the garage, but is noted for your information. **This panel can be replaced at your convenience if so desired.**

### 6.7 WINDOWS

#### Repair or Replace


-  (2) **Cracked Window.** The garage window was cracked at time of inspection. Due to the serious nature and the increased risk of injury, it is highly recommended that this window be replaced as right away. Recommend that this window be replaced by a qualified professional.

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## 7. Heating / Central Air Conditioning

### 7.0 COOLING AND AIR HANDLER EQUIPMENT

#### Repair or Replace


-  (2) **Compressor Not Level.** The A/C unit, at the exterior of the house was not level. These units should be level to ensure proper working order. **Generally when it is slightly out of level, it is best not to try an level the unit. This is noted for your information.**

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## 8. Plumbing System

### 8.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

#### Repair or Replace

-  (1) **NOTE: Low Flow Fixture Information.** As part of this inspection, **we do NOT test the flow rates of the house fixtures for compliance.** With the exception of toilets, the flow rates are not printed or listed on the fixtures. **This is considered beyond the scope of the inspection.** For your information: beginning January 1, 2014, all Single

Family Homes, built before January 1, 1994, require water saving plumbing fixtures be installed throughout the home (as a condition of building permits applied for after January 1, 2014).

As of January 1, 2017 all single-family homes built prior to January 1, 1994 must comply with these requirements (**permit or no permit**) and homeowners are required to install water saving fixtures, if the current fixtures are out of compliance. (This law will not affect commercial or multi-family properties until January 1, 2019).

**Sellers:** If you are selling your home after January 1, 2017, you are required to replace non-compliant fixtures or disclose what fixtures are non-compliant.

#### **As Stated Per The California Civil Code Section 1101.1-1101.8**

1101.4. (a) On and after January 1, 2014, for all building alterations or improvements to single-family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all noncompliant plumbing fixtures with water-conserving plumbing fixtures.

(b) On or before January 1, 2017, noncompliant plumbing fixtures in any single-family residential real property shall be replaced by the property owner with water-conserving plumbing fixtures.

(c) On and after January 1, 2017, a seller or transferor of single-family residential real property shall disclose in writing to the prospective purchaser or transferee the requirements of subdivision (b) and whether the real property includes any noncompliant plumbing fixtures.

**NOTE: Angle Stops/Valves.** The water shut off valves, for all fixtures, should be replaced every 10 or so years. These valves are not tested during the inspection. If these valves are more than 10-15 years old, it is possible that these valves may leak or not properly function when needed. **It is recommended that you consider changing these valves to a newer type upon possession.**

## **8.2 PLUMBING DRAIN, WASTE AND VENT SYSTEMS**

### **Repair or Replace**



(1) **Recommend Line Scope.** As part of this inspection, the waste lines have water flushed through the lines to ensure proper draining. The running of water ensures that there are no visible leaks, or blocks in the branch lines. We do not run water long enough to determine if there are blocks in the main line. **Main line blocks or partial blocks, within the branch lines, can occur without indication.** As a precaution, it is recommended that all waste lines be scoped with a camera by a licensed plumber or plumbing inspector. There are several issues that can arise within the waste lines; both with older Cast Iron as well as newer ABS. Cast iron lines are typically very old and generally at the end of their anticipated life. These lines deteriorate from the interior out, reducing the interior diameter of the pipe as it ages. These pipes can also incur cracks, breaks, pipe separation, root intrusion and improper slopes. ABS plumbing, although newer, can also incur some of these issues. **Due to our inability to see within these pipes, it is highly recommended that the waste lines of this property be scoped with a camera by a qualified professional.**

**NOTE: Older Construction- Scope Lines.** The waste lines for this property were originally constructed with cast iron. The waste lines are not visible all the way to the city connection. **Due to the year of this property, it is recommended that the waste lines be further evaluated.** Often times the replacement of the waste lines does not extend all the way to the city connection and problems can exist that we cannot see. **It is highly recommended that a plumber, equipped with a camera, be called out to scope the interior of the waste lines before the end of the contingency period.** This will help to determine the type of materials present as well as the true condition of the waste lines from the house to the city connection.



(2) **NOTE: Replaced Plumbing Noted.** This house was originally plumbed with cast iron waste lines which typically have a life expectancy of about 50+ years. It was noted that some sections of the waste lines have had repairs made and have section replaced with ABS (a newer plastic type material). **This may indicate that the remaining plumbing may need repair or replacement in the near future.** This inspection is limited and the condition of the pipes cannot all be viewed or determined. Only the visually accessible and exterior condition of the

pipes are inspected. The condition of the pipes within the walls and under the ground are not known. **It is highly recommended in homes of this age that a plumber with a camera be called out for further evaluation of the waste lines.**



(3) **Improper Slopes at Waste Lines.** There are waste lines at the underside of the house that do not have proper directional slopes. **Waste lines should always maintain a downward slope.** In this application there are sections of the plumbing that did not appear to have proper slopes. This can cause water and debris to remain within the pipe at this location. **It is recommended that these areas be further evaluated and that the slopes at these locations be corrected by a licensed plumber.**



(4) **Pipe Reduction.** There was a pipe reduction noted at the underside of the house. This was noted at the underside of the hall bathroom. Pipe reductions are not permitted in waste line runs. **These reductions increase the risk of blockage.** **It is recommended that these be corrected and needed by a licensed and qualified plumber.**

### 8.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

#### Repair or Replace



(3) **Missing Insulation.** The water supply lines were not insulated. **The first 5 feet of hot and cold water pipes are required to be insulated if they are exposed in unconditioned space .** **It is recommended that these lines be properly insulated.**

## 9. Roofing / Chimneys / Roof Structure and Attic

### 9.0 ROOF DRAINAGE SYSTEMS (gutters and downspouts)

#### Repair or Replace



(1) **Partial Gutters.** The partial drainage system for this roof is inadequate. Roof gutters direct water away from the house and foundation and are crucial in areas with drainage issues. **It is recommended a complete gutter system be supplied for the house, and that the drainage system discharge away from the foundation of the house.**

### 9.2 FLASHINGS

#### Repair or Replace



**Seal Roof Jacks.** Some of the roof jacks are not properly sealed. Roof jacks are metal flashings which extend over the pipe and vent penetrations at the roof. Currently there are gaps between the jacks and the vents. This can allow for water to enter these locations. **It is recommended that the flashings at the vent terminations be properly sealed by a licensed contractor.**

### 9.4 CHIMNEY

#### Repair or Replace



(1) **NOTE: Limited Inspection.** The chimney inspection was limited to the exterior of the chimney. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.



(2) **Buried Ash Door.** The fireplace for this house had a buried door at the chimney ash dump. **It is recommended that this be repaired as needed to not only ensure proper working order, but also to ensure that animals do not enter or occupy this area.**

### 9.6 ROOF STRUCTURE AND ATTIC (Report leak signs or condensation)

#### Repair or Replace




(1) **NOTE:** In accordance with industry standards, we will not enter an attic that has less than thirty-six inches (three feet) of headroom, is restricted by ducts, or in which access is hazardous or limited. During the inspection of the attic we do not move or disturb any portion of the insulation: This may limit the inspection of the water lines, electrical conduit (wires), junction boxes, exhaust fans, and other components which may be covered or obstructed by the insulation. We will do our best to observe all components found in this area and report any issues we find to the best of our abilities but will not be held liable for items not readily visible or accessible. This is noted for your information.

### 9.9 VISIBLE ELECTRIC WIRING IN ATTIC

#### Repair or Replace



-  **Missing Cover on Junction Boxes.** There is at least one missing covers at the junction boxes in the attic. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire and shock. **Recommend installation of cover plates on all outlet boxes.**


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## 10. Structural Components

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### 10.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)

#### Repair or Replace

-  (1) **NOTE: Debris Under Building.** There was debris at the underside of the building. Currently there were sections of old cast iron waste lines laying on the ground. It is recommended that these abandoned objects be removed from the underside of the building.


### 10.1 COLUMNS OR PIERS

#### Repair or Replace


-  (1) **NOTE: No Straps.** This house has a foundation system that consists of a poured concrete perimeter foundation wall, and in interior pier and post support system. **This system is proper for this year in which this house was constructed.** However homes constructed in this fashion today are required to have additional bracing and hardware at the piers and posts. Although it is not required for you to make additional changes or upgrades to this system it is recommended that additional bracing be supplied at the post/girder connections as well as the post/ pier connections. This is noted only for your information.

### 10.2 FLOORS (Structural)

#### Repair or Replace


-  (1) **NOTE: Water Staining.** There were a few areas with water staining noted at the underside of the house. It appears that there have been past leaks. There were no areas of wood damage at these locations. This is noted only for your information.

**NOTE: Patching Noted.** It appears that there have been repairs made to the sub-floor at a few locations at the underside of the house. This is noted for your information.

-  (2) **Wood Damage Noted.** There was some wood damage to the flooring members noted under the #1 (laundry) bathroom. **It is recommended that a termite specialist be called out for further analysis and that all damaged wood be repaired or replaced by a licensed contractor.**

### 10.5 ELECTRICAL WIRING (Under Floor Space)

#### Repair or Replace

-  (1) **Missing Cover on Junction Box.** There is a missing cover on a junction box in the crawl space. Junction boxes are used to conceal wire connections, protecting them from damage and decreasing the risk of fire. **Recommend installation of cover plates on all outlet boxes.**

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Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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