



Inspection Report

Malcolm T Swall Trustee

Property Address:
4768-72 Coronado Ave
San Diego CA 92107



Foresight Building Inspection

Sean Kinney

**1544 Harbison Canyon Rd
El Cajon, CA 92019
808.852.7769**



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Date: 4/18/2025	Time: 01:00 PM	Report ID: 3693
Property: 4768-72 Coronado Ave San Diego CA 92107	Customer: Malcolm T Swall Trustee	Real Estate Professional: Dan Dennison

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this property and prior to the closing of any inspection contingencies. Any recommendations by the inspector for further evaluation, repair, or replace suggest a second opinion or further inspection by a qualified tradesman, contractor, or engineer. Pictures may be included in the report as a reference but do not provide a complete representation of all the defects, and should not be used as the sole means for determining repairs and costs. All costs associated with further evaluations, repairs, or replacement of systems and components should be considered before purchasing this property and prior to the close of escrow.

Inspected (IN) = The inspector visually observed or tested the system or component which responded properly when tested or appeared to be in serviceable condition, consistent with the age of the system or component.

Not Inspected (NI) = This system or component was not available, visible, or accessible for inspection. Further evaluation is required when system or component is available for inspection.

Not Present (NP) = This system or component was not present at the time of the inspection.

Further Evaluation (E) = Observations were made during the inspection of the system or component that require further evaluation from a qualified specialist.

Repair or Replace (RR) = The system or component has visible defect, did not function properly when tested, or appears to have exceeded its serviceable life. Further evaluation is recommended to determine repairs or replacement needed.

Recommend Upgrade (UP) = An upgrade in the system or component is recommended to meet current building or safety standards.

In attendance:

Listing agent

Type of building:

Apartment, 3-4 Units

Approximate size of building:

4,000-5,000 sq/ft

Approximate age of building:

50-75 yrs

Owner/Tenant occupied:

Yes

Temperature:

Over 65 (F) = 18 (C)

Weather:

Overcast

Rain in last 3 days:

No

1. Roofing

Items to be inspected: Roof covering; Roof drainage systems; Flashings; Skylights; Chimneys; and Penetrations. The Inspector is not required to: Walk on the roof surface if in the opinion of the Inspector there is risk of damage or a hazard to the Inspector. Warrant or certify that the roof systems, coverings, or components are free from leakage.

Items

1.0 ROOF COVERINGS

Comments: Repair or Replace

Visible defects were observed at areas of the roof covering . It is recommended to contact a licensed roofer for a complete evaluation of all roof defects and repair/replace as needed.



1.0 Item 1(Picture) water heater utility room roof: substandard installation or building material was observed / recommend further evaluation



1.0 Item 2(Picture) view from second floor patio: substandard roof covering construction observed / recommend further evaluation and correction as needed



1.0 Item 3(Picture) roll roofing defects observed around the perimeter



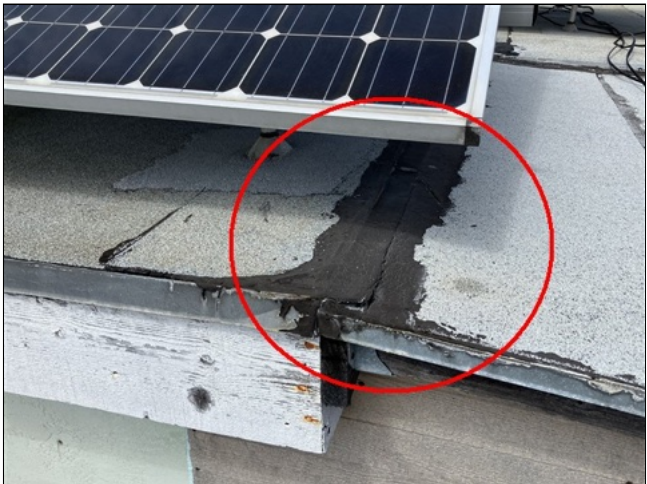
1.0 Item 4(Picture) roll roofing defects observed around the perimeter



1.0 Item 5(Picture) roll roofing deterioration visible / recommend further evaluation and correction as needed



1.0 Item 6(Picture) roll roofing deterioration visible / recommend further evaluation and correction as needed



1.0 Item 7(Picture) possible evidence of repairs observed / recommend further evaluation of repair



1.0 Item 8(Picture) roll roofing deterioration visible / recommend further evaluation and correction as needed



1.0 Item 9(Picture) roll roofing deterioration visible / recommend further evaluation and correction as needed

1.1 ROOF DRAINAGE SYSTEMS (rain gutters, downspouts, etc)

Comments: Repair or Replace

(1) Recommended Upgrade:

A properly designed and installed rain gutter system helps control water flow and keeps moisture away from the building system and its foundation. A rain gutter system or additional gutters to the existing system are a recommended upgrade.

Defects or deficiencies were observed at one or more areas of the downspout components. It is recommended to have the system evaluated by a rain gutter specialist and repaired/replace as needed.



1.1 Item 1(Picture) oxidation defects visible at rain gutters



1.1 Item 2(Picture) missing gutter components

(2) Areas of the roof drainage system appeared inadequate or may require additional improvements or corrections to assure proper drainage. It is recommended to have the roof drainage system evaluated by a licensed roofer for improvements and corrections as needed.



1.1 Item 3(Picture) ponding visible at roof covering / evidence of possible inadequate drainage

1.2 FLASHINGS

Comments: Further Evaluation, Repair or Replace

(1) Repairs were visible at areas of the flashing systems. Because it is outside the scope of this inspection to evaluate or warranty repairs, it is recommended to have a licensed roofer evaluate the repairs to insure a properly functioning flashing system.



1.2 Item 1(Picture) possible evidence of repairs observed / recommend further evaluation of repair

(2) The flashings at the chimney, vent penetrations, or transitions were missing, deteriorated, or had other observable defect. It is recommended to have all flashings systems evaluated by a licensed roofer and repaired/replaced as needed.



1.2 Item 2(Picture) oxidized flashings observed



1.2 Item 3(Picture) oxidized flashings observed

1.4 SKYLIGHTS

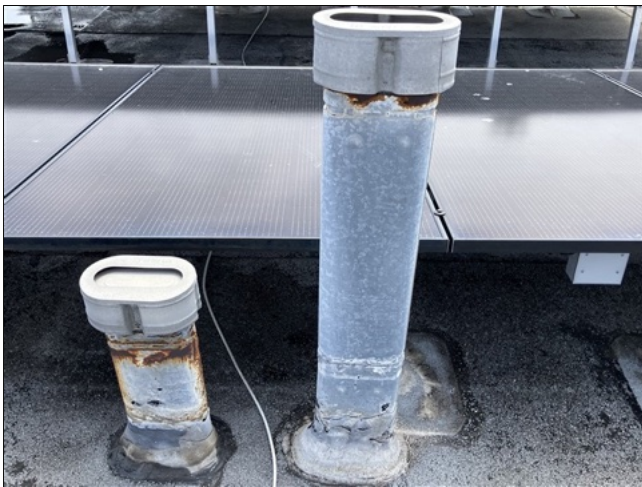
Comments: Further Evaluation

One or more of the skylights appeared aged and may have exceeded or is near to exceeding its expected serviceable life. Further evaluation by a qualified skylight specialist is recommended to determine remaining life expectancy or replacement as needed.

1.5 VENTS

Comments: Further Evaluation

One or more of the vent terminations were aged and appeared to have exceeded or are near to exceeding their serviceable life. It is recommended to have the vent terminations evaluated to determine remaining life expectancy and replacement as needed.



1.5 Item 1(Picture) aged vents observed / oxidation visible

1.7 OTHER

The cable service drop line runs above the roof was observed to pose a tripping hazard. Rerouting the cable service line is recommended.



1.7 Item 1(Picture) tripping hazard

Styles & Materials

Roof Covering: Roll Roofing or Modified Bitumen	Viewed roof covering from: Walked roof	Chimney (exterior): Metal
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2. Exterior

Items to be inspected: Surface grade directly adjacent to the building. Doors and windows. Attached decks, porches, patios, balconies, stairways, and their enclosures. Wall cladding and trim. Portions of walkways and driveways that are adjacent to the building. **The Inspector is not required to:** Inspect door or window screens, shutters, awnings, or security bars. Inspect fences or gates or operate automated door or gate openers or their safety devices. Use a ladder to inspect systems or components.

Items

2.0 WALL CLADDING SYSTEM

Comments: Further Evaluation, Repair or Replace

(1) There were damages, deterioration, or other visible defects observed at areas of the exterior wall cladding system or components. It is recommended to have this evaluated by an appropriate licensed contractor or tradesman and repaired/ replaced as needed.

Disclaimer: Cracks in the wall cladding system may be an indication of settling, movement, or other defect in the structural system of the home. This inspection is not meant to be a structural evaluation but an observation of visible defects. Only further evaluation and investigation from a qualified person can determine if non-visible defects are present.



2.0 Item 1(Picture) stucco damage/defect visible // maintenance/repairs needed



2.0 Item 2(Picture) stucco damage/defect visible // maintenance/repairs needed



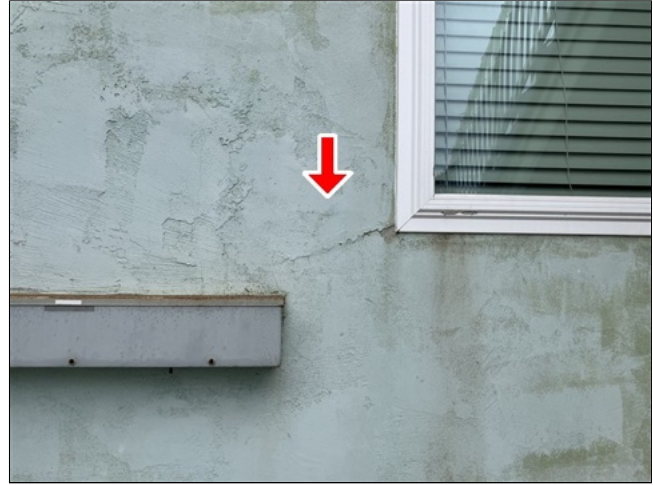
2.0 Item 3(Picture) stucco surface and paint maintenance/repairs needed



2.0 Item 4(Picture) stucco surface and paint maintenance/repairs needed



2.0 Item 5(Picture) cracks visible at stucco



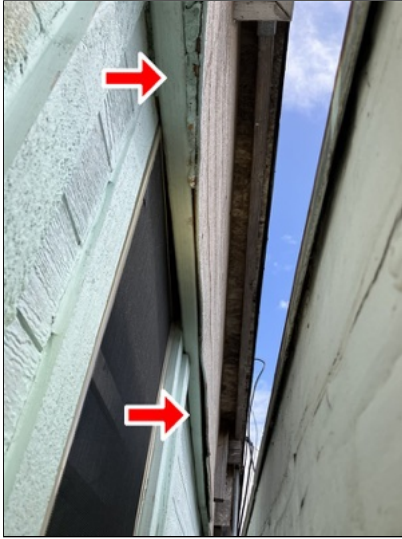
2.0 Item 6(Picture) cracks visible at stucco



2.0 Item 7(Picture) cracks visible at stucco



2.0 Item 8(Picture) view from second floor patio: substandard siding installation / recommend further evaluation and correction as needed



2.0 Item 9(Picture) view from second floor patio: substandard siding installation / recommend further evaluation and correction as needed



2.0 Item 10(Picture) crack visible at stucco

(2) There were visible stains observed on the stucco. These are often seen around windows, chimneys, at roof connections, or where stucco is in contact with the soil indicating possible moisture intrusion or other defect. Because determining the cause of the staining is beyond the scope of this inspection, consult with a stucco specialist for further evaluation and correction as needed.



2.0 Item 11(Picture) stucco stains visible

2.1 DOORS

Comments: Repair or Replace

Exterior door components had visible damage, did not function properly, or had other observable defect. It is recommended to have the doors evaluated by a qualified tradesman and repaired/replaced as needed.

Possible WDO (wood destroying organisms) evidence or damage was observed at areas of the exterior door systems. It is recommended to have a licensed pest control company evaluate all WDO related defects and remediate as needed.



2.1 Item 1(Picture) possible WDO evidence or damage observed / maintenance / repairs / or replacement needed



2.1 Item 2(Picture) garage occupant door: possible WDO evidence or damage observed



2.1 Item 3(Picture) unit 4772: oxidation visible at security door



2.1 Item 4(Picture) stairwell storage area door defects observed



2.1 Item 5(Picture)



2.1 Item 6(Picture) 4772 patio door: possible WDO evidence or damage observed

2.2 WINDOWS

Comments: Inspected

2.3 DECKS, PATIOS, ATTACHED COVERINGS, STAIRS AND RAILINGS,

Comments: Further Evaluation, Repair or Replace

(1) Multiple defects were observed at areas of the exterior deck, stairs, or attached covering systems. It is recommended to have a licensed contractor evaluate these exterior systems and repair/replace as needed.

Possible WDO (wood destroying organisms) evidence or damage was observed at areas of the exterior wood components (patio coverings/stairs/railing/etc). It is recommended to have a licensed pest control company evaluate all WDO related defects and remediate as needed.



2.3 Item 1(Picture) oxidation visible at stair system



2.3 Item 2(Picture) stucco cracks visible near stair attached to the deck / recommend further evaluation and correction as needed



2.3 Item 3(Picture) possible WDO evidence or damage observed



2.3 Item 4(Picture) concrete spalling visible / recommend further evaluation and correction as needed



2.3 Item 5(Picture) possible evidence of repairs observed / recommend further evaluation of repair



2.3 Item 6(Picture) crack visible at concrete stair



2.3 Item 7(Picture) oxidation visible at deck railing system and deck flashing



2.3 Item 8(Picture) cracks visible at concrete stairs



2.3 Item 9(Picture) substandard deck stair support installation observed



2.3 Item 10(Picture) substandard deck stair support installation observed



2.3 Item 11(Picture) stairwell storage area: possible WDO evidence or damage observed



2.3 Item 12(Picture) stairwell storage area: possible WDO evidence or damage observed / moisture stains or damage visible



2.3 Item 13(Picture) stairwell storage area: possible evidence of substandard repairs observed / recommend further evaluation of repair



2.3 Item 14(Picture) oxidation visible at railing



2.3 Item 15(Picture) oxidation visible at railing



2.3 Item 16(Picture) ponding water observed / evidence of possible inadequate drainage



2.3 Item 17(Picture) concrete deck: spalling observed

(2) Areas of the stair or guard railing systems were damaged, deteriorated, or had other observable defect. Because a defective or inadequate railing system can create a safety fall hazard, it is recommended to have a qualified contractor evaluate the exterior railing systems and repair/replace as needed.



2.3 Item 18(Picture) unit 4772: missing cable railing / loose cable railings



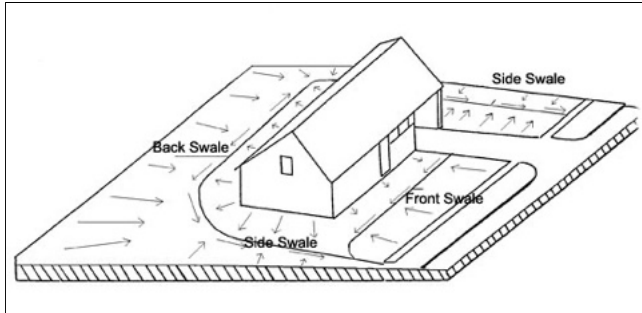
2.3 Item 19(Picture) unit 4772: missing cable railing / loose cable railings

2.4 GRADING, DRAINAGE, DRIVEWAYS, CONCRETE PATIOS/WALKWAYS, VEGETATION (With respect to their effect on the condition of the building)

Comments: Further Evaluation, Repair or Replace

(1) Insufficient slope or potentially poor drainage was observed at areas of the driveway, walkways, or landscaping which can increase moisture related damages and defects to the structure. Drainage or landscaping corrections and improvements are recommended. It is recommended to contact a licensed landscaping contractor for evaluation and correction as needed.

Note: There is a landscaping drainage system in place but is not tested or inspected as part of the scope of the inspection. Further evaluation is recommended to determine serviceability.



2.4 Item 1(Picture)



2.4 Item 2(Picture) exterior drain observed / evidence of inadequate drainage observed



2.4 Item 3(Picture) grading or drainage improvements/ corrections are recommended to achieve positive slope away from the property



2.4 Item 4(Picture) grading or drainage improvements/ corrections are recommended to achieve positive slope away from the property

(2) Cracking, damage, or other visible defect was observed at areas of the exterior hardscape (driveway, walkway, stairs, patio, etc.). It is recommended to have these evaluated by a licensed contractor and repaired/replaced as needed.



2.4 Item 5(Picture) crack visible at concrete stair



2.4 Item 6(Picture) cracks visible at concrete patio



2.4 Item 7(Picture) cracks visible at concrete walkway



2.4 Item 8(Picture) concrete spalling at stairs observed

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Repair or Replace

Areas of the eaves, soffits, or fascia boards were separated, damaged or had other visible defect that should be evaluated and repaired/replaced as needed.

Possible WDO (wood destroying organisms) evidence or damage was visible at areas of the eaves, soffits, or fascia boards. It is recommended to have a licensed pest control company evaluate all WDO related defects and remediate as needed.



2.5 Item 1(Picture) unit 4772: possible WDO evidence or damage observed



2.5 Item 2(Picture) fascia paint maintenance/repairs needed

2.6 OTHER

(1) Note: While fences, gates, or dividing walls are not inspected as part of the scope of the inspection, one or more defects were observed at the fence or gate system that should be evaluated by a qualified tradesman and repaired/replaced as needed.

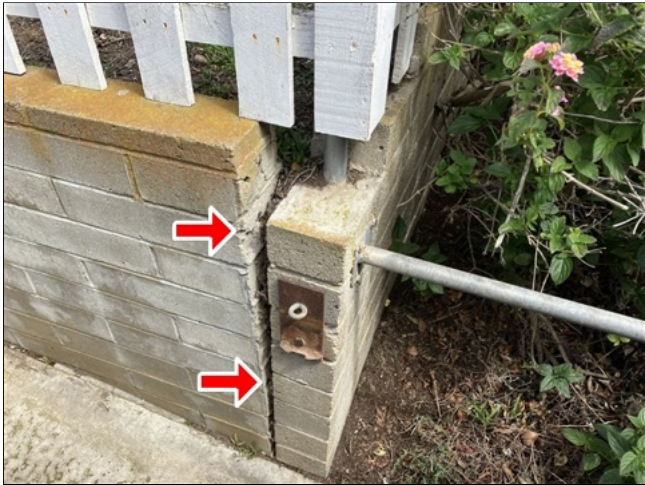
While retaining walls are not covered as part of the scope of the inspection, a defect was observed in the retaining wall and should be evaluated further by a landscaping contractor or engineer.



2.6 Item 1(Picture) concrete wall maintenance / repairs / or replacement needed



2.6 Item 2(Picture) retaining wall defects observed



2.6 Item 3(Picture) retaining wall defects observed

(2) Note: One or more areas of the exterior were not accessible, not visible for inspection, or otherwise not inspected due to the limitations of the scope of the inspection outlined in the attached Standards of Practice. Further inspection of these areas may reveal defects that would otherwise go unnoticed. Further evaluation is recommended.



2.6 Item 4(Picture) limited access and/or visibility

Styles & Materials

Driveway:	Siding Material:	Additional Comments:
Concrete	Stucco/Plaster	

3. Garage

Items

3.1 GARAGE FIREWALL SYSTEM (walls, ceilings, doors)

Comments: Repair or Replace, Recommend Upgrade

(1) There were holes, damages, or other breaches observed in the garage firewall separation (the wall and/or ceiling that separates the garage from the living areas). All penetrations (damages, holes, attic access, etc.) in the garage firewall should be evaluated and corrected as needed.



3.1 Item 1(Picture) unit 4770 garage ceiling: penetrations observed in garage firewalls

(2) Recommended Firewall System Upgrade:

Areas of the garage walls, ceilings, and doors that would be part of modern garage firewall system did not appear to be adequately constructed to current firewall standards. While this may not have been required at the time of construction, walls and ceilings separating the garage from living space are considered a firewall and should be covered with an appropriate material, typically a sheetrock (drywall) of a certain thickness or rating depending upon location. It is recommended to have a licensed contractor evaluate the garage firewall systems and upgrade as needed.



3.1 Item 2(Picture) unit 4770 garage: firewall upgrades recommended



3.1 Item 3(Picture) unit 4772 garage: firewall upgrades recommended

3.2 GARAGE WALLS AND CEILINGS

Comments: Further Evaluation, Repair or Replace

There were moisture stains or other possible signs of moisture intrusion at the garage ceilings and/or walls. No moisture was observed at the time of the inspection. It is recommended to have this evaluated by a licensed contractor to determine the cause of penetration, identification of hidden damages if present, and correction as needed.

Disclaimer: This inspection cannot determine the presence of hidden damages or mold. Any moisture related evidence or damages should be evaluated by a qualified person to determine the presence of hidden damages or mold and correction as needed.



3.2 Item 1(Picture) unit 4770 garage: moisture stains or damage visible / recommend further evaluation and correction as needed



3.2 Item 2(Picture) unit 4772 alley side: moisture stains or damage visible / recommend further evaluation and correction as needed



3.2 Item 3(Picture) unit 4772 alley side: moisture stains or damage visible / recommend further evaluation and correction as needed

3.3 GARAGE FLOOR

Comments: Inspected

3.4 GARAGE DOOR (S)

Comments: Repair or Replace

One or more of the garage door systems or components was damaged, did not operate properly when tested, or had other observable defect. It is recommended to have the door system evaluated by a qualified contractor and repaired/ replaced as needed.



3.4 Item 1(Picture) missing garage door trim



3.4 Item 2(Picture) possible WDO evidence or damage observed at garage door jamb

3.5 GARAGE DOOR OPERATOR

Comments: Repair or Replace

One or more of the garage door opener systems or components did not operate properly when tested or had other visible defect. It is recommended to have the garage door operator evaluated and by a qualified person and repaired/ replaced as needed.



3.5 Item 1(Picture) garage door operator did not operate properly when tested



3.5 Item 2(Picture) unit 4772 (alley side): garage door opener cover was missing

3.8 OTHER

Possible WDO (wood destroying organisms) evidence or damage was observed in the garage. It is recommended to have a licensed pest control company evaluate all WDO related defects and remediate as needed.

Styles & Materials

Garage Door Type:

Detached Garage:

Attached Garage:

4. Interiors

Items to be inspected: Walls, ceiling, and floors. Doors and windows. Stairways, handrails, and guardrails. Permanently installed cabinets. Absence of smoke alarms. Vehicle doors and openers. **The Inspector is not required to:** Inspect window, door, or floor coverings. Determine whether a building is secure from unauthorized entry. Use a ladder to inspect systems or components.

Items

4.0 CEILINGS AND WALLS

Comments: Further Evaluation, Repair or Replace

(1) Disclaimer: Cracks in the ceiling and/or walls may be a result from possible settling, movement, or defect that has occurred. This inspection is not meant to be a structural evaluation but an observation of visible physical defects. Only further evaluation and investigation from a qualified person can determine if non-visible defects are present and corrections as needed.



4.0 Item 1(Picture) unit 4768: cracks in ceiling observed

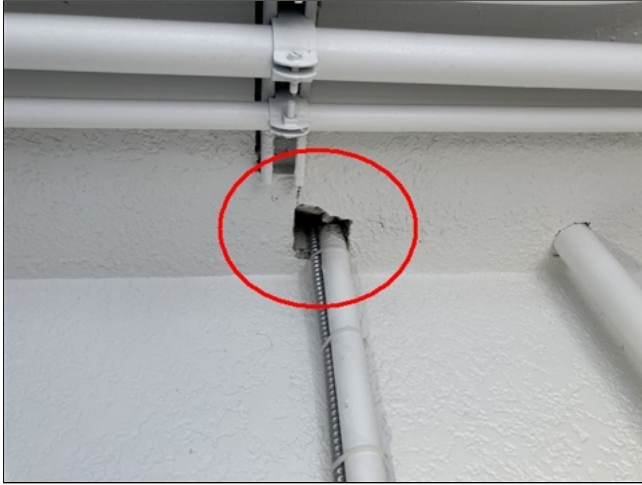
(2) Damages, missing drywall, or other defects to the walls or ceilings were observed. It is recommended to have these walls and ceilings evaluated by a qualified tradesman and repaired/replaced as needed.



4.0 Item 2(Picture) unit 4770 bathroom: unfinished ceiling / possible abandoned skylight



4.0 Item 3(Picture) unit 4772: ceiling paint defects observed



4.0 Item 4(Picture) laundry room: ceiling maintenance/ repairs needed

(3) There were stains or other possible signs of past moisture intrusion on the ceiling or walls. Only further evaluation and investigation can determine the cause and identify presence of hidden damages.

Disclaimer: It is outside the scope of this inspection to inspect for or identify mold. Any moisture related damages or defects should be evaluated by a qualified mold specialist to determine the presence of mold and appropriate remediation as necessary.



4.0 Item 5(Picture) unit 4770 bathroom #2: moisture stains or damage visible / possible evidence of fungal activity

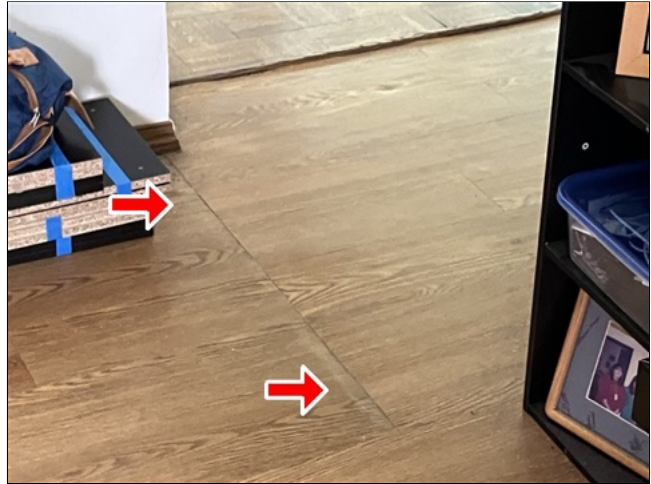
4.1 FLOOR COVERINGS

Comments: Repair or Replace

The floor coverings appeared aged with consistent signs of deterioration and may have exceeded or is near to exceeding their expected serviceable life. Further evaluation is recommended to determine remaining life expectancy or replacement as needed.



4.1 Item 1(Picture) unit 4768: aged flooring / maintenance/repairs needed



4.1 Item 2(Picture) unit 4768: possible evidence of repairs observed / recommend further evaluation of repair

4.3 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

4.4 COUNTERS, CABINETRY, AND SHELVING (REPRESENTATIVE NUMBER)

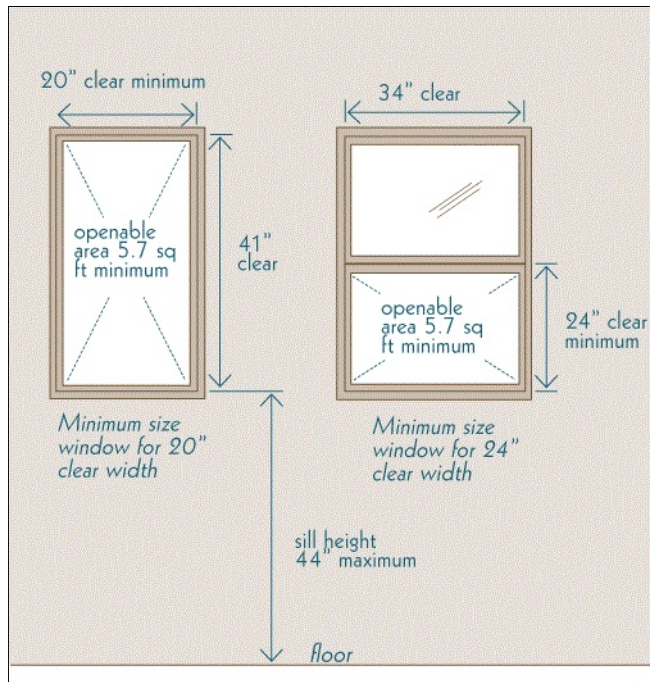
Comments: Inspected

4.5 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Recommend Upgrade

Recommended Safety Upgrades:

When the second exit in a bedroom is a window, specific size requirements have been established for egress. A window sill height may not exceed 44 inches from the floor and the openable portion of the window must exceed 5.7 sq/ft (5.0 sq/ft if on the ground level) and comply with height/width distance minimums. While these requirements may not have been required at the time of construction, as a safety upgrade, it is recommended to have this evaluated by a licensed contractor and upgrade as needed.



4.5 Item 1(Picture)



4.5 Item 2(Picture) unit 4768: bedroom window egress upgrades recommended

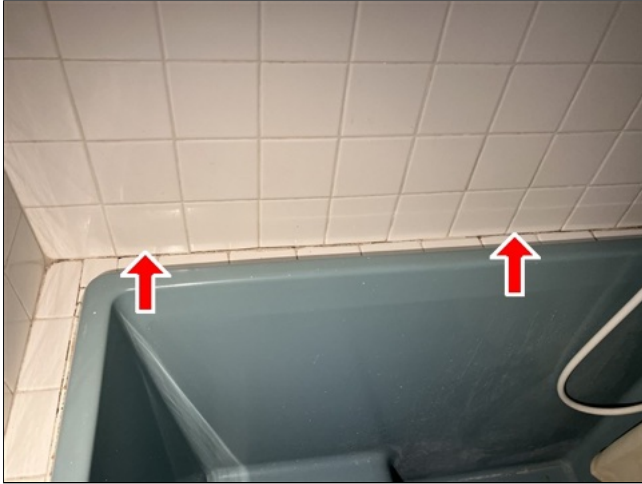


4.5 Item 3(Picture) unit 4772 (alley side): bedroom window egress upgrades recommended

4.6 BATH TUB AND SHOWER SYSTEM

Comments: Repair or Replace

(1) The caulking or grout was missing, separated, or had other observable defect at areas of one or more of the tub/shower wall or floor systems. It is recommended to have these evaluated and repaired as needed.



4.6 Item 1(Picture) unit 4770: caulking or appropriate sealant maintenance/repairs needed

(2) One or more of the shower pan, tub, or wall surround systems appeared aged with signs of deterioration and may have exceeded or are near to exceeding their expected serviceable life. Further evaluation from a licensed contractor is recommended to determine remaining life expectancy or repair/replace as needed.



4.6 Item 2(Picture) unit 4772: aged tub/wall surround system observed



4.6 Item 3(Picture) unit 4772: moisture stains or damage visible

4.7 LAUNDRY ROOM

Comments: Inspected



4.7 Item 1(Picture) laundry room

4.8 OTHER (additional observations)

Comments: Further Evaluation

(1) Lead and Asbestos Disclaimer:

Buildings constructed prior to 1978 may contain lead. It is outside the scope of this inspection to identify or determine if lead is present in the building materials and surrounding area. Only further evaluation and lab testing from a qualified lead specialist can determine if lead is present.

Many buildings built or remodeled between 1945 and 1978 may contain asbestos materials. It is outside the scope of this inspection to identify or determine if asbestos is present in the building materials and surrounding area. Only further evaluation and lab testing from a qualified lead specialist can determine if asbestos is present.

Refer to the following links for helpful information from the EPA (Environmental Protection Agency and CSLB (CA State Licensing Board):

<https://www.epa.gov/lead/real-estate-disclosure>

<http://www.cslb.ca.gov/Resources/GuidesAndPublications/AsbestosGuideForConsumers.pdf>



4.8 Item 1(Picture) popcorn ceiling texture materials installed before 1978 may contain asbestos

(2) Unit 4768



4.8 Item 2(Picture) unit 4768 kitchen



4.8 Item 3(Picture) unit 4768 living room



4.8 Item 4(Picture) unit 4768
bathroom

(3) Unit 4770 - Disclaimer: It is outside the scope of this inspection to determine original construction from later additions or modifications. Some evidence was observed that may indicate modifications from the original construction. Any changes from the original construction should be evaluated by a qualified contractor, architect, or engineer to determine if modifications were performed according to the appropriate building regulations at the time of construction.



4.8 Item 5(Picture) unit 4770 kitchen



4.8 Item 6(Picture) unit 4770
bathroom #1



4.8 Item 7(Picture) unit 4770 bathroom #2



4.8 Item 8(Picture) unit 4770: bathroom #2 appeared
to be an addition

(4) Unit 4772



4.8 Item 9(Picture) unit 4772 living room



4.8 Item 10(Picture) unit 4772 kitchen



4.8 Item 11(Picture) unit 4772 bathroom

(5) Unit 4772 (alley side)



4.8 Item 12(Picture) unit 4472 (alley side) kitchen



4.8 Item 13(Picture) unit 4472 (alley side) living room



4.8 Item 14(Picture) unit 4772
(alley side) bathroom

5. Structural Components

Items to be inspected: Foundation system. Floor framing system, Foundation anchoring and cripple wall bracing. Wood separation from soil. Roof framing. The Inspector is not required to: Determine size, spacing, location, or adequacy of foundation bolting/bracing components or reinforcing systems.

Items

5.0 FOUNDATION AND SUBFLOOR AREA

Comments: Repair or Replace
There were cracks, deterioration, or other observable defects visible at areas of the foundation wall system or components. It is recommended to have a qualified licensed contractor or engineer evaluate to determine if repairs or replacement are needed.

Disclaimer: It is outside the scope of this inspection to evaluate structural defects or determine structural integrity. All structural defects should be evaluated by a licensed contractor or engineer to determine the integrity of the structural systems.



5.0 Item 1(Picture) crack visible at foundation stem wall



5.0 Item 2(Picture) crack visible at foundation stem wall

5.2 FLOORS

Comments: Further Evaluation

(1) Possible WDO (wood destroying organisms) evidence or damage was visible at areas of the structural flooring system. It is recommended to have a licensed pest control company evaluate all WDO related damages and remediate as needed.



5.2 Item 1(Picture) possible WDO evidence or damage observed



5.2 Item 2(Picture) possible WDO evidence or damage observed

(2) Moisture stains or other evidence of past moisture intrusion were observed at areas of the flooring system. No moisture was observed at the time of the inspection. Only further evaluation and investigation can determine the cause and identify presence of hidden damages.

Disclaimer: It is outside the scope of this inspection to inspect for or identify mold. Any moisture related damages or defects should be evaluated by a qualified mold specialist to determine the presence of mold and appropriate remediation as necessary.



5.2 Item 3(Picture) subfloor area: moisture stains or damage visible

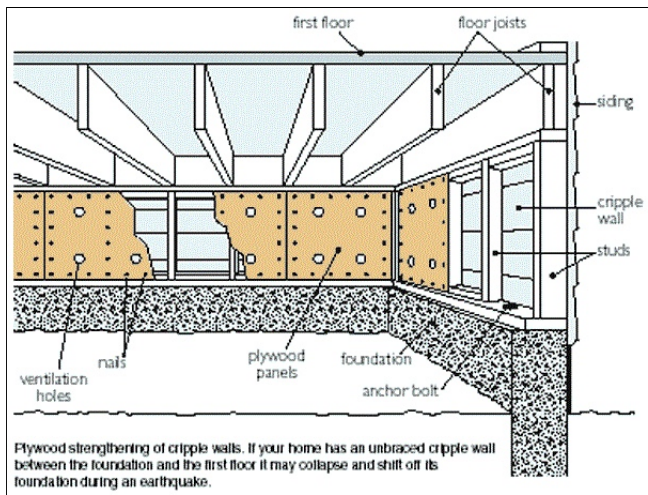
5.3 WALLS AND CEILINGS

Comments: Further Evaluation, Recommend Upgrade

(1) **Recommended System Upgraded:**

Missing or inadequate cripple wall bracing was observed. While this may not have been required at the time of construction, adequate cripple wall bracing is an important component in preventing movement or other damages

resulting from seismic activity. It is recommended to have this evaluated by a licensed contractor and upgraded as needed.



5.3 Item 1(Picture)



5.3 Item 2(Picture) cripple wall bracing upgrades recommended



5.3 Item 3(Picture) cripple wall bracing upgrades recommended

(2) Possible WDO (wood destroying organisms) evidence or damage was visible. It is recommended to have a licensed pest control company evaluate all WDO related damages and remediate as needed.



5.3 Item 4(Picture) subfloor area: possible WDO evidence or damage observed



5.3 Item 5(Picture) subfloor area: possible WDO evidence or damage observed



5.3 Item 6(Picture) subfloor area: possible WDO evidence or damage observed

5.5 ROOF STRUCTURE AND ATTIC

Comments: Inspected

No attic space observed

5.7 OTHER

(1) The scope of this inspection to visually observe and survey areas of the attic and subfloor area which can be reached, entered, or viewed without difficulty, moving obstructions, or requiring any action which may result in damage to the property or personal injury to the inspector. Some areas of the attic, roof structure, or subfloor areas were observed to be not accessible or visible for inspection. Only accessible and visible areas were inspected.

(2) Disclaimer: It is outside the scope of this inspection to determine original construction from later additions or modifications. Some evidence was observed that may indicate modifications from the original construction. Any changes from the original construction should be evaluated by a qualified contractor, architect, or engineer to determine if modifications were performed according to the appropriate building regulations at the time of construction.



5.7 Item 1(Picture) possible evidence of modifications to original construction observed / substandard installation or building material was observed / recommend further evaluation



5.7 Item 2(Picture) possible evidence of modifications to original construction observed / substandard installation or building material was observed / recommend further evaluation



5.7 Item 3(Picture) possible evidence of modifications to original construction observed / substandard installation or building material was observed / recommend further evaluation

(3) There was debris (wood, cardboard, abandoned materials, etc.) observed in the attic or subfloor area. It is recommended to have all debris removed.



5.7 Item 4(Picture) subfloor area: debris removal needed

Styles & Materials

Foundation: Raised Foundation Slab on grade	Foundation Anchoring Visible: Yes	Roof Structure: Not accessible or visible
Method used to observe attic: No attic accessibility		

6. Plumbing System

Items to be inspected: Water supply piping. Drain, waste, and vent piping. Faucets and fixtures. Fuel gas piping. Water heaters. The functional flow and functional drainage of water. **The Inspector is not required to:** Fill any fixture with water, inspect overflow drains or drain stops, or evaluate backflow devices, waste ejectors, sump pumps, or drain line cleanouts. Inspect or evaluate water temperature balancing devices, temperature fluctuation, time to obtain hot water, water circulation, or solar heating systems or components. Inspect whirlpool baths, steams showers, or sauna systems or components. Inspect fuel tanks or determine if the fuel gas systems is free of leaks. Inspect wells or water treatment systems.

Items

6.0 HOT WATER HEATING SYSTEMS

Comments: Further Evaluation, Repair or Replace

(1) The water heater shed was damaged, deteriorated, or has other visible defect that should be evaluated by a qualified tradesman and repaired/replaced as needed.



6.0 Item 1(Picture) water heater storage shed:
possible WDO evidence or damage observed

(2) The water heater was operational at the time of the inspection but one or more components was near to exceeding their expected serviceable life. Further evaluation from a qualified plumber is recommended to determine current servicing/maintenance needs and the remaining life expectancy.



6.0 Item 2(Picture) tankless water
heater



6.0 Item 3(Picture) installed 2015

6.1 MAIN WATER SHUT-OFF DEVICE (Describe location)

Comments: Inspected



6.1 Item 1(Picture) near unit 4768: water shut off valve for all units



6.1 Item 2(Picture) water meter and main shut-off

6.2 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

Because determining if the fuel system is free of leaks, it is recommended to have SDG&E (San Diego Gas and Electric) perform a routine service check up. Please contact SDG&E for more information:

<https://www.sdge.com/residential/services/service-check>

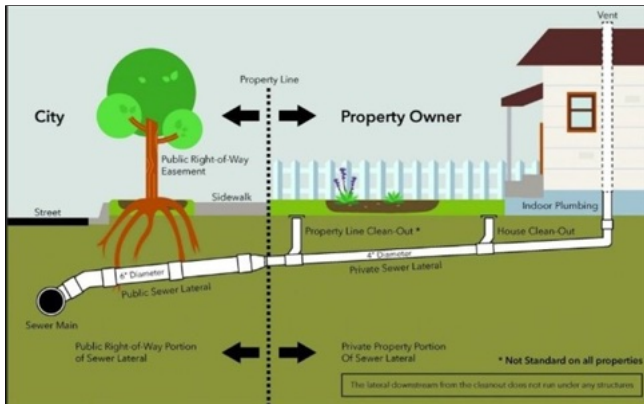


6.2 Item 1(Picture) 3 meters and main disconnects

6.3 VISIBLE PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Further Evaluation, Repair or Replace

(1) Plumbing DWV (drain, waste, vent) systems may have hidden defects that can only be detected with further inspection from a qualified plumber who provides drain video/camera inspections. Because the scope of this inspection is limited to only visible and accessible systems and components, it is recommended to contact a licensed plumber for further inspection and evaluation.



6.3 Item 1(Picture)



6.3 Item 2(Picture) sewer camera inspection recommended



6.3 Item 3(Picture) sewer camera inspection recommended



6.3 Item 4(Picture) evidence of past leakage observed / no visible leaking observed / recommend sewer camera inspection

(2) A corrugated flexible plastic material was observed at one or more of the sink drain systems. While these are often used in repairs by home owners and handy-men, they should be treated as a temporary repair. It is recommended to have corrugated pipe replaced with appropriate hard drain pipe material.



6.3 Item 5(Picture) unit 4772 (alley side) bathroom: substandard drain material

(3) The DWV (drain,waste,venting) system or components appeared aged with signs of deterioration and may have exceeded or are near to exceeding their expected serviceable life. Further evaluation from a qualified plumber is recommended to determine remaining life expectancy and replacement as needed.



6.3 Item 6(Picture) subfloor area: oxidation visible at copper branch drain

6.4 VISIBLE WATER SUPPLY DISTRIBUTION SYSTEMS

Comments: Further Evaluation

There was leaking, deterioration, or other visible defect observed at one or more of the plumbing fixture/appliance supply hoses or valves. It is recommended to have the valves and hoses evaluated by a licensed plumber and repaired/replaced as needed.

One or more of the plumbing fixture/appliance supply valves or hoses appeared aged or had visible signs of oxidation and may have exceeded or are near to exceeding their expected serviceable life. It is recommended to have a licensed plumber evaluate to determine remaining life expectancy or replace as needed.



6.4 Item 1(Picture) unit 4770: aged water supply valves/hoses observed



6.4 Item 2(Picture) unit 4772: aged water supply valves/hoses observed



6.4 Item 3(Picture) unit 4772: aged water supply valves/hoses observed



6.4 Item 4(Picture) unit 4772 (alley side): double-hoses observed



6.4 Item 5(Picture) unit 4772 (alley side): oxidation visible at valve/hose



6.4 Item 6(Picture) unit 4772 (alley side): oxidation visible at valve/hoses



6.4 Item 7(Picture) subfloor area: oxidation visible at water supply pipe



6.4 Item 8(Picture) subfloor area: oxidation visible at water supply pipe

6.5 PLUMBING FIXTURES (sinks, toilets, tubs, etc.)

Comments: Repair or Replace

(1) One or more of the plumbing fixtures (toilets, sinks, faucets, tub/shower valves, etc.) were loose, leaked during operation, or had other observable defect. It is recommended to have the fixtures evaluated by a licensed plumber and repaired/replaced as needed.



6.5 Item 1(Picture) unit 4772: loose toilet / flushing mechanism did not operate properly when tested / toilet did not appear to be 1.6 gpf



6.5 Item 2(Picture) unit 4772 (alley side): loose toilet

(2) One or more of the plumbing fixtures (sinks, faucets, tubs, etc.) appeared aged and may have exceeded or are near to exceeding their expected serviceable life. It is recommended to have the aged fixtures evaluated by a qualified plumber to determine remaining life expectancy and replacement as needed.



6.5 Item 3(Picture) laundry room: aged sink basin faucet

6.6 VISIBLE FUEL DISTRIBUTION SYSTEMS

Comments: Further Evaluation

The gas distribution piping appeared aged and may be near to exceeding its expected serviceable life. It is recommended to contact a licensed plumber to determine remaining life expectancy and replacement as needed.



6.6 Item 1(Picture) subfloor area: oxidation visible at gas supply

6.8 OTHER

Styles & Materials		
Water Source: City	Visible Water Distribution Material (inside building): Copper	Water Distribution Location: Subfloor (crawlspace)
Water Pressure Reading: under 80 psi	Visible Plumbing DWV (Drain/Waste/Vent): Cast iron Plastic (ABS or PVC)	Water Heater Location:
Water Heater Power Source:	Water Heater Capacity:	Natural Gas (city connection):

7. Electrical System

Important Note: Due to electrical shock and fire hazards, all electrical observations in this report should be considered a safety concern and should be promptly evaluated by a licensed electrician.

Items to be inspected: Service equipment. Electrical panels. Circuit wiring. Switches, receptacles, outlets, and lighting fixtures. **The Inspector is not required to:** Operate circuit breakers or circuit interrupters. Remove cover plates. Inspect de-icing systems or components. Inspect private or emergency electrical supply systems or components.

Items

7.1 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

7.2 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Recommend Upgrade

(1) **Recommended Upgrade:**

The location of one or more of the electrical distribution panels did not comply with modern panel location standards. Panels are no longer permitted to be installed in bathrooms and clothes closets. Height limitations and other location restrictions have also been modified over the years to improve safety and accessibility. Because these changes may not have been required at the time of construction, it is recommended to have a licensed electrician evaluate and upgrade as needed.



7.2 Item 1(Picture) unit 4768: electrical panel location upgrade recommended



7.2 Item 2(Picture) unit 4770: electrical panel location upgrade recommended



7.2 Item 3(Picture) unit 4772: electrical panel location upgrade recommended

(2)



7.2 Item 4(Picture) subpanels located in the laundry room

7.3 ELECTRIC PANELS, SERVICE AND GROUNDING EQUIPMENT, MAIN BREAKER

Comments: Further Evaluation, Repair or Replace

(1) One or more Zinsco electrical panels (sometimes labelled as Sylvania or Magnetrip depending on the decade it was installed) were observed. Zinsco panels and their components have been considered problematic by some industry professionals due to their higher rate of failure. Because failure of any component within the electrical system is an electrical safety concern, Further evaluation of the panel and its components by a licensed electrician is recommended.



7.3 Item 1(Picture) unit 4768: a Zinsco panel performance and safety inspection by a qualified person is recommended



7.3 Item 2(Picture) unit 4770: a Zinsco panel performance and safety inspection by a qualified person is recommended

(2) There was one or more empty breaker slots in the electric panel that should be filled with an appropriate breaker blank cover.



7.3 Item 3(Picture) laundry room subpanel: missing breaker blank

7.4 CIRCUIT BREAKERS AND BRANCH CIRCUIT WIRING

Comments: Repair or Replace

Improper wiring method, damages, or other defects were observed at areas of the branch circuit wiring or breaker system. All electrical system and component defects should be considered safety hazards. It is recommended to have the systems evaluated by a licensed electrician and repaired/replaced as needed.



7.4 Item 1(Picture) view from second floor patio: exposed wire appeared subject to damage

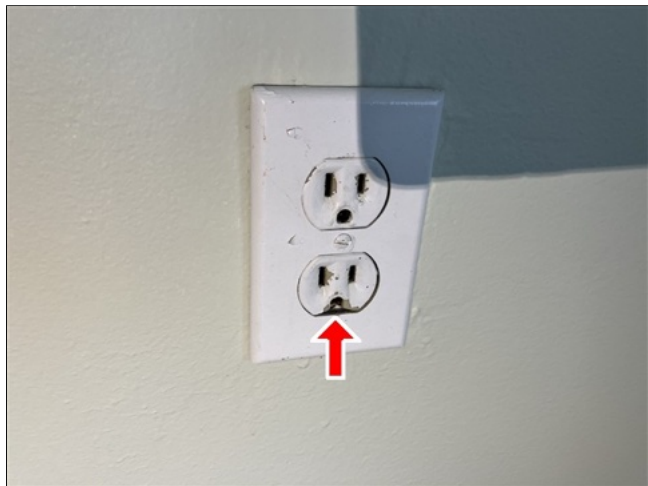


7.4 Item 2(Picture) subfloor area: conduit should be secured to the framing and off of the ground

7.5 ELECTRICAL OUTLETS, SWITCHES, and FIXTURES

Comments: Repair or Replace

Defects were observed at one or more of the outlets, switches, or fixtures. All electrical system and component defects should be considered safety hazards. It is recommended to have a licensed electrician evaluate all outlets, switches, and fixtures and repair/replace as needed.



7.5 Item 1(Picture) unit 4768: damage outlet observed



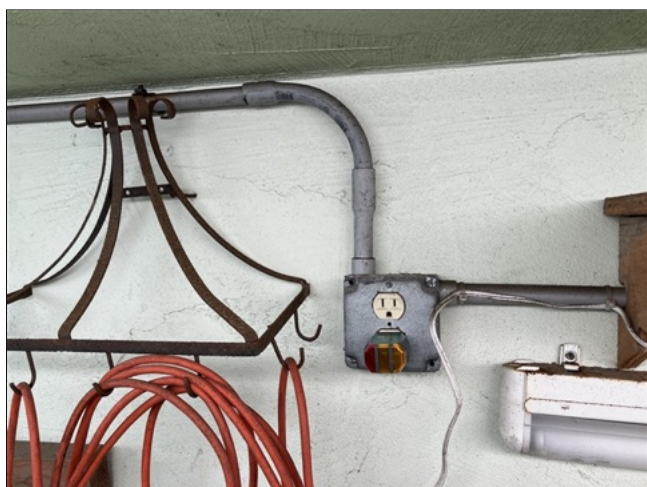
7.5 Item 2(Picture) unit 4772: aged fixture / missing cover



7.5 Item 3(Picture) unit 4772: missing switch cover



7.5 Item 4(Picture) laundry room: no power at outlet



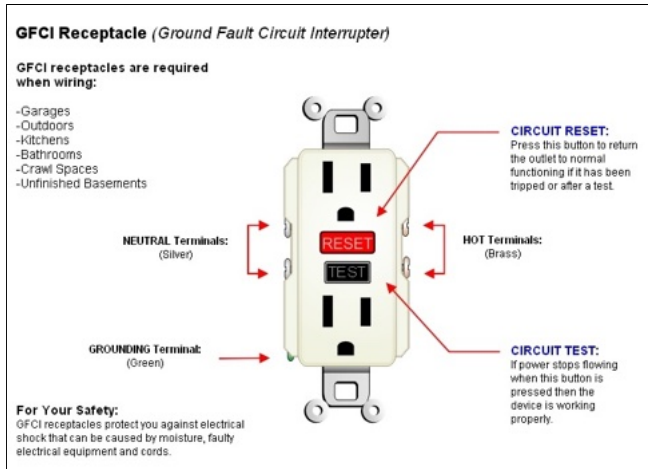
7.5 Item 5(Picture) second floor unit exterior patio: no power observed at outlet

7.6 POLARITY AND GROUNDING OF RECEPTACLES, GFCI (Ground Fault Circuit Interrupters)

Comments: Repair or Replace

(1) Recommended Safety Upgrade:

One or more outlets observed in the kitchen, bathroom, exterior, or garage did not appear to be GFCI protected. While this may have been acceptable at the time of construction, current standards require that all kitchen countertop outlets, bathroom outlets, exterior outlets, and garage outlets must be GFCI. Other auxiliary systems may also require GFCI outlets such as pool pumps, sumps, and jacuzzi jet motors. It is recommended to have a licensed electrician evaluate the appropriate GFCI locations and upgrade as needed.



7.6 Item 1(Picture)



7.6 Item 2(Picture) unit 4770 garage: recommend evaluation and upgrade of any non-GFCI outlets



7.6 Item 3(Picture) unit 4770: recommend evaluation and upgrade of any non-GFCI outlets



7.6 Item 4(Picture) exterior patio: recommend evaluation and upgrade of any non-GFCI outlets

(2) One or more of the tested three-pronged outlets did not appear to be grounded. Buildings with older wiring systems used two-pronged outlets which were not grounded. These often get replaced with a modern three-pronged outlets, but unless a ground wire is installed or the replacement outlet is a GFCI, this is not permitted. It is recommended to have a licensed electrician evaluate all non-grounded three-pronged outlets and repair/replace as needed.



7.6 Item 5(Picture) laundry room: non-grounded three-pronged outlets observed

7.7 PRESENCE OF SMOKE AND CABON MONOXIDE DETECTORS

Comments: Repair or Replace

Smoke and Carbon Monoxide Detectors: Scope of the Inspection

The purpose of this inspection is to identify missing smoke and CO monoxide detectors according to modern safety standards.

Disclaimer: This inspection does not test smoke detectors or guarantee functional operation. According to most manufacturers, smoke and CO monoxide detectors should be tested weekly and should be replaced every 10 years. Unless the installation date has been provide (usually written on the detector label), the exact age of the detectors cannot be verified.

Recommendation:

If there is no visible installation date or the age cannot be verified, it is recommended to install a new detector with a visible date to facilitate future replacement. It is recommended to test detectors according to the manufacturers specifications. Consult with the local fire department for tips and other useful information on smoke alarm installation and maintenance.



7.7 Item 1(Picture) unit 4768 hallway: missing smoke and CO detector



7.7 Item 2(Picture) unit 4768 bedrooms: missing smoke detectors



7.7 Item 3(Picture) unit 4768 hallway: missing smoke and CO detector



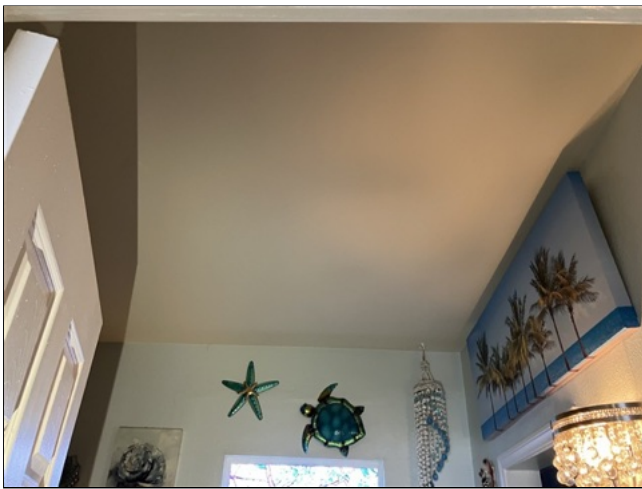
7.7 Item 4(Picture) unit 4772: missing hallway smoke detector



7.7 Item 5(Picture) unit 4772: missing bedroom smoke detectors



7.7 Item 6(Picture) unit 4772 (alley side): missing hallway smoke detector



7.7 Item 7(Picture) unit 4772 (alley side): missing bedroom smoke detector

7.8 OTHER

(1) Note: The solar electrical system and components were not inspected as part of the scope of this inspection. It is recommended to contact a solar electrical specialist for a detailed inspection and evaluation of the system.



7.8 Item 1(Picture) solar system and components were not inspected or tested as part of the scope of this inspection



7.8 Item 2(Picture) solar system and components were not inspected or tested as part of the scope of this inspection



7.8 Item 3(Picture) solar system and components were not inspected or tested as part of the scope of this inspection

(2) There was an unidentifiable system or component observed. It is recommended to have this evaluated by a licensed electrician or other appropriate tradesman for identification and inspection.



7.8 Item 4(Picture) subfloor area: unidentified extension cord observed / recommend further evaluation

Styles & Materials		
Service Entrance Conductors: Overhead service	Electrical Panel Size or Capacity: 200 AMP	Panel Type: Circuit breakers
Branch wire 15 and 20 AMP: Copper	Grounding System: Partially visible	

8. Heating / Central Air Conditioning

Items to be inspected: Heating equipment. Central cooling equipment. Energy source and connections. Combustion air and exhaust vent systems. Condensate drainage. Conditioned air distribution systems. **The Inspector is not required to:** Inspect heat exchangers or electrical heating elements. Inspect non-central air conditioning units or evaporative coolers. Inspect radiant, solar, hydronic, or geothermal systems or components. Determine volume, uniformity, temperature, airflow, balance or leakage or any air distribution system. Inspect electronic air filtering or humidity control systems or components.

Items

8.2 HEATING SYSTEM AND COMPONENTS

Comments: Further Evaluation

Because no current visible maintenance or service record was observed, a performance and safety inspection by a licensed HVAC technician is recommended. An annual inspection by a technician can report any defects outside the scope of this inspection and provide an estimated life expectancy for the system and components.



8.2 Item 1(Picture) unit 4768 wall furnace: no visible maintenance record observed



8.2 Item 2(Picture) unit 4772 wall furnace: no visible maintenance record observed



8.2 Item 3(Picture) unit 4772 (alley-side) wall furnace: no visible maintenance record observed

8.3 NORMAL OPERATING CONTROLS

Comments: Further Evaluation

The heating system was not in operable condition or due to other observable condition at the time of the inspection, was not tested. It is recommended to have the system evaluated by a licensed HVAC technician to determine serviceability and remaining life expectancy.

8.4 COOLING SYSTEM AND COMPONENTS

Comments: Not Present

8.9 CHIMNEYS, FLUES, AND VENTS (for solid fuel and gas firelog fireplaces)

Comments: Further Evaluation, Repair or Replace

Disclaimer: It is outside the scope of this inspection to determine if the fireplace or chimney systems are functional and safe for use. A safety and performance inspection is recommended from a licensed or certified fireplace/chimney specialist.



8.9 Item 1(Picture) exposed chimney flue appeared to be a safety hazard / recommend further evaluation and correction as needed

8.10 GAS FIRELOG AND SOLID FUEL FIREPLACES

Comments: Further Evaluation

Disclaimer: It is outside the scope of this inspection to determine if the fireplace or chimney systems are functional or safe for use. A fireplace/chimney specialist is recommended for evaluation of all systems and components before operation.



8.10 Item 1(Picture) unit 4770: a fireplace and chimney flue performance and safety inspection by a qualified person is recommended

8.11 OTHER

Styles & Materials

Heat Type:

Wall or Floor Furnace

Energy Source:

Gas

Number of A/C units:

None

Ductwork:

None

Types of Fireplaces:

Solid Fuel

9. Insulation and Ventilation

Items to be inspected: Ventilation and Insulation in the attic and under-floor areas. **The Inspector is not required to:** Inspect mechanical attic ventilation systems or components. Determine the composition or energy rating of insulation materials.

Items

9.0 INSULATION

Comments: Not Present
The insulation was not visible or accessible for inspection.

9.1 VENTING SYSTEMS (Kitchens, baths and laundry)

Comments: Further Evaluation
Recommend Safety Inspection and Cleaning:

Lint debris buildup in dryer ducting resulting in fires can easily be avoided by annual or semi-annual inspections and cleaning. Because the interior of dryer ducting is not visible for inspection, it is recommended to have cleaning and safety inspection performed by a qualified ducting cleaning company.

9.2 VENTILATION OF ATTIC AND FOUNDATION AREAS

Comments: Repair or Replace
(1) One or more of the crawlspace, attic, or garage vent screens were missing, deteriorated, or had other observable defect. Vent screens help control pest intrusion. It is recommended to have all damaged or missing vents evaluated and repaired/replaced as needed.



9.2 Item 1(Picture) deterioration/oxidation visible at vent screens



9.2 Item 2(Picture) deterioration/oxidation visible at vent screens



9.2 Item 3(Picture) deterioration/oxidation visible at vent screens



9.2 Item 4(Picture) deterioration/oxidation visible at vent screens



9.2 Item 5(Picture) deterioration/oxidation visible at vent screens

(2) One or more of the subfloor vents are below grade which increases the possibility for water intrusion into the subfloor area. It is recommended to have the vents evaluated by a licensed contractor and corrected as needed.



9.2 Item 6(Picture) vent appeared below grade level or was susceptible to moisture intrusion

9.3 CRAWLSPACE/ATTIC ACCESSIBILITY

Comments: Inspected

9.6 OTHER

Styles & Materials

Attic Insulation:

Ventilation:

10. Built-In Kitchen Appliances

Items to be inspected: Permanently installed cook-tops, mechanical range vents, ovens, dishwashers, and food waste disposers. **Exclusions:** Auxiliary features of appliances beyond the appliance's basic function. Determine compliance with manufacturers' installation guidelines or specifications.

Items

10.0 DISHWASHER

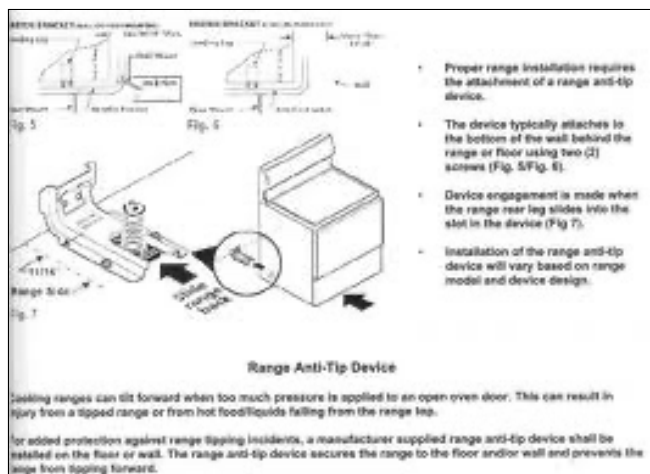
Comments: Inspected

10.1 RANGES/OVENS/COOKTOPS

Comments: Repair or Replace

(1) It did not appear that an **anti-tip bracket** was installed on the range oven. These simple yet over-looked safety devices can prevent the appliance from tipping over causing potential serious injury or death. For more information on range oven safety, please see the following link from the United States Consumer Product Safety Commission:

<https://www.cpsc.gov/s3fs-public/pdfs/rangestability.pdf>



10.1 Item 1(Picture)

(2) A non-combustible material is needed behind and on the sides of the range oven or stove-top. This can be stainless steel, tile, stone, or other suitable non-combustible material. It is recommended to have this evaluated and corrected as needed.



10.1 Item 2(Picture) unit 4768: non-combustible backsplash needed

10.2 RANGE HOOD

One or more of the range hoods appeared aged and may have exceeded or are near to exceeding its expected serviceable life. Further evaluation from a qualified appliance technician is recommended to determine remaining life expectancy or replacement as needed.

10.3 GARBAGE DISPOSAL

Comments: Not Present

10.4 BUILT-IN MICROWAVE

Comments: Not Present

10.7 OTHER

Multiple kitchen appliances appeared aged and appeared to have exceeded or are near to exceeding their expected serviceable life.



10.7 Item 1(Picture) unit 4768: aged range oven



10.7 Item 2(Picture) unit 4768: aged hood



10.7 Item 3(Picture) unit 4772: aged range hood