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Inspection Report

Jenna Daley

Property Address:
2908 Aber St
San Diego CA 92117



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Date: 8/17/2026	Time: 09:00 AM	Report ID:
Property: 2908 Aber St San Diego CA 92117	Customer: Jenna Daley	Real Estate Professional: Jenna Daley Compass

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = This item was visually observed and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = We did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Repair or Replace (RR) = The item, component or unit was not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

Red Colored Items- Items that are health and safety related, can cause personal injury or can create further damage or injury if not immediately repaired or evaluated. (Also items your inspector may think are very important for you to know).

Blue Colored Items- Items that are improper, worn or damaged. These items are in need of repair but are not life threatening, or health and safety related and should not cause devastating effects if not immediately corrected.

Green Colored Items- Recommendations for the issue(s) noted.

IMPORTANT INFORMATION: The summary located in the back of this report is intended to provide a convenient overview of the conditions and components that our inspectors have identified within our report as needing service. It does not include several of our notes and any extra components such as pools. **The summary should not be used as a substitute for reading the entire report.** The recommendations made throughout this report should be conducted and completed before the close of escrow by a licensed specialist, who may identify additional defects or recommend additional upgrades which could affect your evaluation of this property.

Style of Building:

Single Family Home

Age Of Building:

50 - 55 Years

Client Is Present:

No

Water Test:

Pressure Above 80 PSI, Adjustment/
Repairs Needed

Weather:

Clear

Temperature:

80- 85 Degrees

Rain in last 3 days:

No

General Summary



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1. Exterior

1.1 WALKWAYS AND PATHS

Inspected, Repair or Replace



Unlevel Surfaces- Trip Hazards: There were areas at the rear of the home which had unlevel and raised surfaces noted. These areas may pose a trip hazard when they are over 3/8" high. **It is recommended that adjustments be made to create a smooth walking surface at these locations.**

Metal Rod: There is a threaded metal rod coming out of the concrete at the front patio. This is a trip hazard. **Recommend a qualified professional cut off rod at cement.**



1.1 Item 1(Picture)



1.1 Item 2(Picture)

1.2 VEGETATION, GRADING, AND DRAINAGE**Inspected, Repair or Replace**

(1) [Trees Next To House](#). It was noted that there was a tree in close proximity to the front of the house. Some trees can have evasive root structure which can potentially cause damage to house foundations, plumbing and irrigation systems. **It is recommended that you consult an arborist or other plant specialist about this tree and the potential problems that might be associated with it.**



1.2 Item 1(Picture)



(4) [Improper Slope](#). There are areas at the left side of the home where the bricks slope toward the

house or does not appear to have a proper directional slope . There were no visible surface drains noted at these locations. Ideally there should be a minimum slope of 6 inches within the first 10 ft of the house. It is recommended that a swale, french drain or other means of drainage be provided to keep water away from house and foundation.



1.2 Item 2(Picture)



(5) **Blocked Drain:** There is a large cement swale drain that runs across the rear of the property. The

drain is blocked with debris & will not drain properly. We could not determine wear the drain exited the property. **These drains need to be cleared & tested for proper drainage. Check to see if this is an easement that is maintained by the city.**



1.2 Item 3(Picture)

1.7 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace



Tail Damage. There is some wood damage at the rafter tails at the rear patio. Damaged wood should be repaired or replaced. **It is recommended that you read your termite report thoroughly and that damaged wood be repaired or replaced.**



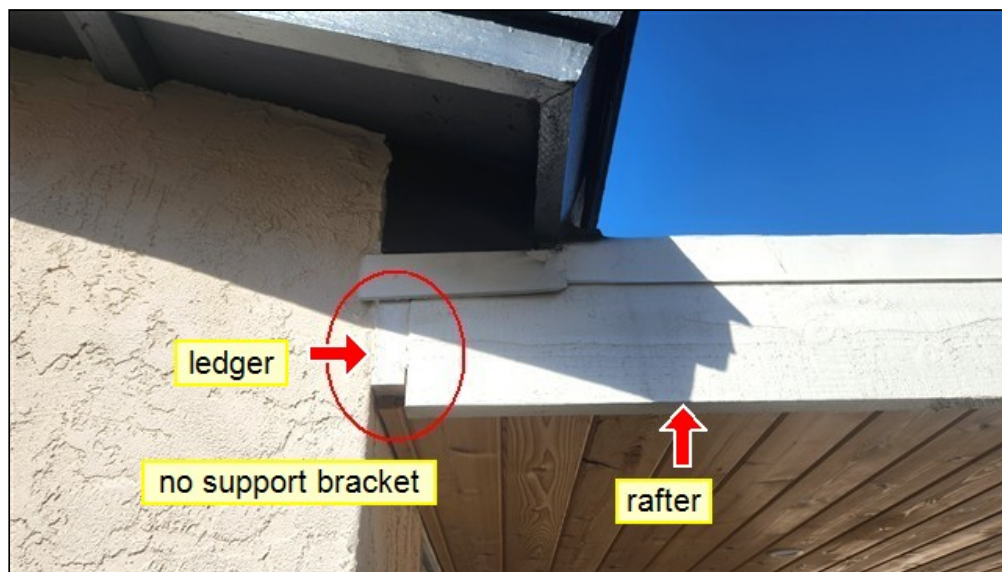
1.7 Item 1(Picture)

1.8 PATIO AND PORCH COVERS**Inspected, Repair or Replace**

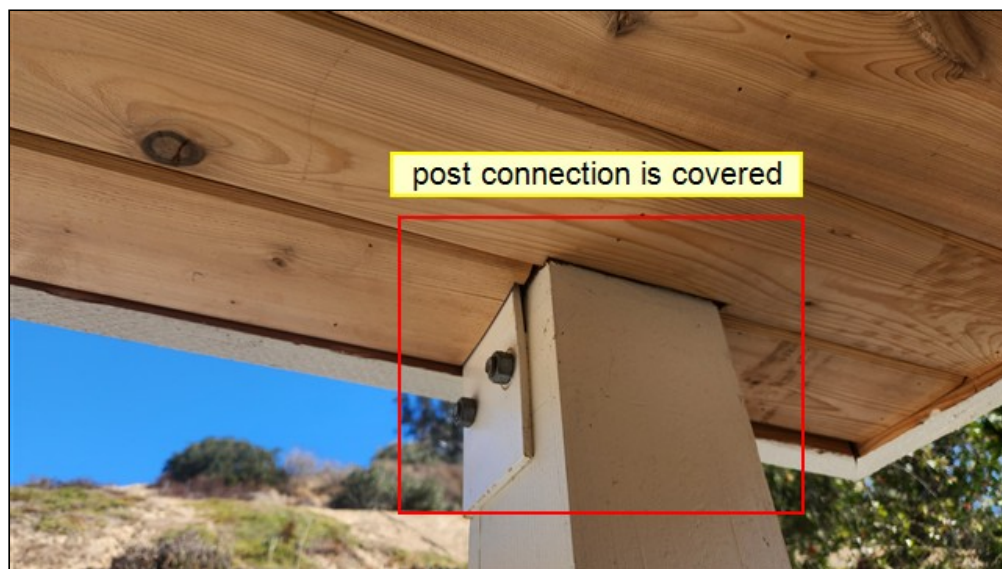
(1) **Can't Verify Support- Ledger Board.** The patio cover is supported by the use of a ledger board. Ledger boards should be fastened into place by the use of staggered bolts, with washers, anchored into the framing members of the building. Often times these are improperly supported with nails. **Currently the ledger board was covered and the support was not able to be verified. It is recommended that this be further evaluated for safety and corrected if needed by a licensed contractor.**

Can't Verify Attachment- Currently the support at the patio cover were not visible and were not able to be verified. The ceiling is covered with wood planking which blocks our inspection of all connection points. It is recommended that this be further evaluated for safety corrected if needed by a licensed contractor.

Support Bracing: There were no metal supports or brackets found at the connection point of rafter to ledger board. (only 1 beam is visible). All support connections require a bracket to prevent any movement. This is not up to today's standards & should be evaluated by a licensed contractor.



1.8 Item 1(Picture)



1.8 Item 2(Picture)



(2) **No Lateral Bracing.** The posts at the rear patio are greater than 4 feet in height. Typically these posts should have lateral bracing extending off the posts at a 45 degree angle. These are to help

brace the posts from lateral forces.

Post Spacing: The posts at the rear patio cover are over 22ft apart. For a 6x6 wood post supporting a standard residential patio cover in San Diego, the maximum recommended post spacing (on center) is 8 to 12 feet, depending heavily on your roof load, beam size, and rafter span. **It is recommended that these posts be further evaluated by a licensed contractor to determine if any upgrades are required..**



1.8 Item 3(Picture)

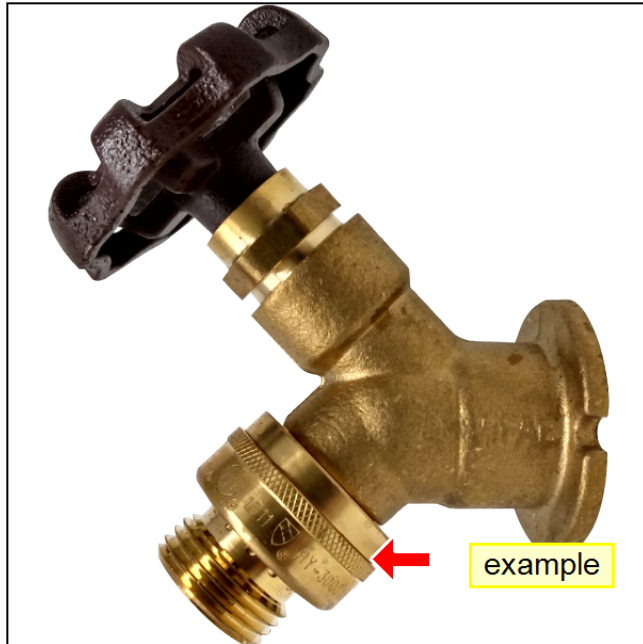
1.10 PLUMBING WATER FAUCETS (hose bibs)

Inspected, Repair or Replace



No Vacuum Breakers. The exterior hose bibs were not provided with vacuum breakers. **Although this was not a requirement for when this house was constructed, it is recommended that vacuum breakers be installed at all exterior hose bibs.** These are designed to prevent contamination should there be a pressure drop in the city's system. Vacuum breakers will prevent water from being siphoned backwards potentially contaminating the public drinking water. **Recommend installation of these devices.**

Leaky Faucet Handle. The hose bib at the rear of the home leaks at the handle when turned on. **This is noted for your information and can be replaced or repaired at your convenience if so desired. This could be covered by the HOA.**



1.10 Item 1(Picture)

1.11 EXTERIOR LIGHT FIXTURES AND OUTLETS

Inspected, Repair or Replace

- 🏠 (3) **No GFCI Protection**. The outlets at the exterior of the home are currently not all GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. **Although this was not a requirement at the time in which this house was constructed, it is recommended that these outlets be GFCI protected.** It is recommended that ALL exterior outlets be on a working GFCI circuit using a WR (weather resistant) & TR (tamper proof) type plug.
- 🏠 (4) **Loose Outlet(s)**. There is a loose plug at the wall connection at the rear patio outlet. Loose outlets can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock & allow moisture into the wall. For safety reasons it is recommended that these outlets be properly secured & sealed to the wall by a qualified professional.
- 🏠 (5) **Exposed Wires**. There were some exposed wires noted at the lamp post on the patio. Due to the extreme hazard of exposed wires, it is recommended that the wires be properly capped and contained within a box, removed or a proper light installed. It is recommended that these wires be either removed or properly contained within a box by a licensed electrician.



1.11 Item 1(Picture)



(6) **Missing Lights/ Switches.** The side garage door was not provided with proper light fixtures and or switches. For today's standards, all doors leading to the exterior of the house should be provided with a light switch that controls an exterior light. **It is recommended that proper switches and/or lights be provided at this location.**

2. Electrical System

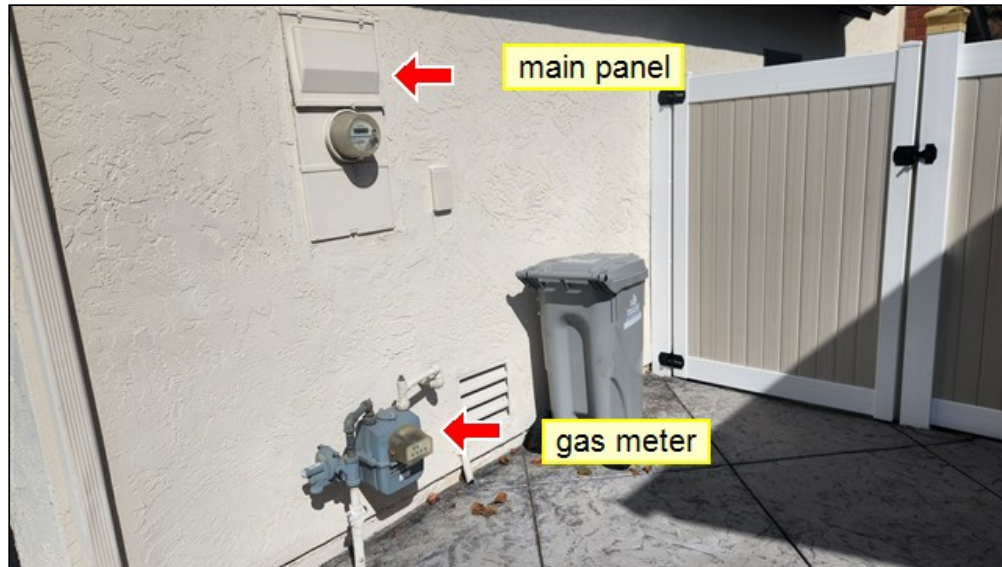
2.1 LOCATION OF MAIN AND DISTRIBUTION PANELS

Inspected



NOTE: Close to Gas Meter. The electrical panel was located above the gas meter and located less than 3 feet away. **Although this was permitted at the time of construction, some panel upgrades may require the panel to be relocated.** This is noted for your information.

FYI: The main electrical panel: Is located OUTSIDE, at the garage wall.



2.1 Item 1(Picture)

2.2 MAIN DISTRIBUTION PANELS AND GROUNDING

Inspected, Repair or Replace



(1) **ZINSCO / SLYVANIA PANEL.** The main panel provided for this house is a Zinsco or Sylvania panel. The earliest Zinsco panels had busses made of copper bars and were very reliable. However, during the copper shortages of the mid-1960s, the copper was replaced with anodized aluminum bars. **This led to problems of poor contact between the breaker and the bus bar, and many have failed since due to arcing between the components.** The problems continued after Zinsco's sale to Sylvania in the early 1970s. There are differing opinions as to a possibility that the circuit breakers may not trip when shorted, possibly causing an electrical hazard. Opinions by licensed electricians differ on this panel and their opinions range between safe and hazardous. There have been no official recalls on this panel and this is noted for your information. **It is recommended that you do additional research on this product, and consult a licensed electrician for an additional opinion and correction if deemed necessary.** Attached is an article found on this subject: http://inspectapedia.com/electric/Zinsco_Electrical_Panels.php



(2) **Missing/Unreadable Manufacture's Label.** The manufactures labeling was missing/unreadable from the door of this panel and the maximum panel rating was not able to be determined. Currently the disconnect for this panel was provided with a 100 Amp breaker. Undersized panels can create hazardous situations, damage and fires. **It is recommended that the maximum rating of this panel be determined by a licensed electrician to ensure proper working order.**



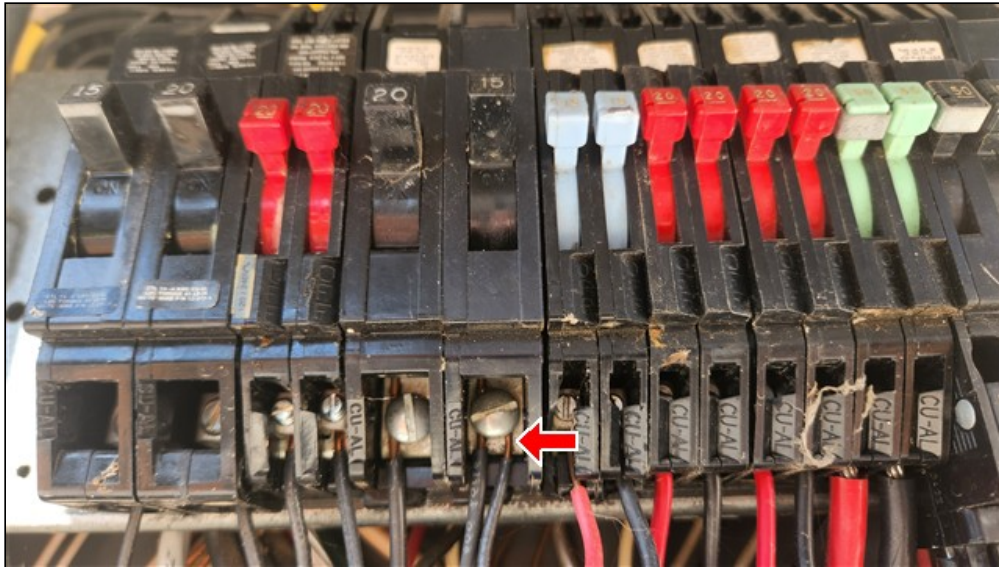
(3) **Cover Not Secured to Panel.** The screw to the cover for the main panel is missing and the cover is loose. Missing or loose faceplates can expose electrical parts of the main creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**

2.3 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Repair or Replace



Double Tapping of Breaker. The main panel has a breaker that is double tapped. Double tapping is when two wires enter a single breaker. This typically occurs when the panel is too small for the current amount of breakers provided, or an additional breaker was just not added. **Recommend further evaluation and repair by a licensed electrician.**



2.3 Item 1(Picture)

3. Attached Garage

3.0 GARAGE DOOR (S)

Inspected, Repair or Replace



Gap at Door. The garage door had a gap at the base of the door. This can allow for rodents and other things to enter the garage from the underside of the door. **It is recommended that a weather strip or similar repair be conducted to the base of this door.**



3.0 Item 1(Picture)

3.1 GARAGE WALLS (INCLUDING FIREWALL SEPARATION)

Inspected, Repair or Replace



Drywall Not Taped/ Finished. The Garage wall which connects to the house is a fire rated assembly. Any penetrations to this wall must have proper protection to guard against the spread of fire and spread of carbon monoxide. **Currently there were areas where the drywall was not taped or finished & the tape is coming off.** **Recommend that this wall be properly repaired by a licensed contractor.**



3.1 Item 1(Picture)

3.3 OCCUPANT DOOR FROM GARAGE TO INSIDE HOME

Inspected, Repair or Replace



Occupant Door Not Self- Closing. The wall of the house, that shares the same wall as the garage is a fire rated wall. This wall is to have all openings and penetrations protected. This includes having a self closing, fire rated door. **This door is missing or has inoperative hardware that enables this door to be self-closing.** This is a safety hazard that should be corrected. **It is recommended that this door have proper hardware installed to allow the door to be self-closing.**

3.6 OUTLETS AND WIRING

Inspected, Repair or Replace



(1) **No GFCI Protection.** The garage currently does not have any GFCI protected outlets. **Although this might not have been a requirement when this house was constructed,** it is recommended that all outlets in the Garage are GFCI protected or on a GFCI protected circuit. **Recommend that the current outlets be upgraded to have GFCI protection by a licensed electrician.**



(2) **Missing Covers/damaged.** There are some outlets/ switches in the garage that are missing covers or damaged. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**



3.6 Item 1(Picture)



(3) [Missing Light Cover](#). The ceiling light was not provided with a globe or cover. This is needed to

protect the bulb & fixture from damaged. It is recommended that the fixture have a cover provided.



3.6 Item 2(Picture)

4. Roofing / Chimneys / Roof Structure and Attic

4.0 ROOF DRAINAGE SYSTEMS (gutters and downspouts)

Inspected, Repair or Replace



Clean Gutters. The rain gutters are filled with debris and should be cleaned out so the water can flow freely towards the drain . It is recommended that these drains be cleaned of any debris.

4.1 ROOF COVERINGS

Inspected, Repair or Replace



(3) **Exposed Nails.** The ridge shingles have exposed fasteners. Roofing materials should not have exposed nails or staples; these fasteners should be covered by roofing material to decrease the chance of leaks. Although it could not verify if current fastener holes leak water during times of rain, it is recommend that exposed nails and or staples be covered by an overlapping roofing material by licensed contractor or roofer.



4.1 Item 1(Picture)

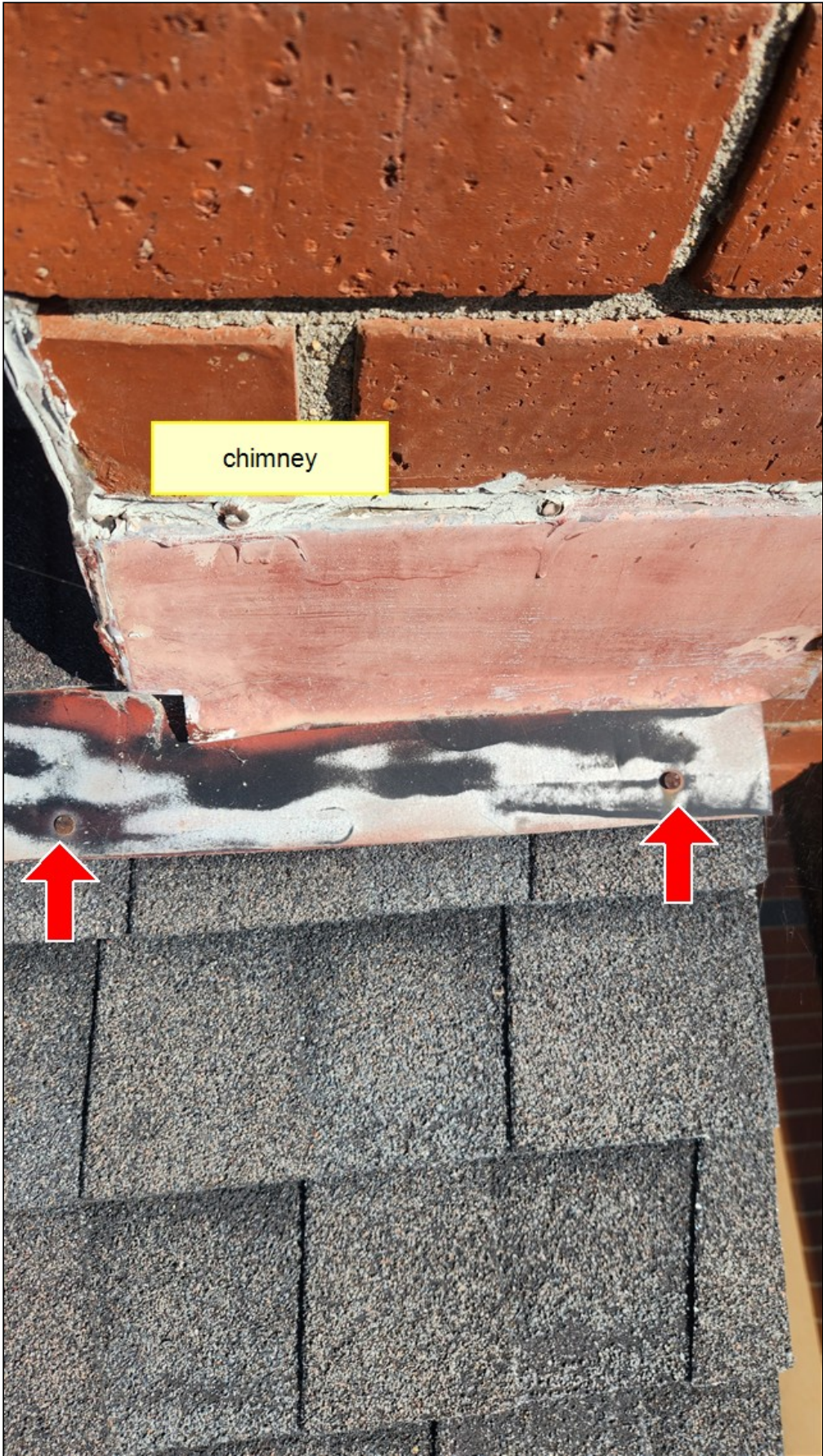
4.2 FLASHINGS

Inspected, Repair or Replace

Exposed Nails at Flashings. The roof flashings have exposed nails at the vents . Roofing materials should not have exposed nails; these nails should be covered by roofing material or sealed to decrease the chance of leaks. **Although it could not be verified if current nail holes leak water during times of rain, it is recommend that exposed nails be removed and patched or have a waterproofing material applied over each nail.**



4.2 Item 1(Picture)



4.2 Item 2(Picture)

4.4 CHIMNEY

Inspected, Repair or Replace



(1) **NOTE: Limited Inspection.** The chimney inspection was limited to the exterior of the chimney. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.



(2) [Seal Chimney Cap](#). There were some cracks at the chimney cap. Damaged mortar can allow for leaks into the chimney liner. *It is recommended that the chimney be further evaluated and repaired as needed by a licensed contractor.*



4.4 Item 1(Picture)

4.9 OTHER**Inspected**

(2) **Insects:** There are signs of wood destroying insects on the floor in the attic. **Recommend reviewing termite inspection report for more information.**



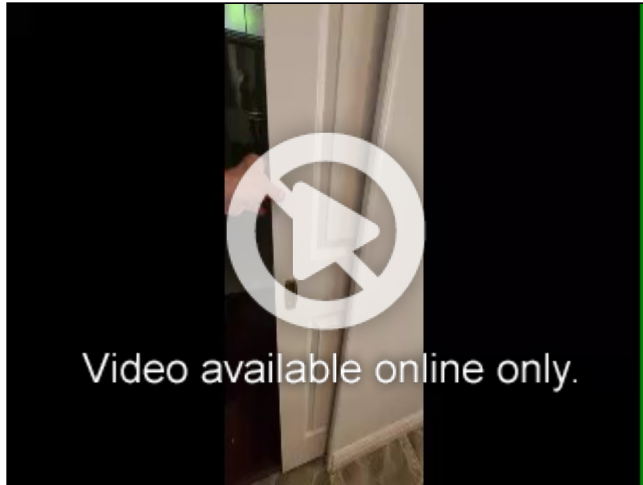
4.9 Item 1(Picture)



4.9 Item 2(Picture)

6. Interior**6.3 DOORS (REPRESENTATIVE NUMBER)****Inspected, Repair or Replace**

Inoperative Pocket Door. The pocket door at the dining room did not work at the time of the inspection. The door did not properly closet completely. **It is recommended that this be further evaluated and repaired as needed.**



6.3 Item 1(Video)

6.5 OUTLETS SWITCHES AND FIXTURES

Inspected, Repair or Replace



(1) **Tamper Resistant Not Installed.** It was observed that this house had new outlets installed. It is now required that new receptacles within new or remodeled construction should be provided with tamper resistant outlets. Tamper resistant outlets are safety outlets that have spring loaded shields that inhibit articles from being able to be placed inside an electrical outlet. **It is recommended that TR plugs be installed at all required outlets.**



(2) **Inoperative Outlet.** There was an outlet in the master bedroom that did not work at time of inspection. **There was no power at this outlet.** **It is recommended that this be further evaluated by a licensed electrician.**



(3) **Loose Outlet Prongs.** One of the outlets in the master bedroom has loose prongs and does not properly hold the plug within the socket or does not make a proper connection with the prongs. **This can allow for arcing to occur which could result in an electrical fire.** **It is recommended that this outlet be replaced by a licensed electrician.**



6.5 Item 1(Video)

6.6 SMOKE DETECTORS

Inspected, Repair or Replace



(2) **Missing Smoke Detectors.** Smoke detectors should be located at each level, in each bedroom and in the room outside the bedroom (hallway). Currently there were missing smoke detectors at one or more of these locations. **It is recommended that smoke detectors are present at these locations before close of escrow.**

6.7 CARBON MONOXIDE DETECTORS

Inspected, Repair or Replace

(2) **No Carbon Monoxide Detector:** Effective January 1, 2017. In California, all newly constructed dwelling units containing a fossil fuel burning heater or appliance, fireplace, or attached garage, are required to have carbon monoxide alarms installed. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. These detectors act like a smoke alarm, and makes an audible warning to alert you if particles are detected. These need to be installed at each floor level preferably near the bedrooms & any bedroom or attached bathroom with a fuel burning device/appliance. It is a safety requirement that a working carbon monoxide detector be installed as required in this house before close of escrow. (<https://www.epa.gov/indoor-> [Click here for more information](#))

7. Kitchen Components and Appliances**7.1 CUPBOARDS/DRAWERS/CLOSET DOORS****Inspected, Repair or Replace**

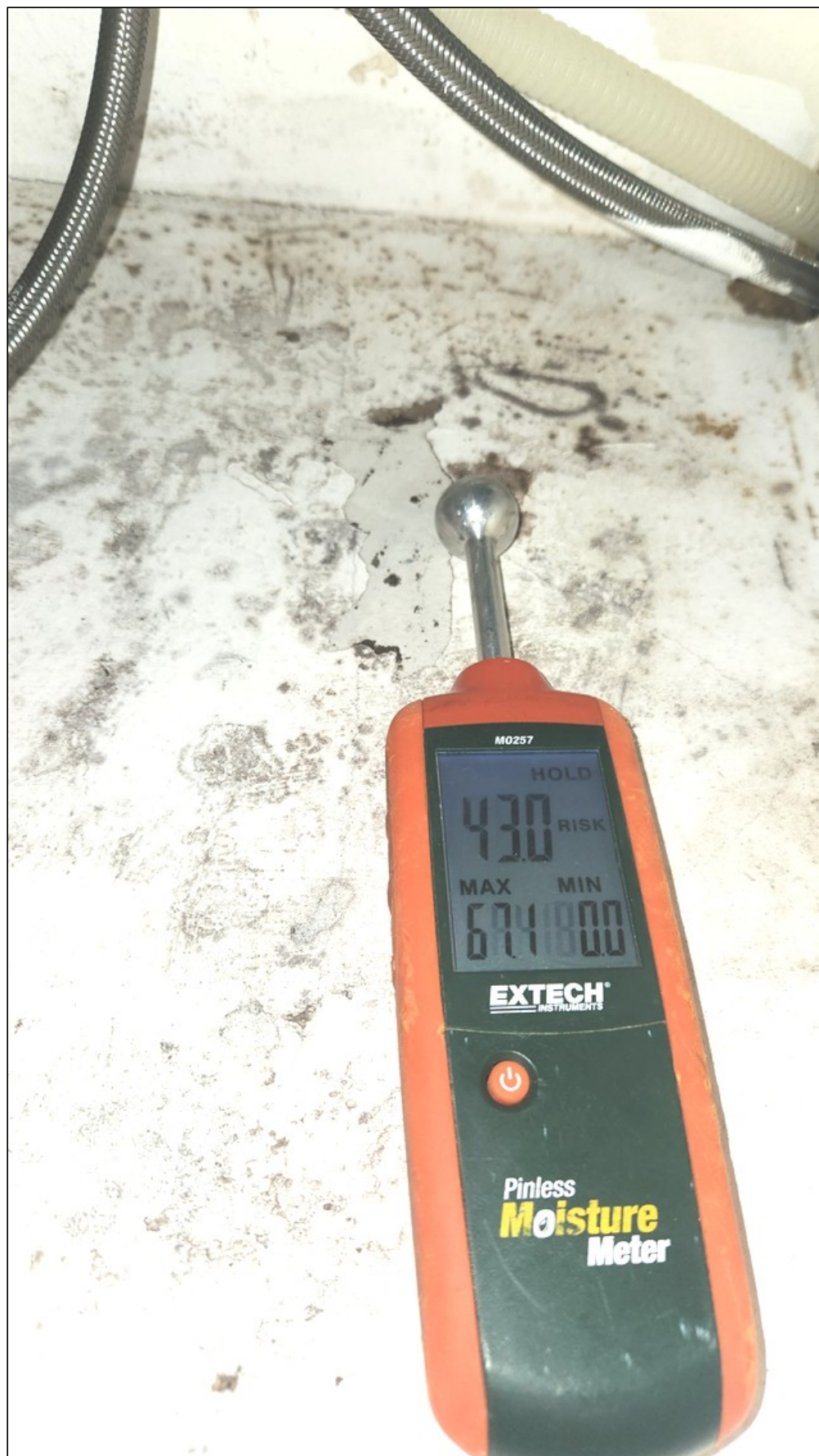
Cabinet Damage. It appears that there has been a leak at the sink base cabinet and the cabinet floor has some moderate damage. The cabinet flooring under the sink is made of particle board. Once this material has had water damage it loses its strength, warps and begins to crumble. **The cabinetry test for high moisture reading and there was currently growth noted at this location.** It is recommended that all water damaged materials be replaced by a licensed contractor to decrease the possibility of further damage and growth.



7.1 Item 1(Picture)



7.1 Item 2(Picture)



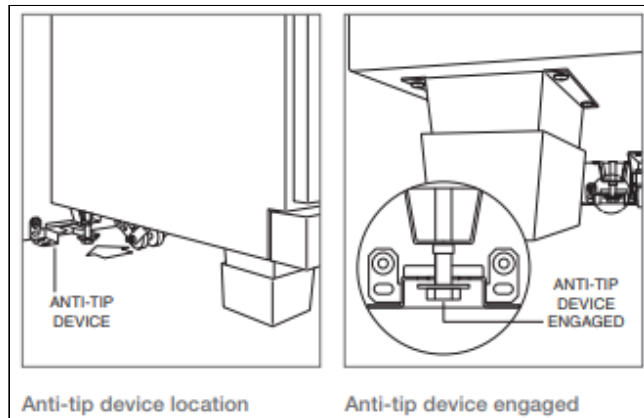
7.1 Item 3(Picture)

7.7 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace



No Safety Strap on Oven. Ovens come with a child safety strap (Anti-tip strap) to prevent the oven from tipping and falling if children use the oven door as a step. **It is recommended, especially if children are present, that this oven be equipped with a safety strap.**



7.7 Item 1(Picture)

7.8 MICROWAVE COOKING EQUIPMENT

Inspected, Repair or Replace



Not Vented to Exterior. The kitchen was remodeled and the microwave was not vented to the exterior. The old vent is still installed in the attic to the roof. **For today's standards, most jurisdictions now require venting to terminate to the exterior of the home.** **It is recommended that the vent be properly attached to the microwave by a qualified professional.**



7.8 Item 1(Picture)



7.8 Item 2(Picture)

8(B) . Master Bath

8.6.B Shower/ Tub enclosure.

Inspected, Repair or Replace



(1) **Drain Weep Holes:** There were no weep holes found at the top of the drain pipe in the shower. Blocked weep holes in the drain flange can allow for water to pool and exit the shower pan enclosure from the underside of the unit. This can cause damage to the exterior walls and floors within the bathroom. It is recommended that this be further evaluated by a tile/bathroom specialist and repaired as needed.

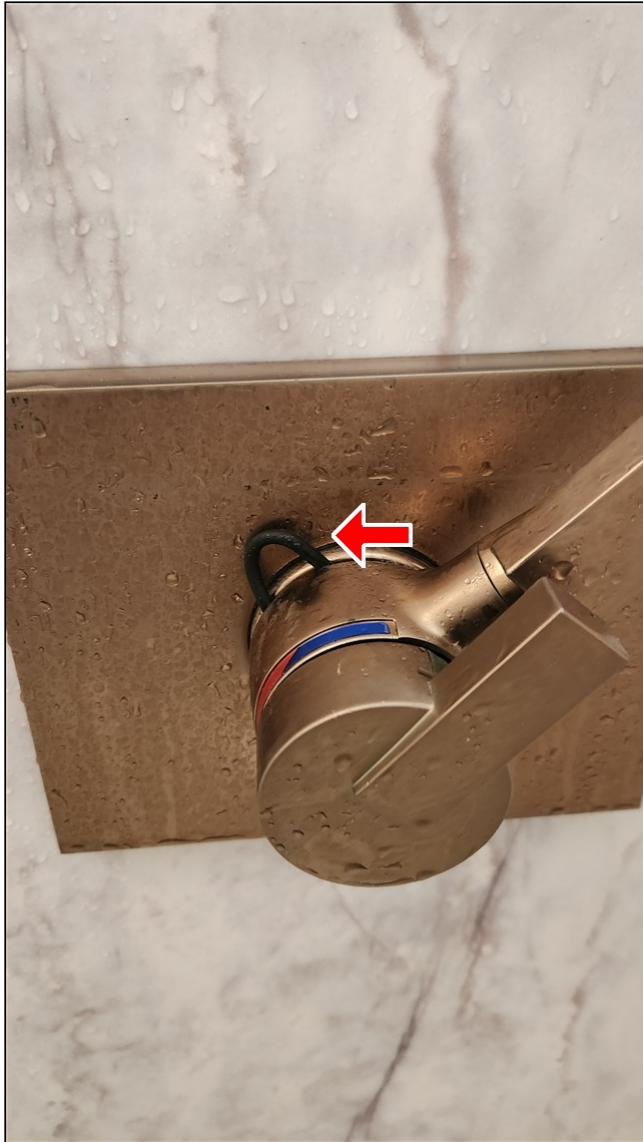


8.6.B Item 1(Picture)



(3) [Fixture Cover](#): The shower fixture has an exposed rubber seal at the cover. This can allow water to

enter into the wall area. Recommend a qualified professional repair or replace as needed.



8.6.B Item 2(Picture)

8.7.B PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) **Hot/Cold Reversed**. The hot and cold were switched at the shower. It is standard that hot water is turned on at the left and cold water is derived from the right or that the water starts cold, and turns to hot. **In this application the hot and cold are reversed.** It is recommended that this be repaired as needed by a licensed plumber.
-  (2) **No Cold Water**. The shower faucet in this bathroom did not allow for "COLD" water to be produced. The water was still warm when turn to the cold position. It is recommended that this fixture be adjusted or replaced, by a licensed plumber, to allow for the flow of "COLD" water.

8.8.B PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected

-  (2) **Adjust Drain Plug**. The drain plug for the sink was not attached. These should be properly attached to ensure proper function. It is recommended that this be adjusted so that the sink can retain water if needed.

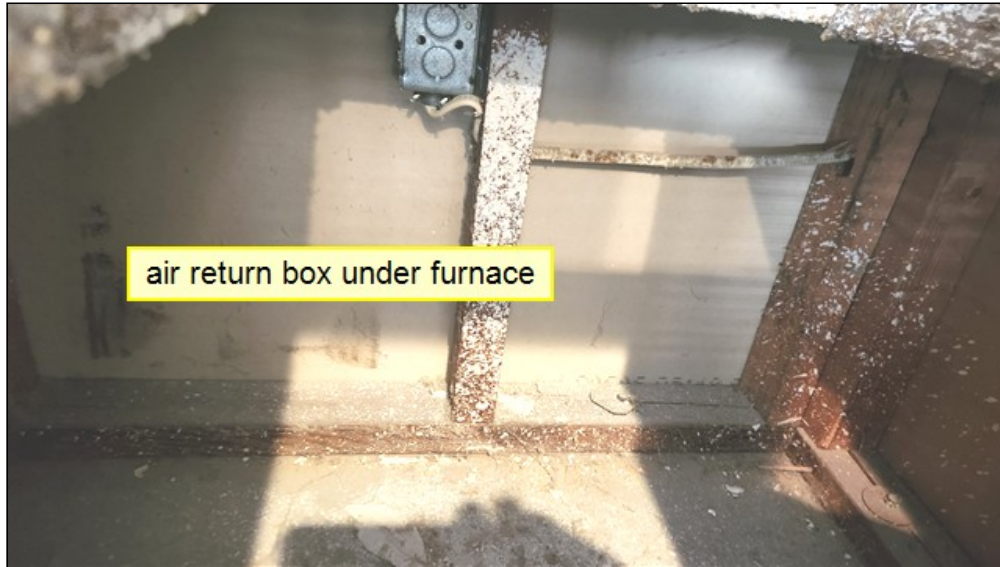
9. Heating / Central Air Conditioning

9.4 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace



(1) **Supply Air Box:** When installing a new HVAC system it is recommended that the supply air box be sealed to prevent any cross contamination between intake & exhaust air. Also this will keep any foreign matter like insulation from being distributed into the living area. **Recommend a licensed HVAC company inspect & advise on any needed upgrades**



9.4 Item 1(Picture)



(3) **Damaged Insulated.** Some sections of the HVAC ducts have damaged, insulation that is pulling from the duct. The ducting was not all insulated. This can affect the efficiency of your HVAC system. **It is recommended that these areas have insulation provided to decrease heat/ cooling loss and increase energy savings.**



9.4 Item 2(Picture)

9.7 GAS/LP FIRELOGS AND FIREPLACES

Inspected, Repair or Replace



(2) **No Damper Lock.** The chimney damper for gas fireplaces, should be locked in the "open" position. This is to ensure that gas can properly vent if there is a leak, or the gas was accidentally left on. **It is**

recommended that a flue clamp be installed at this damper.



9.7 Item 1(Picture)



(3) **Ignitor system:** There is an ignitor system installed inside the fire box. The gas was on at the shutoff but the polite was not on. For safety reasons we do not light polite lights. The system was turned on but did not work. **Recommend the fireplace be fully inspected buy a professional before using.**



9.7 Item 2(Picture)

10. Plumbing System

10.0 MAIN WATER SHUT-OFF DEVICE (Describe location)

Inspected, Repair or Replace



Unknown Water Shut-Off Location. The water shut off valve was not able to be located for this unit. This is something you will want to know incase of a plumbing emergency. **It is recommended that the water shut off be located or the shut off at the meter be used until a shutoff can be installed at the house.**

Adjust Water Pressure. Water pressure at time of test was noted at being **90 PSI**. It is required that when the water pressure exceeds 80lbs, a water pressure regulator be installed due to heightened risk of plumbing malfunction due to pressure. **There was no regulator present.** **Recommend purchase of water pressure regulator, so water pressure is between 50lbs- 80 lbs when valve is fully open.**

NOTE: Adding a Water Pressure Regulator. When a water pressure regulator is installed on a house it often doubles as a back flow preventer. This now transforms the plumbing system from an open system, to a closed system. Because of this, a (thermal) expansion tank should be installed at the water heater.



10.0 Item 1(Picture)



shutoff in the meter box
at the sidewalk

10.0 Item 2(Picture)

10.3 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS**Inspected, Repair or Replace**

(1) **Metal/Transite:** The water heaters vent pipe is a combination of steel & "Transite" pipe which are jointed together. This combination of these dissimilar materials can cause unwanted condensation of flue gases inside the vent which can drip back into the gas appliance and hasten deterioration of the vent and appliance. It is recommended that the vent be replaced with similar materials the entire distance of the pipe to prevent any unwanted condensation and potential damage. **Recommend repairs by a licensed plumbing contractor.**

NOTE: Transite Vent Pipe. It was noted that the water heater provided for this home appears to have a Transite vent pipe. Transite has a high probability of containing asbestos, a material that if damaged or disturbed can cause serious health risks. For more information about this material please read the provided links found in **Section 1.13.** of this report.



10.3 Item 1(Picture)



(2) **Blocking of Water Heater Needed.** The water heater currently has proper straps, however, because

it sits so far away from the wall, it needs be blocked to avoid lateral movement. **It is recommended that this water heater has proper blocking to inhibit movement.**



(3) **Missing Pan.** The water heater is not equipped with a catch pan. All water heaters located in attics, closets or garage (which have wood framing which could be damaged should the water heater leak), are required to have a drain pan which has a minimum depth of 1.5 inches in depth, with an attached drain line that is no smaller than 3/4 inch. **It is recommended that this unit be supplied with a proper pan by a licensed plumber or contractor.**



(4) **Water Heater Note:** On Average water heaters typically have a 10 to 15 year life expectancy according to the manufacturers. **Currently this water heater label showed a 2018 manufactures date.** This is noted for your information.

USICRAFTMASTER WATER HEATER COMPANY
1100 EAST FAIRVIEW AVENUE
JOHNSON CITY, TN 37601

For Altitudes 0 to 10100 feet.

TEST PRESSURE 300 P.S.I.
WORKING PRESSURE 150 P.S.I.

MODEL NUMBER N40T91-403
SERIAL NUMBER 1220T480154
PRODUCT NUMBER 733319
2012

EQUIPPED FOR USE ONLY WITH Natural GAS

LIMITED WARRANTY 6603867

INNER TANK 9 YEAR
PARTS 9 YEAR

RECOVERY RATING based on 1/2" dia 1" for MINIMUM SUPPLY PRESSURE 40.9 GPM
MANIFOLD PRESSURE 6.00 "W.C.
MAXIMUM SUPPLY PRESSURE 5 "W.C.
INPUT RATING 10.5 "W.C.
CAPACITY 40000 BTU/H
CAPACITY 40 U.S. GALLONS

WATER OUTLET TEMPERATURE OF 155 °F

NOTICE: THIS APPLIANCE MUST BE INSTALLED IN ACCORDANCE WITH LOCAL CODES, OR IN ABSENCE OF LOCAL CODES, THE NATIONAL FUEL GAS CODE ANSI Z223.1 .2002

MAY BE INSTALLED IN A CLOSET OR ALCOVE
ON COMBUSTIBLE FLOORING. MINIMUM CLEARANCE FROM COMBUSTIBLE MATERIAL IS SIDES AND BACK 0 INCHES, TOP OF HEATER TO CEILING 8 INCHES, FRONT 4 INCHES, VENT 6 INCHES, AND IN ALCOVE FRONT MUST BE OPEN.

THE WATER HEATER COMPLIES WITH THE REQUIREMENTS OF ASHRAE STANDARD 90.1-1999

INSULATED TO

AUTOMATIC STORAGE WATER HEATER

10.3 Item 2(Picture)

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To AL SILVA JR

1. Exterior

The Home Inspector Shall Observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building.

The Home Inspector Shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected.

The Home Inspector is Not Required to Observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks.

The Home Inspector is Not Required To: Move personal items, panels, furniture, equipment, plant life, soil, or debris that obstructs access or visibility.

Styles & Materials

Siding Style:		Exterior Entry Doors:		Appurtenance:	
Cement stucco		Wood		Covered Walkway	
		IN	NI	NP	RR
1.0	DRIVEWAY	•			
1.1	WALKWAYS AND PATHS	•			•
1.2	VEGETATION, GRADING, AND DRAINAGE	•			•
1.3	EXTERIOR WALLS, FLASHING AND TRIM	•			
1.4	WINDOW SCREENS	•			
1.5	WINDOWS	•			
1.6	DOORS (Exterior)	•			
1.7	EAVES, SOFFITS AND FASCIAS	•			•
1.8	PATIO AND PORCH COVERS	•			•
1.9	RETAINING WALLS	•			
1.10	PLUMBING WATER FAUCETS (hose bibs)	•			•
1.11	EXTERIOR LIGHT FIXTURES AND OUTLETS	•			•
1.12	Screens and Vents	•			
1.13	OTHER NOTES:	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

 **1.1 Unlevel Surfaces- Trip Hazards:** There were areas at the rear of the home which had unlevel and raised surfaces noted. These areas may pose a trip hazard when they are over 3/8" high. It is recommended that adjustments be made to create a smooth walking surface at these locations.

Metal Rod: There is a threaded metal rod coming out of the concrete at the front patio. This is a trip hazard. **Recommend a qualified professional cut off rod at cement.**

 **1.2 (1) Trees Next To House.** It was noted that there was a tree in close proximity to the front of the house. Some trees can have evasive root structure which can potentially cause damage to house foundations, plumbing and irrigation systems. **It is recommended that you consult an arborist or other plant specialist about this tree and the potential problems that might be associated with it.**

1.2 (2) NOTE: Surface Drains. It was noted that surface drains were present That look to exit at the street. **Surface drains are noted but are not tested for proper working order.** It is recommended that all drains be tested and kept clear of debris to ensure proper working order.

1.2 (3) Slope Note: This house was built next to a steep slope or hillside. The soil and stability of this slope was not determined at the time of the inspection. **These are considered beyond the scope of the inspection.** Due to the age in which this home and lot were constructed it could not be determined if adequate soil compaction and drainage were installed at the time of construction. **Improper soil preparation, compaction and or drainage can lead to premature soil erosion, slippage and failure.** **It is recommended that this area be further evaluated by a licensed soils expert and or engineer to determine slope and wall stability.**

 **1.2 (4) Improper Slope.** There are areas at the left side of the home where the bricks slope toward the house or does not appear to have a proper directional slope . There were no visible surface drains noted at these locations. Ideally there should be a minimum slope of 6 inches within the first 10 ft of the house. **It is recommended that a swale, french drain or other means of drainage be provided to keep water away from house and foundation.**

 **1.2 (5) Blocked Drain:** There is a large cement swale drain that runs across the rear of the property. The drain is blocked with debris & will not drain properly. We could not determine wear the drain exited the property. **These drains need to be cleared & tested for proper drainage. Check to see if this is an easement that is maintained by the city.**

1.6 Cant Verify Tempered. The rear patio door that contain glass that could not be verified as being safety glass . Tempered glass is a safety glazing that is required in hazardous locations, it is usually indicated as being such by labeling in corner of pane. **This is typical to find in older homes and precautions should be taken. Recommend further analysis and replacement if necessary.**

 **1.7 Tail Damage.** There is some wood damage at the rafter tails at the rear patio. Damaged wood should be repaired or replaced. **It is recommended that you read your termite report thoroughly and that damaged wood be repaired or replaced.**

 **1.8 (1) Can't Verify Support- Ledger Board.** The patio cover is supported by the use of a ledger board. Ledger boards should be fastened into place by the use of staggered bolts, with washers, anchored into the framing members of the building. Often times these are improperly supported with nails. **Currently the ledger board was covered and the support was not able to be verified. It is recommended that this be further evaluated for safety and corrected if needed by a licensed contractor.**

Cant Verify Attachment- Currently the support at the patio cover were not visible and were not able to be verified. The ceiling is covered with wood planking which blocks our inspection of all connection points. It is recommended that this be further evaluated for safety corrected if needed by a licensed contractor.

Support Bracing: There were no metal supports or brackets found at the connection point of rafter to ledger board. (only 1 beam is visible). All support connections require a bracket to prevent any movement. This is not up to today's standards & should be evaluated by a licensed contractor.

 **1.8 (2) No Lateral Bracing.** The posts at the rear patio are greater than 4 feet in height. Typically these posts should have lateral bracing extending off the posts at a 45 degree angle. These are to help brace the posts from lateral forces.

Post Spacing: The posts at the rear patio cover are over 22ft apart. For a 6x6 wood post supporting a standard residential patio cover in San Diego, the maximum recommended post spacing (on center) is 8 to 12 feet, depending heavily on your roof load, beam size, and rafter span. It is recommended that these posts be further evaluated by a licensed contractor to determine if any upgrades are required..

1.9 No Visible Drains. There were retaining walls at the front of the home. It is important that all retaining walls be built with structural steel, proper footings and that a drainage source be implemented to reduce static pressure and the possibility of wall failure or damage. **Improperly constructed walls can lead to failure. These are items that are not able to be visually verified during this inspection.** It is recommended that these walls be verified as having proper permits to help ensure that they have been properly constructed and drains were properly implemented during construction.

 **1.10 No Vacuum Breakers.** The exterior hose bibs were not provided with vacuum breakers. **Although this was not a requirement for when this house was constructed, it is recommended that vacuum breakers be installed at all exterior hose bibs.** These are designed to prevent contamination should there be a pressure drop in the city's system. Vacuum breakers will prevent water from being siphoned backwards potentially contaminating the public drinking water. Recommend installation of these devices.

Leaky Faucet Handle. The hose bib at the rear of the home leaks at the handle when turned on. This is noted for your information and can be replaced or repaired at your convenience if so desired. This could be covered by the HOA.

1.11 (1) NOTE: Exterior Outlets: Due to the natural elements and exterior moisture it is recommended all exterior outlets be listed for outdoor use (with covers) and be GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. This is noted for your information.

1.11 (2) Inoperative Doorbell. The door bell did not operate at time of inspection. It is recommended

that this be repaired by a qualified person.

 **1.11 (3) No GFCI Protection** . The outlets at the exterior of the home are currently not all GFCI protected. GFCI's are a safety device built into an outlet to "trip" the circuit if it detects that electricity is unbalanced, or if it detects improper connections of the neutral. **Although this was not a requirement at the time in which this house was constructed, it is recommended that these outlets be GFCI protected.** It is recommended that ALL exterior outlets be on a working GFCI circuit using a WR (weather resistant) & TR (tamper proof) type plug.

 **1.11 (4) Loose Outlet(s)**. There is a loose plug at the wall connection at the rear patio outlet. Loose outlets can pull the wires from the back of the receptacle causing the wires to arch or cause electric shock & allow moisture into the wall. For safety reasons it is recommended that these outlets be properly secured & sealed to the wall by a qualified professional.

 **1.11 (5) Exposed Wires**. There were some exposed wires noted at the lamp post on the patio. Due to the extreme hazard of exposed wires, it is recommended that the wires be properly capped and contained within a box, removed or a proper light installed. It is recommended that these wires be either removed or properly contained within a box by a licensed electrician.

 **1.11 (6) Missing Lights/ Switches**. The side garage door was not provided with proper light fixtures and or switches. For today's standards, all doors leading to the exterior of the house should be provided with a light switch that controls an exterior light. It is recommended that proper switches and/or lights be provided at this location.

1.13 (1) NOTE: The irrigation system was not tested or evaluated as part of our inspection service. We will note deficiencies with the irrigation as they relate to structures and components. Spray type irrigation/sprinklers next to a building are problematic and will cause damage to walls and foundations, Drip irrigation is a better alternative, and no irrigation next the house is preferred. Adjust or modify the irrigation to prevent water from contacting the exterior building surfaces.

1.13 (2) NOTE: We do not identify, measure or mark property lines. A qualified land surveyor would be needed to determine the property lines.

1.13 (3) NOTE: There is a Ring system with cameras installed . We do not inspect these systems. Recommend getting all information from current owner about system.

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Electrical System

The Home Inspector Shall Observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and accessible receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors.

The Home Inspector Shall Describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors.

The Home Inspector is Not Required To: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Test or operate the function of smoke and carbon monoxide detectors. Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Styles & Materials

Electrical Service Conductors:	Panel capacity:	Current Panel Output:
Below ground	Could Not Verify- No Label	100 AMP
Panel Type:	Electric Panel Manufacturer:	Branch wire 15 and 20 AMP:
Circuit breakers	ZINSCO	Copper
Wiring Methods:		
NM Cable (Romex)		
Not All Visible		

		IN	NI	NP	RR
2.0	SERVICE ENTRANCE CONDUCTORS	•			
2.1	LOCATION OF MAIN AND DISTRIBUTION PANELS	•			
2.2	MAIN DISTRIBUTION PANELS AND GROUNDING	•			•
2.3	BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE	•			•
2.4	POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, CARPORT, EXTERIOR WALLS OF INSPECTED STRUCTURE	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

 **2.1 NOTE: Close to Gas Meter.** The electrical panel was located above the gas meter and located less than 3 feet away. **Although this was permitted at the time of construction, some panel upgrades may require the panel to be relocated.** This is noted for your information.

FYI: The main electrical panel: Is located OUTSIDE, at the garage wall.

 **2.2 (1) ZINSCO / SLYVANIA PANEL.** The main panel provided for this house is a Zinsco or Slvania panel. The earliest Zinsco panels had busses made of copper bars and were very reliable. However, during the copper shortages of the mid-1960s, the copper was replaced with anodized aluminum bars.

This led to problems of poor contact between the breaker and the bus bar, and many have failed since due to arcing between the components. The problems continued after Zinsco's sale to Sylvania in the early 1970s. There are differing opinions as to a possibility that the circuit breakers may not trip when shorted, possibly causing an electrical hazard. Opinions by licensed electricians differ on this panel and their opinions range between safe and hazardous. There have been no official recalls on this panel and this is noted for your information. **It is recommend that you do additional research on this product, and consult a licensed electrician for an additional opinion and correction if deemed necessary.** Attached is an article found on this subject: http://inspectapedia.com/electric/Zinsco_Electrical_Panels.php

 **2.2 (2) Missing/Unreadable Manufacture's Label.** The manufactures labeling was missing/unreadable from the door of this panel and the maximum panel rating was not able to be determined. Currently the disconnect for this panel was provided with a 100 Amp breaker. Undersized panels can create hazardous situations, damage and fires. **It is recommended that the maximum rating of this panel be determined by a licensed electrician to ensure proper working order.**

 **2.2 (3) Cover Not Secured to Panel.** The screw to the cover for the main panel is missing and the cover is loose. Missing or loose faceplates can expose electrical parts of the main creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**

2.2 (4) No Ground Rod. For today's standards, homes and all detached buildings (with electrical panels) should be provided with 2 grounding rods. Previously, before 2016, only one rod was required. Grounding rods are metal electrode (rods) placed within the soil to ground the house to the earth. Due to the age of this building, there was not a grounding electrode system. **For safety, it is recommended that this be installed by a licensed electrician.**

 **2.3 Double Tapping of Breaker.** The main panel has a breaker that is double tapped. Double tapping is when two wires enter a single breaker. This typically occurs when the panel is too small for the current amount of breakers provided, or an additional breaker was just not added. **Recommend further evaluation and repair by a licensed electrician.**

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Attached Garage

Styles & Materials

Garage Door Type:
One automatic

Garage Door Material:
Metal

		IN	NI	NP	RR
3.0	GARAGE DOOR (S)	•			•
3.1	GARAGE WALLS (INCLUDING FIREWALL SEPARATION)	•			•
3.2	GARAGE CEILINGS	•			
3.3	OCCUPANT DOOR FROM GARAGE TO INSIDE HOME	•			•
3.4	GARAGE FLOOR	•			
3.5	GARAGE DOOR OPERATORS (Report whether or not doors will reverse when met with resistance)	•			
3.6	OUTLETS AND WIRING	•			•
3.7	WASHER/ DRYER AREA	•			
3.8	Plumbing - Fixtures - Drains	•			
		IN	NI	NP	RR

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Comments:

 **3.0 Gap at Door.** The garage door had a gap at the base of the door. This can allow for rodents and other things to enter the garage from the underside of the door. **It is recommended that a weather strip or similar repair be conducted to the base of this door.**

 **3.1 Drywall Not Taped/ Finished.** The Garage wall which connects to the house is a fire rated assembly. Any penetrations to this wall must have proper protection to guard against the spread of fire and spread of carbon monoxide. **Currently there were areas where the drywall was not taped or finished & the tape is coming off.** **Recommend that this wall be properly repaired by a licensed contractor.**

 **3.3 Occupant Door Not Self- Closing.** The wall of the house, that shares the same wall as the garage is a fire rated wall. This wall is to have all openings and penetrations protected. This includes having a self closing, fire rated door. **This door is missing or has inoperative hardware that enables this door to be self-closing.** This is a safety hazard that should be corrected. **It is recommended that this door have proper hardware installed to allow the door to be self-closing.**

3.4 NOTE: Epoxy Floor. The floor of this garage has had an epoxy finish applied to the surface of the floor. This is noted for your information.

3.5 NOTE: Safety Devices In Working Order. The garage door retracted, when (both) safety measures were tested: **(1.)** safety beam (six inches from ground) was disrupted. **(2.)** When pressure

was applied to the garage door while closing. These are safety devices installed to ensure less risk of injury while door is closing. These items worked perfectly at time of inspection, and are mentioned solely for your awareness .

 **3.6 (1) No GFCI Protection.** The garage currently does not have any GFCI protected outlets. **Although this might not have been a requirement when this house was constructed,** it is recommended that all outlets in the Garage are GFCI protected or on a GFCI protected circuit. **Recommend that the current outlets be upgraded to have GFCI protection by a licensed electrician.**

 **3.6 (2) Missing Covers/damaged.** There are some outlets/ switches in the garage that are missing covers or damaged. Missing faceplates expose electrical parts of receptacle outlets, and switches creating a potential shock hazard. **For safety reasons all outlets and switches should have secure covers to reduce the chance of electric shock.**

 **3.6 (3) Missing Light Cover.** The ceiling light was not provided with a globe or cover. This is needed to protect the bulb & fixture from damaged. **It is recommended that the fixture have a cover provided.**

3.6 (4) NOTE: Three Prong 240 Outlet. The electrical laundry connection has an older type three pronged receptacle. **Newer dryers often require a four pronged outlet.** This is noted for your information and can be upgraded at your convenience.

3.6 (5) NOTE: There is a coaxial wire (TV) hanging from the ceiling. This wire needs to be properly secured above the ceiling line to prevent damage or injury.

3.7 (1) NOTE: Hose Lines. Many washing machines are provided with rubber supply hoses. Rubber hoses are an older style, that have a higher failure rate than the newer steel-braided type. If this unit is supplied with rubber type hoses, it is recommended that these lines be upgraded to the braided-type supply lines.

3.7 (2) NOTE: There are no washer & dryer installed. There is gas or 220V electric options for dryer. This is noted for your information.

4. Roofing / Chimneys / Roof Structure and Attic

The Home Inspector Shall Observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing.

The Home Inspector is Not Required To: Walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Viewed roof covering from: Walked roof	Roof Covering: 3-Tab fiberglass	Chimney (exterior): Brick
Roof Ventilation: Gable vents Soffit Vents	Method used to observe attic: From entry - High Insulation - limited access	Roof Structure: Engineered wood trusses
Attic info: Attic access	Attic Insulation: Blown	

		IN	NI	NP	RR
4.0	ROOF DRAINAGE SYSTEMS (gutters and downspouts)	•			•
4.1	ROOF COVERINGS	•			•
4.2	FLASHINGS	•			•
4.3	SKYLIGHTS AND VENT TERMINATIONS	•			
4.4	CHIMNEY	•			•
4.5	ROOF VENTILATION	•			
4.6	ROOF STRUCTURE AND ATTIC (Report leak signs or condensation)	•			
4.7	INSULATION IN ATTIC	•			
4.8	VISIBLE ELECTRIC WIRING IN ATTIC	•			
4.9	OTHER	•			
		IN	NI	NP	RR

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Comments:

 **4.0 Clean Gutters.** The rain gutters are filled with debris and should be cleaned out so the water can flow freely towards the drain . It is recommended that these drains be cleaned of any debris.

4.1 (1) NOTE: Limited Inspection. The roof inspection is a general overview of the roof's current condition. We are not roofing specialists. We cannot always accurately determine if there are active roof leaks. Often, a roof can leak due to problems or issues that are not visible at the time of the inspection. We will not be held liable for roof leaks that do not have visible issues at the time of the inspection. This includes patching of a roof. Visible evidence includes: physical damage, visible water staining at the interior ceilings, visible roof defects, improper roofing material or improper application of visible materials, worn areas, or improper and missing materials or flashings. Please understand that we do our best to determine and analyze the true condition of your roof and its components. We try and report everything as accurately as we can. If you are concerned about any areas of this property,

you are always encouraged to further evaluate any areas you have concerns about through a licensed specialist.

4.1 (2) Worn Roofing Material. There were some areas of the roof that had some minor balding. Balding is when the protective elements (Hydrocarbons) begin to shed and and expose areas of the fiberglass. This is an indication that the roof is beginning to wear. Most of the wear is on the front side which gets the most exposure. There are no damaged areas at this time. This is noted for your information & a full roof inspection by a licensed roofer can be performed if so desired.

 **4.1 (3) Exposed Nails.** The ridge shingles have exposed fasteners. Roofing materials should not have exposed nails or staples; these fasteners should be covered by roofing material to decrease the chance of leaks. *Although it could not verify if current fastener holes leak water during times of rain, it is recommend that exposed nails and or staples be covered by an overlapping roofing material by licensed contractor or roofer.*

 **4.2 Exposed Nails at Flashings.** The roof flashings have exposed nails at the vents . Roofing materials should not have exposed nails; these nails should be covered by roofing material or sealed to decrease the chance of leaks. *Although it could not be verified if current nail holes leak water during times of rain, it is recommend that exposed nails be removed and patched or have a waterproofing material applied over each nail.*

 **4.4 (1) NOTE: Limited Inspection.** The chimney inspection was limited to the exterior of the chimney. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.

 **4.4 (2) Seal Chimney Cap.** There were some cracks at the chimney cap. Damaged mortar can allow for leaks into the chimney liner. *It is recommended that the chimney be further evaluated and repaired as needed by a licensed contractor.*

4.5 Minimal Attic Venting. The attic area has very minimal venting (1 gable vent & soffit vents at the rear master bedroom). Attic venting allows for proper airflow throughout the attic and will help to properly heat and cool the house. *It is recommended that the venting be further evaluated and repaired as needed by a licensed contractor.*

4.6

NOTE: In accordance with industry standards, we will not enter an attic that has less than thirty-six inches (three feet) of headroom, is restricted by ducts, or in which access is hazardous or limited. During the inspection of the attic we do not move or disturb any portion of the insulation: This may limit the inspection of the water lines, electrical conduit (wires), junction boxes, exhaust fans, and other components which may be covered or obstructed by the insulation. We will do our best to observe all components found in this area and report any issues we find to the best of of our abilities but will not be held liable for items not readily visible or accessible. This is noted for your information.

4.8 NOTE: Cant See All. Due to the insulation in the attic, much of the attic and components found within were not visible and could not be inspected. This includes the electrical wiring and light fixtures. It is recommended that any recessed light fixtures in the attic be verified as being the insulated type. Otherwise the insulation around these lights may need to be moved to allow the fixtures to vent and cool.

4.9 (1) Note: There is an abandon satellite dish on the roof that should be removed to avoid damage to roof covering.

 **4.9 (2) Insects:** There are signs of wood destroying insects on the floor in the attic. **Recommend reviewing termite inspection report for more information.**

The roof of the home was inspected and reported on with the above information and following the Standards of Practice set forth by CREIA. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be in working order, however may have improper installation or damage that is not visible at the time of the inspection. Because of the limited rainfall in this region, leaks are not always visible or able to be detected during the time of the inspection. Our inspectors make a vigilant attempt to find leaks but often due to weather conditions cannot. Leaks often go undetected until it rains, when they make themselves known. Please be aware that our inspectors have your best interest in mind. Any repair items mentioned in this report should be considered before purchase and. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The Home Inspector Shall Observe Structural Components Including: foundations, floors, walls, columns or piers, ceilings and roof.

The Home Inspector Shall Describe: The type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The Home Inspector is Not Required To: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons.

Styles & Materials

Method used to observe		Foundation:		Floor Structure:	
Crawlspace:		Poured concrete		Slab	
No crawlspace					
		IN	NI	NP	RR
5.0	FOUNDATIONS, BASEMENTS AND CRAWLSPACES (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•			
5.1	FLOORS (Structural)	•			
5.2	WALLS (Structural)	•			
5.3	CEILINGS (structural)	•			
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Interior

The Home Inspector Shall Observe: Walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows.

The Home Inspector Shall: Operate a representative number of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The Home Inspector is Not Required to Observe: Minor blemishes, dings, nicks and scuff marks on paint, wallpaper, and other finish treatments or on the interior walls, ceilings, and floors; carpeting; or draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials:

Drywall

Wall Material:

Drywall

Floor Covering(s):

Linoleum
Tile
Wood Flooring Type Material

Interior Doors:

Hollow core
Raised panel

Window Types:

Casement

		IN	NI	NP	RR
6.0	FLOORS	•			
6.1	CEILINGS	•			
6.2	WALLS	•			
6.3	DOORS (REPRESENTATIVE NUMBER)	•			•
6.4	WINDOWS (REPRESENTATIVE NUMBER)	•			
6.5	OUTLETS SWITCHES AND FIXTURES	•			•
6.6	SMOKE DETECTORS	•			•
6.7	CARBON MONOXIDE DETECTORS	•			•
6.8	OTHER	•			
		IN	NI	NP	RR

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Comments:

6.0 NOTE: Due to the installation of finished surfaces, the slab is mostly inaccessible and could not be thoroughly inspected.

However, we observed no signs of significant settlement or related interior cracking to suggest a major problem. The

inspector can only comment on what is visible and accessible at the time of inspection.

6.2 NOTE: Furnished House. Because there were furnishings at the time of the inspection there are areas that cannot be fully inspected due to belongings. These may include, but are not limited to, areas of flooring, walls, closets, shelving, some electrical outlets, windows and ceilings. It is highly

recommended that a final walk through is completed once all belongings are out to ensure there is no unknown or additional damage.

Newly Painted Note: It was noted that the walls and or ceilings of this house have recently been painted. Painting of these areas can often hide: patching, stains or other clues we use to help determine if there are greater issues present. Although we do our best to find all current and potential problems, newly painted areas can often make it impossible to find current issues. This is noted for your information.

 **6.3 Inoperative Pocket Door.** The pocket door at the dining room did not work at the time of the inspection. The door did not properly closet completely. **It is recommended that this be further evaluated and repaired as needed.**

 **6.5 (1) Tamper Resistant Not Installed.** It was observed that this house had new outlets installed. It is now required that new receptacles within new or remodeled construction should be provided with tamper resistant outlets. Tamper resistant outlets are safety outlets that have spring loaded shields that inhibit articles from being able to be placed inside an electrical outlet. **It is recommended that TR plugs be installed at all required outlets.**

 **6.5 (2) Inoperative Outlet.** There was an outlet in the master bedroom that did not work at time of inspection. **There was no power at this outlet. It is recommended that this be further evaluated by a licensed electrician.**

 **6.5 (3) Loose Outlet Prongs.** One of the outlets in the master bedroom has loose prongs and does not properly hold the plug within the socket or does not make a proper connection with the prongs. **This can allow for arcing to occur which could result in an electrical fire. It is recommended that this outlet be replaced by a licensed electrician.**

6.6 (1) NOTE: Smoke detectors are recommended in the following locations: In **each bedroom, at each floor level and at a point centrally located** in the **hallway** (or area giving access to each separate bedroom). **It is recommended that there are working smoke detectors at each of these locations and that the units are tested upon moving in to home and every 6 months thereafter.**

NOTE: Smoke Detector Types. The two most commonly recognized smoke detection technologies are ionization smoke detection and photoelectric smoke detection: Ionization type smoke detectors are the most common because they are the cheapest, but can be more prone to false (nuisance) alarms than photoelectric smoke detectors. This can cause people to remove the batteries from the units, causing a home to no longer have a working smoke alarm.

For more information about smoke alarms please visit the following sites:

<https://www.usfa.fema.gov/prevention/home-fires/prepare-for-fire/smoke-alarms/>

 **6.6 (2) Missing Smoke Detectors.** Smoke detectors should be located at each level, in each bedroom and in the room outside the bedroom (hallway). Currently there were missing smoke

detectors at one or more of these locations. It is recommended that smoke detectors are present at these locations before close of escrow.

6.7 (1) NOTE: Carbon Monoxide Detectors. It is recommended that the carbon monoxide tester be tested upon moving in and the batteries be changed (if applicable). The location and placement of these devices vary widely depending on Manufactures recommendations. Typically these are suppose to be installed outside the sleeping areas at eye level. It is recommended that that you read and follow the manufactures recommendation as to the proper location of these devices. Batteries should be changed every 6 months or when indicated by device or manufactures recommendations.

 **6.7 (2) No Carbon Monoxide Detector:** Effective January 1, 2017. In California, all newly constructed dwelling units containing a fossil fuel burning heater or appliance, fireplace, or attached garage, are required to have carbon monoxide alarms installed. Carbon monoxide is an odorless, tasteless lethal gas which is created by combustion particles. These detectors act like a smoke alarm, and makes an audible warning to alert you if particles are detected. These need to be installed at each floor level preferably near the bedrooms & any bedroom or attached bathroom with a fuel burning device/appliance. It is a safety requirement that a working carbon monoxide detector be installed as required in this house before close of escrow. (<https://www.epa.gov/indoor-Click here for more information>)

6.8 If your home was built before 1978, there is a good chance it has lead-based paint. In 1978, the federal government banned consumer uses of lead-containing paint, but some states banned it even earlier. Lead from paint, including lead-contaminated dust, is one of the most common causes of lead poisoning. Aug 30, 2017

Protect Your Family from Exposures to Lead | Lead | US EPA

<https://www.epa.gov/lead/protect-your-family-exposures-lead>

Asbestos and Indoor Air

The main source of asbestos in indoor air is insulation products. Buildings built in the last 50 years used a variety of materials composed of asbestos mixed with other fibers like paper, fiberglass, or synthetic fibers and a binder, usually lime or gypsum mortar. The most commonly reported material in California homes is the cottage-cheese ceiling insulation. Other common materials include vinyl floor tiles, patching compounds and textured paints, furnace, stove and pipe insulation, stove door gaskets, some roofing shingles and siding material, and parts of some pre-1979 appliances (e.g. toasters, clothes dryers, hair dryers).

Read more at <http://www.ehso.com/cssasbestos/asbestoscalifornia.htm#ZvDJAz9H4JAw6Wvo.99>

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Kitchen Components and Appliances

The Home Inspector Shall Observe and Operate the Basic Functions of the Following Kitchen Appliances: Permanently installed dishwasher (through its normal cycle- but not to determine it's effectiveness in cleaning); Range, cook top, and permanently installed oven; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven.

The Home Inspector is Not Required to Observe: Non built-in appliances (free-standing appliances), refrigerators, trash compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, indoor or outdoor barbecues, grills, or roisterers, timers, clocks, thermostats, the self-cleaning capacity of ovens. Also included in this are concealed/ limited countertop views and other areas that are not readily visible.

Styles & Materials

Countertop: Composite	Cabinetry: Wood	Flooring: Linoleum
Oven\ Stove: KENMORE	Built in Microwave: WHIRLPOOL	Dishwasher Brand: MAYTAG
Disposer Brand: IN SINK ERATOR		

		IN	NI	NP	RR
7.0	COUNTERS AND SINK	•			
7.1	CUPBOARDS/DRAWERS/CLOSET DOORS	•			•
7.2	FLOORS	•			
7.3	WALLS	•			
7.4	CEILINGS	•			
7.5	WINDOWS	•			
7.6	DOORS	•			
7.7	RANGES/OVENS/COOKTOPS	•			•
7.8	MICROWAVE COOKING EQUIPMENT	•			•
7.9	DISHWASHER	•			
7.10	GARBAGE DISPOSER	•			
7.11	FAUCETS/ FIXTURES And WATER SUPPLY PLUMBING	•			
7.12	PLUMBING DRAIN AND VENT SYSTEMS	•			
7.13	OUTLETS WALL SWITCHES and FIXTURES	•			
7.14	OTHER	•			
		IN	NI	NP	RR

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Comments:

 **7.1 Cabinet Damage.** It appears that there has been a leak at the sink base cabinet and the cabinet floor has some moderate damage. The cabinet flooring under the sink is made of particle board. Once this material has had water damage it looses its strength, warps and begins to crumble. **The cabinetry test for high moisture reading and there was currently growth noted at this**

location. It is recommended that all water damaged materials be replaced by a licensed contractor to decrease the possibility of further damage and growth.

 **7.7 No Safety Strap on Oven.** Ovens come with a child safety strap (Anti-tip strap) to prevent the oven from tipping and falling if children use the oven door as a step. It is recommended, especially if children are present, that this oven be equipped with a safety strap.

 **7.8 Not Vented to Exterior.** The kitchen was remodeled and the microwave was not vented to the exterior. The old vent is still installed in the attic to the roof. **For today's standards, most jurisdictions now require venting to terminate to the exterior of the home.** It is recommended that the vent be properly attached to the microwave by a qualified professional.

7.13 NOTE: Kitchen Remodel. It is a requirement that when any remodel is conducted, and a permit is required, that the room being remodeled be brought to the building standards and codes which apply for the year in which the remodel was completed. In this application, it appears that the kitchen has been remodeled. There should be an outlet for every four feet of countertop so that an appliance having a two foot cord, can be set on **any section** of the counter and reach an outlet. This is noted for your information. It is also required that all outlets serving the countertop and within 6 feet of a water source be GFCI protected (This now includes under-sink outlets (disposal) and microwaves/ refrigerators. **For today's standards the outlets did not have proper GFCI protection.**

7.14 (1) NOTE: The Kitchen appliances were all tested by activating one of the user control function. We did not test every function or cycle on each appliance & cannot confirm that every function or cycle works. Testing all cycles/functions on each appliance is recommended before close of escrow.

7.14 (2) NOTE: There is a refrigerator installed with a water line attached. There was ice in the freezer & both the refrigerator & freezer were cold. We do not fully inspect refrigerators as part of our standard of practice.

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8(A) . Hall Bath

Styles & Materials

Ventilation Type:

Window- No Fan

		IN	NI	NP	RR
8.0.A	COUNTERS/SINK/ CABINETS	•			
8.1.A	DOORS (REPRESENTATIVE NUMBER)	•			
8.2.A	FLOORS	•			
8.3.A	WALLS	•			
8.4.A	CEILINGS	•			
8.5.A	WINDOWS/ MIRRORS	•			
8.6.A	Shower/ Tub enclosure.	•			
8.7.A	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•			
8.8.A	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
8.9.A	TOILET FIXTURE	•			
8.10.A	OUTLETS SWITCHES AND FIXTURES	•			
8.11.A	EXHAUST FAN/ HEATER			•	
8.12.A	OTHER	•			
		IN	NI	NP	RR

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Comments:

8.8.A NOTE: The sink is not equipped with an overflow drain. If the sink is over filed it will cause a flood. This is noted for your information.

8.10.A NOTE: Not Title 24. The lighting for this bathroom is not equipped with a motion sensor & we could not confirm low energy lighting to comply with the title 24 requirements. All bathrooms, new or remodeled, must use high efficiency lighting **or** have the lighting controlled by a manual -on occupant sensor. This sensor will turn "OFF" the light(s) when there is no movement present, but must be manually turned on. It is recommended that this be provided to comply for today's standards if needed.

8.11.A NOTE: Remodel- No Fan. This bathroom was remodeled but did not have a mechanically controlled vent fan installed. It has been our experience that the city has not been enforcing mechanical fans within bathrooms containing openable windows. This is noted for your information.

8(B) . Master Bath

Styles & Materials

Ventilation Type:

Window- No Fan

		IN	NI	NP	RR
8.0.B	COUNTERS/SINK/ CABINETS	•			
8.1.B	DOORS (REPRESENTATIVE NUMBER)	•			
8.2.B	FLOORS	•			
8.3.B	WALLS	•			
8.4.B	CEILINGS	•			
8.5.B	WINDOWS/ MIRRORS	•			
8.6.B	Shower/ Tub enclosure.	•			•
8.7.B	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•			•
8.8.B	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
8.9.B	TOILET FIXTURE	•			
8.10.B	OUTLETS SWITCHES AND FIXTURES	•			
8.11.B	EXHAUST FAN/ HEATER			•	
		IN	NI	NP	RR

IN= Inspected, NI= Not Inspected, NP= Not Present, RR= Repair or Replace

Comments:

 **8.6.B (1) Drain Weep Holes:** There were no weep holes found at the top of the drain pipe in the shower. Blocked weep holes in the drain flange can allow for water to pool and exit the shower pan enclosure from the underside of the unit. This can cause damage to the exterior walls and floors within the bathroom. **It is recommended that this be further evaluated by a tile/bathroom specialist and repaired as needed.**

8.6.B (2) NOTE: The wet wall & shower controls are behind the fixed glass panel. There is no direct access to shower controls without entering the shower area. The standard requirement is to have access to shower controls without entering shower area.

This is the Uniform Plumbing Code 411.11 - Control valves & shower heads shall be located on the sidewall of shower compartments or be otherwise arranged so that the shower head does not discharge directly at the entrance to the compartment & the bather can adjust the valves prior to stepping into the shower spray. This protects the bather from scalding or from sudden reaction to cold water, which could cause a slip & fall.

 **8.6.B (3) Fixture Cover:** The shower fixture has an exposed rubber seal at the cover. This can allow water to enter into the wall area. **Recommend a qualified professional repair or replace as needed.**

 **8.7.B (1) Hot/Cold Reversed .** The hot and cold were switched at the shower. It is standard that hot water is turned on at the left and cold water is derived from the right or that the water starts cold, and turns to hot. **In this application the hot and cold are reversed. It is recommended that this be repaired as needed by a licensed plumber.**

 **8.7.B (2) No Cold Water.** The shower faucet in this bathroom did not allow for "COLD" water to be produced. The water was still warm when turn to the cold position. **It is recommended that this fixture be adjusted or replaced, by a licensed plumber, to allow for the flow of "COLD" water.**

8.8.B (1) NOTE: The sink is not equipped with an overflow drain. If the sink is over filled it will cause a flood. This is noted for your information.

 **8.8.B (2) Adjust Drain Plug.** The drain plug for the sink was not attached. These should be properly attached to ensure proper function. **It is recommended that this be adjusted so that the sink can retain water if needed.**

8.10.B NOTE: Not Title 24. The lighting for this bathroom is not equipped with a motion sensor & we could not confirm low energy lighting to comply with the title 24 requirements. All bathrooms, new or remodeled, must use high efficiency lighting **or** have the lighting controlled by a manual -on occupant sensor. This sensor will turn "OFF" the light(s) when there is no movement present, but must be manually turned on. It is recommended that this be provided to comply for today's standards if needed.

8.11.B NOTE: Remodel- No Fan. This bathroom was remodeled but did not have a mechanically controlled vent fan installed. It has been our experience that the city has not been enforcing

mechanical fans within bathrooms containing openable windows. This is noted for your information.

9. Heating / Central Air Conditioning

The Home Inspector Shall Observe: Permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room.

The Home Inspector Shall Describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance.

The Home Inspector is Not Required To: Ignite or test any system in which the pilot is not lit or the system "OFF"; Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Styles & Materials

Cooling Equipment Type: No A/C	Heat System Brand: MAYTAG	Energy Source: Gas
Number of Heat Systems (excluding wood): One	Ductwork: Partially insulated	Filter Type: Disposable
Filter Size: 16x25x4	Types of Fireplaces: Gas/LP Log starter	Number Of Fireplaces.: One

		IN	NI	NP	RR
9.0	COOLING AND AIR HANDLER EQUIPMENT			•	
9.1	HEATING EQUIPMENT	•			
9.2	THERMOSTAT	•			
9.3	AUTOMATIC SAFETY CONTROLS	•			
9.4	DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			•
9.5	PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM	•			
9.6	CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)	•			
9.7	GAS/LP FIRELOGS AND FIREPLACES	•			•
9.8	HEARTH AND SURROUNDING AREAS	•			
		IN	NI	NP	RR

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Comments:

9.0 NOTE: No Air Conditioning Provided. This house was not provided with a central air conditioning unit. This is noted for your information.

9.1 NOTE: Gas Furnace- Limited Inspection. The Scope of this inspection does not include a thorough analysis of the inner components of the furnace. This includes but is not limited to cracks in the heat exchanger and areas of the heater that are not accessible. **It is recommended that all heaters be thoroughly evaluated by a licensed HVAC specialist every year to ensure proper working conditions.**

Note: The furnace unit is about 10 years old according to the manufactures label. This is for your information.

NOTE: The closet door does not have a handle which makes it hard to open. Recommend installing a proper handle.

 **9.4 (1) Supply Air Box:** When installing a new HVAC system it is recommended that the supply air box be sealed to prevent any cross contamination between intake & exhaust air. Also this will keep any foreign matter like insulation from being distributed into the living area. **Recommend a licensed HVAC company inspect & advise on any needed upgrades**

9.4 (2) FYI: Heater Temperature variance, tested normal. The ambient air temperature variance test was performed by using thermometers on the air handler of the furnace unit. This is to determine if the difference in temperatures of the supply and return air, are between 14 degrees and 22 degrees. When tested, the supply air temperature for your system read **110 (averg)** degrees, and the minimum return air temperature was **79** degrees. This indicates a normal range of temperature change. This is noted for your information only.

 **9.4 (3) Damaged Insulated.** Some sections of the HVAC ducts have damaged, insulation that is pulling from the duct. The ducting was not all insulated. This can affect the efficiency of your HVAC system. **It is recommended that these areas have insulation provided to decrease heat/ cooling loss and increase energy savings.**

9.7 (1) NOTE: Limited Inspection. The chimney inspection was limited to the exterior of the chimney and firebox. The interior of the chimney and its inner structural elements could not be viewed. It is highly recommended that all chimneys be further evaluated by a licensed chimney sweep, or specialist. **If this chimney has not been inspected within the last few years, it is recommended that a Class II inspection be conducted.** This is to ensure there is no physical damage to the inner liner, which could cause a malfunction of the chimney itself.

 **9.7 (2) No Damper Lock.** The chimney damper for gas fireplaces, should be locked in the "open" position. This is to ensure that gas can properly vent if there is a leak, or the gas was accidentally left on. **It is recommended that a flue clamp be installed at this damper.**

 **9.7 (3) Ignitor system:** There is an ignitor system installed inside the fire box. The gas was on at the shutoff but the polite was not on. For safety reasons we do not light polite lights. The system was turned on but did not work. **Recommend the fireplace be fully inspected buy a professional before using.**

9.7 (4) Hot Glass- Safety Hazard. The gas fireplace has a glass doors which can exceed temperatures of over 300 degrees. This glass can cause serious injury should the glass be touched when these units are in operation. **It is highly recommended that the doors be open & screens be used during operation and children be watched while these appliances are being used.**

.....
The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Plumbing System

The Home Inspector Shall Observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent systems (which are visible and accessible), including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all accessible plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance.

The Home Inspector is Not Required To: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; Sump Pumps; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.

Styles & Materials

Water Source: Public	Water Filters: None	Plumbing Water Supply (into home): Not visible
Plumbing Water Distribution (inside home): Copper	Washer Drain Size: 2" Diameter	Plumbing Waste Line: ABS Not All Visible
Water Heater Power Source: Gas	Water Heater Capacity: 40 Gallon (1-2 people)	Water Heater Manufacturer: WHIRLPOOL

		IN	NI	NP	RR
10.0	MAIN WATER SHUT-OFF DEVICE (Describe location)	•			•
10.1	PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES	•			
10.2	PLUMBING DRAIN, WASTE AND VENT SYSTEMS	•			
10.3	HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS	•			•
10.4	MAIN FUEL SHUT OFF (Describe Location)	•			
10.5	FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)	•			
		IN	NI	NP	RR

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Comments:

-  **10.0 Unknown Water Shut-Off Location.** The water shut off valve was not able to be located for this unit. This is something you will want to know incase of a plumbing emergency. **It is recommended that the water shut off be located or the shut off at the meter be used until a shutoff can be installed at the house.**
- Adjust Water Pressure.** Water pressure at time of test was noted at being **90 PSI**. It is required that when the water pressure exceeds 80lbs, a water pressure regulator be installed due to heightened risk of plumbing malfunction due to pressure. **There was no regulator present. Recommend purchase of water pressure regulator, so water pressure is between 50lbs- 80 lbs when valve is fully open.**

NOTE: Adding a Water Pressure Regulator. When a water pressure regulator is installed on a house it often doubles as a back flow preventer. This now transforms the plumbing system from an open system, to a closed system. Because of this, a (thermal) expansion tank should be installed at the water heater.

10.1 NOTE: Low Flow Fixture Information. As part of this inspection, **we do NOT test the flow rates of the house fixtures for compliance.** With the exception of toilets, the flow rates are not printed or listed on the fixtures. **This is considered beyond the scope of the inspection.** For your information: beginning January 1, 2014, all Single Family Homes, built before January 1, 1994, require water saving plumbing fixtures be installed throughout the home (as a condition of building permits applied for after January 1, 2014).

As of January 1, 2017 all single-family homes built prior to January 1, 1994 must comply with these requirements (**permit or no permit**) and homeowners are required to install water saving fixtures, if the current fixtures are out of compliance. (This law will not affect commercial or multi-family properties until January 1, 2019).

Sellers: If you are selling your home after January 1, 2017, you are required to replace non-compliant fixtures or disclose what fixtures are non-compliant.

As Stated Per The California Civil Code Section 1101.1-1101.8

1101.4. (a) On and after January 1, 2014, for all building alterations or improvements to single-family residential real property, as a condition for issuance of a certificate of final completion and occupancy or final permit approval by the local building department, the permit applicant shall replace all noncompliant plumbing fixtures with water-conserving plumbing fixtures.

(b) On or before January 1, 2017, noncompliant plumbing fixtures in any single-family residential real property shall be replaced by the property owner with water-conserving plumbing fixtures.

(c) On and after January 1, 2017, a seller or transferor of single-family residential real property shall disclose in writing to the prospective purchaser or transferee the requirements of subdivision (b) and whether the real property includes any noncompliant plumbing fixtures.

10.2 Recommend Line Scope. As part of this inspection, the waste lines have water flushed through the lines to ensure proper draining. The running of water ensures that there are no visible leaks, or blocks in the branch lines. We do not run water long enough to determine if there are blocks in the main line. **Main line blocks or partial blocks, within the branch lines, can occur without indication.** As a precaution, it is recommended that all waste lines be scoped with a camera by a licensed plumber or plumbing inspector. There are several issues that can arise within the waste lines; both with older Cast Iron as well as newer ABS. Cast iron lines are typically very old and generally at the end of their anticipated life. These lines deteriorate from the interior out, reducing the interior diameter of the pipe as it ages. These pipes can also incur cracks, breaks, pipe separation, root intrusion and improper slopes. ABS plumbing, although newer, can also incur some of these issues.

Due to our inability to see within these pipes, it is highly recommended that the waste lines of this property be scoped with a camera by a qualified professional.

NOTE: There are sewer clean outs located on the left side, front & rear of the home & in the garage. These are used when you need access to clean or inspect drain pipe system. This is noted for your information.

 **10.3 (1) Metal/Transite:** The water heaters vent pipe is a combination of steel & "Transite" pipe which are jointed together. This combination of these dissimilar materials can cause unwanted condensation of flue gases inside the vent which can drip back into the gas appliance and hasten deterioration of the vent and appliance. It is recommended that the vent be replaced with similar materials the entire distance of the pipe to prevent any unwanted condensation and potential damage. **Recommend repairs by a licensed plumbing contractor.**

NOTE: Transite Vent Pipe. It was noted that the water heater provided for this home appears to have a Transite vent pipe. Transite has a high probability of containing asbestos, a material that if damaged or disturbed can cause serious health risks. For more information about this material please read the provided links found in **Section 1.13.** of this report.

 **10.3 (2) Blocking of Water Heater Needed.** The water heater currently has proper straps, however, because it sits so far away from the wall, it needs be blocked to avoid lateral movement. **It is recommended that this water heater has proper blocking to inhibit movement.**

 **10.3 (3) Missing Pan.** The water heater is not equipped with a catch pan. All water heaters located in attics, closets or garage (which have wood framing which could be damaged should the water heater leak), are required to have a drain pan which has a minimum depth of 1.5 inches in depth, with an attached drain line that is no smaller than 3/4 inch. **It is recommended that this unit be supplied with a proper pan by a licensed plumber or contractor.**

 **10.3 (4) Water Heater Note:** On Average water heaters typically have a 10 to 15 year life expectancy according to the manufacturers. **Currently this water heater label showed a 2018 manufactures date.** This is noted for your information.

10.4 NOTE: You should be aware that gas leaks are not uncommon, particularly underground ones, and that they can be difficult to detect without the use of sophisticated instruments. Gas lines are not checked for leaks, and pipes concealed from view are not inspected.

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



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Inspected By: AL SILVA JR

Inspection Date: 8/17/2026
Report ID:

Customer Info:	Inspection Property:
Jenna Daley Customer's Real Estate Professional: Jenna Daley Compass	2908 Aber St San Diego CA 92117

Inspection Fee:

Service	Price	Amount	Sub-Total
Heated Sq Ft 1,001 - 2,000	550.00	1	550.00
Inspection Discount	-55.00	1	-55.00
			Tax \$0.00
			Total Price \$495.00

Payment Method: VENMO
Payment Status: Paid
Note: