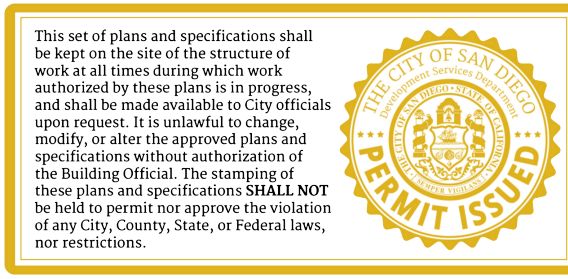


# NEW ACCESSORY DWELLING UNIT

at 4579 PESCADERO AVE. SAN DIEGO, CA 92107



5/24/2023, 10:50:21 AM  
PRJ-1071757  
Diego Garcia

**No FAA Notification Self-Certification Agreement**

This agreement is made by and between the City of San Diego, a Municipal Corporation (City) and the owner or owner's duly authorized representative of real property (Property Owner), located at 4579 Pescadero Ave., San Diego, CA.

and more particularly described as TR 219 BLK 13 LOTS 43 & 44 (Lots Description) (Owner Name)

is the City of San Diego, County of San Diego, State of California (Property).

The Section 77.16 of Title 14 of the Code of Ordinances (CO) (Section 77.16) requires that no person is required to notify the Federal Aviation Administration (FAA) for any structure that would be installed by existing structures of a permanent and substantial character or by natural barriers or topographic features of such or greater height and would be located in the unregulated area of a city, town, or village where it is not required beyond all reasonable doubt that the structure as situated will not adversely affect safety in air navigation.

The City will not require notification to the FAA if a professional, licensed by the State of California to prepare construction documents provide certification on their plans along with their signature and registration stamp that the structure or modification to existing structure is in the zone or zone type where the Federal Aviation Administration certification is not required.

In consideration of the grant of permission by the City of San Diego to allow the self-certification of the determination of the requirement to notify FAA under section 77.16 of Title 14 of the Code of Ordinances (Section 77.16), the applicant represents and agrees with the City of San Diego as follows:

- Should it be subsequently determined by the City, Airport Land Use Commission, State, or the Federal Aviation Administration, or any other governmental agency that the proposed project is required to notify the Federal Aviation Administration under CO Section 77.16, the City assumes no responsibility for or liability for any change required to the submitted construction drawings and documents and to the structure installed on the project as a result of such notification with the FAA.
- The applicant certifies that they acknowledge and accept that the construction drawings and documents that are part of the submitted approval application as well as the construction in the field are to be installed as shown on the drawings and documents and that the City assumes no responsibility for or liability for any change required to the submitted construction drawings and documents and to the structure installed on the project as a result of such notification with the FAA.
- Furthermore, the applicant certifies that they acknowledge and accept all responsibility for changes required to the submitted construction drawings and documents and to the structure installed on the project as a result of such notification with the FAA.

FAA requires that the structure be installed in accordance with the drawings and documents submitted to the City of San Diego.

\_\_\_\_\_  
The Designer  
\_\_\_\_\_  
The Designer - Architect  
\_\_\_\_\_  
The Designer - Engineer

\_\_\_\_\_  
Date

## NO FAA NOTIFICATION SELF-CERTIFICATION AGREEMENT



VICINITY MAP

---	PROPERTY LINE	Ø	DIAMETER
↘	SLOPING SURFACE	⊥	AND CENTERLINE
INDICATES SLOPE →		#	POUND OR NUMBER
2	DETAIL NUMBER	A.B.	ANCHOR BOLT
A4	SHEET DETAIL APPEARS ON	ABV.	ABOVE
C	SECTION NUMBER	ACQUST.	ACOUSTICAL
A4	SHEET SECTION APPEARS ON	A.C.	ASPHALT CONCRETE
		ADJ.	ADJUSTIBLE
		A.F.F.	ABOVE FINISH FLOOR
		A.F.G.	ABOVE FINISH GRADE
	CONCRETE	ALUM.	ALUMINUM
	SOIL	ARCH.	ARCHITECTURAL
	CONCRETE MASONRY UNIT	BD.	BOARD
	PLYWOOD	BLDG	BUILDING
	STEEL	BLKG.	BLOCKING
	WD. BLOCKING	BM.	BEAM
	WD. CONT. MEMBER	BOT.	BOTTOM
	KEY NOTE	CAB.	CABINET
	DOOR NUMBER REFERENCE	C.B.	CATCH BASIN
	WINDOW NUMBER REFERENCE	C.I.P.	CAST IN PLACE
	WALL TYPE REFERENCE	C.J.	CONTROL JOINT
		C.L.	CHAIN LINK
		CLG.	CEILING
		CLR.	CLEAR
		CMU	CONCRETE MASONRY UNIT
		C.O.	CLEAN OUT
		COL.	COLUMN
		CONC.	CONCRETE
		CONSTR.	CONSTRUCTION
		CONT.	CONTINUOUS
		CORR.	CORRIDOR
		CSWK	CASEWORK
12		DBL.	DOUBLE
A		DF.	DOUGLAS FIR
1		DG.	DECOMPOSED GRANITE
4A		DIA.	DIAMETER
22		DIAG.	DIAGONAL
A1.5	INTERIOR ELEVATION	DIM.	DIMENSION
		DISP.	DISPENSER
		DN.	DOWN
		DR.	DOOR
		D.S.	DOWN SPOUT
		DWG.	DRAWING
		(E)	EXISTING
		EA	EACH
		E.J.	EXPANSION JOINT
		ELECT.	ELECTRICAL
		ELEV.	ELEVATION
		ENCL.	ENCLOSURE
		EQ.	EQUAL
		EQUIP.	EQUIPMENT
		EXIST.	EXISTING
		EXT.	EXTERIOR
		F.B.	FIRE BLANKET
		F.D.	FLOOR DRAIN
		FDN.	FOUNDATION
		F.E.	FIRE EXTINGUISHER
		F.E.C.	FIRE EXTINGUISHER CABINET
		F.F.	FINISH FLOOR
		FIN.	FINISH
		FIXT.	FIXTURE
		FLASH'G	FLASHING
		FLR.	FLOOR
		F.O.C.	FACE OF CONCRETE
		F.O.F.	FACE OF FINISH
		F.O.M.	FACE OF MASONRY
		F.O.S.	FACE OF STUD
		FRAM'G	FRAMING
		FRP	FIBERGLASS REINFORCED POLYESTER
		FT.	FOOT OR FEET
		FTG.	FOOTING
		F.V.	FIELD VERIFY
		GA.	GAUGE
		GALV.	GALVANIZED
		G.I.	GALVANIZED IRON
		GL.	GLASS
		GLB.	GLU-LAM BEAM
		GOV'T	GOVERNMENT
		GYP. BD.	GYPSUM BOARD
		H.C.	HANDICAPPED
		H.D.	HOLD DOWN
		HDWR.	HARDWARE
		HDR.	HEADER
		HGR.	HANGER
		HORIZ. or H	HORIZONTAL
		H.M.	HOLLOW METAL
		HR	HOUR
		HT.	HEIGHT
		INSUL.	INSULATION
		INT.	INTERIOR
		JT.	JOINT
		JST.	JOIST
		LAM.	LAMINATE
		LAV.	LAVATORY
		LT.	LIGHT
		MFR.	MANUFACTURER
		MATR'L	MATERIAL
		MAX.	MAXIMUM
		M.B.	MACHINE BOLT
		MECH.	MECHANICAL
		MIN.	MINIMUM
		MIN	MINUTE
		MISC.	MISCELLANEOUS
		M.O.	MASONRY OPENING
		M.R.	MOISTURE RESISTANT
		MTL	METAL
		(N)	NEW
		N.I.C.	NOT IN CONTRACT
		NO. OR #	NUMBER
		N.T.S.	NOT TO SCALE
		O.C.	ON CENTER
		OPN'G	OPENING
		OPP.	OPPOSITE
		FOI	OWNER FURNISHED
		PB	PULL BOX
		PERF.	PERFORATED
		PL.	PLATE OR PLASTIC
		PLAST.	PLASTER
		PLYWD.	PLYWOOD
		PR.	PAIR
		PROJ.	PROJECTION
		P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
		R OR RAD	RADIUS
		R.D.	ROOF DRAIN
		R.F.	REFRIGERATOR OR REFLECTED
		REINF.	REINFORCED OR REINFORCEMENT
		REQ.	REQUIRED
		RET.	RETAINING
		RF.	ROOF
		RM.	ROOM
		ROOF'G	ROOFING
		S.C.	SOLID CORE
		SCHED.	SCHEDULE
		SHT'G	SHEATHING
		SHT.	SHEET
		SIM.	SIMILAR
		SQ.	SQUARE
		STD.	STANDARD
		STL.	STEEL
		STOR.	STORAGE
		STRUCT.	STRUCTURAL
		SUSP.	SUSPENDED
		T&B	TOP & BOTTOM
		T&G	TONGUE & GROOVE
		TEL.	TELEPHONE
		TEMP.	TEMPERED
		TERR.	TERRAZZO
		T.O.	TOP OF
		T.W.	TOP OF WALL
		T.P.	TOILET PAPER
		U.N.O.	UNLESS NOTED OTHERWISE
		U.O.N.	UNLESS OTHERWISE NOTED
		V.C.T	VINYL COMPOSITION TILE
		VERT. or V	VERTICAL
		W/	WITH
		W.C.	WATERCLOSET
		WD.	WOOD
		W.J.	WEAKENED JOINT
		W.P.	WATERPROOF
		W.R.	WATER RESISTANT
		WT.	WEIGHT
		W.W.F.	WELDED WIRE FABRIC

## DEFERRED SUBMITTALS

NOTE: PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.

THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.

SYMBOLS AND ABBREVIATIONS

## PROJECT DATA

**OWNER**  
REBECCA TORRES & JESSICA WILKINSON  
3610 HYACINTH DR.  
SAN DIEGO, CA 92106  
(619) 228-7453

**ARCHITECT**  
TIM DODNA C-23649  
4429 AD ASTRA WAY  
LA MESA, CA 91941  
(619) 666-1555

**STRUCTURAL ENGINEER**  
SLOP ENGINEERING  
STRUCTURAL CONSULTING ENGINEERS  
SAN DIEGO, CA  
(619) 279-3958

**PROJECT ADDRESS**  
4579 PESCADERO AVE  
SAN DIEGO, CA 92107

**LEGAL DESCRIPTION**  
TR 219 BLK 13 LOTS 43 & 44  
APN #448-581-13-00  
COUNTY OF SAN DIEGO  
STATE OF CALIFORNIA

**LOT SIZE**  
7,000 SF

**OCCUPANCY GROUP**  
ZONE RM-1 RESIDENTIAL-MULTI-UNIT

**TYPE OF CONSTRUCTION**  
V-P NOT SPRINKLERED

**YEAR BUILT**  
1967

**PROJECT SCOPE**  
BUILD A NEW 494 SF ADU OVER AN ATTACHED EXISTING GARAGE.

**AREA CALCULATIONS**  
FAR .75 x 7,000 SF = 5,250 SF AREA ALLOWED  
EXISTING FRONT HOUSE (INCLUDING GARAGE): 1,014 SF  
EXISTING BACK HOUSE (INCLUDING GARAGE): 1,259 SF  
NEW ADU: 494 SF  
TOTAL AREA: 4,205 SF

**APPLICABLE BUILDING CODES**  
ALL CONSTRUCTION SHALL CONFORM WITH THE 2019 CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND ELECTRICAL CODES, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE & 2019 CRC.

## SHEET INDEX

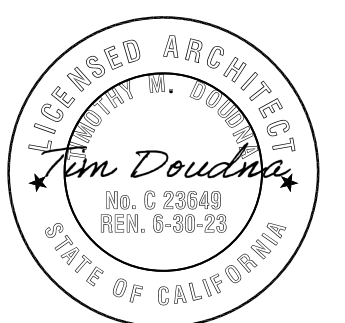
TS TITLE, SHEET INDEX, ABBREV, VICINITY MAP  
T1 T-24 CERTIFICATE OF COMPLIANCE  
T2 MANDATORY MEASURES  
BMP-1 BMP PLAN AND NOTES  
A-1 SITE / ROOF PLAN, EXISTING ELEVATIONS  
A-2 FLOOR PLAN / SECTIONS / SCHEDULES  
A-3 EXTERIOR ELEVATIONS  
A-4 MECHANICAL & ELECTRICAL PLANS

## ARCHITECTURAL

S01 STRUCTURAL DETAILS  
S02 STRUCTURAL NOTES  
S03 FOUNDATION & FRAMING PLANS  
S04 STRUCTURAL DETAILS  
S05 STRUCTURAL DETAILS

## STRUCTURAL

W/ WITH  
W.C. WATERCLOSET  
WD. WOOD  
W.J. WEAKENED JOINT  
W.P. WATERPROOF  
W.R. WATER RESISTANT  
WT. WEIGHT  
W.W.F. WELDED WIRE FABRIC



New Accessory Dwelling Unit  
@ 4579 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect

## TITLE SHEET

TS



5/24/2023, 10:50:21 AM  
PRJ-1071757  
Diego Garcia

CERTIFICATE OF COMPLIANCE  
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)  
Calculation Description: TITLE 24 COMPLIANCE  
Calculation Date/Time: 2022-09-19T15:09:52-07:00  
Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).rbd19  
CF1R-PRF-01E  
(Page 7 of 9)

Table with 9 columns: 01-09. Headers: Name, Verified Airflow, Airflow Target, Verified EER, Verified SEER, Verified Refrigerant Charge, Verified HSPF, Verified Heating Cap 47, Verified Heating Cap 17. Row 1: Heat Pump System 1-hers-htpump, Required, 350, Not Required, Not Required, Yes, No, Yes, Yes.

Table with 16 columns: 01-16. Headers: Name, Type, Design Type, Supply, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Verified Existing Condition, Existing Distribution System, New Ducts 40 ft. Row 1: Ducts, Conditioned space - except 12ft, Non-Verified, R-6, R-6, Conditi oned Zone, n/a, n/a, No Bypass Duct, Sealed and Tested, Ducts-hers-dist, New, n/a, n/a, n/a.

Table with 9 columns: 01-09. Headers: Name, Duct Leakage Verification, Duct Leakage Target (%), Verified Duct Location, Verified Duct Design, Buried Ducts, Deeply Buried Ducts, Low-leakage Air Handler, Low Leakage Ducts Entirely in Conditioned Space. Row 1: Ducts-hers-dist, Yes, 5.0, Required, Not Required, Not Required, Credit not taken, Not Required, No.

Table with 4 columns: 01-04. Headers: Name, Type, Fan Power (Watts/CFM), Name. Row 1: HVAC Fan, HVAC Fan, 0.45, HVAC Fan-hers-fan.

Registration Number: 222-P010186611A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-09-19 16:33:26  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2022-09-19 15:10:41

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CF1R-PRF-01E  
(Page 8 of 9)

Table with 3 columns: 01-03. Headers: Name, Verified Fan Watt Draw, Required Fan Efficiency (Watts/CFM). Row 1: HVAC Fan-hers-fan, Required, 0.45.

Table with 7 columns: 01-07. Headers: Dwellling Unit, IAQ CFM, IAQ Watts/CFM, IAQ Fan Type, IAQ Recovery Effectiveness -SRE, IAQ Recovery Effectiveness -ASRE, HERS Verification. Row 1: SFam ADU IAQVentRpt, 30, 0.35, Exhaust, n/a, n/a, Yes.

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CF1R-PRF-01E  
(Page 9 of 9)

Documentation Author's Declaration Statement. I, Lawrence Gordon, certify that this Certificate of Compliance documentation is accurate and complete. Signature: [Signature], Date: 2022-09-19 16:15:18.

Responsible Person's Declaration Statement. I, Tim Doudna, certify the following under penalty of perjury, under the laws of the State of California: 1. I am eligible under Division 3 of the Business and Professions Code to accept responsibility for the building design identified on this Certificate of Compliance. 2. I certify that the energy features and performance specifications identified on this Certificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. 3. The building design features or system design features identified on this Certificate of Compliance are consistent with the information provided on other applicable compliance documents, worksheets, calculations, plans and specifications submitted to the enforcement agency for approval with this building permit application.

Responsible Designer Name: Tim Doudna, Designer Signature: [Signature], Date Signed: 2022-09-19 16:33:26, License: C23649, Address: 4403 Ad Astra Way, La Mesa, CA 91941, Phone: 619-666-2555.

Digitally signed by CaCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

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CF1R-PRF-01E  
(Page 4 of 9)

Table with 14 columns: 01-14. Headers: Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, Source, Exterior Shading. Rows include Window E(1), Window A(1), Door S(1), Window B(1), Window F(1), Window D(1).

Table with 4 columns: 01-04. Headers: Name, Side of Building, Area (ft²), U-factor. Row 1: Door 1, FRONT EXTERIOR WALL 1, 20, 0.2.

Table with 8 columns: 01-08. Headers: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers. Rows include R-15 Wall Stucco, R-30 VAULTED CEILING.

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CF1R-PRF-01E  
(Page 5 of 9)

Table with 8 columns: 01-08. Headers: Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior / Exterior Continuous R-value, U-factor, Assembly Layers. Rows include R-19 EXTERIOR FLOOR, R-19 INTERIOR FLOOR.

Table with 4 columns: 01-04. Headers: Quality Insulation Installation (QI), High R-value Spray Foam Insulation, Building Envelope Air Leakage, CFM50. Row 1: Required, Not Required, Not Required, n/a.

Table with 7 columns: 01-07. Headers: Name, System Type, Distribution Type, Water Heater Name (H), Solar Heating System, Compact Distribution, HERS Verification. Row 1: DHW System, Domestic Hot Water (DHW), Standard Distribution System, Tankless water heater (1), n/a, None, n/a.

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CF1R-PRF-01E  
(Page 6 of 9)

Table with 14 columns: 01-14. Headers: Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Energy Factor or Efficiency, Input Rating or Pilot, Tank Insulation R-value (In/Ext), Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, NEEA Heat Pump Brand or Model, Tank Location or Ambient Condition, Status, Verified Existing Condition. Row 1: Tankless water heater, Gas, Consumer Instantaneous, 1, 0, 0.81-UEF, <= 200 kbtu/hr, 0, n/a, n/a, n/a, n/a, New, n/a.

Table with 8 columns: 01-08. Headers: Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Central DHW Distribution, Shower Drain Water Heat Recovery. Row 1: DHW System - 1/1, Not Required, Not Required, Not Required, None, Not Required, Not Required, Not Required.

Table with 11 columns: 01-11. Headers: Name, System Type, Heating Unit Name, Cooling Unit Name, Fan Name, Distribution Name, Required Existing Thermostat Type, Status, Verified Existing Condition, Heating Equipment Count, Cooling Equipment Count. Row 1: HVAC System 1, Heat pump heating/cooling, Heat Pump System 1, Heat Pump System 1, HVAC Fan, Ducts, Setback, New, NA, 1, 1.

Table with 11 columns: 01-11. Headers: Name, System type, Number of Units, Heating HSPF/COP, Cap 47, Cap 17, SEER, EER/CEER, Zonally Controlled, Compressor Type, HERS Verification. Row 1: Heat Pump System 1, Central split HP, 1, 8.2, 12000, 12000, 14, 11.7, Not Zonal, Single Speed, Heat Pump System 1-hers-htpump.

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(Page 1 of 9)

Table with 11 columns: 01-11. Headers: Project Name, Run Title, Project Location, City, Zip code, Climate Zone, Building Type, Project Scope, Addition Only, Addition Cond. Floor Area (ft²), Existing Cond. Floor Area (ft²), Total Cond. Floor Area (ft²), ADU Bedroom Count, Is Natural Gas Available? Row 1: 4575-77 PESCADERO AVENUE ADU (AA1), TITLE 24 COMPLIANCE, 4575-77 PESCADERO AVENUE, SAN DIEGO, CA, 92107, 7, Single Family, AdditionOnly, 494, 0, 494, 1, Yes.

Table with 6 columns: 01-06. Headers: Existing Area (excl. new addition) (ft²), Addition Area (excl. existing) (ft²), Total Area (ft²), Existing Bedrooms, Addition Bedrooms, Total Bedrooms. Row 1: 0, 494, 494, 0, 1, 1.

Table with 2 columns: 01-02. Headers: Building Complies with Computer Performance, This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.

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CA Building Energy Efficiency Standards - 2019 Residential Compliance  
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CF1R-PRF-01E  
(Page 2 of 9)

Table with 5 columns: Energy Use (kWh/ft²-yr), Standard Design, Proposed Design, Compliance Margin, Percent Improvement. Rows include Space Heating, Space Cooling, IAQ Ventilation, Water Heating, Self Utilization/Healthity Credit, Compliance Energy Total.

REQUIRED SPECIAL FEATURES  
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.  
• Non-standard duct location (any location other than attic)

HERS FEATURE SUMMARY  
The following is a summary of the features that must be field-verified by a certified HERS rater as a condition for meeting the modeled energy performance for this computer analysis. Additional detail is provided in the building tables below. Registered CF2Rs and CF3Rs are required to be completed in the HERS Registry.  
Building-level Verifications:  
• Quality insulation installation (QI)  
• Indoor air quality ventilation  
• Kitchen range hood  
Cooling System Verifications:  
• Minimum Airflow  
• Verified Refrigerant Charge  
• Fan Efficiency Watts/CFM  
Heating System Verifications:  
• Verified heat pump rated heating capacity  
HVAC Distribution System Verifications:  
• Duct leakage testing  
• Ducts located within the conditioned space (except < 12 lineal ft)  
Domestic Hot Water System Verifications:  
• None

Registration Number: 222-P010186611A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-09-19 16:33:26  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2022-09-19 15:10:41

CERTIFICATE OF COMPLIANCE  
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)  
Calculation Description: TITLE 24 COMPLIANCE  
Calculation Date/Time: 2022-09-19T15:09:52-07:00  
Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).rbd19  
CF1R-PRF-01E  
(Page 3 of 9)

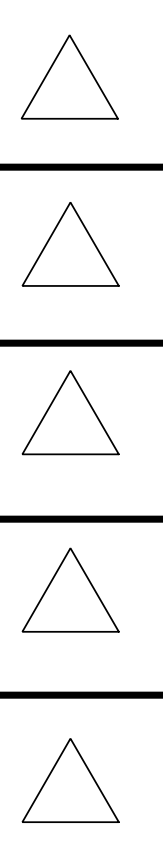
Table with 7 columns: 01-07. Headers: Zone Name, Zone Type, HVAC System Name, Zone Floor Area (ft²), Avg. Ceiling Height, Water Heating System 1, Water Heating System 2. Row 1: ADU, Conditioned, HVAC System 1, 494, 7.916, DHW System, N/A.

Table with 10 columns: 01-10. Headers: Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), TIR (deg), Wall Exceptions, Status. Rows include RIGHT EXTERIOR WALL 1, REAR EXTERIOR WALL 1, FRONT EXTERIOR WALL 1, LEFT EXTERIOR WALL 1, Exterior Floor 1, Interior Floor 1.

Table with 11 columns: 01-11. Headers: Name, Zone, Construction, Azimuth, Orientation, Area (ft²), Skylight Area (ft²), Roof Rise (in 12), Roof Reflectance, Roof Emittance, Cool Roof. Row 1: LEFT VAULTED Ceiling 1, ADU, R-30 VAULTED CEILING, 142, Left, 247, 0, 3.5, 0.1, 0.85, No.

Registration Number: 222-P010186611A-000-000-0000000-0000  
CA Building Energy Efficiency Standards - 2019 Residential Compliance  
Registration Date/Time: 2022-09-19 16:33:26  
Report Version: 2019.2.000  
Schema Version: rev 20200901  
HERS Provider: CaCERTS Inc.  
Report Generated: 2022-09-19 15:10:41

REVISION / DATE



PROJECT: ADU ADDITION  
SITE ADDRESS: 4575-77 PESCADERO AVENUE  
SAN DIEGO, CA 92107  
OWNER: REBECCA TORRES & JESSICA WILKINSON

DATE  
9/19/2022

SCALE

SHEET  
T-1

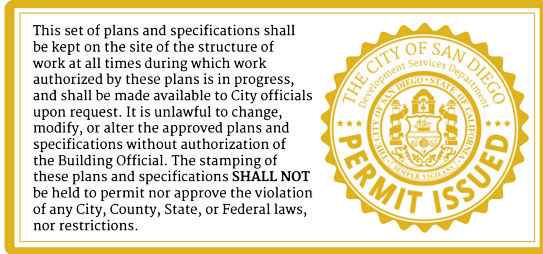
OF SHEETS



### 2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. Exceptions must comply with all applicable mandatory measures, regardless of the compliance approach used. (Original 08/2019)

Table with 2 columns: Measure ID and Description. Includes sections for Building Envelope Measures, Fireplaces, Decorative Gas Appliances, and Gas Log Measures, Space Conditioning, Water Heating, and Plumbing System Measures, and Pool and Spa Systems and Equipment Measures.



5/24/2023, 10:50:21 AM  
PRJ-1071757  
Diego Garcia



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Clearances, Liquid Line Drains, Storage Tank Insulation, Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation, Insulation Protection, Gas or Propane Water Heating Systems, Ducts and Fans Measures, and Factory-Fabricated Duct Systems.



### 2019 Low-Rise Residential Mandatory Measures Summary

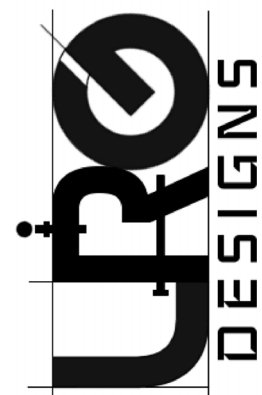
Table with 2 columns: Measure ID and Description. Includes sections for Requirements for Ventilation and Indoor Air Quality, Pool and Spa Systems and Equipment Measures, Lighting Controls and Components, and Solar Ready Buildings.



### 2019 Low-Rise Residential Mandatory Measures Summary

Table with 2 columns: Measure ID and Description. Includes sections for Interior Switches and Controls, Residential Outdoor Lighting, Residential Outdoor Lighting, Interior Common Areas of Low-Rise Multifamily Residential Buildings, and Solar Ready Buildings.

### REVISION / DATE



P.O. BOX 4747B  
LOS ANGELES, CA 90047  
(323)955-9627  
EMAIL: LRDESIGNS@GMAIL.COM

PROJECT: ADU ADDITION

SITE ADDRESS: 4575-77 PESCADERO AVENUE  
SAN DIEGO, CA 92107

OWNER: REBECCA TORRES & JESSICA WILKINSON

### DATE

9/19/2022

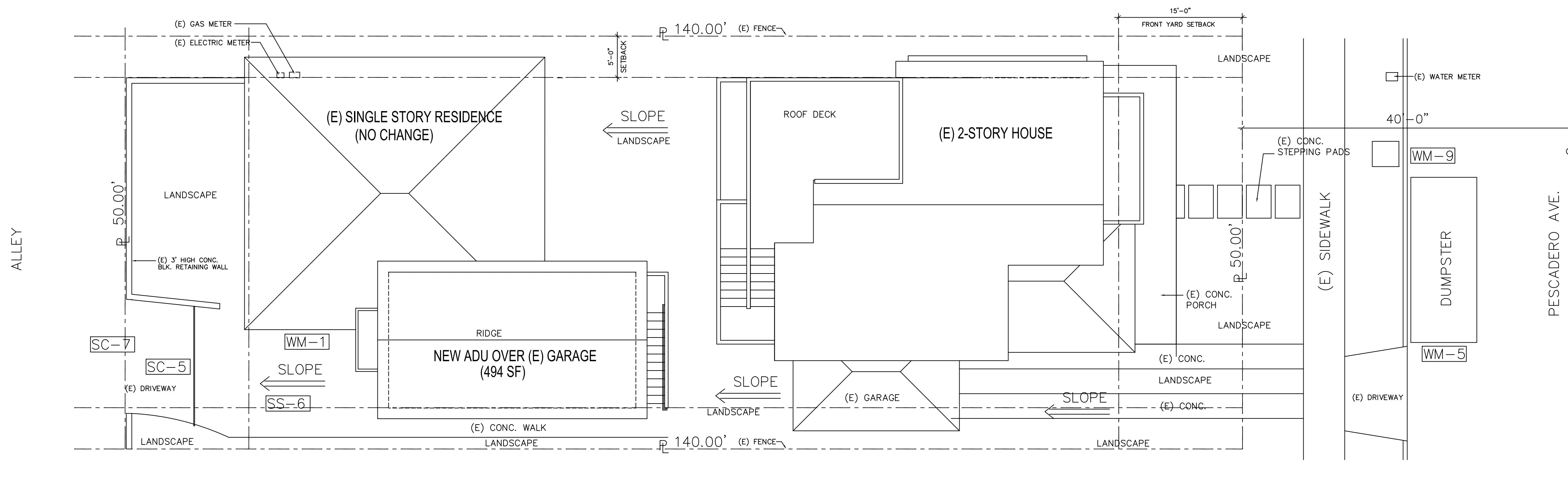
### SCALE

### SHEET

T-2

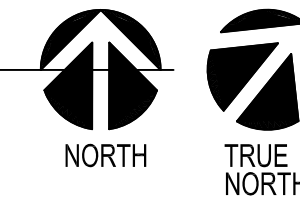
### OF

SHEETS



**BMP PLAN**

SCALE: 1/8" = 1'-0"



City of San Diego Development Services 1222 First Ave. 92102 San Diego, CA 92101 (619) 449-5000

**"Minor" Water Pollution Control Plan (MWPCP)** FORM DS-570 OCTOBER 2012

**MWPCP REQUIREMENTS**

The City requires a Water Pollution Control Plan (WPCP), a Minor Water Pollution Control Plan (MWPCP) or a Storm Water Pollution Prevention Plan (SWPPP), for all construction projects that have potential for storm water pollution. Some construction project types, such as interior plumbing, electrical and mechanical work, may be considered exempt. The appropriate plan is determined by the following guidelines:

- Any project subject to the Construction General Permit (CGP) (typically projects with 1 acre or more of ground disturbance) requires a SWPPP and may not utilize a WPCP or MWPCP. If coverage under the CGP (Permit which requires a SWPPP) is not required for the project, see below.
- The following approval types (see [Exam DS-3032](#)) require a WPCP: Grading, Public Right-of-Way, and Demolition/Removal. Exceptions may be made allowing use of this MWPCP for minor work.
- The following approval types (see [Exam DS-3032](#)) require a WPCP whenever a submittal for Drainage and Grades review is required. Exceptions may be made allowing use of this MWPCP for minor work.
- This MWPCP may be utilized for projects that create less than 5,000sf of ground disturbance and have less than a 6ft elevation differential over the entire project area.

**NOTE: It is the responsibility of the project owner to ensure that all construction activities comply with local and state regulations, including San Diego Municipal Code Secs. 91.05. The guidance and template provided here is for the applicants' convenience and do not alleviate responsibility on part of the project owner to determine the appropriate level of BMP planning and implementation to prevent pollutant discharges.**

**STEP 1. IDENTIFY RELEVANT PROJECT INFORMATION**

Applicant Name: Tim Doudna Project Number: 31123  
 Contact Information: Tim Doudna  
 Mailing Address: 4403 Ad Astra Way La Mesa CA Zip Code: 91941  
 Telephone No.: (619) 666-2555 E-mail Address: tdoudna13@gmail.com  
 Project Information: Address: 4575-77 Pescadero Ave. City: San Diego State: CA Zip Code: 92107  
 APN: Permit Application Number:  
 Brief Project Description: 494 SF ADU built over existing garage.  
 Improvements (overall square footage): 494 SF Estimate Project Start Date: 11/1/22 Estimate Project Finish Date: 3/1/23  
 Total Lot Size in sq ft: 7,000 SF Estimated Amount of Disturbed Area: 4 CY Estimate Elevation over entire Project Area: 2'

Printed on recycled paper. Visit our web site at [www.sandiego.gov/development-services](http://www.sandiego.gov/development-services). Upon request, this information is available in alternative formats for persons with disabilities. DS-570 (10-12) PG 1

Page 2 of 2 City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP)

**STEP 2: IDENTIFY CONSTRUCTION STORM WATER BMPs**

Unprotected construction sites have the potential to discharge sediment and other pollutants into local waterways. All construction projects are required to reduce pollution to the maximum extent practicable by implementing best management practices (BMPs). Sections 5 of the Storm Water Standards Manual outline the requirements for Construction Stormwater BMPs. There are five categories:

- Erosion control practices
- Velocity reduction
- Sediment control practices
- Offsite sediment tracking control
- General site and materials management

BMPs from each of the five categories must be used together as a system in order to prevent potential discharges.

If you answer "Yes" to any of the questions below, your project is subject to Table 1 on the following page (Minimum Required Standard Construction Stormwater BMPs). As noted in the table, please select at least the minimum number of required BMPs, or as many as are feasible for your project. If no BMP is selected, an explanation must be given in the box provided. The following questions are intended to aid in determining construction BMP requirements for your project, please check box either "Yes" or "No".

- Will there be soil disturbing activities that will result in exposed soil areas? (This includes minor grading and trenching). Reference Table 1 Items C and E.  Yes  No
- Will there be asphalt paving, including patching? Reference Table 1 Items C and E.  Yes  No
- Will there be shurries from mortar mixing, coring, or concrete saw cutting? Reference Table 1 Items C and E.  Yes  No
- Will there be solid wastes from concrete demolition and removal, wall construction, or form work? Reference Table 1 Items C and E.  Yes  No
- Will there be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 24 hours? Reference Table 1 Items C and E.  Yes  No
- Will there be dewatering operations? Reference Table 1 Items B and C.  Yes  No
- Will there be temporary on-site storage of construction materials, including mortar mix, raw landscaping and soil stabilization materials, treated lumber, rebar, and plated metal fencing materials? Reference Table 1 Items D and E.  Yes  No
- Will trash or solid waste product be generated from this project? Reference Table 1 Item E.  Yes  No
- Will construction equipment be stored on site (e.g. fuels, oils, trucks, etc.)? Reference Table 1 Item E.  Yes  No
- Will Portable Sanitary Services ("Porta-potty") be used on the site? Reference Table 1 Item E.  Yes  No

PG 2

City of San Diego • Development Services Department • "Minor" Water Pollution Control Plan (MWPCP) Page 3 of 3

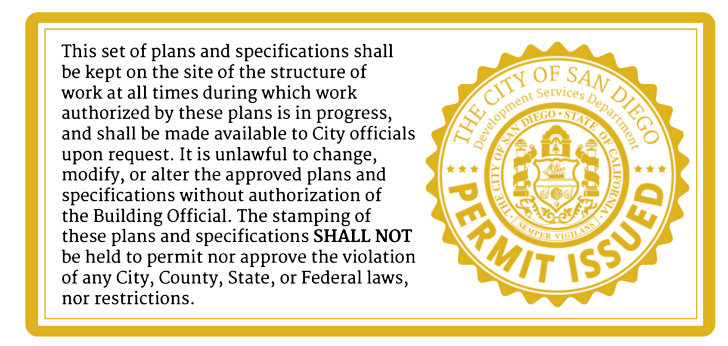
**TABLE 1 MINIMUM REQUIRED STANDARD CONSTRUCTION STORMWATER BMPs**  
(Source: CALTRANS Storm Water Quality Handbook)

Minimum Required Best Management Practice	CALTRANS Stormwater Handbook Detail	Check at least one BMP from each section below	If your project requires no BMP from any of the sections below, please explain within space provided
<b>A. Select Erosion Control Method</b>			
Vegetation Stabilization Planting (Summer)	SS-4, SS-4	<input type="checkbox"/>	
Hydraulic Stabilization Hydeseeding (Summer)	SS-4	<input type="checkbox"/>	
Banded Fiber Matrix or Stabilized Fine Matrix (Winter)	SS-3	<input type="checkbox"/>	
Physical Stabilization Erosion Control Blanket (Winter)	SS-7	<input type="checkbox"/>	
Lot Perimeter Protection Detail	SC-2	<input type="checkbox"/>	
Mulch, Straw, Woodchips, Soil Application	SS-6, SS-8	<input checked="" type="checkbox"/>	
<b>B. If Runoff or Dewatering Operation is concentrated, velocity must be controlled using an energy dissipater</b>			
Energy Dissipater Outlet Protection	SS-10	<input type="checkbox"/>	No concentrated runoff.
<b>C. Select Sediment Control method for all disturbed areas (Choose at least one)</b>			
Silt Fence	SC-1	<input type="checkbox"/>	
Fiber Rolls (Straw Wattles)	SC-5	<input checked="" type="checkbox"/>	
Gravel Bags	SC-6, SC-8	<input type="checkbox"/>	
Dewatering Filtration	NS-2	<input type="checkbox"/>	
Storm Drain Inlet Protection	SC-10	<input type="checkbox"/>	
<b>D. Select method for preventing offsite tracking of sediment (choose at least one)</b>			
Stabilized Construction Entrance	TC-1	<input type="checkbox"/>	
Entrance/Exit Tire Wash	TC-3	<input type="checkbox"/>	
Street Sweeping & Vacuuming	SC-7	<input checked="" type="checkbox"/>	
<b>E. Select the General Site Management BMPs for each waste that will be on site</b>			
Material Delivery & Storage	WM-1	<input checked="" type="checkbox"/>	
Spill Prevention & Control	WM-4	<input type="checkbox"/>	
Concrete Waste Management	WM-5	<input type="checkbox"/>	
Solid Waste Management	WM-5	<input checked="" type="checkbox"/>	
Sanitary Waste Management	WM-9	<input checked="" type="checkbox"/>	
Hazardous Waste Management	WM-6	<input type="checkbox"/>	

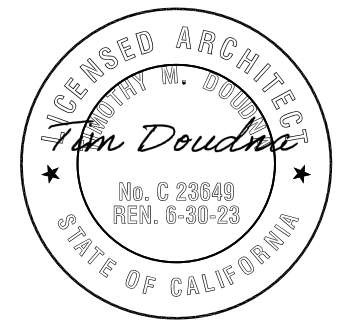
The applicant must print and sign the following certification before a permit will be issued. I have read and understand that the City of San Diego has adopted minimum requirements for managing urban runoff, including storm water from construction and land development activities. I certify that the BMPs selected on this form will be implemented to minimize the potentially negative impacts of this project's construction and land development activities on water quality. I further agree to install, maintain, or revise the selected BMPs to ensure their effectiveness. I also understand that non-compliance with the City's Storm Water Standards may result in enforcement by the City, including fines, cease and desist orders, or other actions.

Signature: Tim Doudna Date: 09/15/22

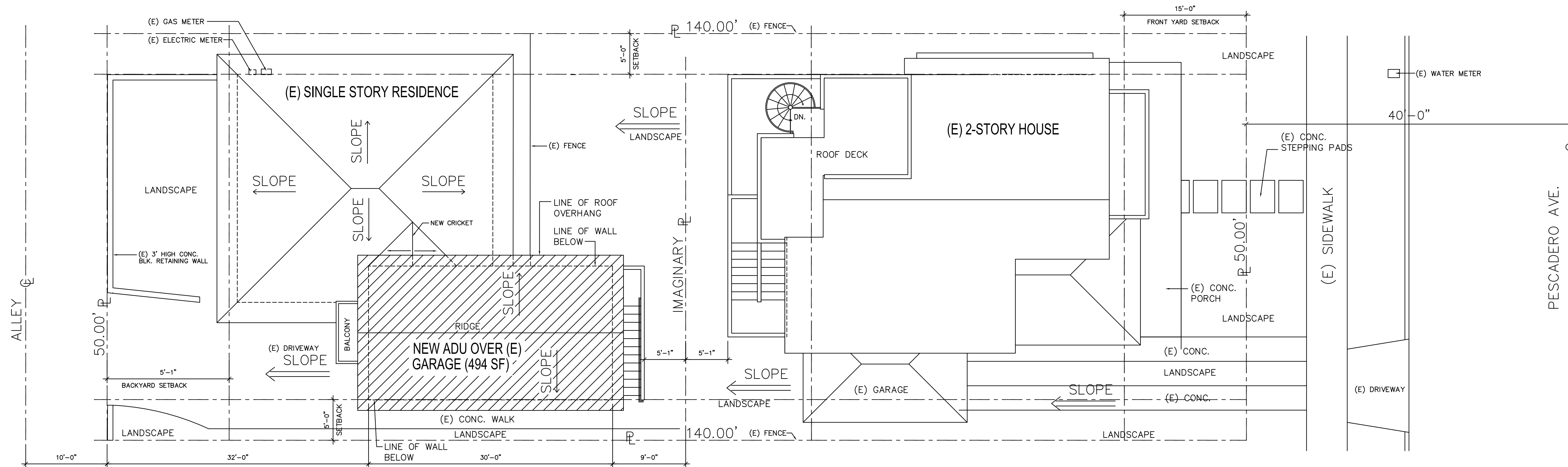
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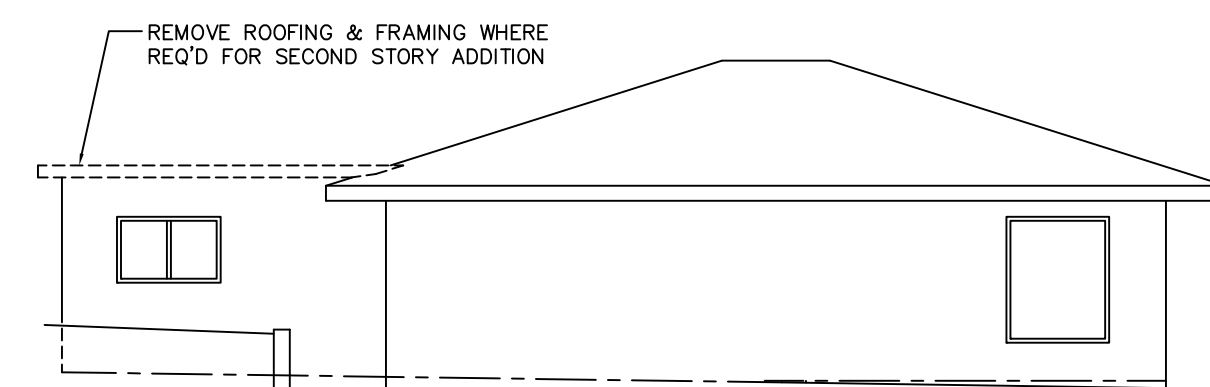
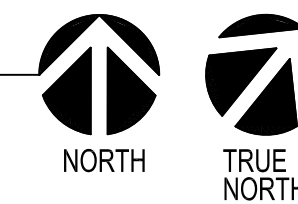
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 PRJ-1071757  
 Diego Garcia



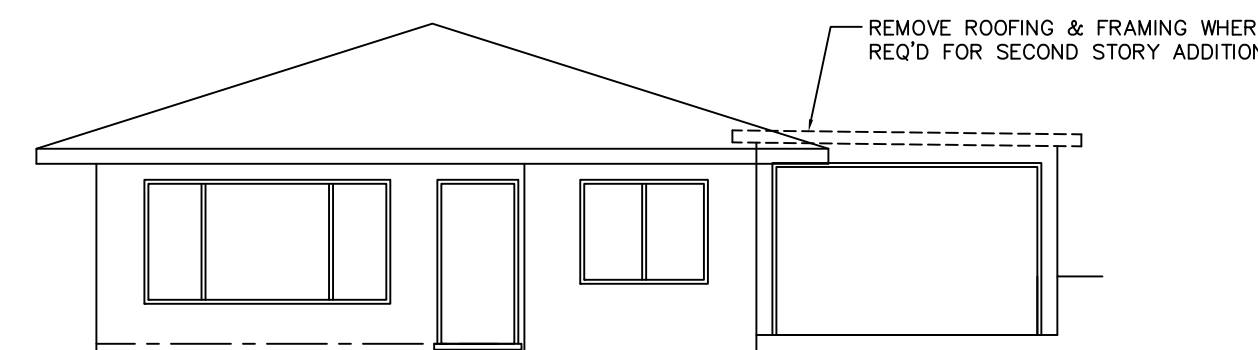
New Accessory Dwelling Unit  
 @ 4579 Pescadero Ave.  
 San Diego, CA 92107  
 Timothy M. Doudna, Architect



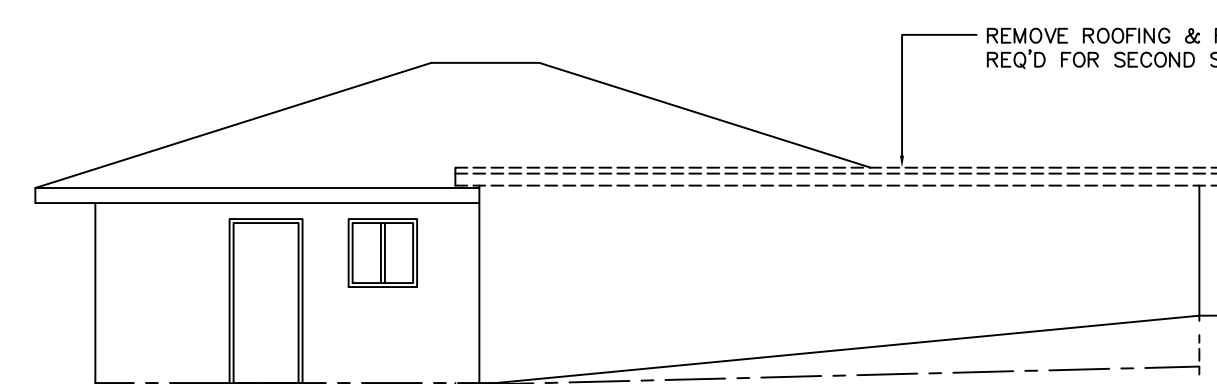
**SITE / ROOF PLAN**  
SCALE: 1/8" = 1'-0"



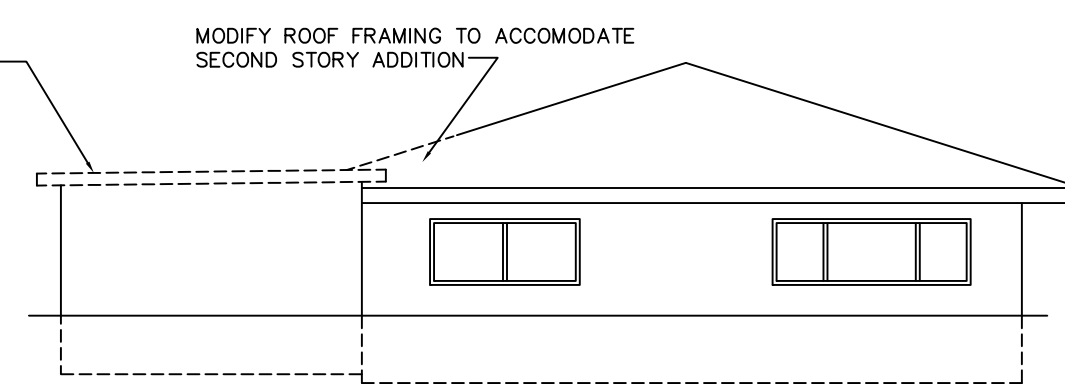
**EXIST'G NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EXIST'G WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**EXIST'G SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EXIST'G EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

**BACK HOUSE EXISTING ELEVATIONS**  
SCALE: 1/8" = 1'-0"

**WATER METER FIXTURE UNIT QUANTITIES**

**(E) FRONT HOUSE**

FIXTURE DESCRIPTION	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
BATHFB	4	5	0
CLOTHES WASHER	4	1	4
DISHWASHER	10	1	10
HORE DB	10	1	10
HORE DB ADDITIONAL	1	1	1
LAUNDRY	1	4	4
KITCHEN SINK	10	1	10
LAUNDRY SINK	10	1	10
TRUNKER	5	1	5
TOILET 1/4 OFF	10	4	10
<b>TOTAL</b>			<b>70</b>

**(E) BACK HOUSE**

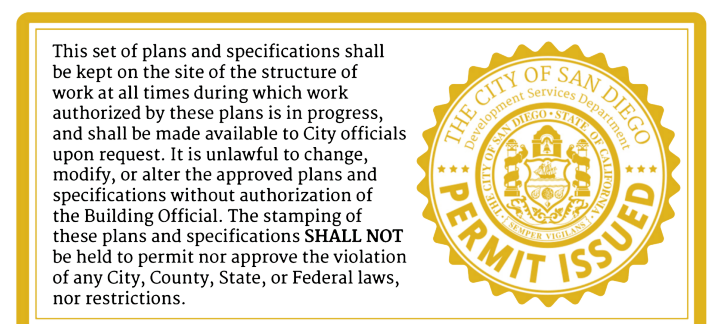
FIXTURE DESCRIPTION	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
BATHFB	4	0	0
CLOTHES WASHER	4	1	4
DISHWASHER	10	1	10
HORE DB	10	0	0
HORE DB ADDITIONAL	1	5	5
LAUNDRY	1	1	1
KITCHEN SINK	10	1	10
LAUNDRY SINK	10	0	0
TRUNKER	5	1	5
TOILET 1/4 OFF	10	1	10
<b>TOTAL</b>			<b>40</b>

**NEW ADU**

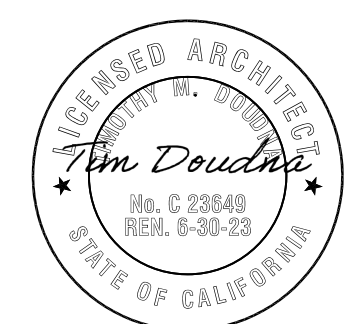
FIXTURE DESCRIPTION	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
BATHFB	4	1	4
CLOTHES WASHER	4	0	0
DISHWASHER	10	1	10
HORE DB	10	0	0
HORE DB ADDITIONAL	1	0	0
LAUNDRY	1	1	1
KITCHEN SINK	10	1	10
LAUNDRY SINK	10	0	0
TRUNKER	5	0	0
TOILET 1/4 OFF	10	1	10
<b>TOTAL</b>			<b>35</b>

TOTAL WATER FIXTURE UNITS: 65

WATER METER SERVICE HAS BEEN UPGRADED TO 1 1/2"

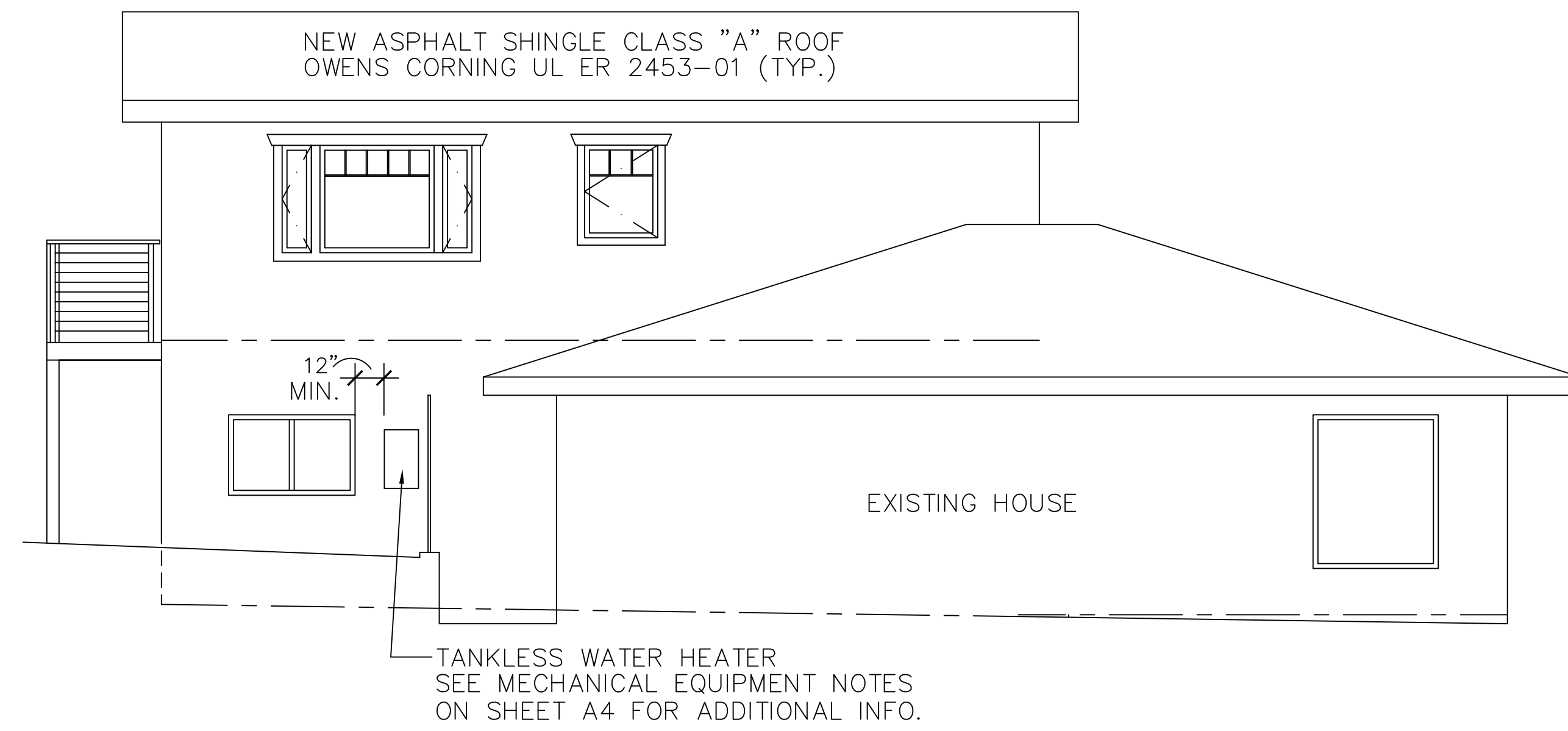


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PRJ-1071757  
Diego Garcia



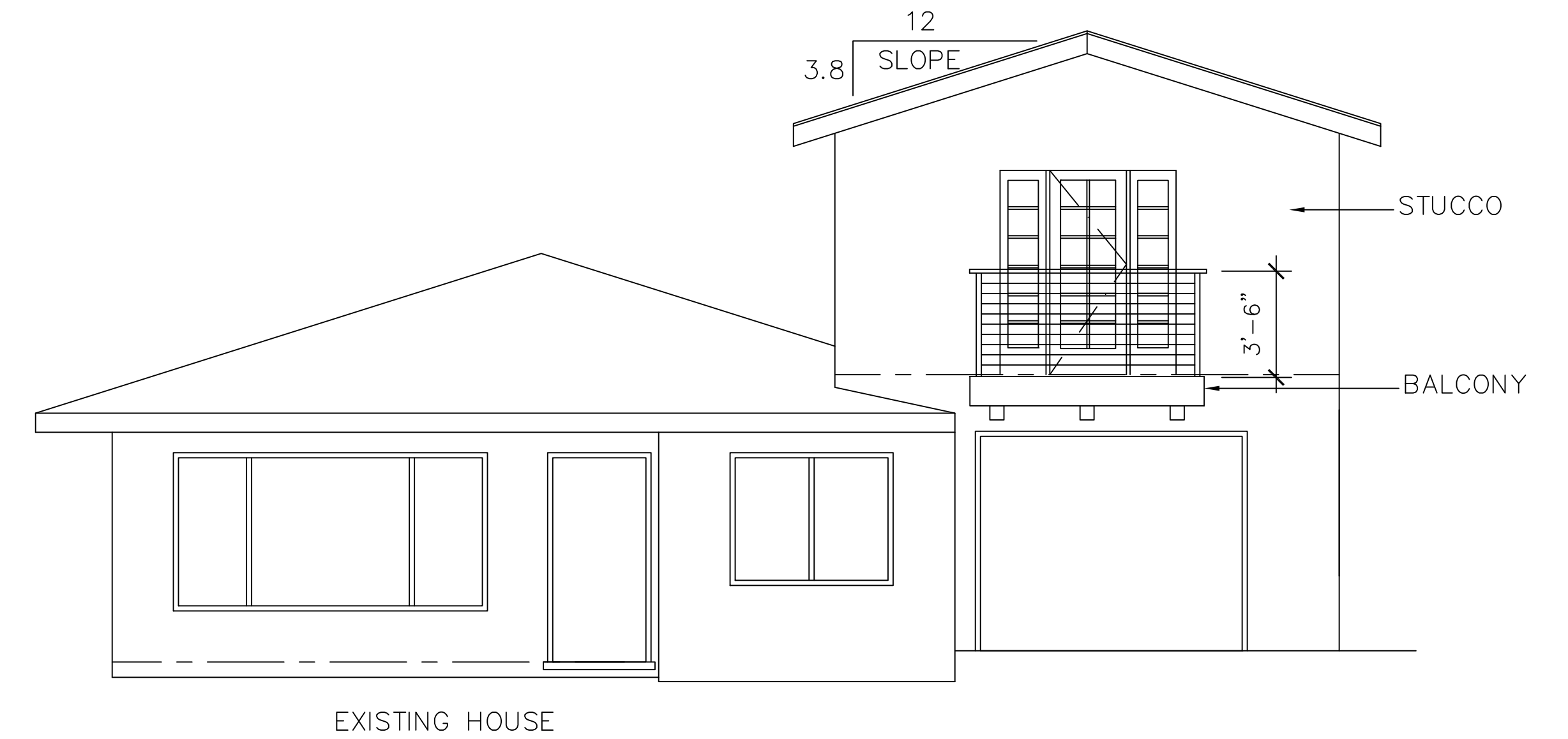
**New Accessory Dwelling Unit**  
**@ 4579 Pescadero Ave.**  
**San Diego, CA 92107**  
**Timothy M. Doudna, Architect**

**SITE / ROOF PLAN,**  
**EXISTING EXTERIOR**  
**ELEVATIONS**



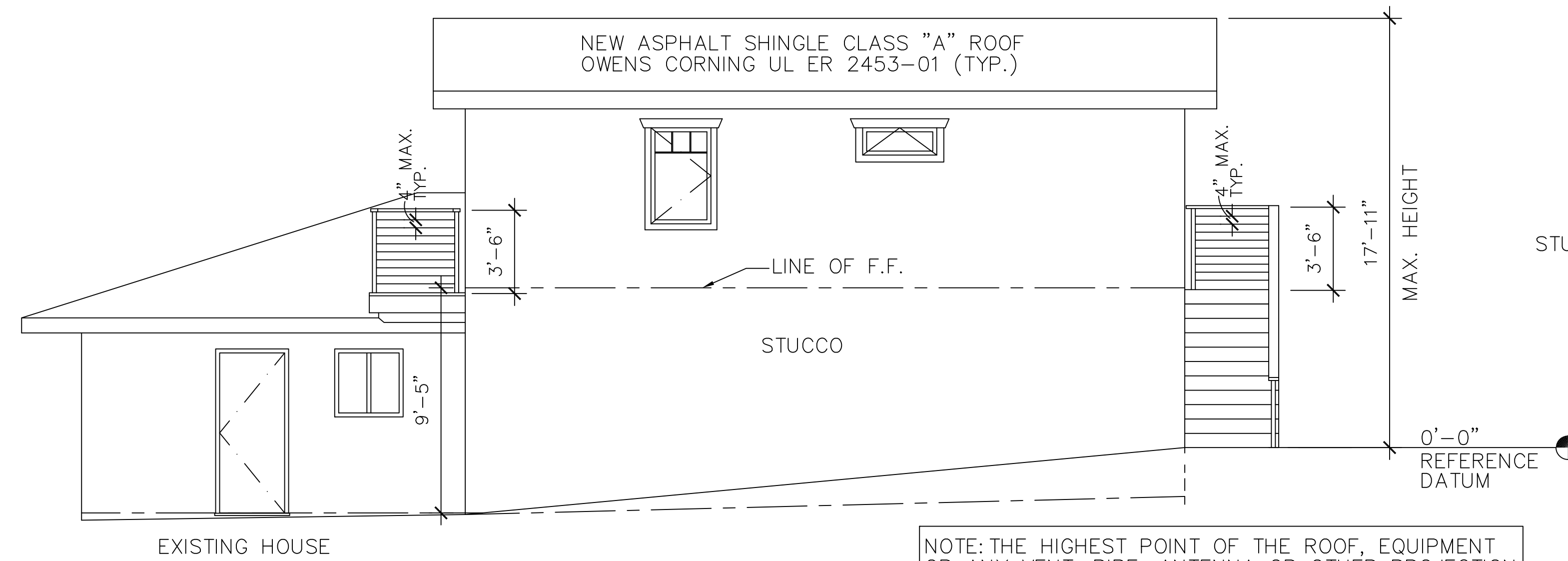
**NORTH ELEVATION**

SCALE: 1/4" = 1'-0"



**WEST ELEVATION**

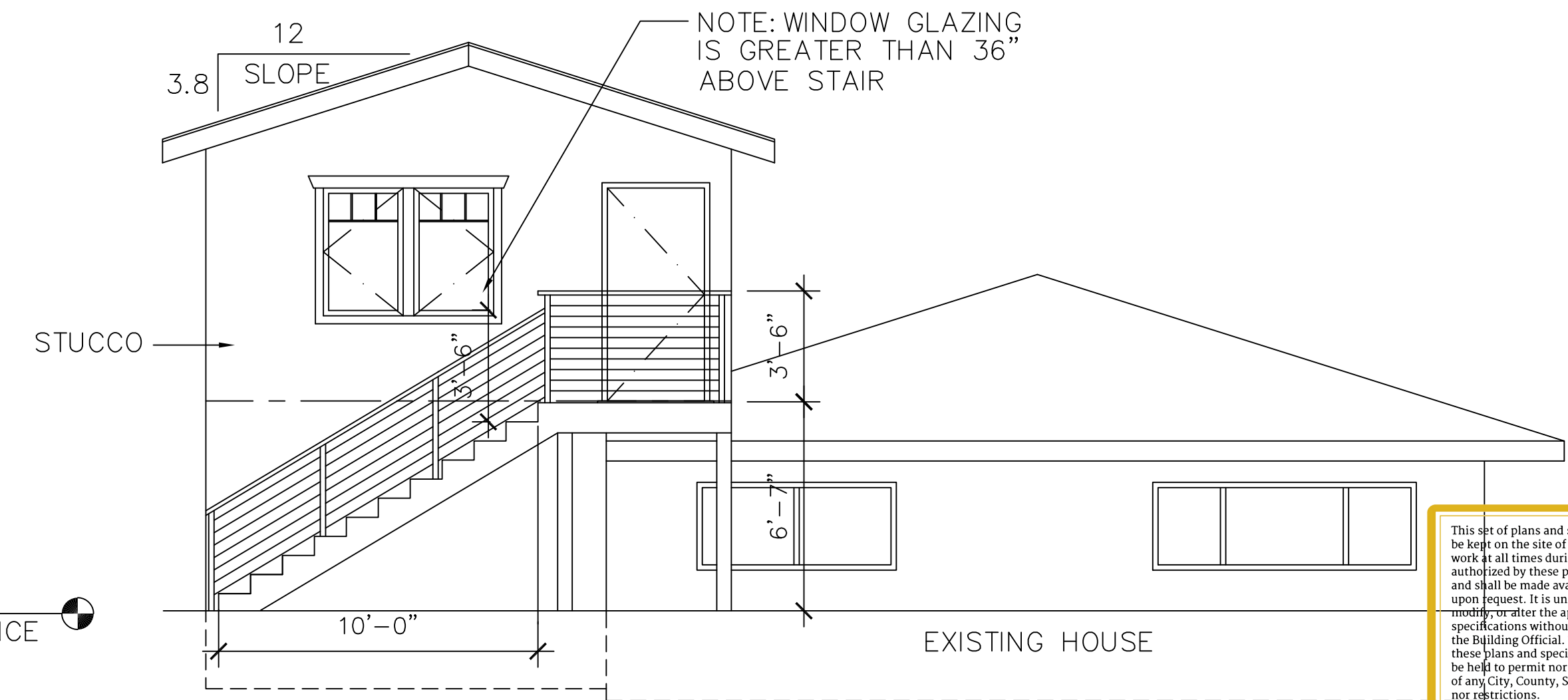
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**SOUTH ELEVATION**

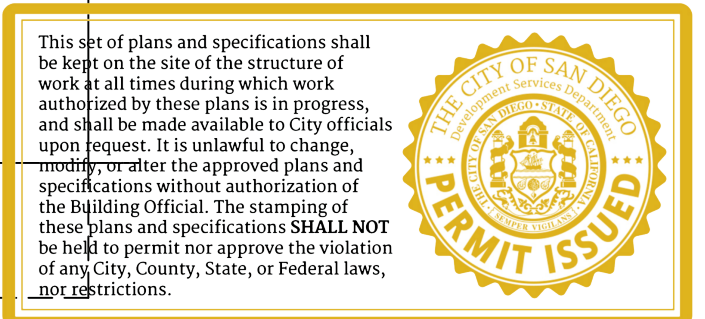
SCALE: 1/4" = 1'-0"

NOTE: THE HIGHEST POINT OF THE ROOF, EQUIPMENT OR ANY VENT, PIPE, ANTENNA OR OTHER PROJECTION SHALL NOT EXCEED 30 FEET ABOVE BASE OF MEASUREMENT (REFERENCE DATUM).

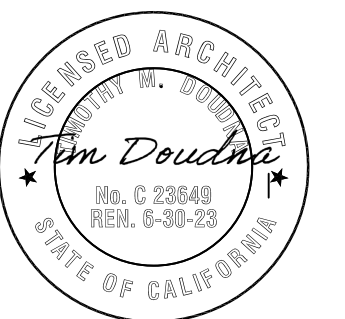


**EAST ELEVATION**

SCALE: 1/4" = 1'-0"



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PRJ-1071757  
Diego Garcia



**New Accessory Dwelling Unit  
@ 4579 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect**

**EXTERIOR  
ELEVATIONS**

## ELECTRICAL SYMBOLS

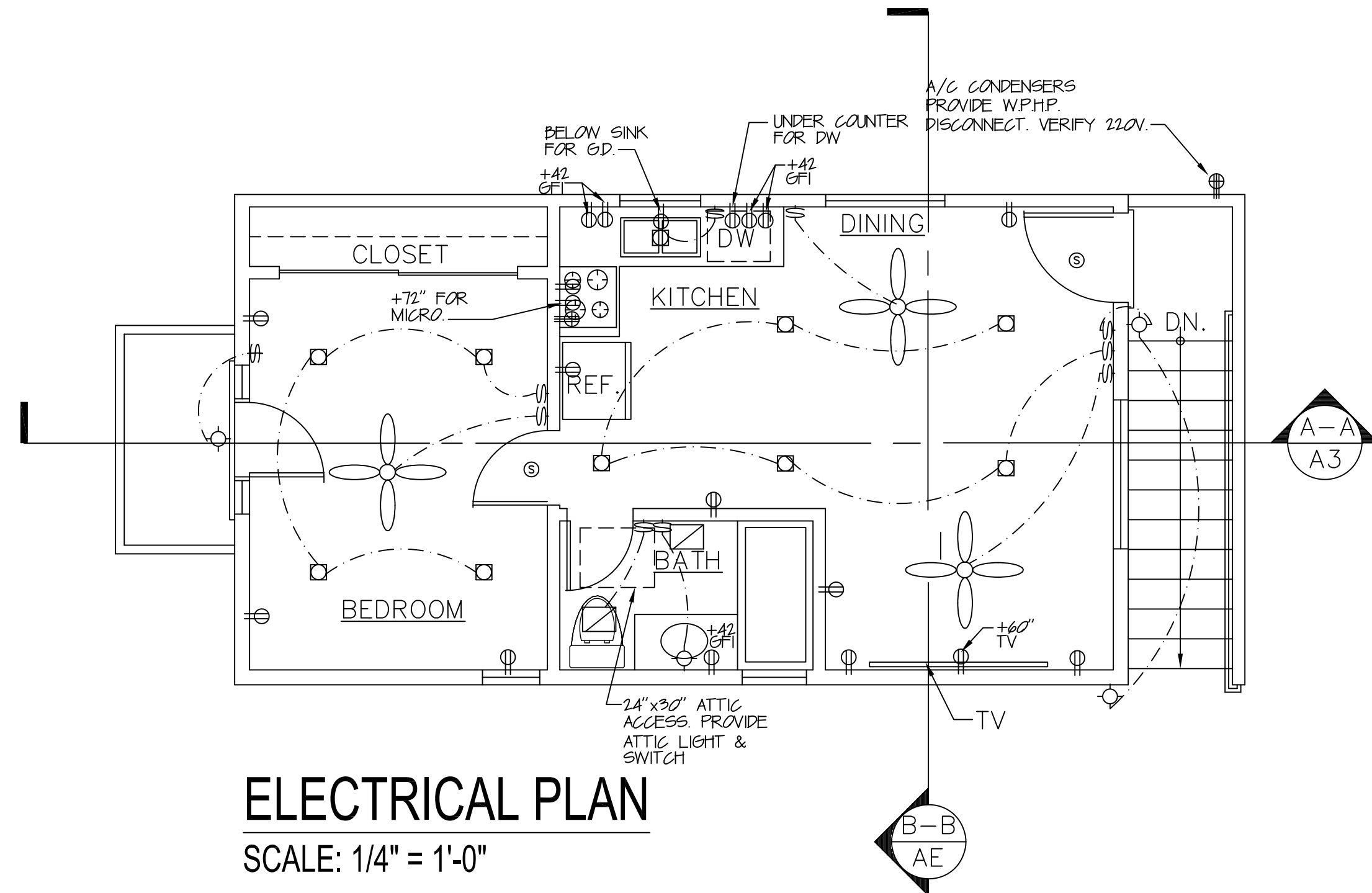
- ⊖ DUPLEX 120V OUTLET @ WALL
- ⊖ DUPLEX 120V 1/2 SWITCHED & 1/2 HOT
- ⊖ GFI DUPLEX 120V GROUND FAULT INTERRUPT
- ⊖ W/P DUPLEX 120V WATER PROOF
- ⊖ SINGLE 220V OUTLET
- ⊖ PHONE JACK
- ⊖ TELEVISION JACK
- ⊖ SINGLE POLE SWITCH
- ⊖ THREE WAY SWITCH
- ⊖ DIMMER SWITCH
- ⊖ PANASONIC WHISPER LITE FAN/LIGHT COMBO (MODEL #FV-051VQ1 - 110 CFM)
- ⊖ CEILING PADDLE FAN/LIGHT
- ⊖ RECESSED DOWN LIGHT
- ⊖ SURFACE MOUNTED LED LIGHT FIXTURE
- ⊖ COMBO CARBON MONOXIDE / SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED WITH BATTERY BACKUP

## ELECTRICAL NOTES:

- E1 ALL LABOR AND MATERIALS SHALL MEET FULLY WITH THE REQUIREMENTS OF THE ELECTRICAL CODES HAVING AUTHORITY AND SHALL BE UL LISTED AND LABELED.
- E2
- E4 ALL EXPOSED OUTLETS IN BATHROOMS, KITCHEN AND WITHIN 6" OF ANY SINK TO BE GROUND/Fault INTERRUPT PROTECTED.
- E5 COMBO CARBON MONOXIDE / SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP LOCATED IN ALL BEDROOMS AND CENTRALLY LOCATED IN THE HALLWAY AT BOTH STORIES.
- E7 ALL EXTERIOR OUTLETS TO BE 110V DUPLEX, GFI W/ WEATHER PROOF COVER.
- E8 FIXTURES IN SHOWER/TUB AREAS SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS" PER NEC 410-26(C) AND SHALL BE INSTALLED MIN. 7'-6" ABOVE HIGH WATER LINE OF TUB PER NEC 680.41.
- E9 IF NON-METALLIC FLEXIBLE CONDUIT IS USED, PROVIDE GROUND WIRE AS REQUIRED BY CODE.
- E10 ALL CURRENT CARRYING CONDUCTORS SHALL BE COPPER TYPE "THIN" BELOW GRADE AND TYPE THN/THWN FOR EXPOSED AND ABOVE GRADE WORK.
- E11 NON-METALLIC SHEATHED CABLE (ROMEX) MAY BE USED IN LIEU OF CONDUIT AND WIRE WHEREVER PERMITTED.
- E12
- E13 GENERAL LIGHTING IN KITCHEN AND BATHROOMS TO BE FLUORESCENT. FIXTURES MUST BE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS.

## FIRE / SMOKE ALARM NOTES

1. SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20' HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
2. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE CRC.
3. SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36" HORIZONTAL PATH FROM THE SUPPLY REGISTERS OF FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE INSTALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.
4. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL.
5. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034. SMOKE ALARM SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.



## ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

TOTAL WATER FIXTURE UNITS						
DOOR NO.	DOOR TYPE	DIMENSION WIDTH	HEIGHT	THK.	HARDWARE GROUP	REMARKS
1	A	3'-0"	6'-8"	1-3/4"	DEAD-BOLT	
2	A	2'-4"	6'-8"	1-3/8"	PRIVACY	
3	A	2'-6"	6'-8"	1-3/8"	PRIVACY	
4	C	8'-0"	6'-8"			
5	D	6'-0"	6'-8"		DEAD-BOLT	

## MECHANICAL EQUIPMENT

### FAU (LOCATED IN ATTIC)

BRYANT MODEL 914V-01A045  
41,000 BTU/INPUT / 94,000 BTU/OUTPUT / 80% AFUE  
MULTI-POSITION (HORIZONTAL RATING SHOWN ABOVE)  
CFM FOR UP TO 2 TONS (NOM.) A/C

### WATER HEATER

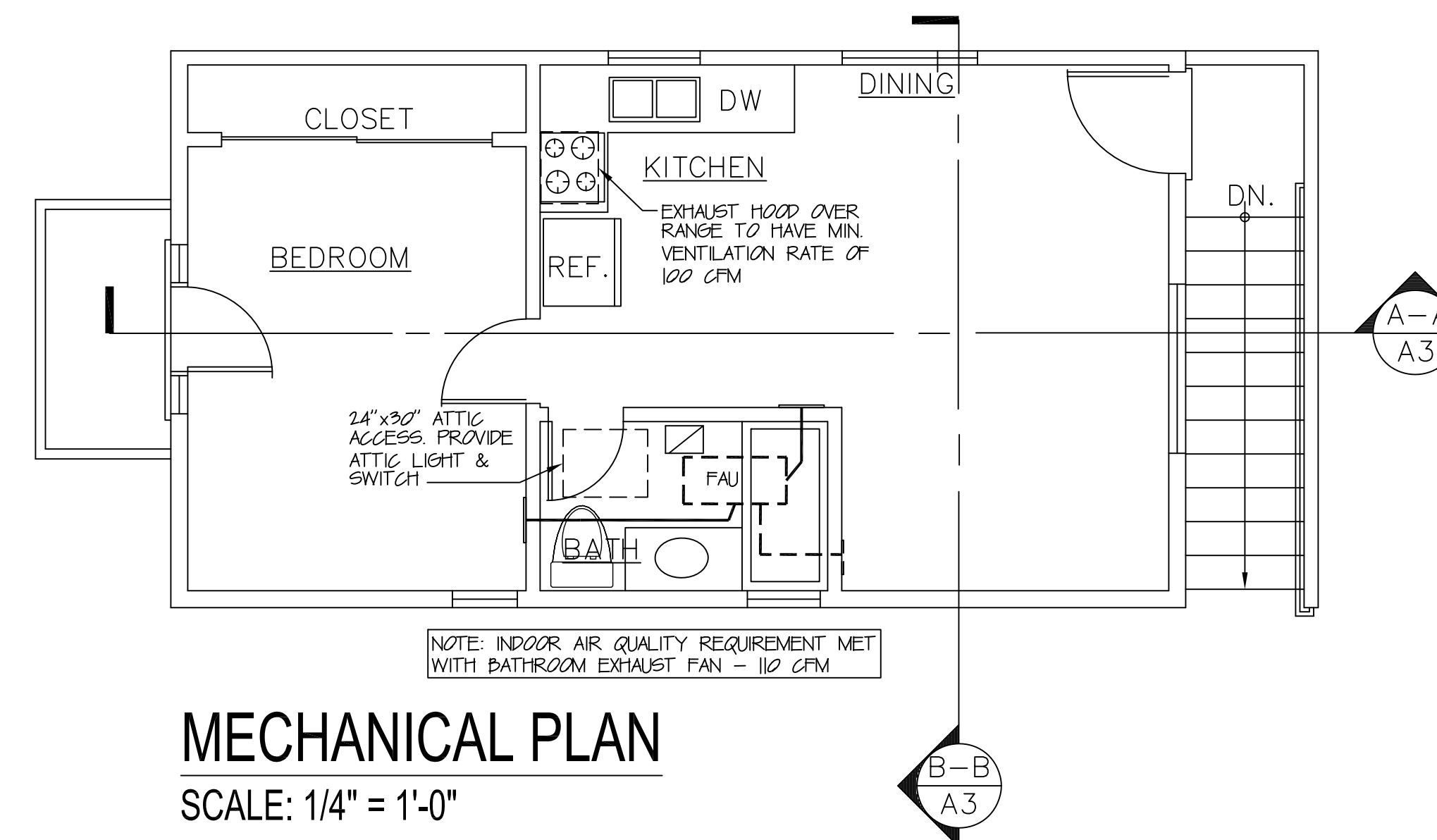
RINNAI CONTINUUM MODEL 252W (OUTDOOR UNIT)  
TANKLESS / 15,000 TO 109,000 BTU/H / 82% RECOVERY  
EFFICIENCY RECESS BOX MODEL R6B-25-W  
RINNAI CERTIFIED PLUMBER REQ'D TO INSTALL  
INPUT RATINGS <= 200 KBTU/HR PER T-24 CALCS  
(FOR LOCATION SEE SHT. A3 NORTH ELEVATION)

## LEGEND:

- SUPPLY DUCT IN ATTIC TO WALL REGISTER
- - - RETURN AIR DUCT
- ⊖ PANASONIC WHISPER LITE FAN/LIGHT COMBO (MODEL #FV-051VQ1 - 110 CFM)

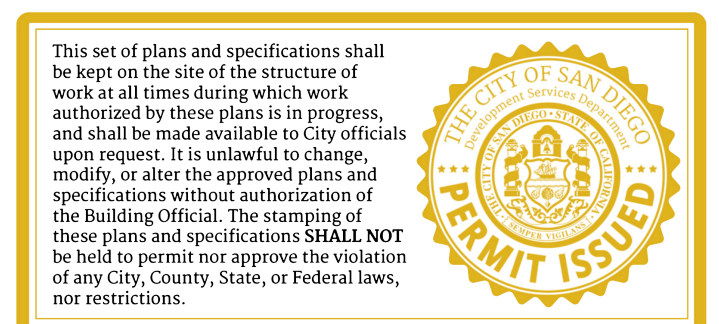
## MECHANICAL NOTES:

1. ALL AIR DUCTS SHALL HAVE R42 INSULATION.
2. DUCTS TO BE SIZED BY CONTRACTOR. CONTRACTOR TO NOTIFY ARCHITECT OF CHANGES REQUIRED DUE TO STRUCTURAL CONFLICTS.
3. THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK, WHICH THE BUILDING OCCUPANT CAN PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT TWICE IN 24 HOURS.
4. THE INSULATION INSTALLED SHALL POST A SIGNED CERTIFICATE SECTION 216 INSULATION CERTIFICATE (AS OCCUPANCIES) AFTER INSTALLING INSULATION. THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT ALL INSTALLATION CONFORMS TO THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-59, AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3. THE CERTIFICATE SHALL STATE THE MANUFACTURER'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE, AND (IN APPLICATIONS OF LOOSE-FILL INSULATION) THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURER'S LABELED DENSITY FOR THE DESIRED "R" VALUE.
5. FOR INFILTRATION CONTROL, ALL OPENINGS AND PENETRATIONS MUST BE CALLED AND SEALED SUCH AS WINDOW WINDOWS, WITH COMPLETE NECESSARY MAINTENANCE WINDOWS.
6. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING.
7. ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR OR UNCONDITIONED SPACE SUCH AS THE GARAGE SHALL BE FULLY WEATHERSTRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT INFILTRATION.
8. ALL MECHANICAL EQUIPMENT INCLUDING FIXED APPLIANCES SHALL BE SECURELY FASTENED PER UMG.
9. MECHANICAL HVAC CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DUCT AND REGISTER SIZES.
10. ATTIC / UNDERFLOOR INSTALLATION MUST COMPLY WITH SECTIONS 904, 908 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC).
11. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM & LAUNDRY ROOM VENTILATION.
12. PROVIDE LAVATORY FAUCETS WITH MAX FLOW OF 12 GPM.
13. PLUMBING FIXTURES (WATER CLOSETS, AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).
14. PROVIDE WATER CLOSET WITH A MAX. FLOW OF 128 GALLONS FLUSH (GPF).
15. EXHAUST DUCTS AND VENTS SHALL BE EQUIPPED WITH BACK-DRAFT DAMPERS.
16. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS SHALL COMPLY WITH THE FOLLOWING:  
1. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE OUTSIDE THE BUILDING.  
2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.
17. PROVIDE KITCHEN FAUCETS WITH A MAX FLOW OF 18 GALLONS PER MINUTE.
18. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CFIR) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CFIR WILL HAVE A UNIQUE 21 DIGIT REGISTRATION NUMBER FOLLOWED BY 4 ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CFIR IS REVIEWED AND APPROVED.
19. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CFVR) SHALL BE POSTED AT THE BUILDING SITE. A REGISTERED CFVR WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CFVR IS REVIEWED AND APPROVED.
20. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 18 GALLONS PER MINUTE (GPM).

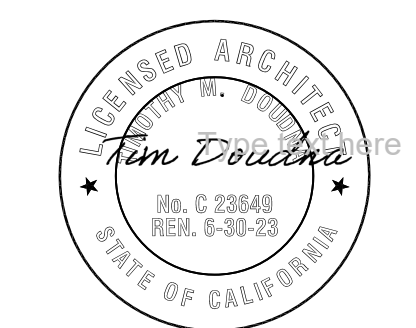


## MECHANICAL PLAN

SCALE: 1/4" = 1'-0"



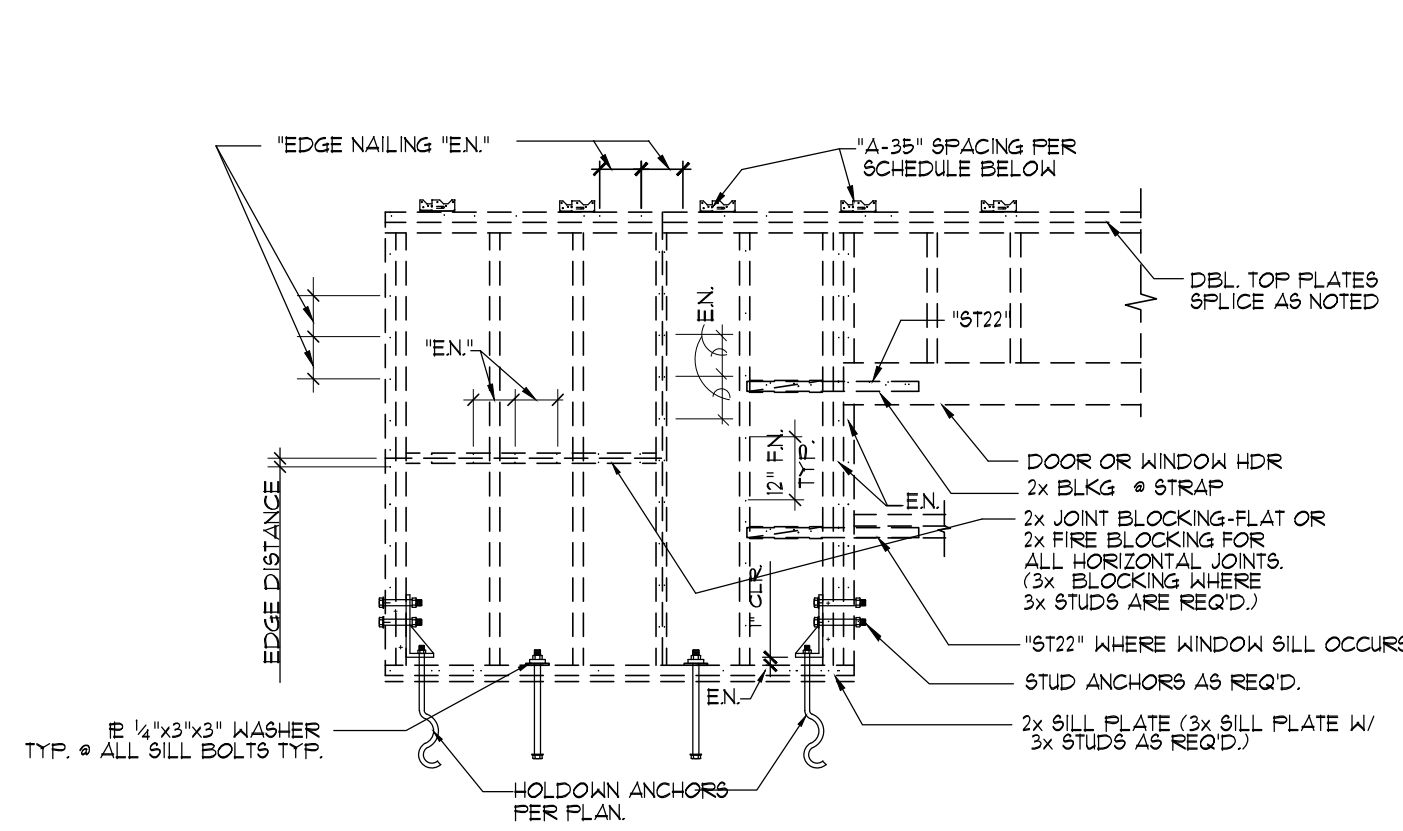
5/24/2023, 10:49:52 AM  
PRJ-1071757  
Diego Garcia



New Accessory Dwelling Unit  
@ 4579 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect

MECHANICAL & ELECTRICAL  
PLANS

A4



- NOTES:**
- WHERE PLYWOOD PANELS ARE APPLIED ON BOTH FACES OF A WALL PLYWOOD PANEL JOINTS SHALL OCCUR AT 3x THICKER FRAMING, INCLUDING BLOCKING AND NAILS ON EACH SIDE OF THE EDGE SHALL BE STAGGERED.
  - THE MINIMUM EDGE DISTANCE FOR NAILS IN THE RECEIVING MEMBERS AND THE PLYWOOD SHALL BE 1" FOR 2" NOMINAL RECEIVING MEMBERS AND 1/2" FOR 3" NOMINAL RECEIVING MEMBERS.
  - THE HOLD-DOWN ANCHOR IS IN ADDITION TO THE BIL ANCHOR BOLTS.
  - NO PANEL WIDTH LESS THAN 12" SHALL BE USED.
  - PLYWOOD MAY BE INSTALLED VERTICALLY OR HORIZONTALLY.
  - SHEAR WALLS MORE THAN ONE VERTICAL PANEL IN HEIGHT SHALL HAVE EITHER VERTICAL OR HORIZONTAL STAGGERED SPICED JOINTS AT CONTINUOUS HORIZONTAL JOINTS THE BLOCKING SHALL BE 3x MINIMUM.
  - ALL SHEARWALLS TO BE CONTINUOUS FROM FOUNDATION TO ROOF OR FLOOR SHEATHING AS INDICATED ON FRAMING PLANS.
  - SHEARWALLS SHOWN FAST OPENINGS ARE PERFORATED. PROVIDE SHEATHING ABOVE AND BELOW OPENINGS PER SCHEDULE.

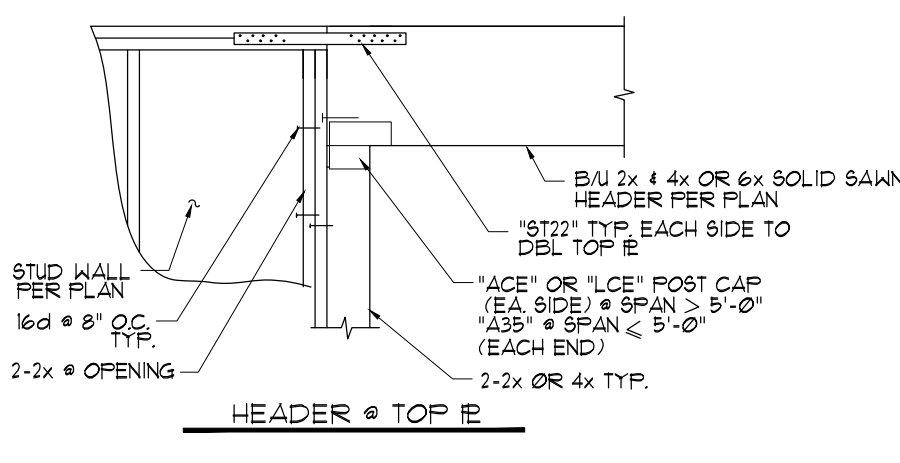
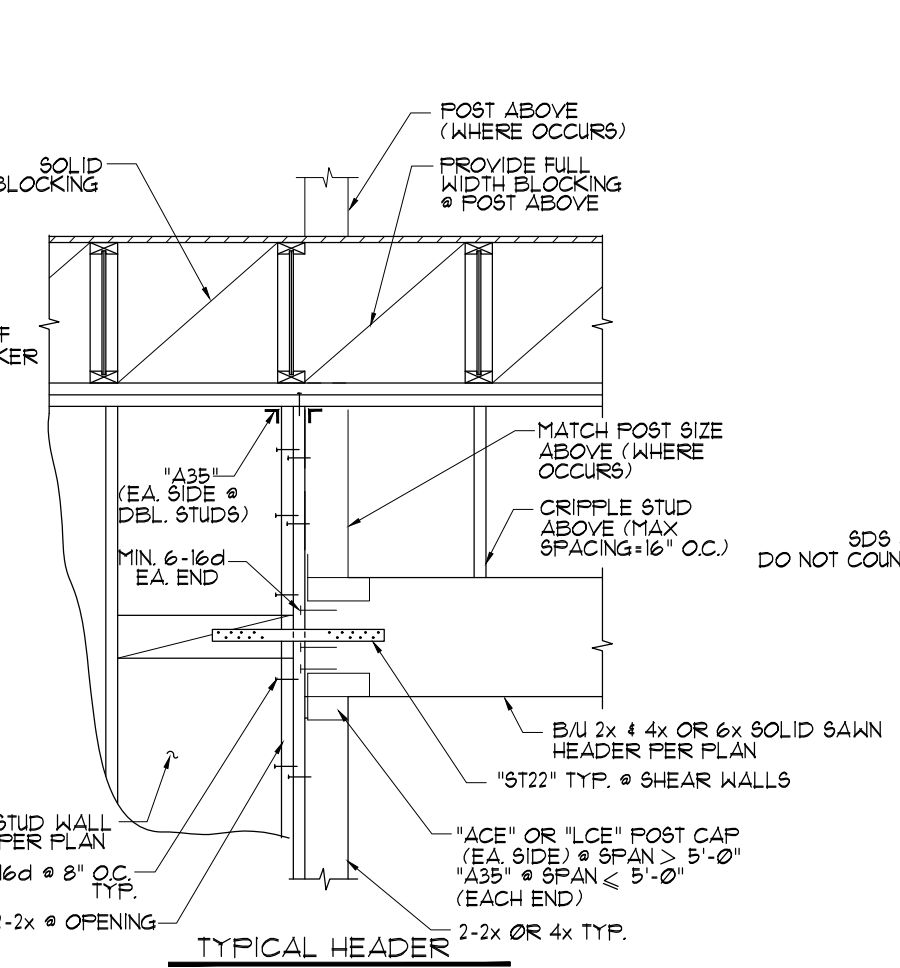
**\* COMMON WIRE NAILS**

MARK	PLYWOOD THICKNESS	GRADE EXPOSURE	"EN" NAIL SPACING	"EN" NAIL SIZE	"CN" NAIL SPACING	SDS SCREW NAIL SIZE	BIL DIA. 1/2" HEADED ANCHORS OR LAG BOLTS	SIMPSON'S (E) 1/2" HEADED ANCHORS	ALLOWABLE BREAK FLD WALL	REMARKS
(6E)	1/2"	CDX (32/16)	6"	8d	8"	16d	# 48" O.C.	20"	260 MFT	SEE NOTE (c)
(4E)	1/2"	CDX (32/16)	4"	8d	6"	16d	# 36" O.C.	14"	350 MFT	SEE NOTE (c)
(5E)	1/2" (3x STUDS)	CDX (32/16)	3"	8d	11"	SDS25500	# 36" O.C.	12"	430 MFT	SEE NOTE (a)(c)
(1E)	1/2" (3x STUDS)	CDX (32/16)	2"	8d	9"	SDS25500	# 24" O.C.	8"	640 MFT	SEE NOTE (a)(c)
(4E)	1/2" (EA. FACE) (3x STUDS)	CDX (32/16)	4"	8d	7"	SDS25500	# 20" O.C.	6"	760 MFT	SEE NOTE (b)(c)
(5E)	1/2" (EA. FACE) (3x STUDS)	CDX (32/16)	3"	8d	4"	SDS25500	# 16" O.C.	12" EACH SIDE	980 MFT	SEE NOTE (b)(c)
(6E)	1/2" (EA. FACE) (3x STUDS)	CDX (32/16)	2"	8d	4"	SDS25500	# 14" O.C.	8" EACH SIDE	1280 MFT	SEE NOTE (b)(c)

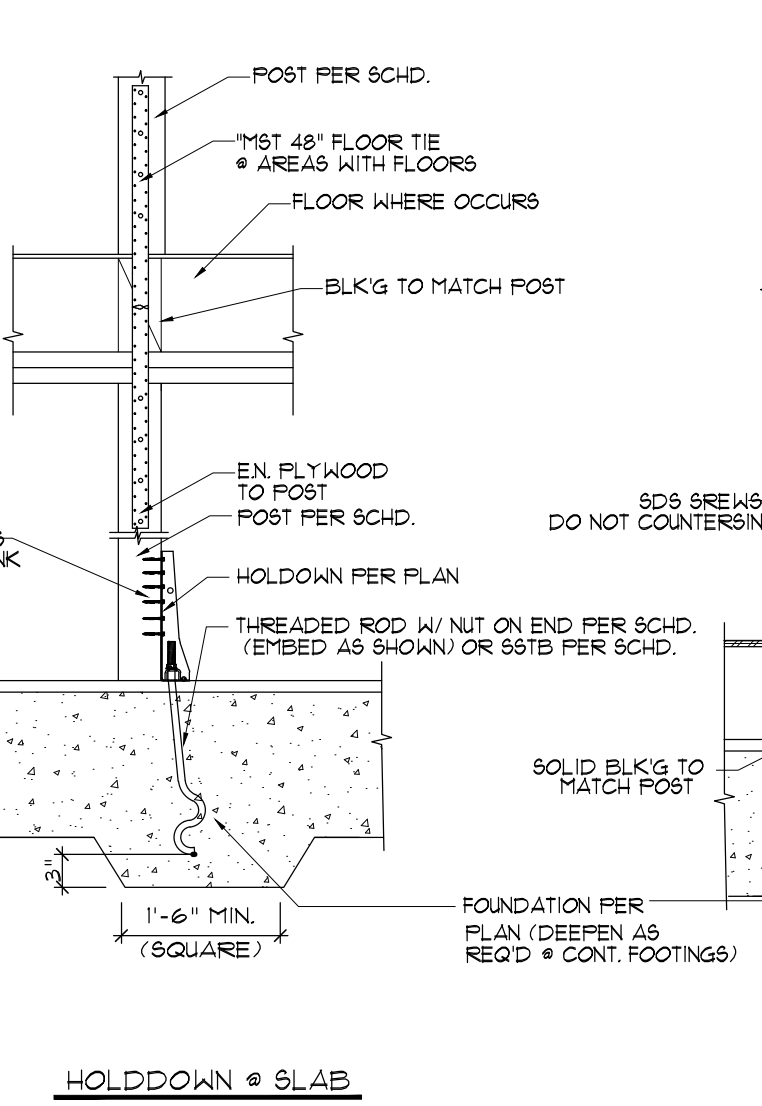
**NOTES:**

- 3x BIL EA. 3x BLOCKING 4x STUDS 4x ADJOINING PANEL EDGES PROVIDE 12" (MIN) HEADED ANCHORS.
- 3x BIL EA. 2x 3x TOP EA. 4x BLOCKING 4x STUDS 4x ADJOINING PANEL EDGES 4x INTERIOR STUDS PROVIDE 12" (MIN) HEADED ANCHORS.
- SCREWS TO BE MANUFACTURED BY SIMPSON OR APPROVED EQUAL.

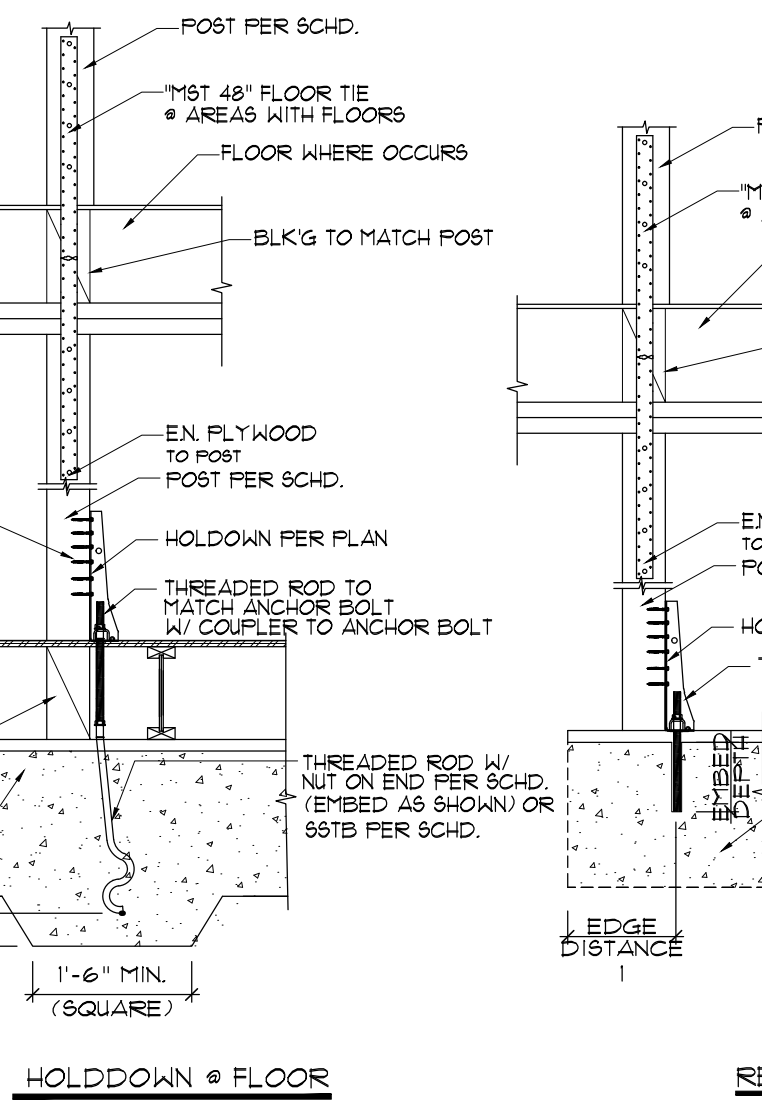
**1 TYPICAL SHEARWALL**  
SCALE: 1/2" = 1'-0"



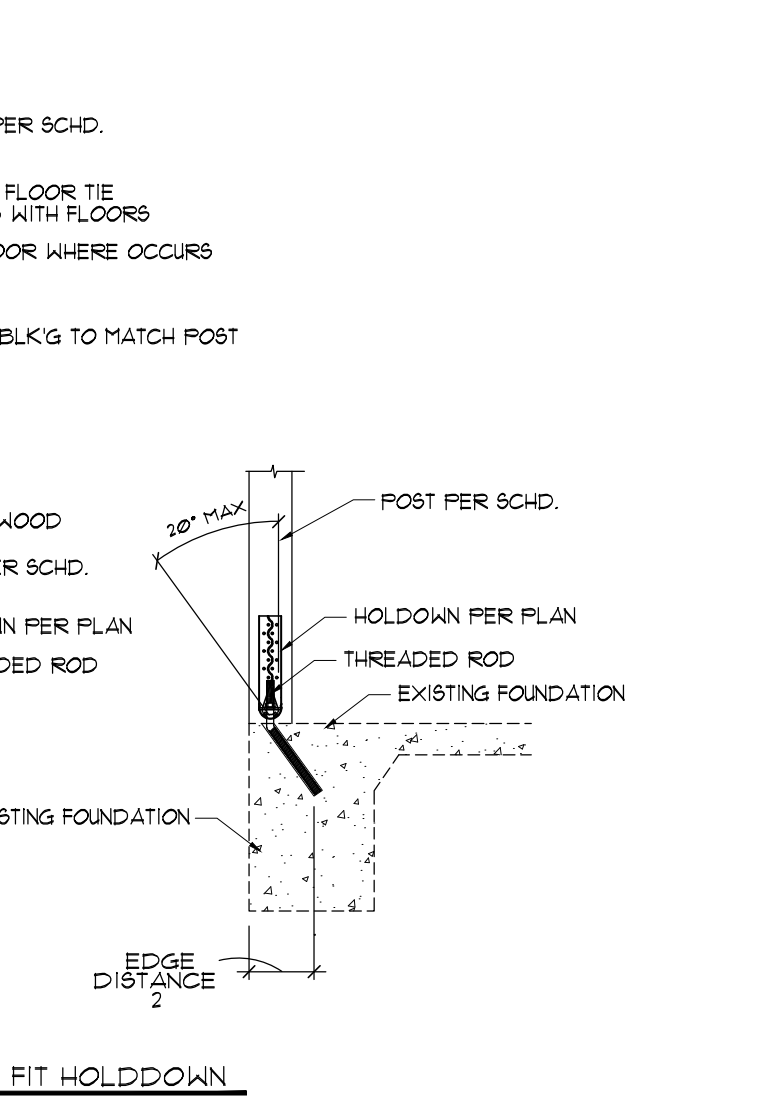
**2 TYPICAL HEADER**  
SCALE: 1/2" = 1'-0"



**HOLDDOWN @ SLAB**



**HOLDDOWN @ FLOOR**



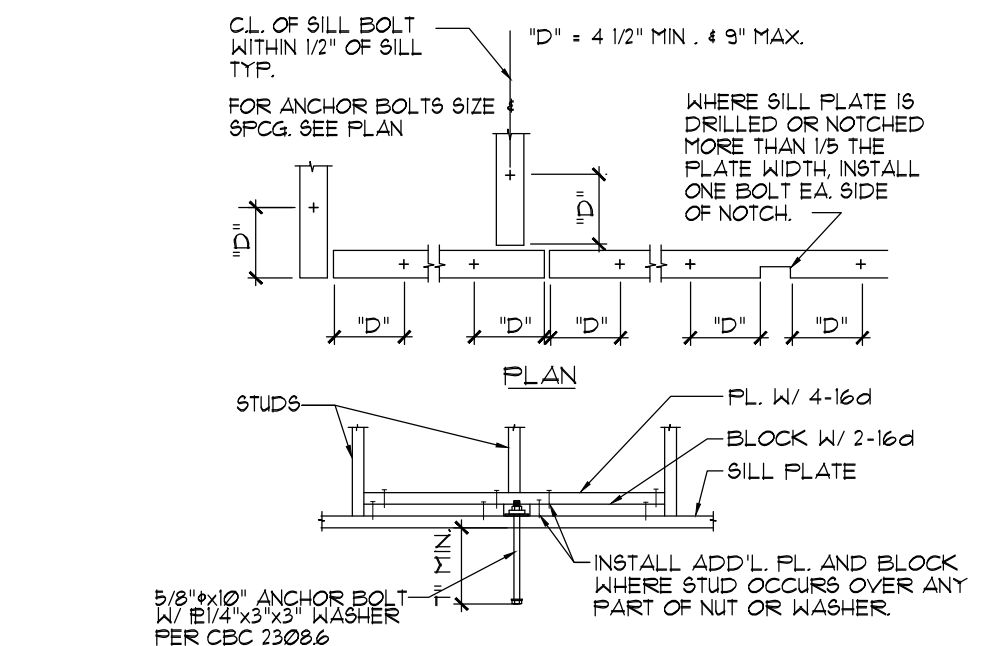
**RETRO FIT HOLDDOWN**

**HOLDDOWN SCHEDULE**

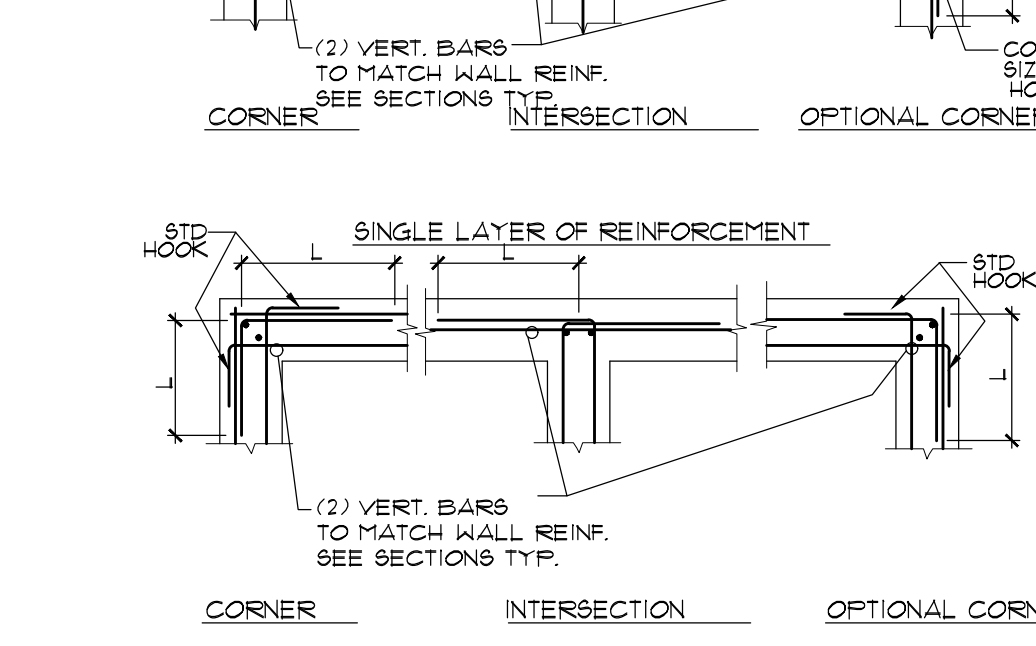
HOLDDOWN	NEW CONSTRUCTION				RETRO-FIT EXISTING CONSTRUCTION (2) (4)			
	ROD DIA.	ANCHOR	EMBEDMENT	MINIMUM Ø POST THICKNESS	EMBED DEPTH W/ HILTI HIT-HY 150 MAX SD EPOXY PER EBR-3015, # (E) FOUNDATION	EDGE DISTANCE (1) FOR THREADED ROD W/ EPOXY	EDGE DISTANCE (2) FOR THREADED ROD W/ EPOXY	EDGE DISTANCE (3) FOR THREADED ROD W/ EPOXY
HDU2-SD525	3/8"	99TB6	12 5/8"	2-2x	NA	NA	NA	NA
HDU4-SD525	3/8"	99TB20	16 5/8"	2-2x	NA	NA	NA	NA
HDU5-SD525	3/8"	99TB24	20 5/8"	2-2x	NA	NA	NA	NA
HDU8-SD525	1/8"	99TB28	24 7/8"	4x4, 4x6, 6x6 (1)	NA	NA	NA	NA
HDU11-SD525	1"	NA	36"	4x6 OR 6x6 (1)	NA	NA	NA	NA
HDU14-SD525	1"	N/A	36"	4x6 OR 6x6 (1)	NA	NA	NA	NA

1) LARGER DIMENSIONS TO BE IN LINE WITH HOLDDOWN  
2) RETRO FIT ANCHOR TO ONLY BE USED WHERE DIRECTED  
3) USE LARGER OF POST SPECIFIED ON FOUNDATION PLAN  
4) RETRO FIT ANCHOR TO BE ASTM A 193 GR. B1

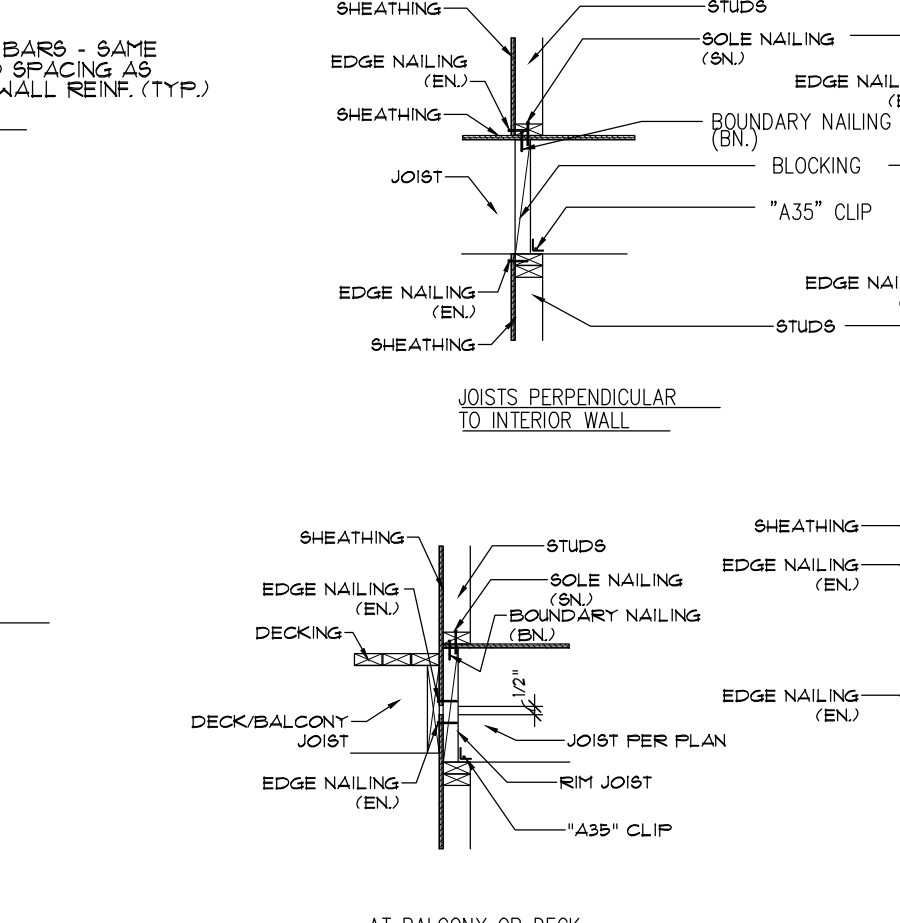
**3 TYPICAL HOLDDOWN**  
SCALE: 1/2" = 1'-0"



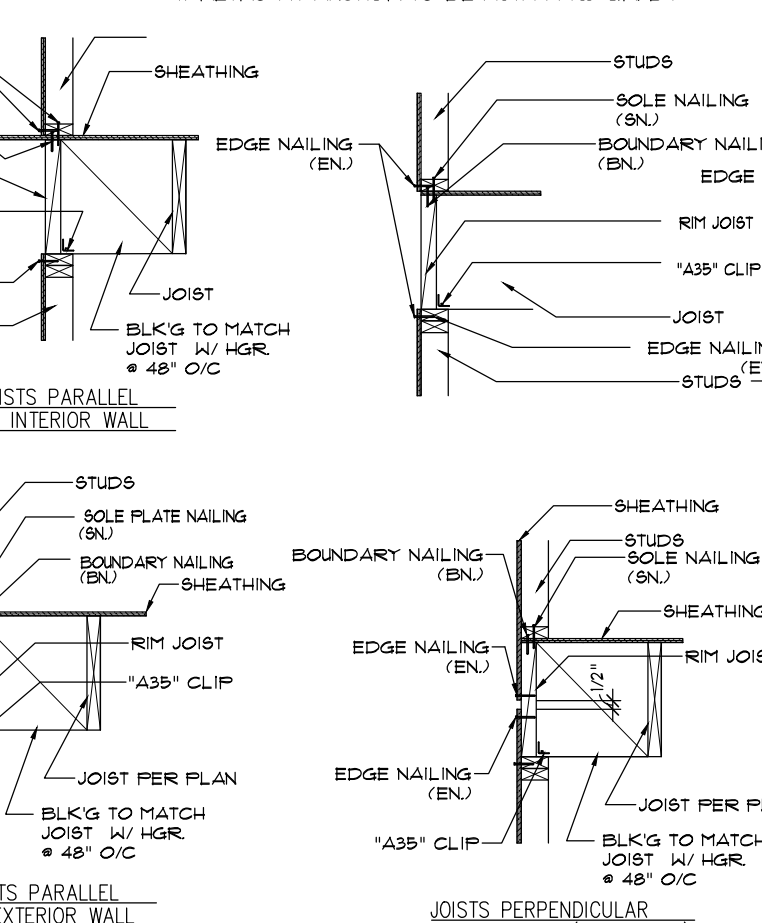
**4 TYPICAL ANCHOR BOLT LAYOUT**  
SCALE: 1/2" = 1'-0"



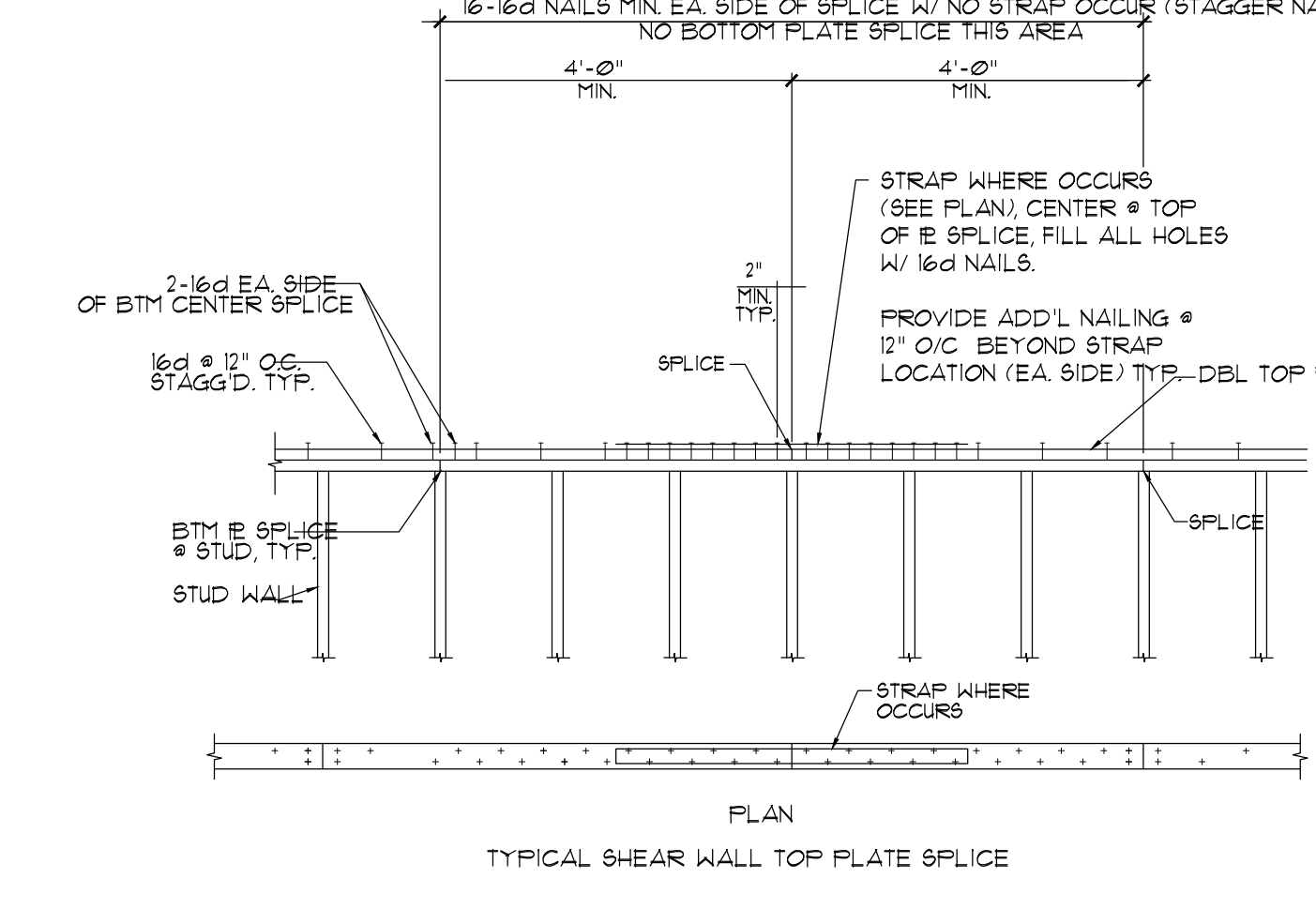
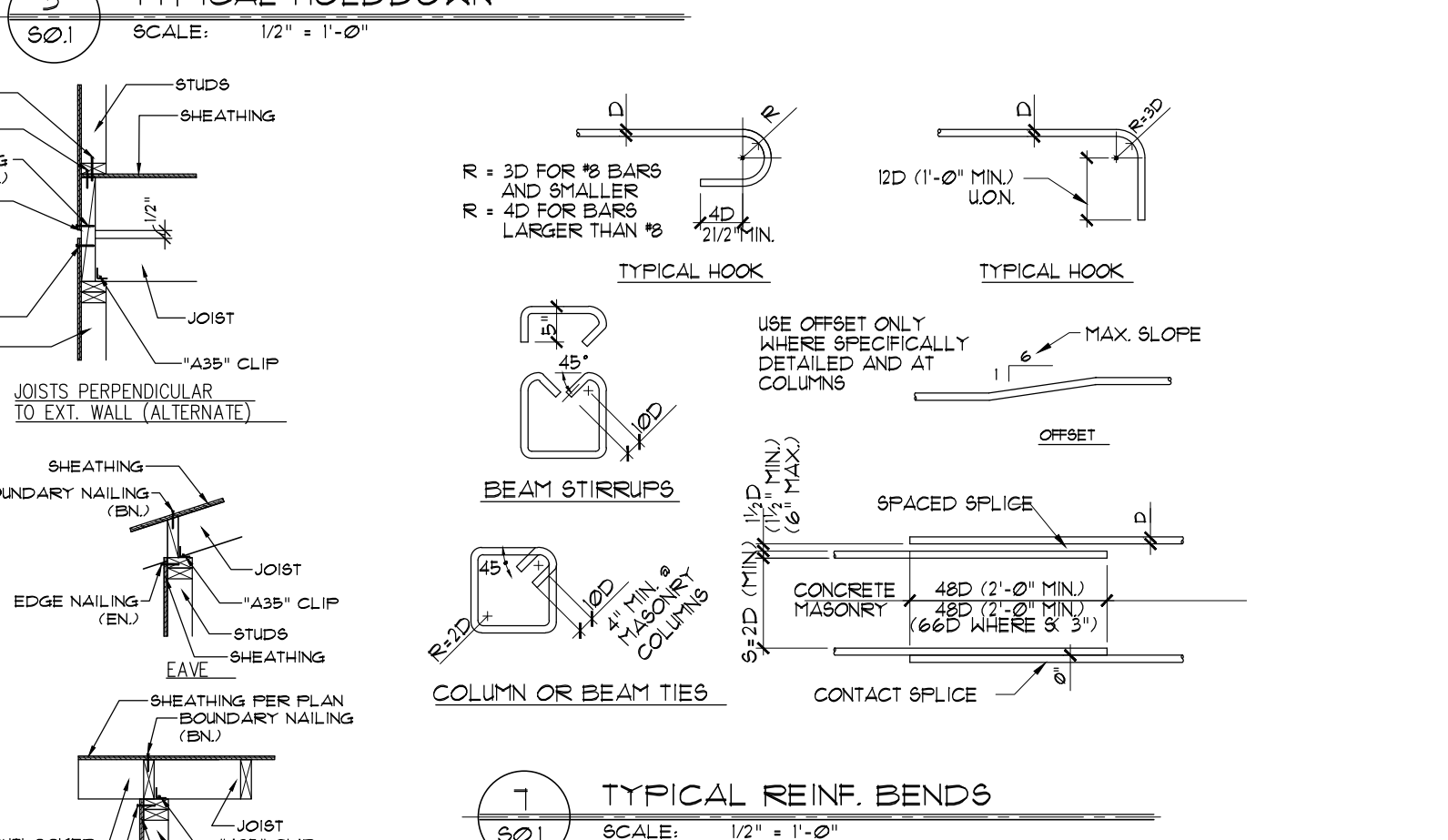
**5 TYPICAL REINF. CORNER BENDS**  
SCALE: 1/2" = 1'-0"



**6 TYPICAL SHEAR TRANSFER**  
SCALE: 1/2" = 1'-0"



**7 TYPICAL REINF. BENDS**  
SCALE: 1/2" = 1'-0"



**8 TYPICAL TOP PLATE SPLICE**  
SCALE: 1/2" = 1'-0"

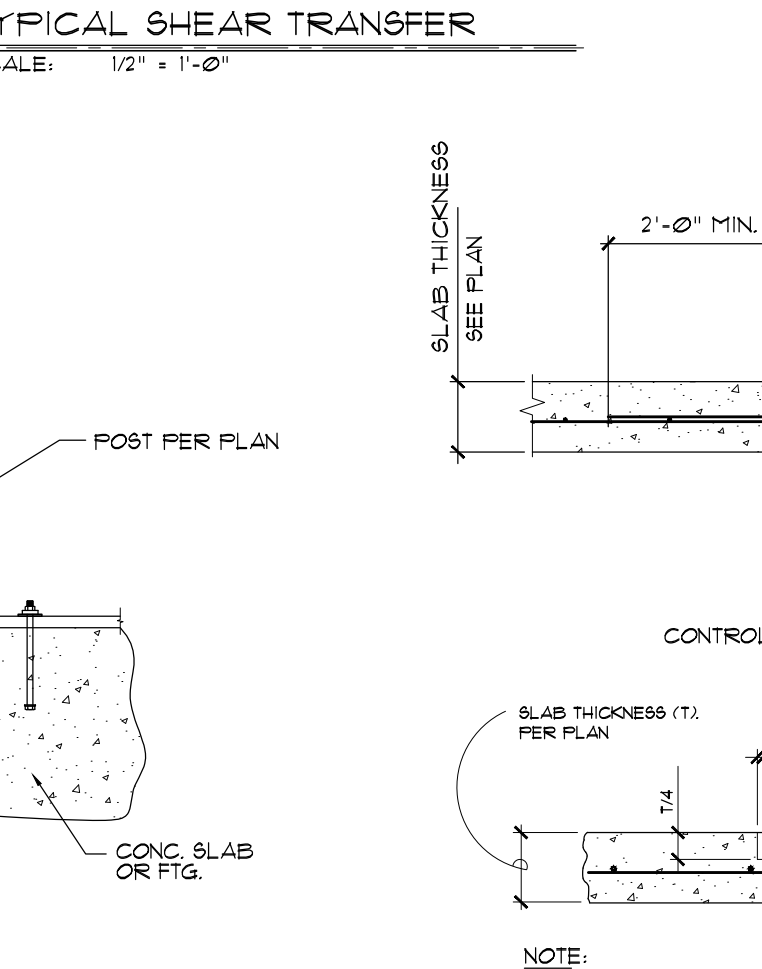
**DIAPHRAGM SCHEDULE**

MARK	SIZE	GRADE EXPOSURE	NAIL SIZE	"BN" CONT.	"CN" CONT.	"EN" EDGES	"FIELD"
1	9A	5/8"	CD-X (32/16)	10d	6"	-	12"
12,3	9B	5/8"	CD-X (32/16)	10d	2 1/2"	2 1/2"	4"
1	9C	3/4"	CD-X (48/24)	10d	6"	-	12"
12,3	9D	3/4"	CD-X (48/24)	10d	2 1/2"	2 1/2"	4"

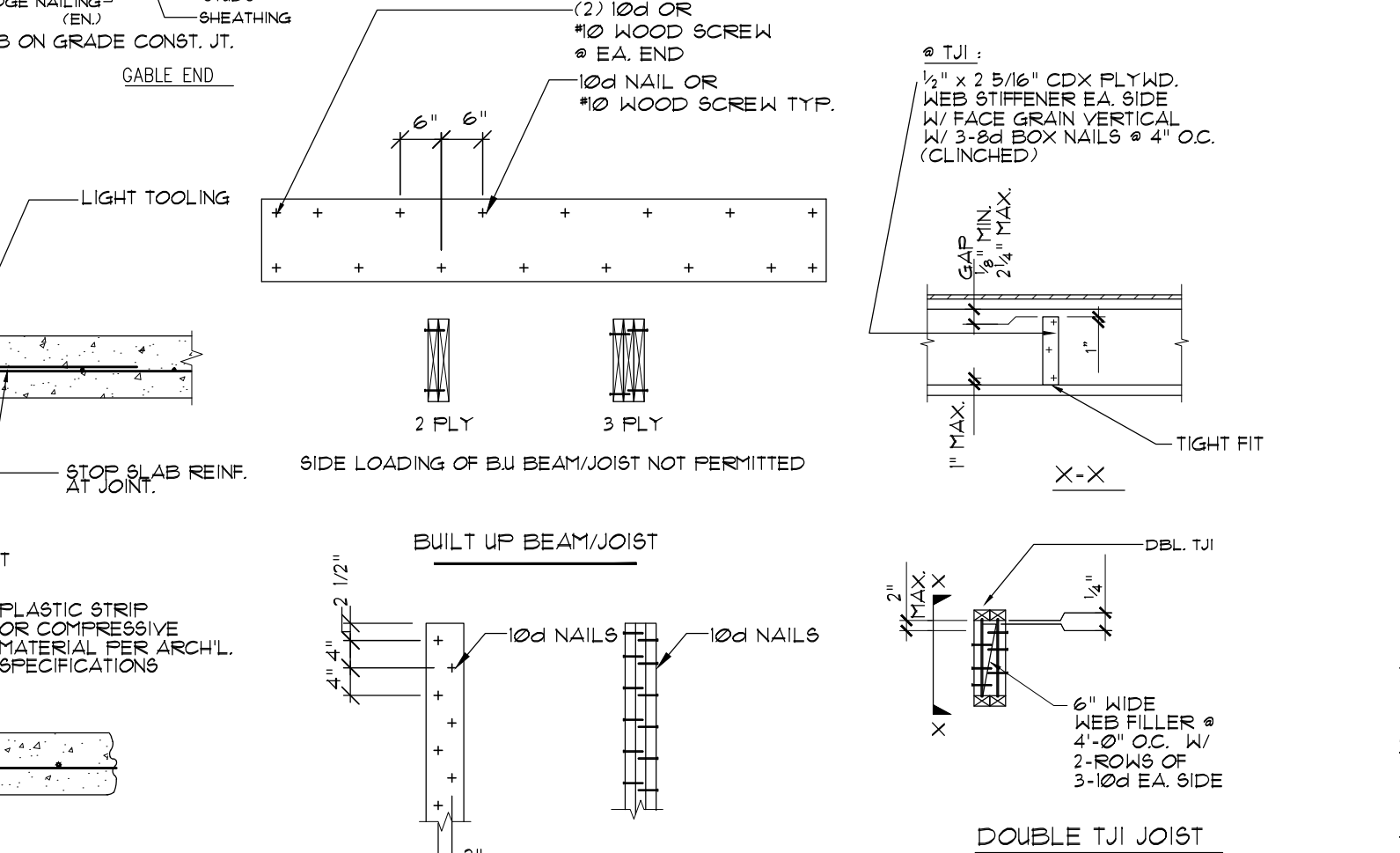
**NOTES:**

- STAGG JOINTS
- "CN" (CONT.) & "EN" (EDGE) NAILINGS TO OCCUR AT BLOCKED DIAPHRAGMS ONLY.
- PROVIDE 3x BLOCKING AT ALL PANEL EDGES

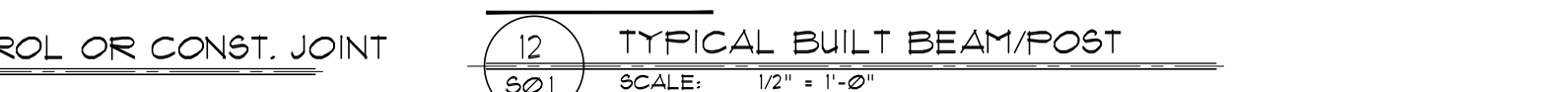
**9 TYPICAL FLOOR & ROOF SH'T'G**  
SCALE: 1/2" = 1'-0"



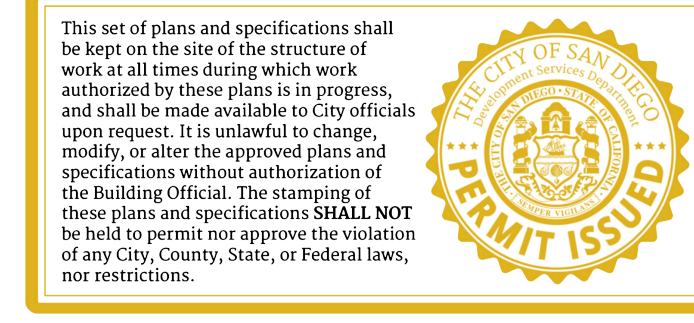
**10 TYPICAL POST @ WALL**  
SCALE: 1/2" = 1'-0"



**11 TYPICAL CONTROL OR CONST. JOINT**  
SCALE: 1/2" = 1'-0"



**12 TYPICAL BUILT BEAM/POST**  
SCALE: 1/2" = 1'-0"

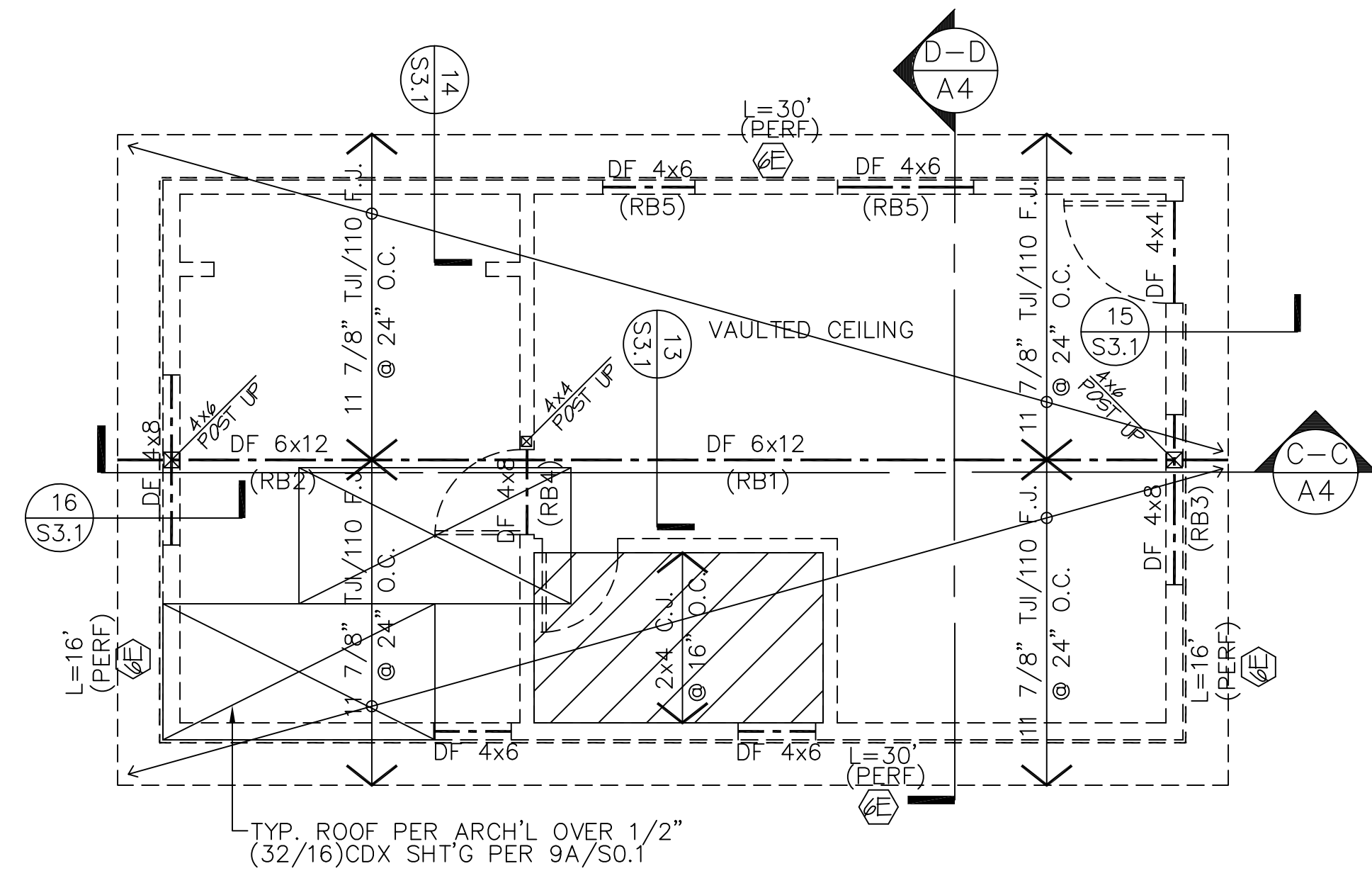


Second Story Addition & ADU  
2475-77 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect

STRUCTURAL  
DETAILS

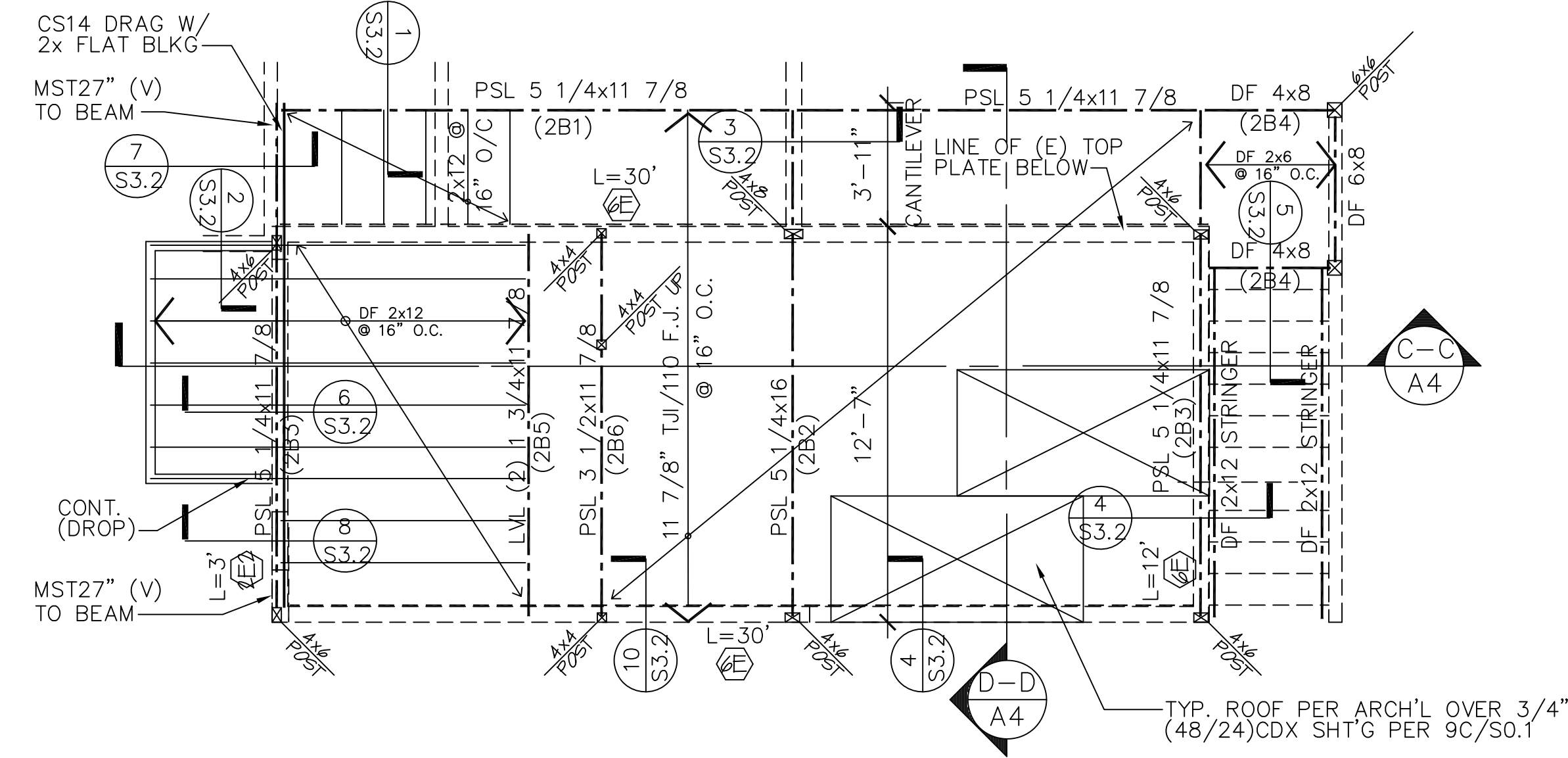
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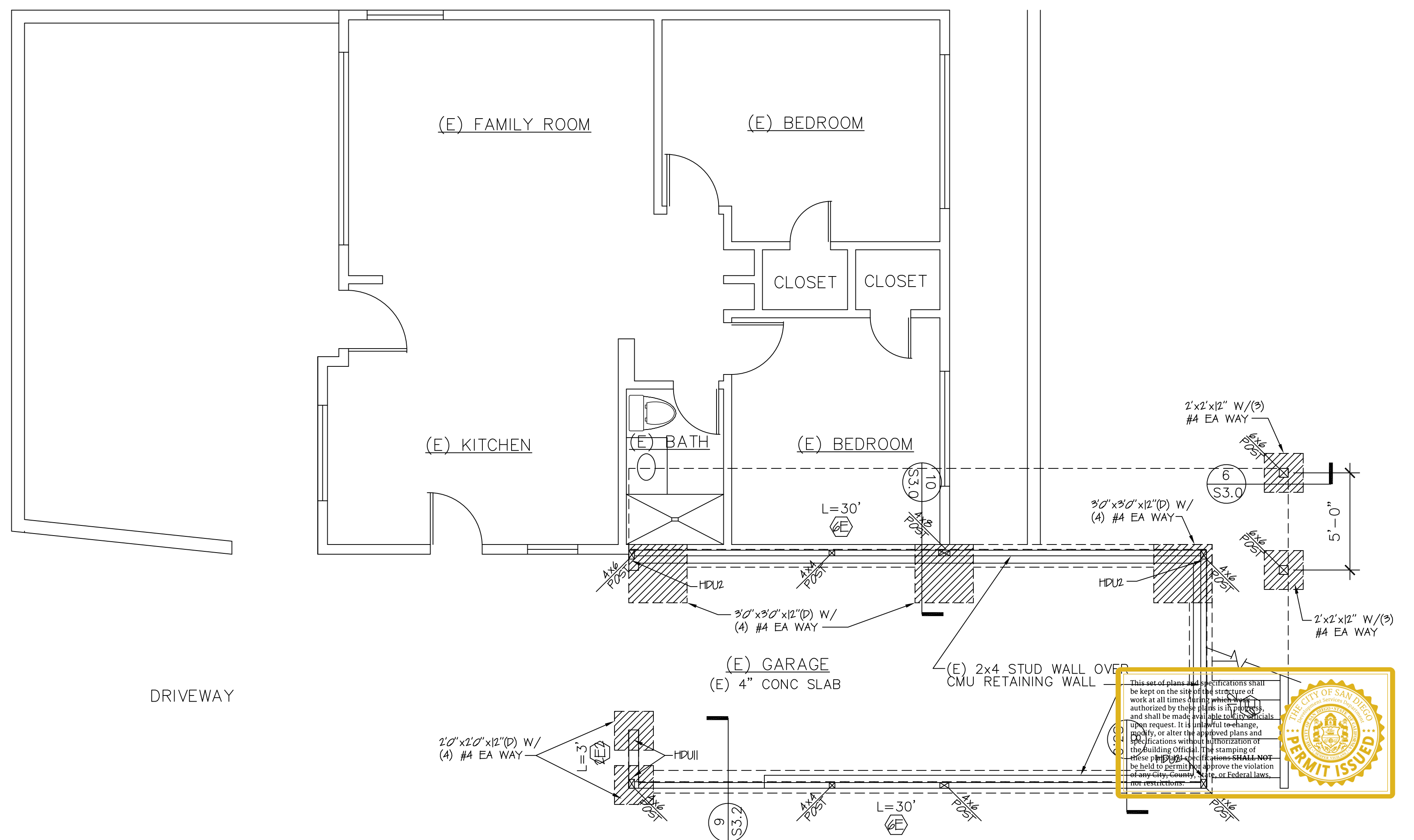
**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"



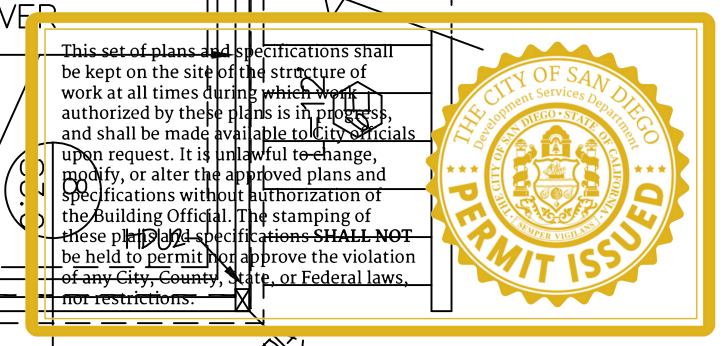
**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"



**ADU FOUNDATION PLAN**

SCALE: 1/4" = 1'-0"

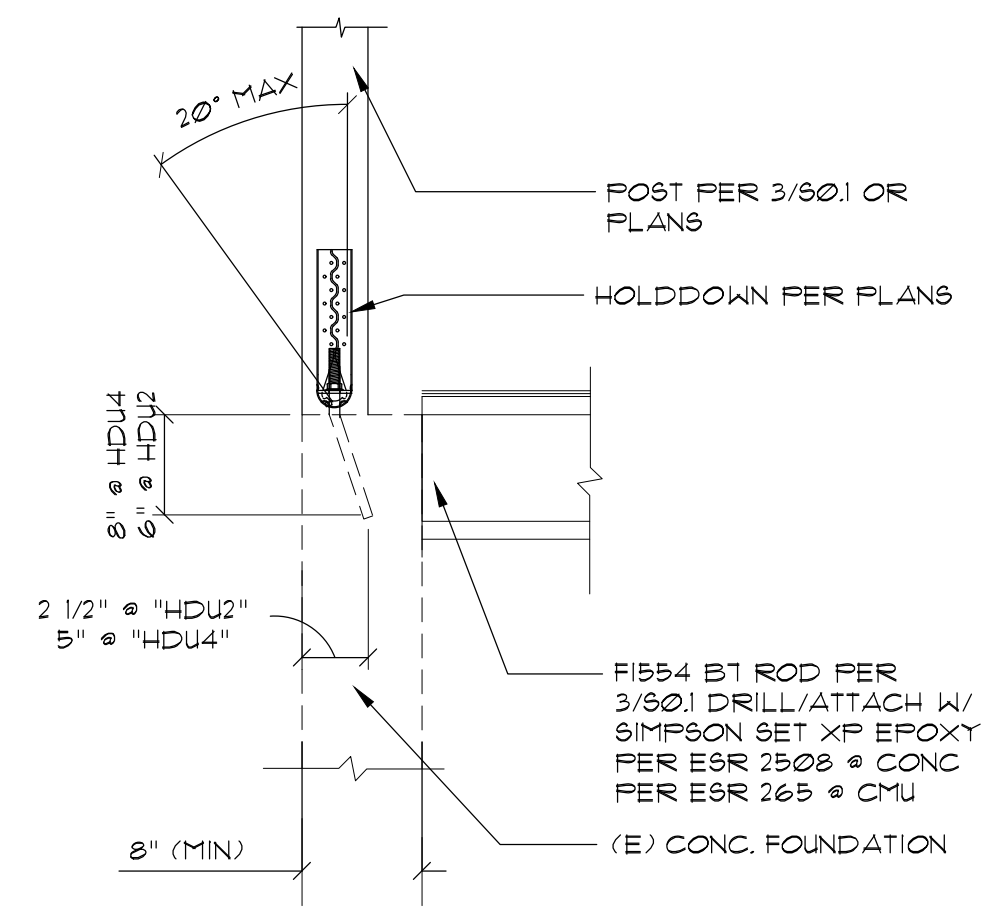


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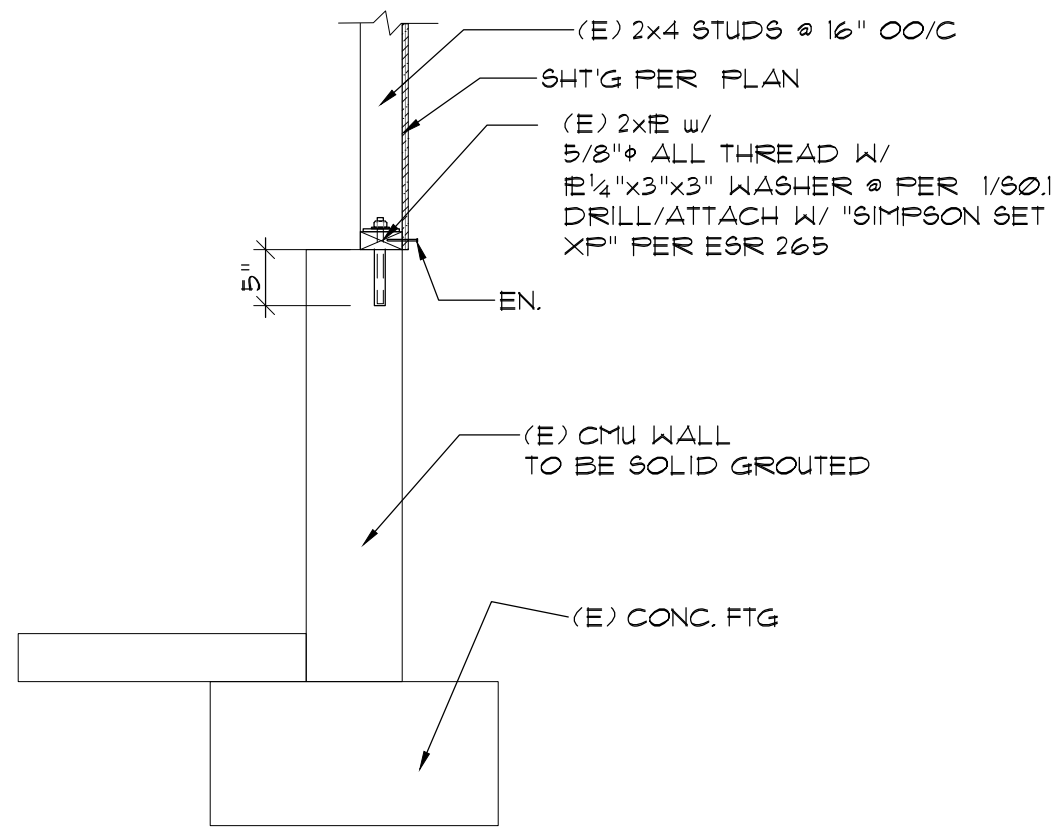


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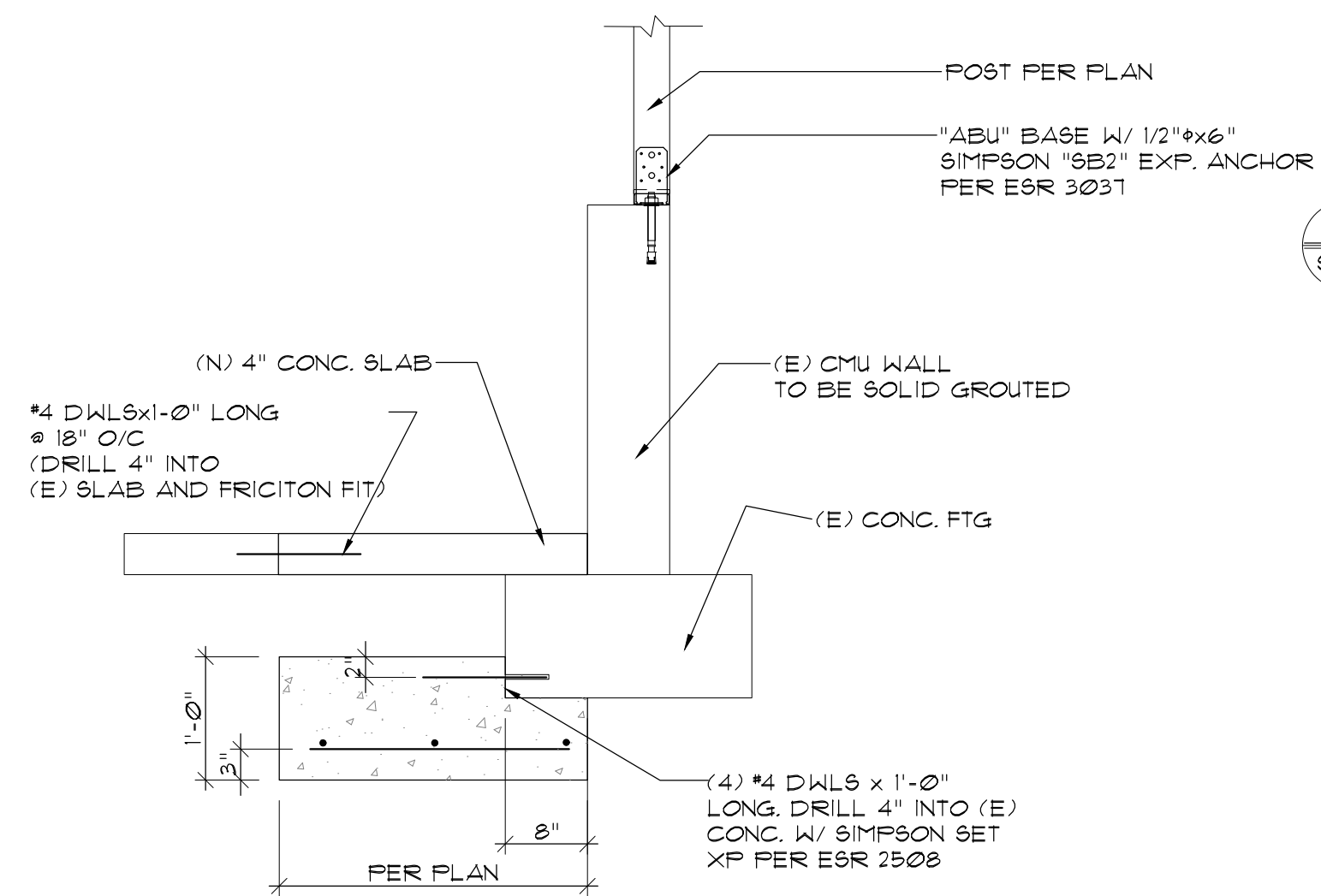
New Accessory Dwelling Unit  
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San Diego, CA 92107  
Timothy M. Doudna, Architect  
ADU FOUNDATION &  
FRAMING PLANS



8 FND. DETAIL  
SCALE: 3/4" = 1'-0"

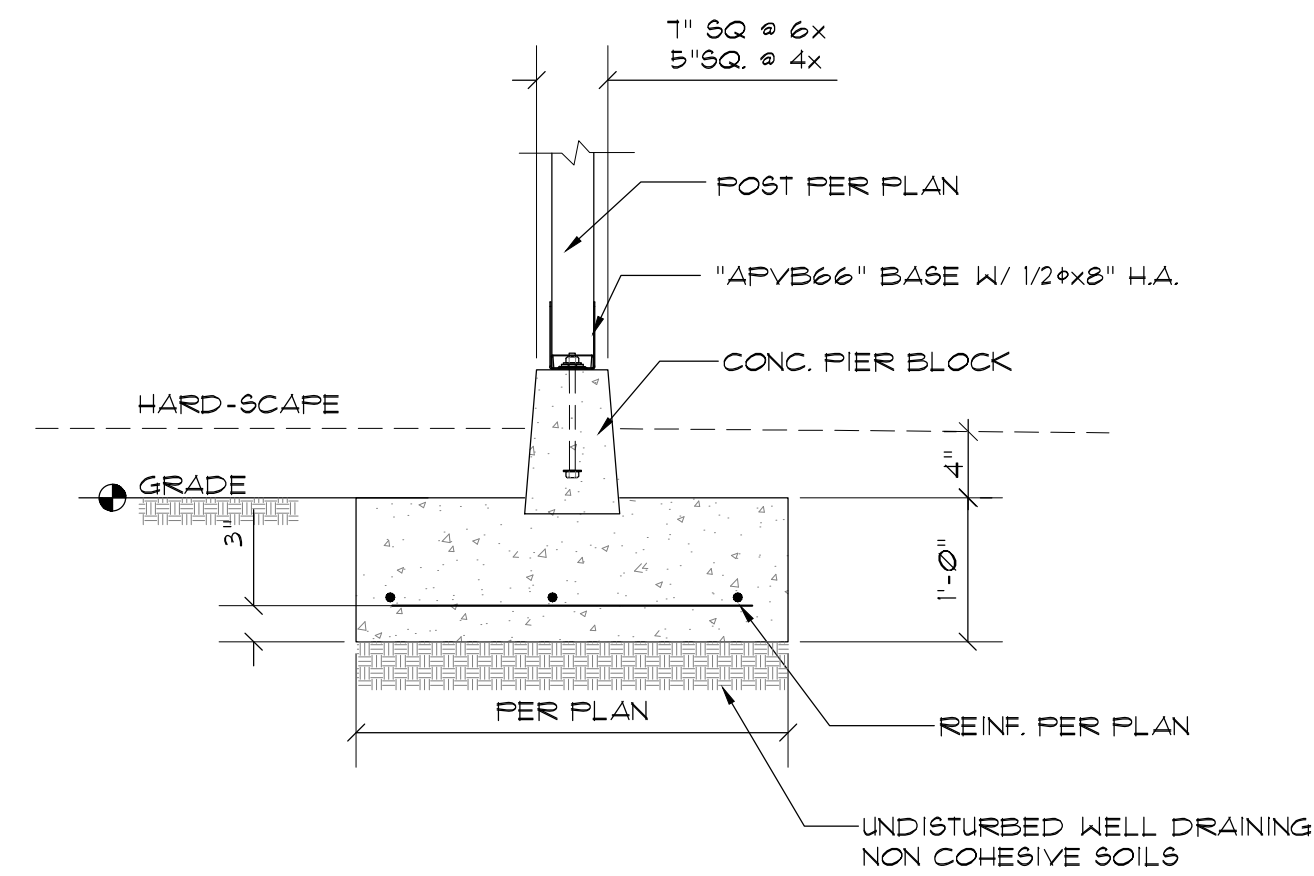


9 FND. DETAIL  
SCALE: 3/4" = 1'-0"



10 FND. DETAIL  
SCALE: 3/4" = 1'-0"

5 NOT USED  
SCALE: 3/4" = 1'-0"



1 NOT USED  
SCALE: 3/4" = 1'-0"

2 NOT USED  
SCALE: 3/4" = 1'-0"

6 FND. DETAIL  
SCALE: 3/4" = 1'-0"

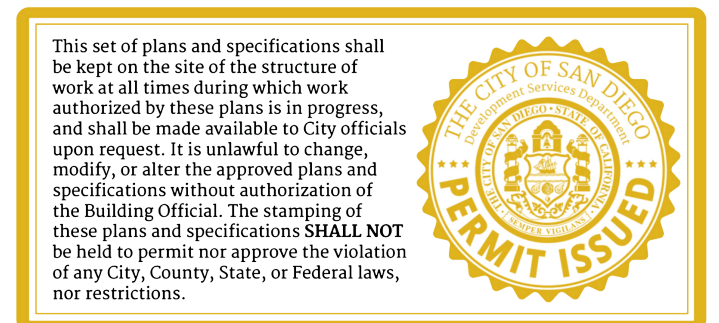


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7 NOT USED  
SCALE: 3/4" = 1'-0"

11 NOT USED  
SCALE: 3/4" = 1'-0"

4 FND. DETAIL  
SCALE: 3/4" = 1'-0"



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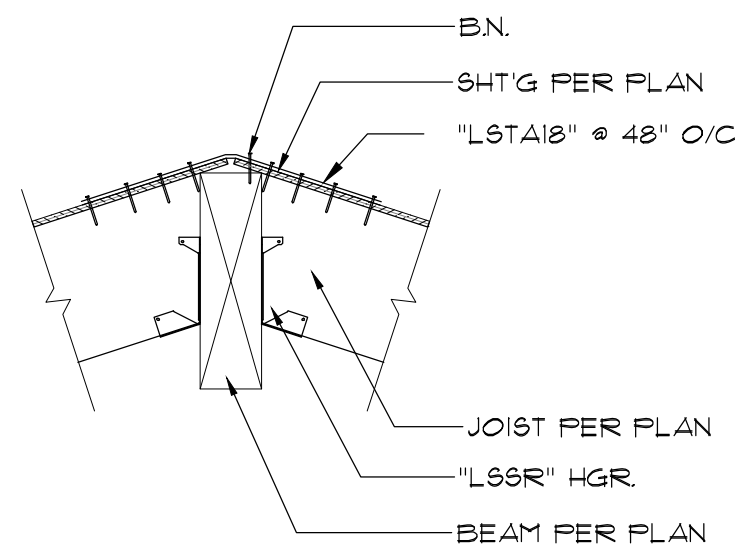


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12-14-21

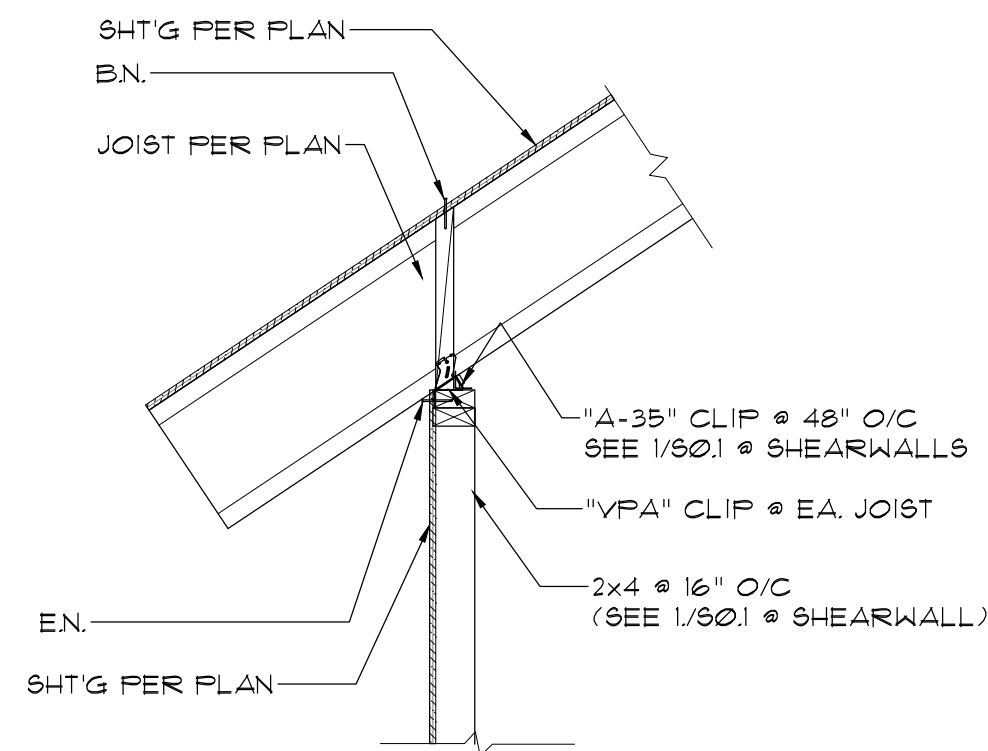
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Timothy M. Doudna, Architect

STRUCTURAL  
DETAILS

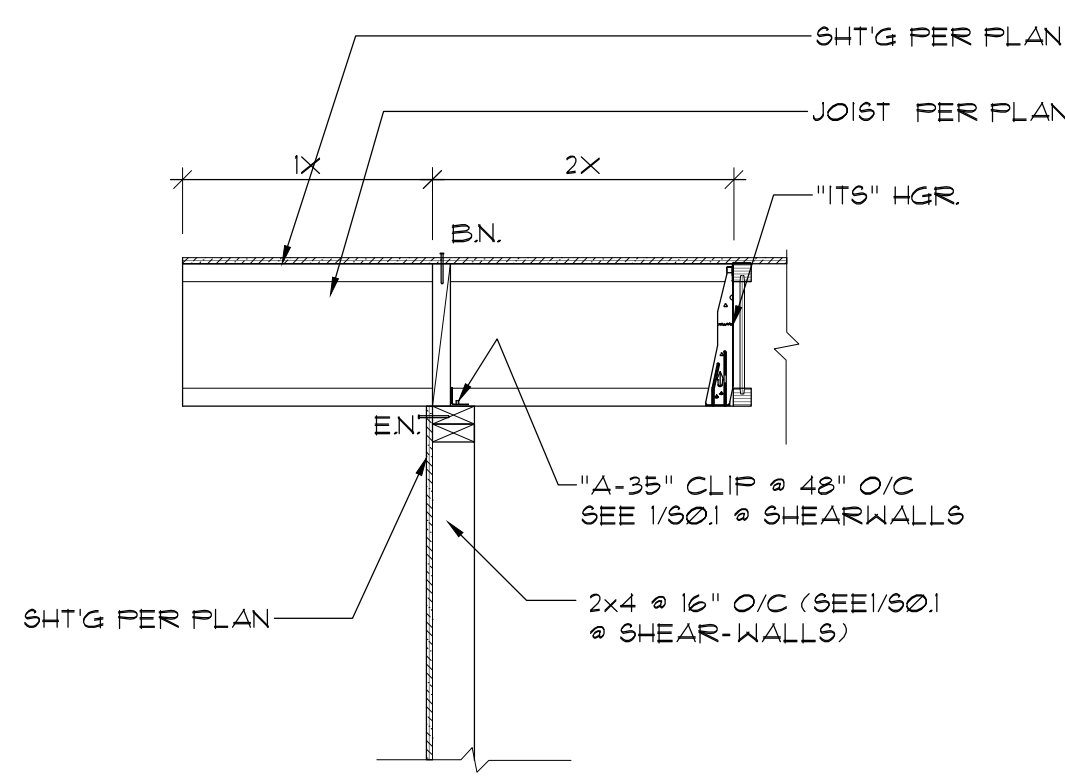
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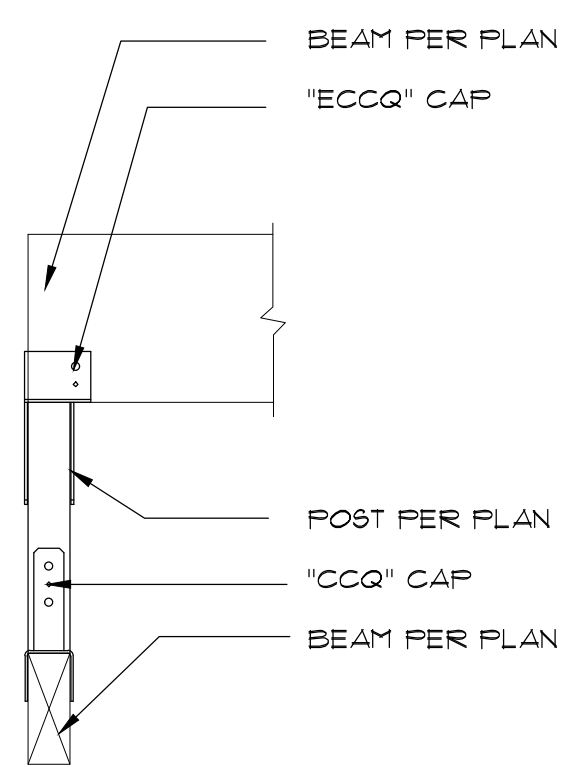
13 FRM. DETAIL  
S3.1 SCALE: 3/4" = 1'-0"



14 FRM. DETAIL  
S3.1 SCALE: 3/4" = 1'-0"



15 FRM. DETAIL  
S3.1 SCALE: 3/4" = 1'-0"

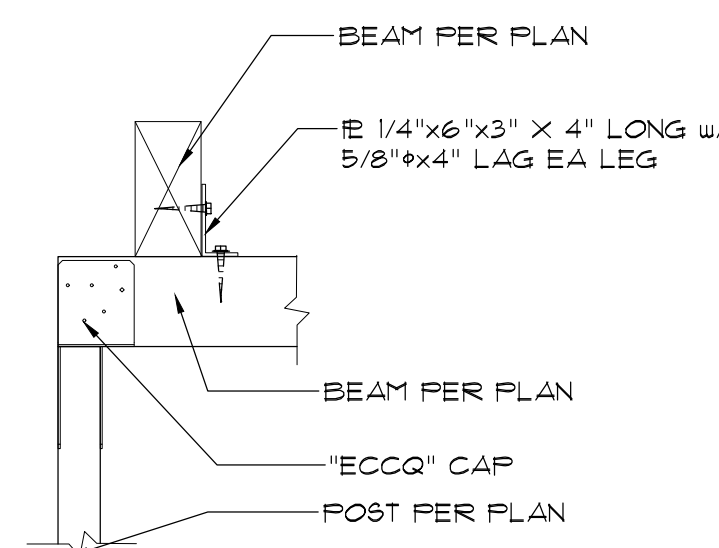


16 FRM. DETAIL  
S3.1 SCALE: 3/4" = 1'-0"

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S3.1 SCALE: 3/4" = 1'-0"

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S3.1 SCALE: 3/4" = 1'-0"

11 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"



12 FRM. DETAIL  
S3.1 SCALE: 3/4" = 1'-0"

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S3.1 SCALE: 3/4" = 1'-0"

6 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"

7 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"

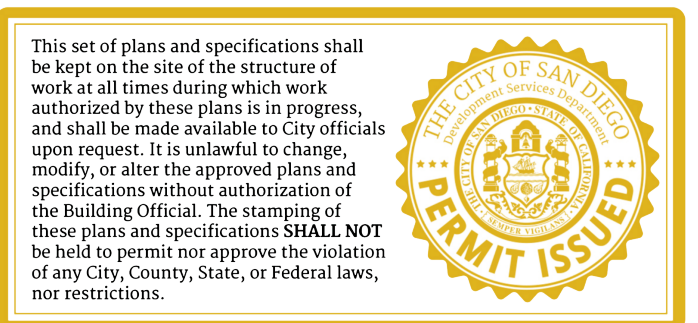
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S3.1 SCALE: 3/4" = 1'-0"

1 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"

2 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"

3 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"

4 NOT USED  
S3.1 SCALE: 3/4" = 1'-0"



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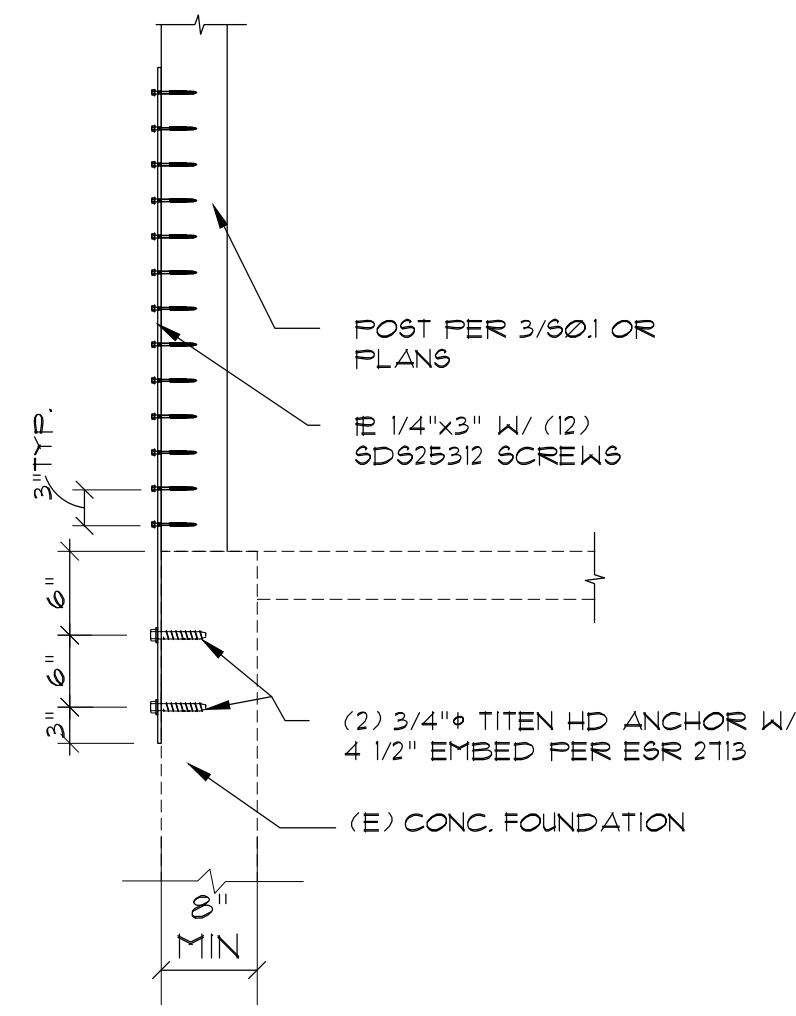


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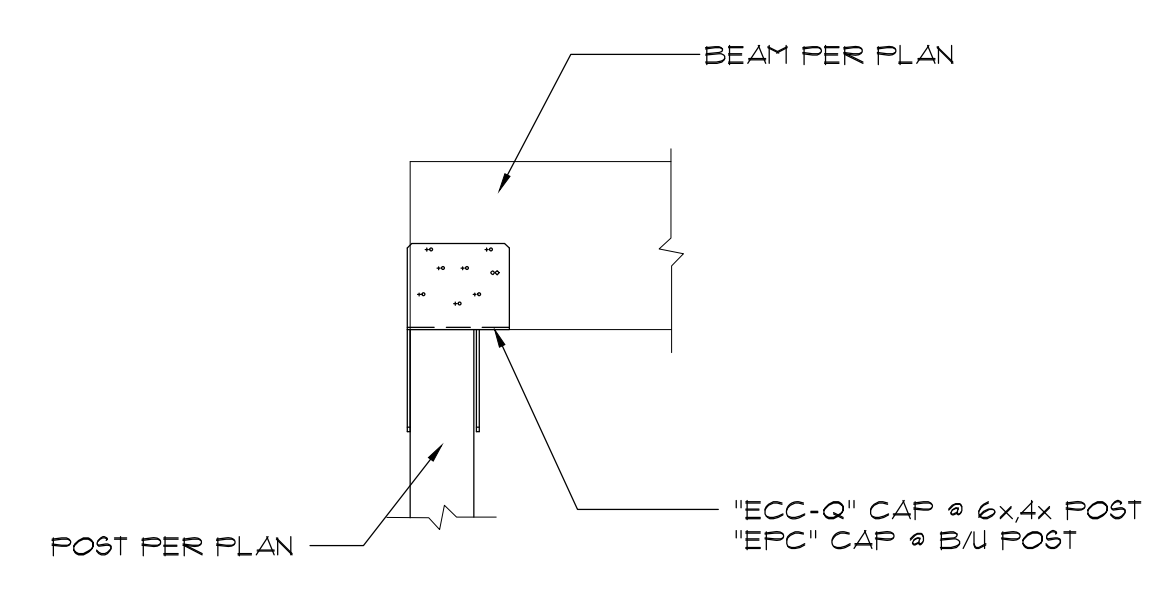
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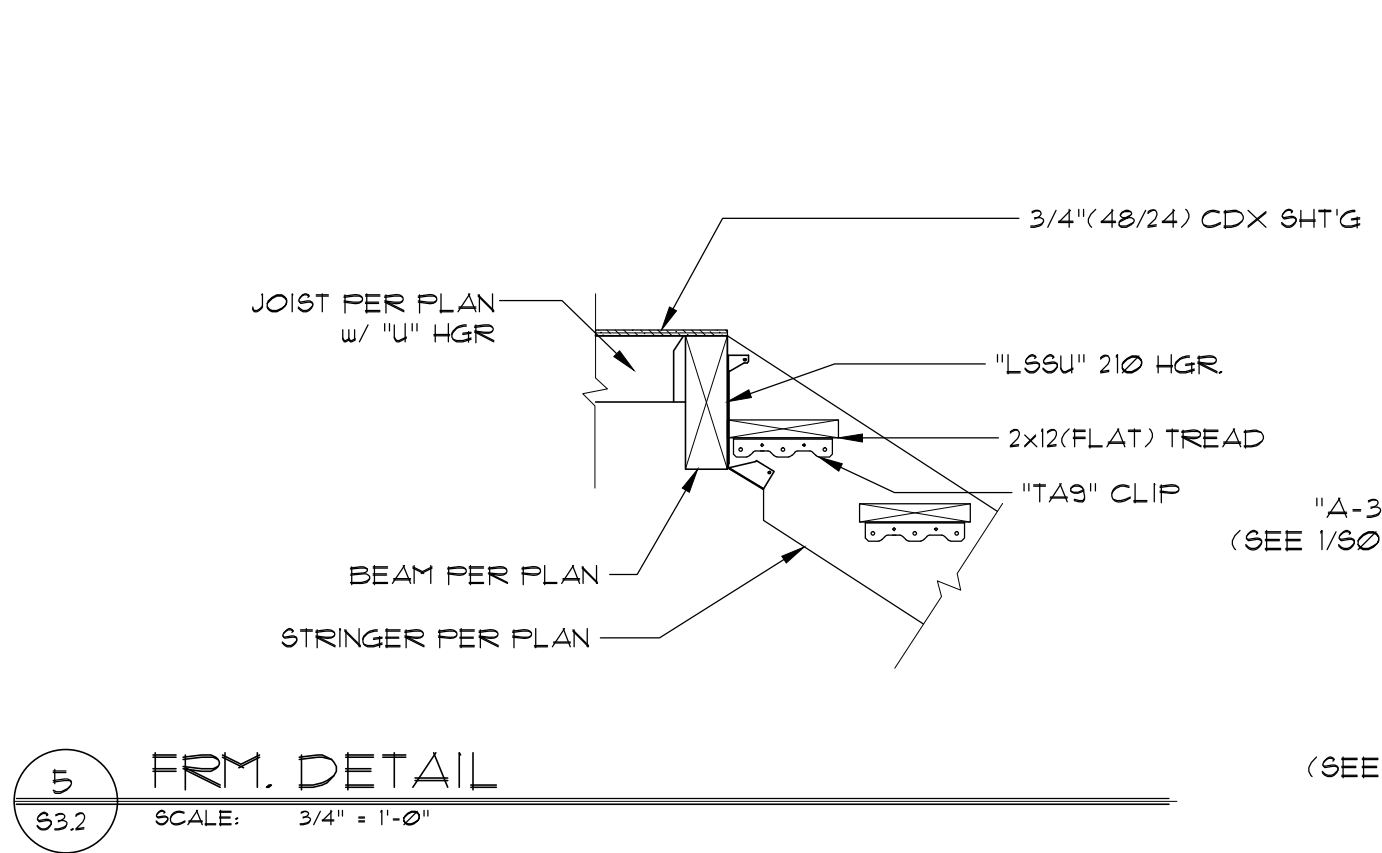
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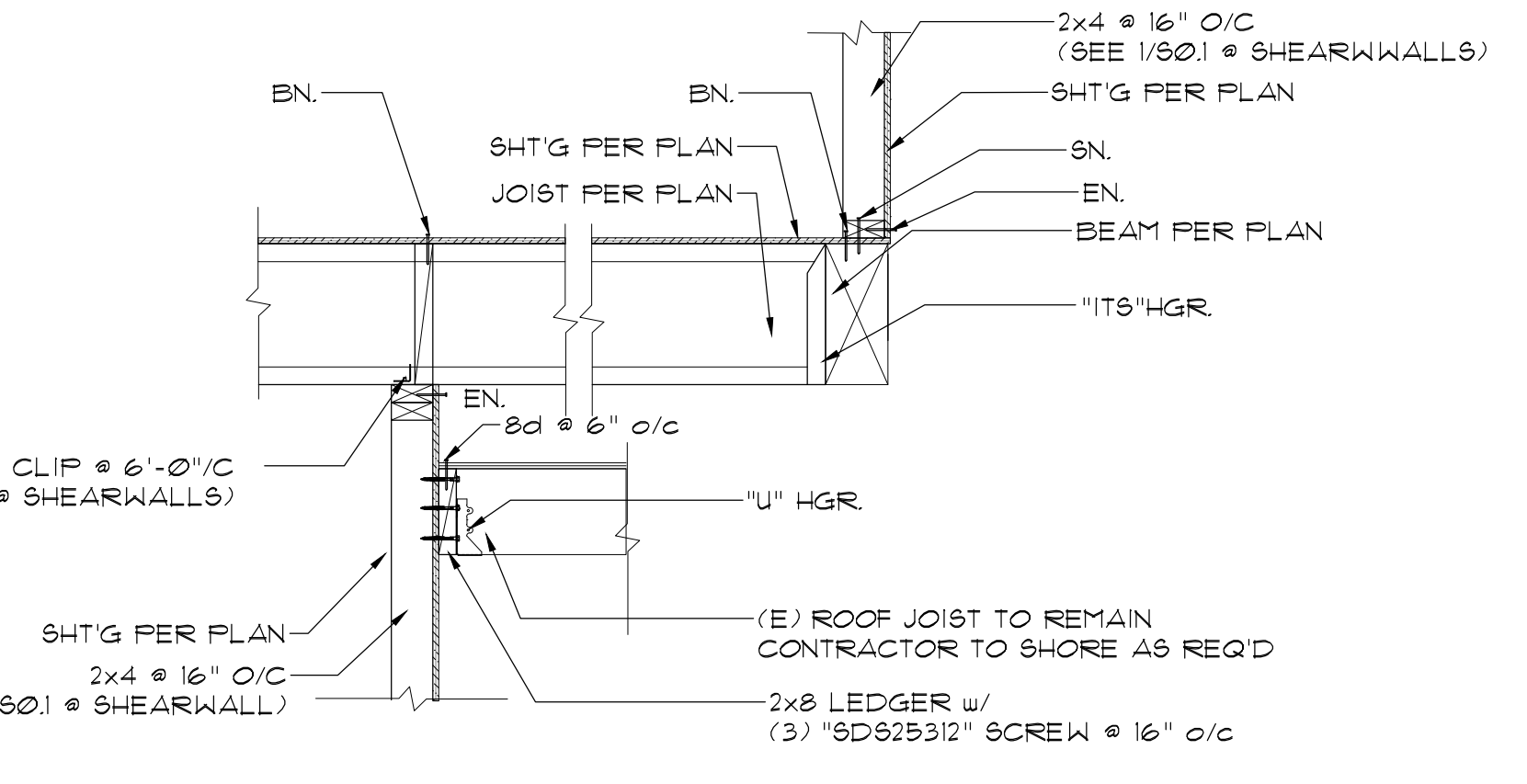
9 FND. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



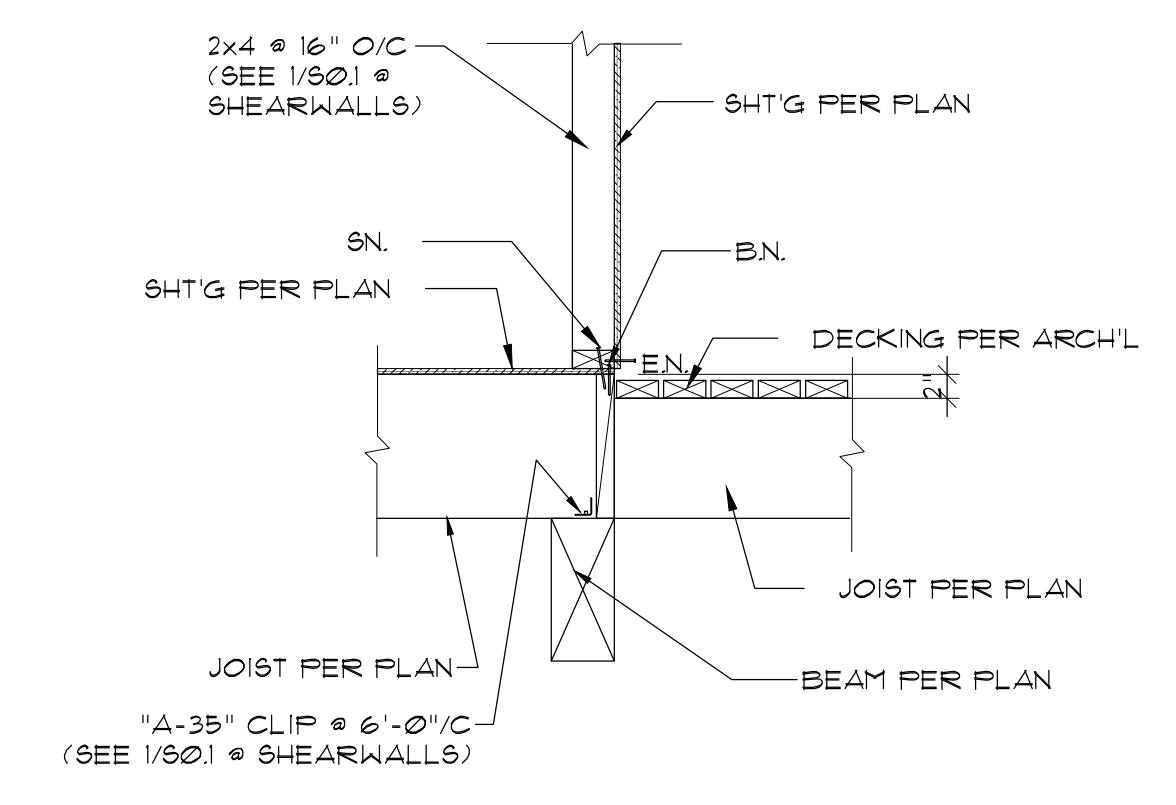
10 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



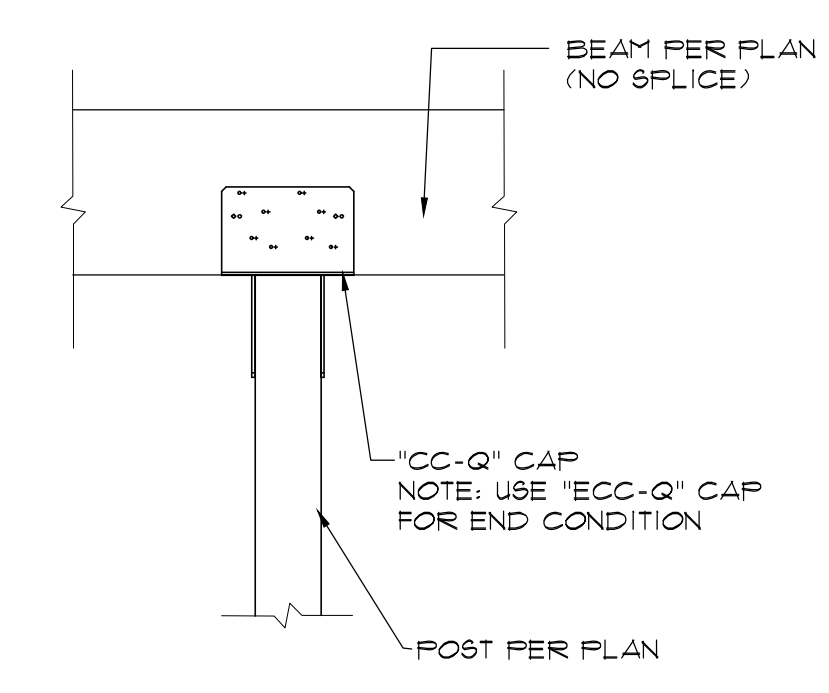
5 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



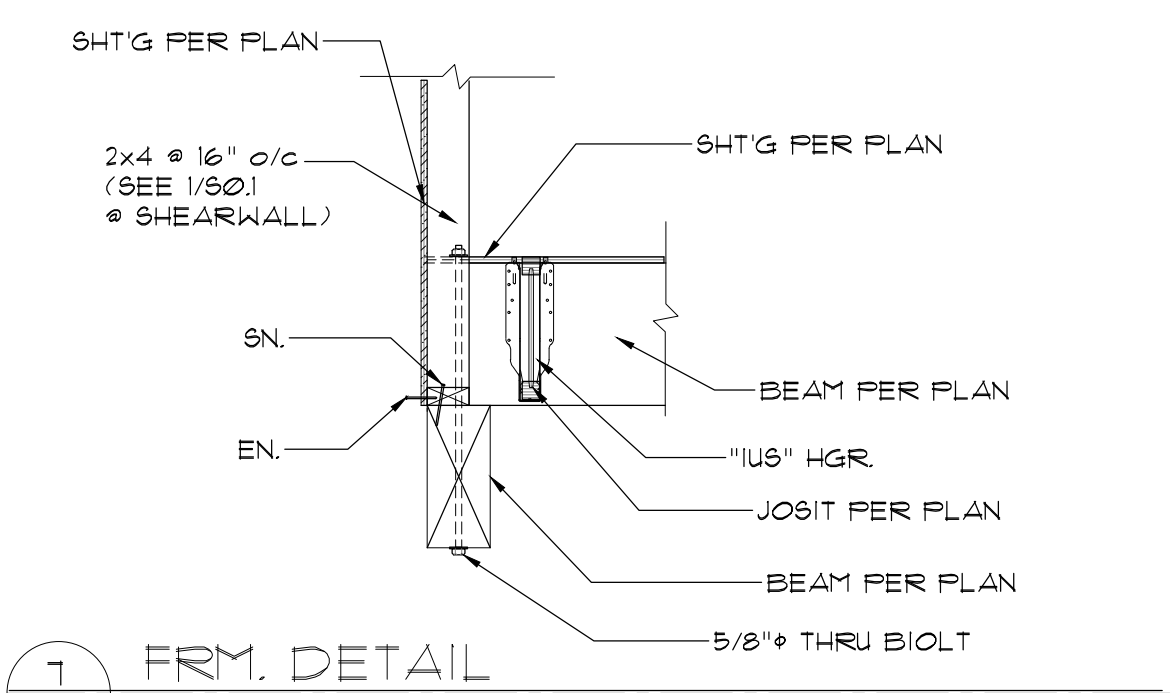
1 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



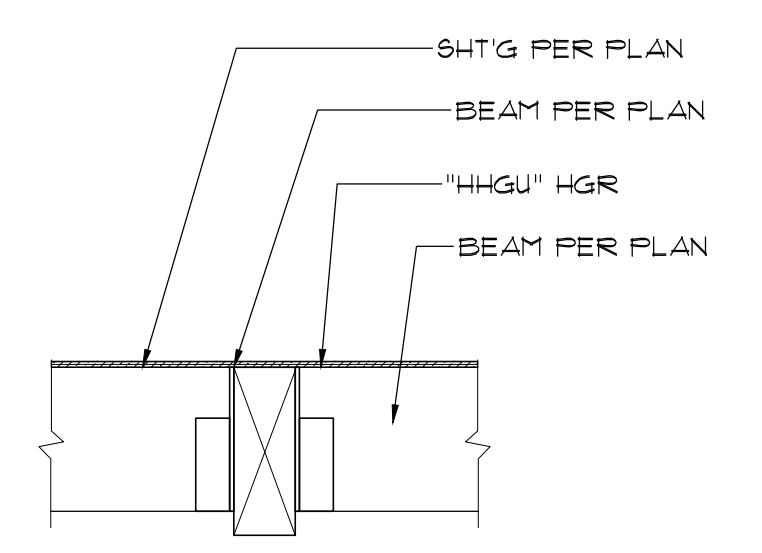
6 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



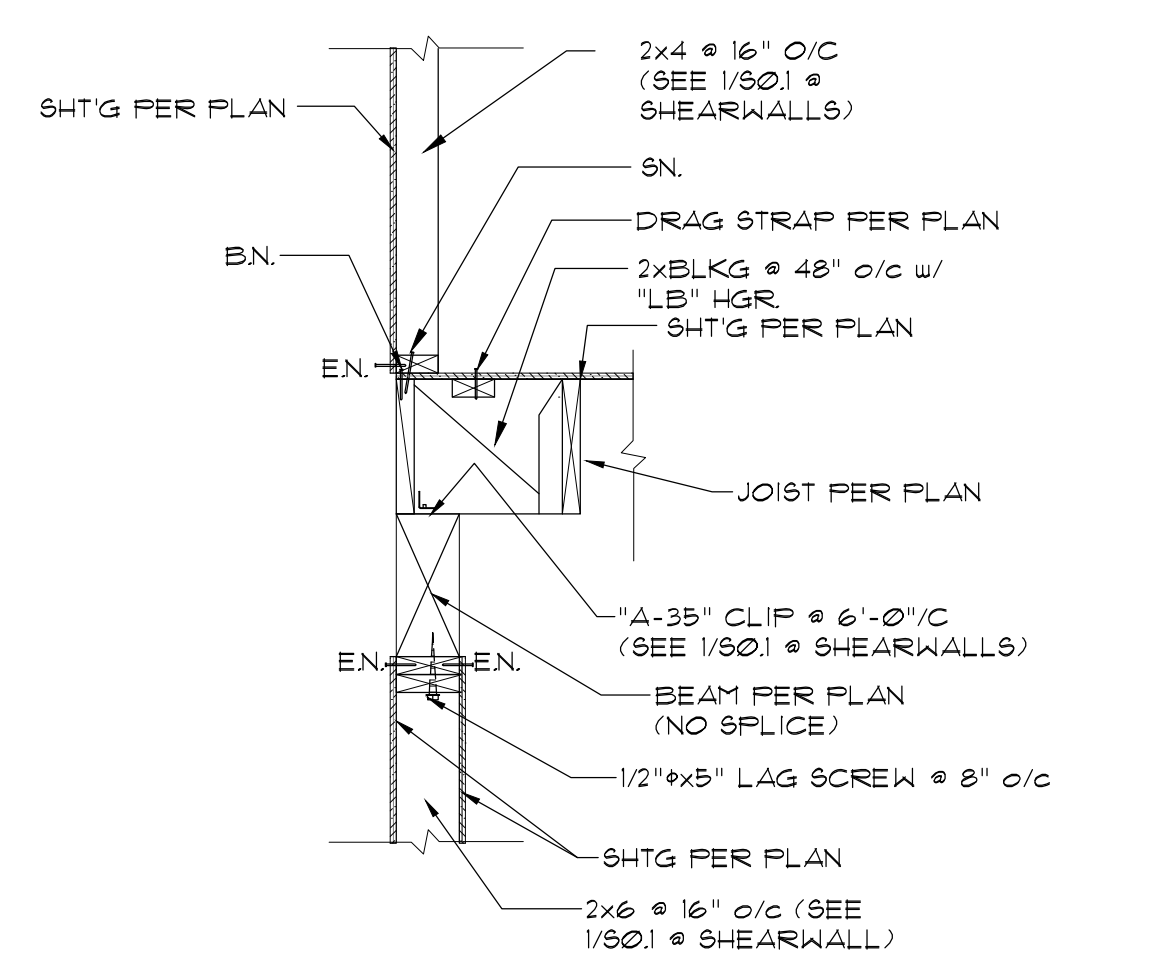
2 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



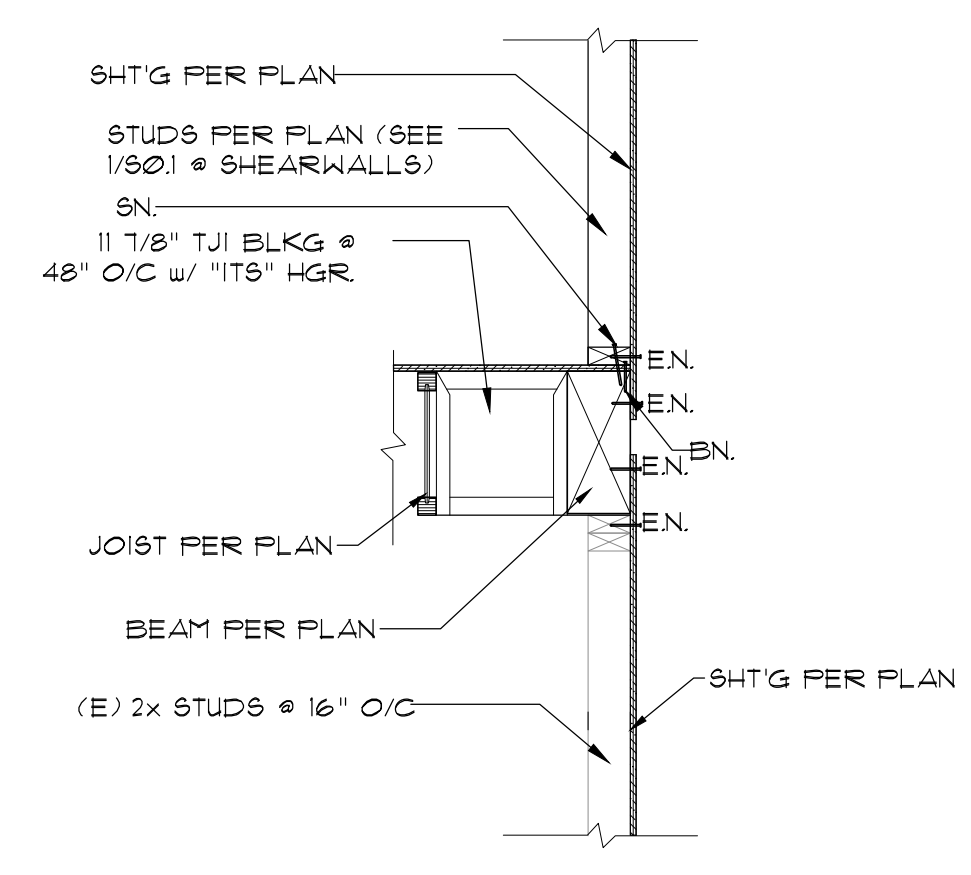
7 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



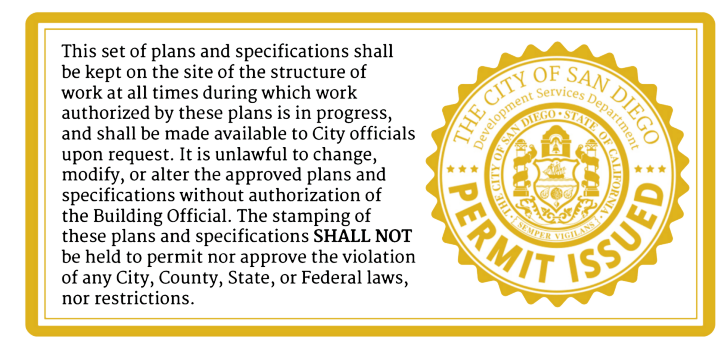
3 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



8 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



4 FRM. DETAIL  
83.2 SCALE: 3/4" = 1'-0"



5/24/2023, 10:49:52 AM  
PRJ-1071757  
Diego Garcia

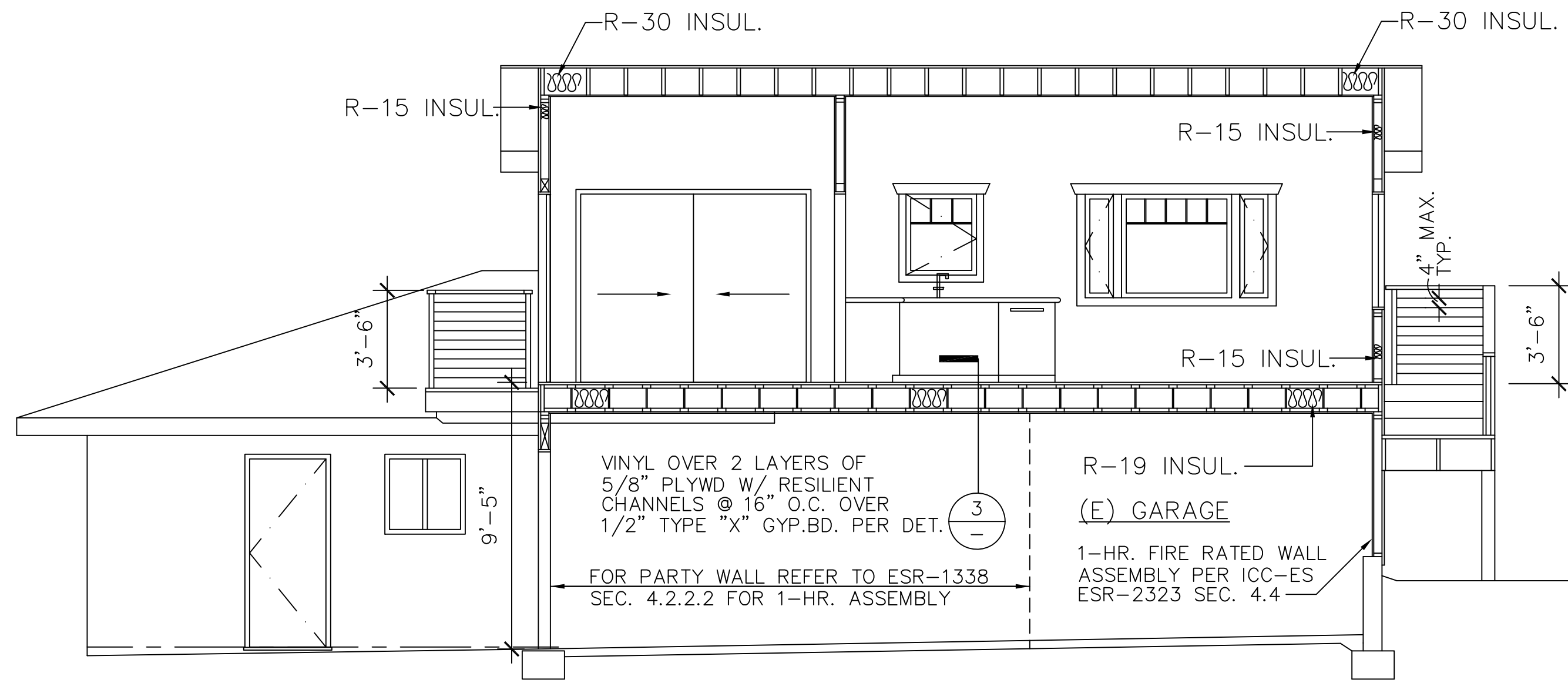


2-16-23

New Accessory Dwelling Unit  
@ 4579 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect

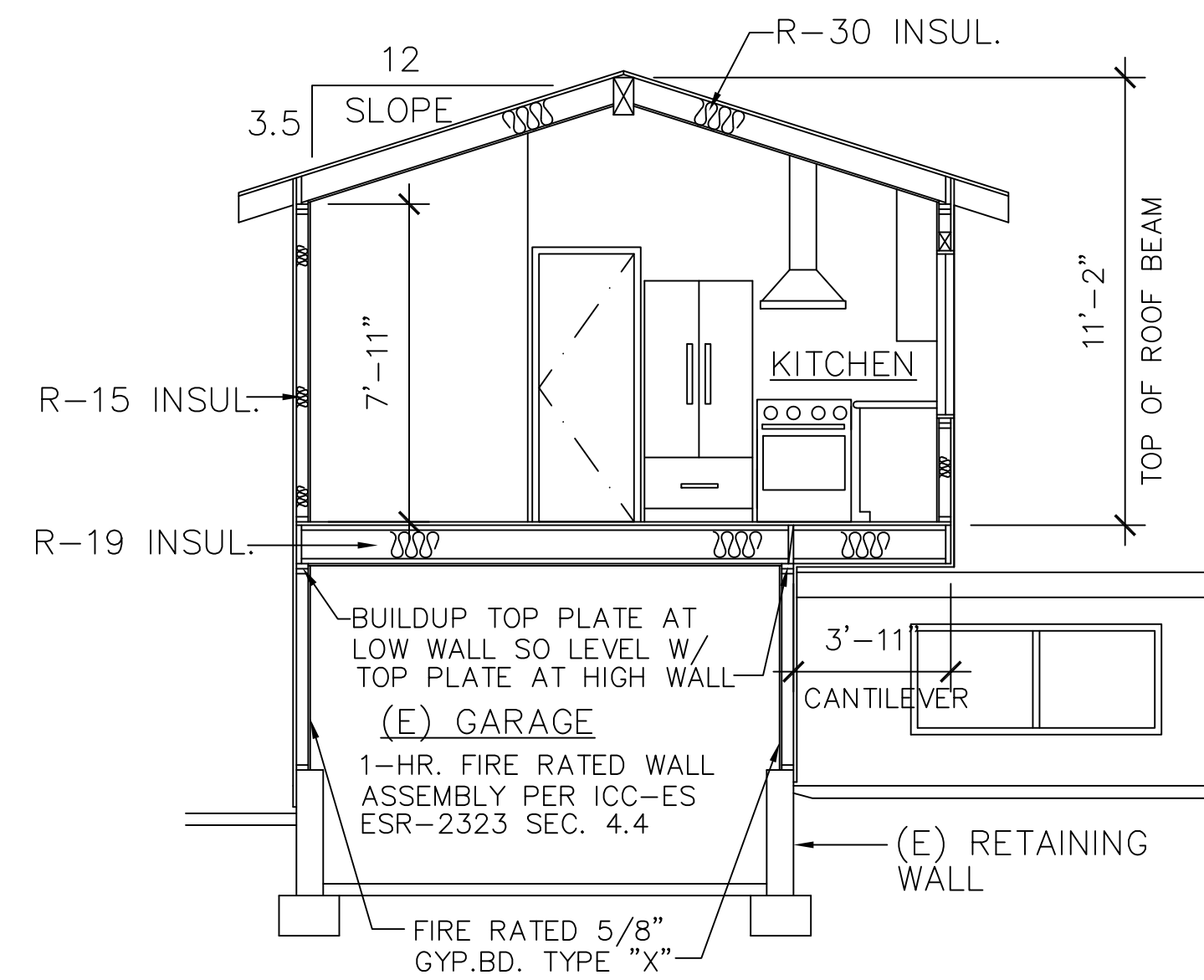
STRUCTURAL  
DETAILS

S3.2



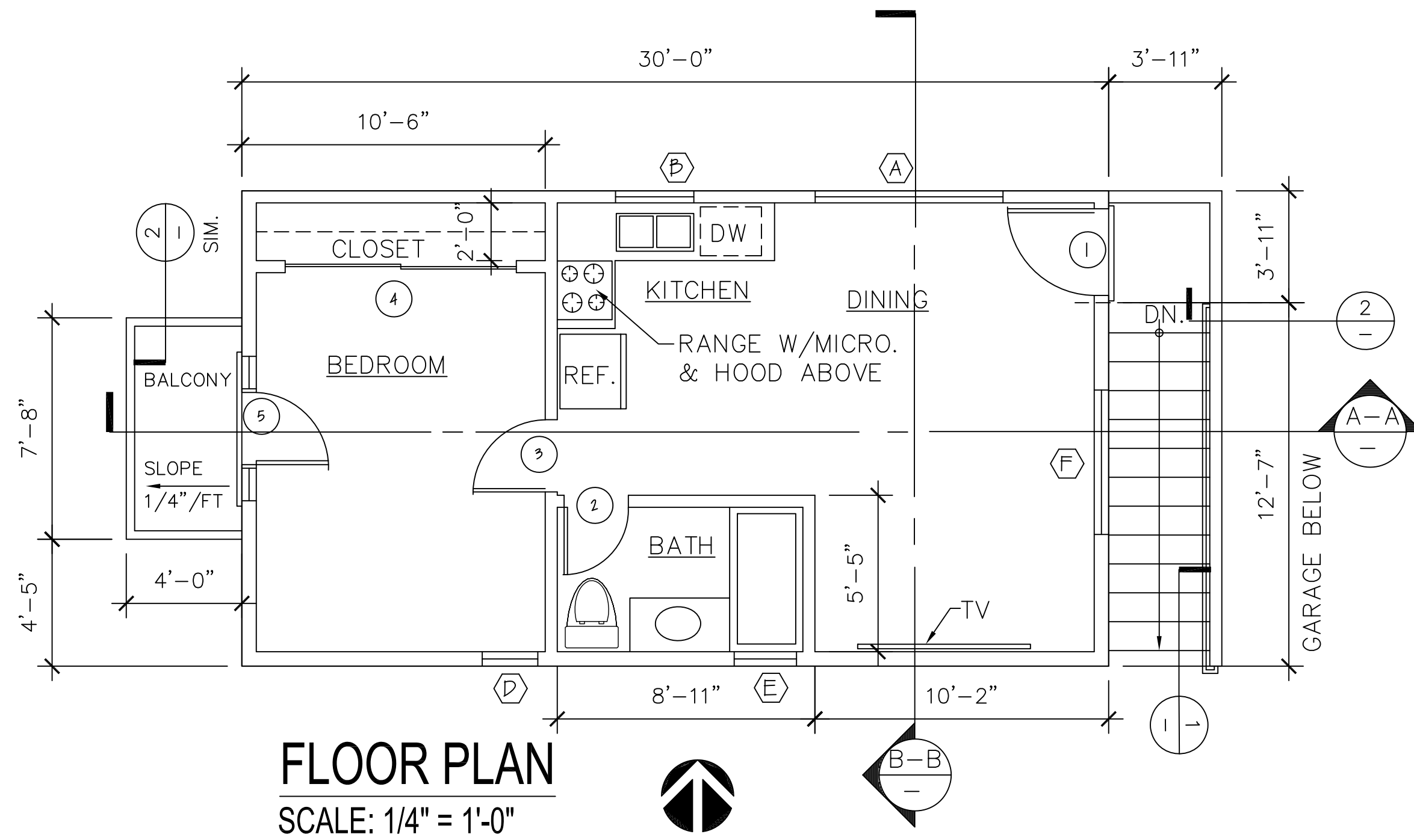
**SECTION A-A**

SCALE: 1/4" = 1'-0"



**SECTION B-B**

SCALE: 1/4" = 1'-0"



**FLOOR PLAN**

SCALE: 1/4" = 1'-0"

**DOOR SCHEDULE (ADU)**

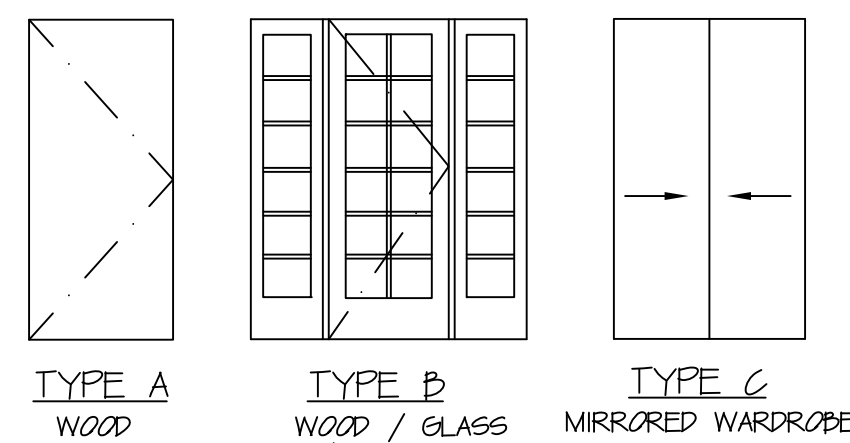
DOOR NO.	DOOR TYPE	DIMENSION WIDTH	HEIGHT	THK.	HARDWARE GROUP	REMARKS
1	A	3'-0"	6'-8"	1-3/4"	DEAD-BOLT	
2	A	2'-4"	6'-8"	1-3/8"	PRIVACY	
3	A	2'-6"	6'-8"	1-3/8"	PRIVACY	
4	C	8'-0"	6'-8"			
5	D	6'-0"	6'-8"		DEAD-BOLT	

NOTE: U-FACTOR: 0.3, SHGC: 0.23 (TYP.)

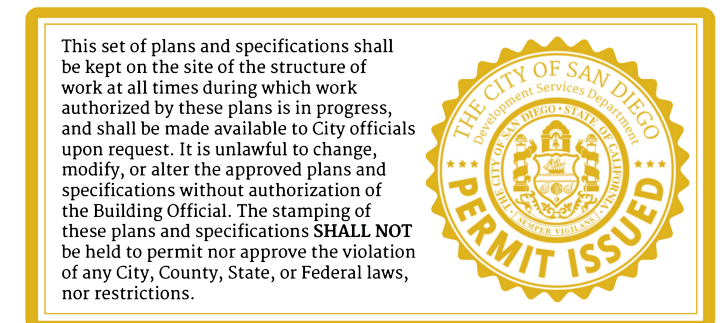
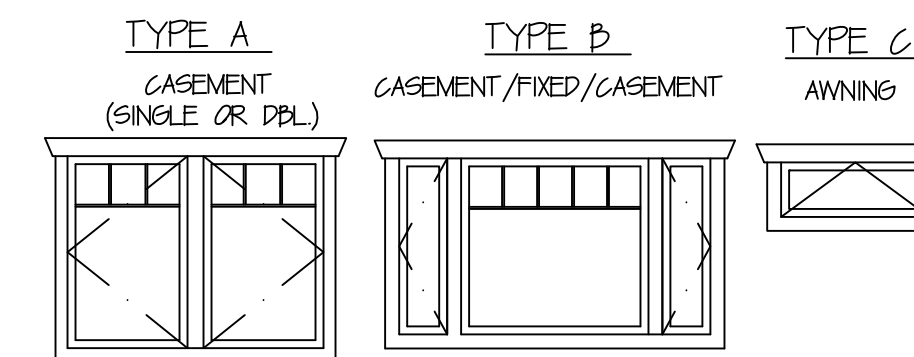
**NEW WINDOW SCHEDULE (ADU)**

WINDOW NO.	W	SIZE H	TYPE	REMARKS
A	6'-6"	3'-8"	D	
B	2'-6"	3'-2"	A	
C	NOT USED			
D	2'-6"	4'-0"	A	
E	3'-0"	1'-2"	C	
F	5'-4"	4'-0"	A	

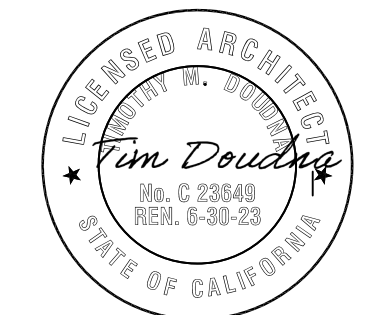
**DOOR TYPES**



**WINDOW TYPES**



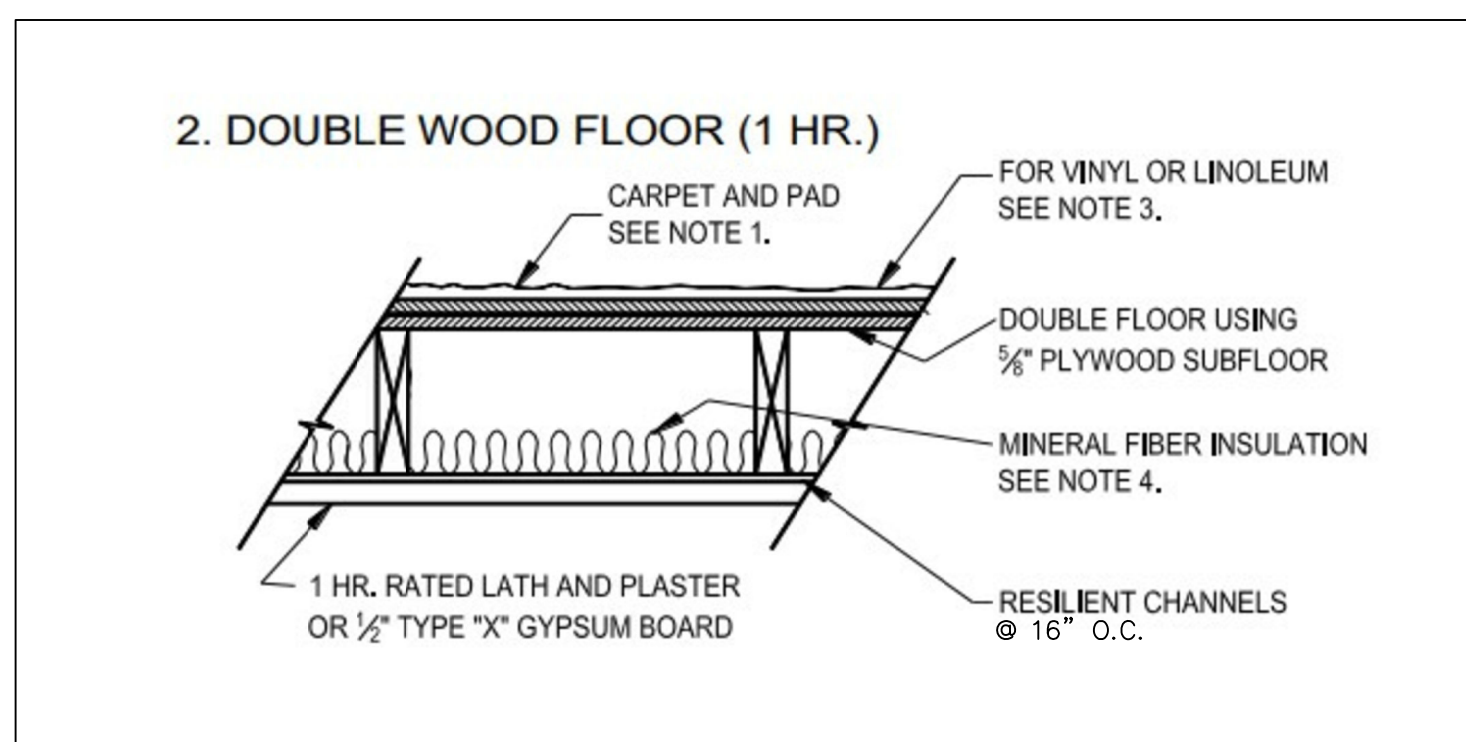
5/24/2023, 10:49:52 AM  
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**New Accessory Dwelling Unit  
@ 4579 Pescadero Ave.  
San Diego, CA 92107  
Timothy M. Doudna, Architect**

**FLOOR PLAN, SECTIONS &  
SCHEDULES**

**A2**

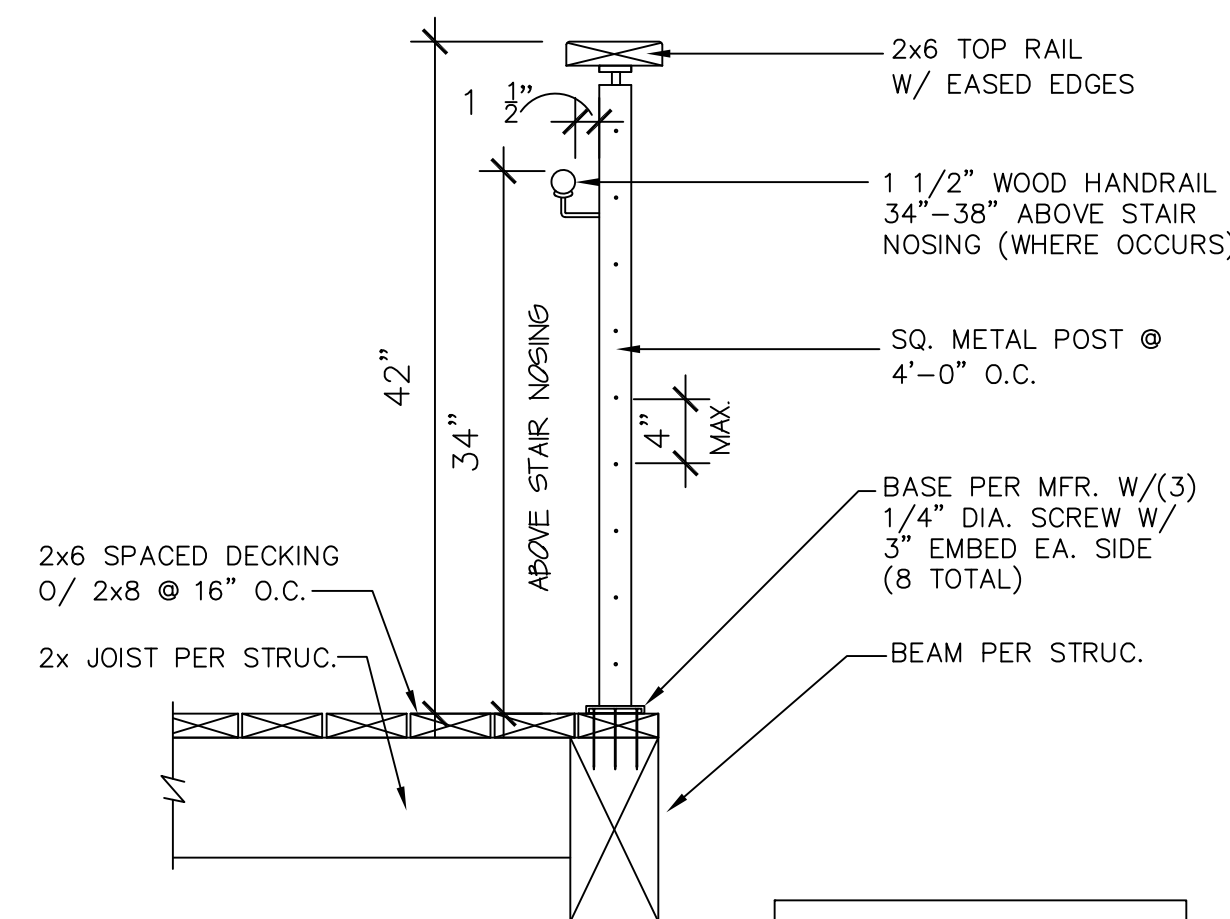


**GENERAL NOTES**

- 13 OZ. FACE CARPET (31 OZ. TOT) AND 40 OZ. JUTTED PAD, OR 48 OZ. FOAM RUBBER, OR 3/8" REBONDED URETHANE FOAM 94 PCF), URETHANE FOAM (2.4 PCF).
- TYPE AND SPACING OF RESILIENT CHANNELS AND THE ATTACHMENT OF CHANNELS AND GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR FIRE RATINGS.
- SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH 1/8" MIN. THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS.
- THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER AS DETERMINED BY FEDERAL SPECIFICATION HH-521E.

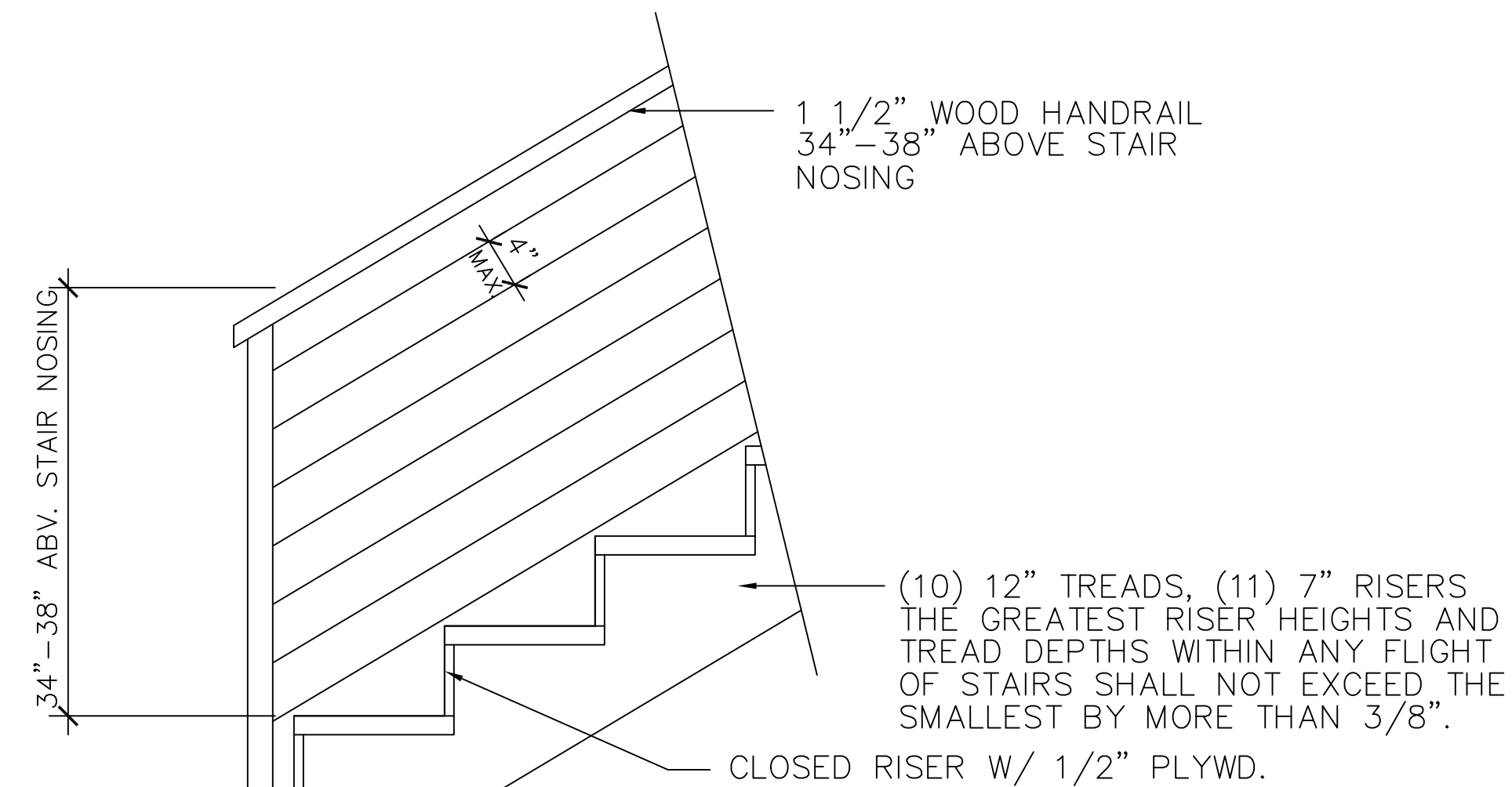
**FIRE / SOUND RATED FLOOR-CEILING CONSTRUCTION**

3



**GUARDRAIL**

2



**WOOD STAIR**

1

**FIRE / SOUND RATED FLOOR-CEILING CONSTRUCTION**