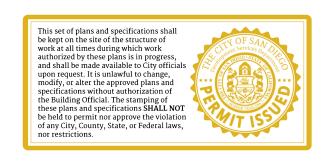
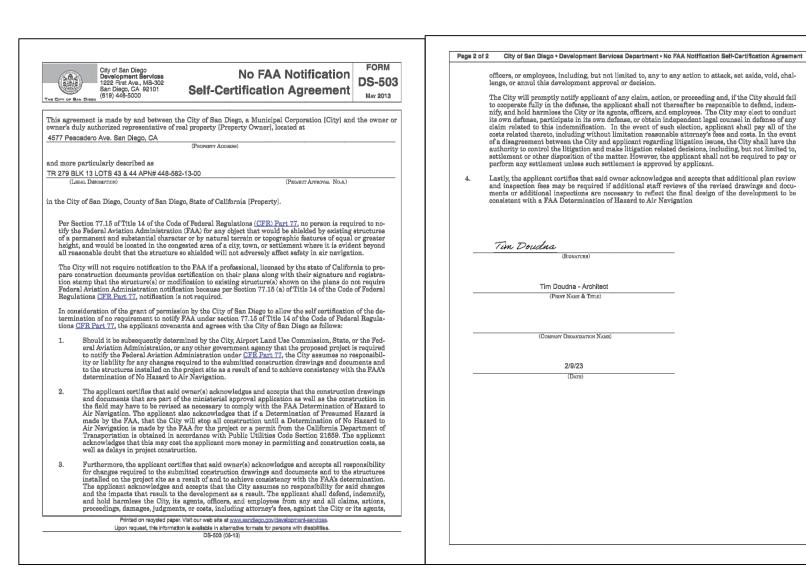
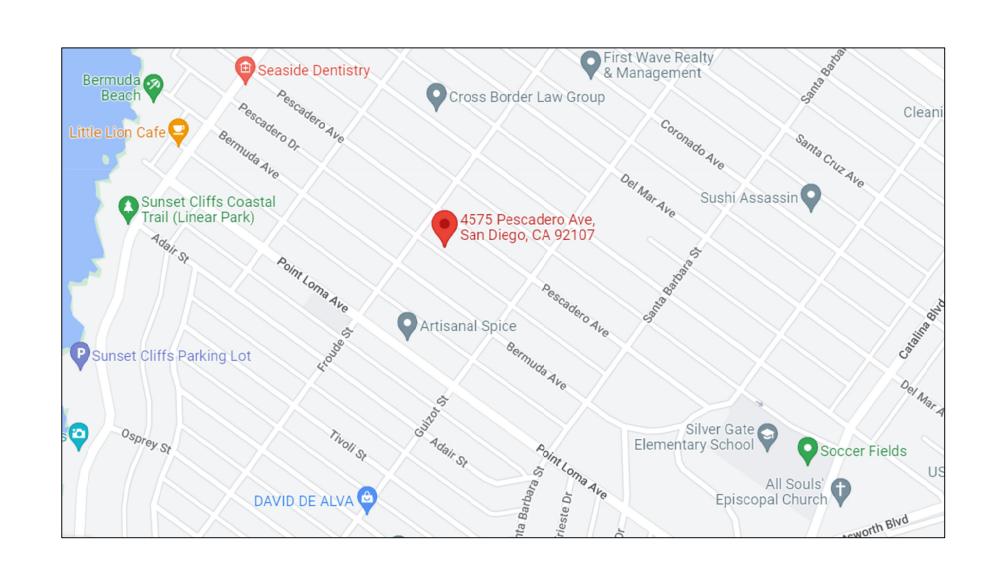
at 4579 PESCADERO AVE. SAN DIEGO, CA 92107



5/24/2023, 10:50:21 AM PRJ-1071757 Diego Garcia



NO FAA NOTIFICATION SELF-CERTIFICATION AGREEMENT



VICINITY MAP

	PROPERTY LINE
INDICATES SLOPE	SLOPING SURFACE
2	– DETAIL NUMBER
A4 /	– SHEET DETAIL APPEARS ON
	– SECTION NUMBER
A4 (– SHEET SECTION APPEARS ON
	CONCRETE
	SOIL
	CONCRETE MASONRY UNIT
	PLYWOOD
	STEEL
	WD. BLOCKING
	WD. CONT. MEMBER
12	KEY NOTE
A	DOOR NUMBER REFERENCE
1	WINDOW NUMBER REFERENCE
4A>	WALL TYPE REFERENCE
22	
23 A1.5	INTERIOR ELEVATION

DEFERRED SUBMITTALS

NOTE: PLANS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED IN A TIMELY MANNER BUT NOT LESS THAN 30 BUSINESS DAYS PRIOR TO INSTALLATION FOR CITY REVIEW AND APPROVAL.

THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

THE REGISTERED AND RESPONSIBLE DESIGN PROFESSIONAL SHALL REVIEW THE DEFERRED SUBMITTAL DOCUMENTS AND SUBMIT THEM TO THE BUILDING OFFICIAL WITH ANNOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING.

\forall	DIAMETER	r D	FIDE DI ANIZET	0/	OVER
Ø &	DIAMETER	F.B.	FIRE BLANKET	O.C.	ON CENTER
.	AND	F.D.	FLOOR DRAIN	OPN'G	OPENING
¢	CENTERLINE	FDN.	FOUNDATION		
				OPP.	OPPOSITE
#	POUND OR NUMBER	F.E.	FIRE EXTINGUISHER	OFOI	OWNER FURNISHED
		F.E.C.	FIRE EXTINGUISHER CABINET		OWNER INSTALLED
A.B.	ANCHOR BOLT	F.F.	FINISH FLOOR	PB	PULL BOX
		г.г.	FINISH FLOOR	PERF.	PERFORATED
ABV.	ABOVE	FIN.	FINISH	PL.	PLATE OR PLASTIC
ACOUST.	ACOUSTICAL	FIXT.	FIXTURE		
A.C.	ASPHALT CONCRETE			PLAST.	PLASTER
		FLASH'G	FLASHING	PLYWD.	PLYWOOD
ADJ.	ADJUSTIBLE	FLR.	FLOOR	PR.	PAIR
A.F.F.	ABOVE FINISH FLOOR				
A.F.G.	ABOVE FINISH GRADE	F.O.C.	FACE OF CONCRETE	PROJ.	PROJECTION
		F.O.F.	FACE OF FINISH	P.T.D.F.	PRESSURE TREATED
ALUM.	ALUMINUM	F.O.M.	FACE OF MASONRY	1.1.0.1.	DOUGLAS FIR
ARCH.	ARCHITECTURAL	F.O.S.	FACE OF STUD		DOUGLAS FIR
					DADILIC
D.D.	DOADD	FRAM'G	FRAMING	R OR RAD	RADIUS
BD.	BOARD	FRP	FIBERGLASS REINFORCED POLYESTER	R.D.	ROOF DRAIN
BLDG	BUILDING			REF.	REFRIGERATOR OR REFLECTED
BLKG.	BLOCKING	FT.	FOOT OR FEET		
		FTG.	FOOTING	REINF.	REINFORCED OR REINFORCEMENT
BM.	BEAM	F.V.	FIELD VERIFY	REQ.	REQUIRED
ВОТ.	ВОТТОМ	1. V.	TILLD VLIMIT	RET.	
					RETAINING
				RF.	ROOF
CAB.	CABINET			RM.	ROOM
C.B.	CATCH BASIN			ROOF'G	ROOFING
		GA.	GAUGE	11001 0	Noormo
C.I.P.	CAST IN PLACE			S.C.	SOLID CORE
C.J.	CONTROL JOINT	GALV.	GALVANIZED		
C.L.	CHAIN LINK	G.I.	GALVANIZED IRON	SCHED.	SCHEDULE
		GL.	GLASS	SHT'G	SHEATHING
CLG.	CEILING				
CLR.	CLEAR	GLB.	GLU-LAM BEAM	SHT.	SHEET
CMU	CONCRETE MASONRY UNIT	GOVN'T	GOVERNMENT	SIM.	SIMILAR
		GYP. BD.	GYPSUM BOARD	SQ.	SQUARE
C.O.	CLEAN OUT	011.00.	311 33111 B37111B	STD.	STANDARD
COL.	COLUMN				
CONC.	CONCRETE	11.6	LIANDICADDED	STL.	STEEL
CONSTR.	CONSTRUCTION	H.C.	HANDICAPPED	STOR.	STORAGE
		H.D.	HOLD DOWN	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	HDWR.	HARDWARE	SUSP.	SUSPENDED
CORR.	CORRIDOR	HDR.	HEADER	303F.	SOSPENDED
CSWK	CASEWORK				
COVIK	CASEVVOIR	HGR.	HANGER		
		HORIZ. or H	HORIZONTAL		
				T&B	TOP & BOTTOM
DBL.	DOUBLE	H.M.	HOLLOW METAL		
DF.	DOUGLAS FIR	HR	HOUR	T&G	TONGUE & GROOVE
DG	DECOMPOSED GRANITE	HT.	HEIGHT	TEL.	TELEPHONE
DIA.	DIAMETER			TEMP.	TEMPERED
DIAG.	DIAGONAL	INSUL.	INSULATION	TERR.	TERRAZZO
DIM.	DIMENSION	INT.	INTERIOR	T.O.	TOP OF
DISP.	DISPENSER			T.W.	TOP OF WALL
		JT.	JOINT	T.P.	TOILET PAPER
DN.	DOWN	JST.	JOIST		TOTELT TYTI EN
DR.	DOOR	JS1.	10121		
D.S.	DOWN SPOUT				
		LAM.	LAMINATE		
DWG	DRAWING			U.N.O.	UNLESS NOTED OTHERWISE
(E)	EXISTING	LAV.	LAVATORY		
EA	EACH	LT.	LIGHT	U.O.N.	UNLESS OTHERWISE NOTED
				V.C.T	VINYL COMPOSITION TILE
E.J.	EXPANSION JOINT			VERT. or V	VERTICAL
ELECT.	ELECTRICAL	MFR.	MANUFACTURER	VEIVI. OI V	VERTICAL
ELEV.	ELEVATION	MATR'L	MATERIAL		
				W/	WITH
ENCL.	ENCLOSURE	MAX.	MAXIMUM	W.C.	WATERCLOSET
EQ.	EQUAL	M.B.	MACHINE BOLT		
EQUIP.	EQUIPMENT	MECH.	MECHANICAL	WD.	WOOD
				W.J.	WEAKENED JOINT
EXIST.	EXISTING	MIN.	MINIMUM	W.P.	WATERPROOF
EXT.	EXTERIOR	MIN	MINUTE	W.R.	WATER RESISTANT
	EXTERIOR		NAICCELLANICOLIC	**	
	EXTERIOR	MISC.	MISCELLANEOUS	\	WEIGHT
	EXTERIOR			WT.	WEIGHT
	EXTERIOR	M.O.	MASONRY OPENING	WT. W.W.F.	WEIGHT WELDED WIRE FABRIC
	EXTERIOR	M.O. M.R.	MASONRY OPENING MOISTURE RESISTANT		
	EXTERIOR	M.O.	MASONRY OPENING		
	EXTERIOR	M.O. M.R. MTL.	MASONRY OPENING MOISTURE RESISTANT		
	EXTERIOR	M.O. M.R.	MASONRY OPENING MOISTURE RESISTANT METAL		

NO. OR#

NUMBER

NOT TO SCALE

SYMBOLS AND ABBREVIATIONS

PROJECT DATA

<u>OWNER</u> REBECCA TORRES & JESSICA WILKINSON 3620 HYACINTH DR. SAN DIEGO, CA 92/06 (858) 228-7453 ARCHITECT TIM DOUDNA C-23649 4403 AD ASTRA WAY LA MESA, CA 91941 (619) 666-2555

STRUCTURAL ENGINEER SHOP ENGINEERING

STRUCTURAL CONSULTING ENGINEERS SAN DIEGO, CA (858) 273-3|58

PROJECT ADDRESS 4579 PESCADERO AVE. SAN DIEGO, CA 92/07

LEGAL DESCRIPTION TR 279 BLK 13 LOTS 43 & 44 APN #448-582-13-00 COUNTY OF SAN DIEGO STATE OF CALIFORNIA.

7,000 SF

OVER

OCCUPANCY GROUP
ZONE RM-|-| RESIDENTIAL-MULTI-UNIT

TYPE OF CONSTRUCTION V-B NOT SPRINKLERED

YEAR BUILT 1967

PROJECT SCOPE BUILD A NEW 494 SF ADU OVER AN ATTACHED EXISTING GARAGE.

AREA CALCULATIONS FAR .75 \times 7,000 SF = 5,250 SF AREA ALLOWED EXISTING FRONT HOUSE (INCLUDING GARAGE): 1,014 SF EXISTING BACK HOUSE (INCLUDING GARAGE): 1,259 SF FRONT HOUSE (AFTER ADDITION): 2,452 SF NEW ADU: 494 SF

APPLICABLE BUILDING CODES

TOTAL AREA: 4,205 SF

ALL CONSTRUCTION SHALL CONFORM WITH THE 2019 CALIFORNIA BUILDING, PLUMBING, MECHANICAL AND ELECTRICAL CODES, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE & 2019 CRC.

SHEET INDEX

ARCHITECTURAL TS TITLE, SHEET INDEX, ABBREV., VICINITY MAP TI T-24 CERTIFICATE OF COMPLIANCE T2 MANDATORY MEASURES BMP-| BMP PLAN AND NOTES A-| SITE / ROOF PLAN, EXISTING ELEVATIONS A-2 FLOOR PLAN / SECTIONS / SCHEDULES A-3 EXTERIOR ELEVATIONS A-4 MECHANICAL & ELECTRICAL PLANS

STRUCTURAL

STRUCTURAL DETAILS
STRUCTURAL NOTES
FOUNDATION & FRAMING PLANS
STRUCTURAL DETAILS
STRUCTURAL DETAILS



New Accessory Dwelling Unit @ 4579 Pescadero Ave. San Diego, CA 92107 Timothy M. Doudna, Architect

TITLE SHEET

5/24/2023, 10:50:21 AM PRJ-1071757 Diego Garcia

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: 4575-77 PESCADERO AVENUE ADU (AA1) Calculation Date/Time: 2022-09-19T15:09:52-07:00 (Page 7 of 9) Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19 Calculation Description: TITLE 24 COMPLIANCE

LINVA C LIEAT DUBARC	LIEBS VEDIEISATION							
HVAC HEAT PUMPS -	HERS VERIFICATION							
01	02	03	04	05	06	07	08	09
Name	Verified Airflow	Airflow Target	Verified EER	Verified SEER	Verified Refrigerant Charge	Verified HSPF	Verified Heating Cap 47	Verified Heating Cap 17
Heat Pump System 1-hers-htpump	Required	350	Not Required	Not Required	Yes	No	Yes	Yes

HVAC - DIST	RIBUTION SYSTEMS														
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16
			Duct Ins	. R-value	Duct Lo	ocation	Surfac	e Area							
Name	Туре	Design Type	Supply	Return	Supply	Return	Supply	Return	Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
Ducts	Conditioned space - except 12ft	Non- Verified	R-6	R-6	Condit ioned Zone	Condit ioned Zone	n/a	n/a	No Bypass Duct	Sealed and Tested	Ducts- hers-dist	New	n/a	n/a	n/a

			Call		9,	100		
HVAC DISTRIBUTION	- HERS VERIFICATION		HERS	PRO	VIDI	E R		
01	02	03	04	05	06	07	08	09
Name	Duct Leakage Verification	Duct Leakage Target (%)	Verified Duct Location	Verified Duct Design	Buried Ducts	Deeply Buried Ducts	Low-leakage Air Handler	Low Leakage Ducts Entirely in Conditioned Space
Ducts-hers-dist	Yes	5.0	Required	Not Required	Not Required	Credit not taken	Not Required	No

01	02	03	04
Name	Туре	Fan Power (Watts/CFM)	Name
HVAC Fan	HVAC Fan	0.45	HVAC Fan-hers-fan

CalCERTS inc.

Registration Number:	Registration Date/Time:	HERS Provider:
222-P010186611A-000-000-0000000-0000	2022-09-19 16:33:26	CalCERTS inc
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-19 15:10:41

CERTIFICATE OF COMPLIANCE		CF1R-PRF-01E
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)	Calculation Date/Time: 2022-09-19T15:09:52-07:00	(Page 8 of 9)
Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19	

01	02	03
Name	Verified Fan Watt Draw	Required Fan Efficacy (Watts/CFM)
HVAC Fan-hers-fan	Required	0.45

Q (INDOOR AIR QUALITY) FANS								
01	02	03	04	05	06	07		
Dwelling Unit	IAQ CFM	IAQ Watts/CFM	IAQ Fan Type	IAQ Recovery Effectiveness - SRE	IAQ Recovery Effectiveness - ASRE	HERS Verification		
SFam ADU IAQVentRpt	30	0.35	Exhaust	n/a	n/a	Yes		



istration Number:	Registration Date/Time:	HERS Provider:	
222-P010186611A-000-000-0000000-0000	2022-09-19 16:33:26		CalCERTS inc.
Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-19 1	15:10:41

CERTIFICATE OF COMPLIANCE	CF1R-PRF-0
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)	Calculation Date/Time: 2022-09-19T15:09:52-07:00 (Page 9 of
Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19
DOCUMENTATION AUTHOR'S DECLARATION STATEMENT	
1. I certify that this Certificate of Compliance documentation is accurate and complete.	
Documentation Author Name:	Documentation Author Signature:
LAWRENCE GORDON	***************************************
Company:	Signature Date:
LRG DESIGNS,LLC	2022-09-19 16:15:18
Address:	CEA/ HERS Certification Identification (If applicable):
1207 W. 112TH STREET	
City/State/Zip:	Phone:
LOS ANGELES, CA 90044	323-955-9827
RESPONSIBLE PERSON'S DECLARATION STATEMENT	
, , , , , ,	rtificate of Compliance conform to the requirements of Title 24, Part 1 and Part 6 of the California Code of Regulations. f Compliance are consistent with the information provided on other applicable compliance documents, worksheets,
Responsible Designer Name: Tim Doudna	Responsible Designer Signature: Tim Doudna
Company: Tim Doudna, Architect	Date Signed: 2022-09-19 16:33:26
Address: 4403 Ad Astra Way	License: c23649
City/State/Zip: La Mesa, CA 91941	Phone: 619-666-2555

Digitally signed by CalCERTS. This digital signature is provided in order to secure the content of this registered document, and in no way implie
Registration Provider responsibility for the accuracy of the information.

Registration Number:	Registration Date/Time:
222-P010186611A-000-000-0000000-0000	2022-09-19 16:
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000
	Schema Version: rev 20200901

Report Generated: 2022-09-19 15:10:41

CERTIFICATE OF COMPLIANCE		CF1R-PRF-0
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)	Calculation Date/Time: 2022-09-19T15:09:52-07:00	(Page 4 of
Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19	

01	02	03	04	05	06	07	08	09	10	11	12	13	14
Name	Туре	Surface	Orientation	Azimuth	Width (ft)	Height (ft)	Mult.	Area (ft ²)	U-factor	U-factor Source	SHGC	SHGC Sourc e	Exterior Shading
Window E(1)	Window	LEFT EXTERIOR WALL 1	Left	142	3	1.166	1	3.5	0.3	NFRC	0.23	NFRC	Bug Screen
Window A(1)	Window	RIGHT EXTERIOR WALL 1	Right	322	6.5	3.67	1	23.86	0.3	NFRC	0.23	NFRC	Bug Screen
Door 5(1)	Window	REAR EXTERIOR WALL 1	Back	232	6	6.67	1	40.02	0.3	NFRC	0.23	NFRC	None
Window B(1)	Window	RIGHT EXTERIOR WALL 1	Right	322	2.5	3.166	1	7.92	0.3	NFRC	0.23	NFRC	Bug Screen
Window F(1)	Window	FRONT EXTERIOR WALL 1	Front	52	5.33	4	1	21.32	0.3	NFRC	0.23	NFRC	Bug Screen
Window D(1)	Window	LEFT EXTERIOR WALL 1	Left	142	5	4	1	20	0.3	NFRC	0.23	NFRC	Bug Screen

OPAQUE DOORS			
01	02	03	04
Name	Side of Building	Area (ft ²)	U-factor
Door 1	FRONT EXTERIOR WALL 1	20	0.2

Door 1	Door 1 FRONT EXTERIOR WALL 1 20				Door 1		D	0.2			
		H	FRS P	ROVI	DER						
PAQUE SURFACE CONSTRUCTIONS											
01	02	03	04	05	06	07	08				
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers				
R-15 Wall Stucco	Exterior Walls	Wood Framed Wall	2x4 @ 16 in. O. C.	R-15	None / None	0.095	Inside Finish: Gypsum Board Cavity / Frame: R-15 / 2x4 Exterior Finish: 3 Coat Stucco				
R-30 VAULTED CEILING	Cathedral Ceilings	Wood Framed Ceiling	2x10 @ 16 in. O. C.	R-30	None / None	0.037	Roofing: Light Roof (Asphalt Shingle) Roof Deck: Wood Siding/sheathing/decking Cavity / Frame: R-30 / 2x10 Inside Finish: Gypsum Board				

Registration Number: 222-P010186611A-000-000-000000-0000	Registration Date/Time: 2022-09-19 16:33:26	HERS Provider: CalCERTS inc.
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-19 15:10:41

CERTIFICATE OF COMPLI	ANCE						CF1R-PRF-018
Project Name: 4575-77 P	Calcu	Calculation Date/Time: 2022-09-19T15:09:52-07:00 (Pag					
Calculation Description:	TITLE 24 COMPLIANO	CE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19				
DPAQUE SURFACE CONSTR	UCTIONS						
01	02	03	04	05	06	07	08
Construction Name	Surface Type	Construction Type	Framing	Total Cavity R-value	Interior / Exterior Continuous R-value	U-factor	Assembly Layers
R-19 EXTERIOR FLOOR	Exterior Floors	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.05	Floor Surface: Hardwood Floor Deck: Wood Siding/sheathing/decking

				R-value	R-value			
R-19 EXTERIOR FLOOR	Exterior Floors	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.05	Floor Surface: Hardwood Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10 Exterior Finish: 3 Coat Stucco	
R-19 INTERIOR FLOOR	Interior Floors	Wood Framed Floor	2x10 @ 16 in. O. C.	R-19	None / None	0.048	Floor Surface: Hardwood Floor Deck: Wood Siding/sheathing/decking Cavity / Frame: R-19 / 2x10 Ceiling Below Finish: Gypsum Board	
BUILDING ENVELOPE - HERS VERIFICATION								
01		02	HU FK		03		04	

Quality Insulation	Installation (QII)	High R-value Spray Foa	m Insulation	Building Envelope Air Leakage		CFM50					
Requ	ired	Not Require	ed	K O V	ot Required	n/a					
WATER HEATING SYSTEMS											
01	02	03	04		05	06	07				
Name	System Type	Distribution Type	Water Heater Name (#)		Solar Heating System	Compact Distribution	HERS Verification				

gistration Number:	Registration Date/Time:	HERS Provider:	
222-P010186611A-000-000-0000000-0000	2022-09-19 16:33:26		CalCEF

Report Version: 2019.2.000 Schema Version: rev 20200901 Report Generated: 2022-09-19 15:10:41

DHW System Domestic Hot Water Standard Distribution Tankless water heater (1) n/a None

(DHW) System

CA Building Energy Efficiency Standards - 2019 Residential Compliance

CERTIFICATE OF COMPLIANCE		CF1R-PRF-01E
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)	Calculation Date/Time: 2022-09-19T15:09:52-07:00	(Page 6 of 9)
Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd	19

WATER HEAT	ERS																			
01	02	03	04	05	06	5	07	,	08	0:	9	1	0	1	1		12		13	14
Name	Heating Element Type	Tank Type	# of Units	Tank Vol. (gal)	Ener Factor Efficie	ror	Input R or Pi	ilot F	Tank sulatio R-value nt/Ext	Loss	or	1st Ratir Flow	ng or	NEEA He Brand o		or	k Locatio Ambient ondition		Status	Verified Existing Conditio
Tankless water heater	Gas	Consumer Instantaneous	1	0	0.81-	UEF	<= 200 kBtu/hr		0	n/	n/a n/a		/a	n/a			n/a		New	n/a
WATER HEAT	ING - HERS V	ERIFICATION																		
01		02	Λ		03			04			05			06			07			08
Nam	e	Pipe Insulation		Paralle	el Pipin	g	Compa	act Distrib	ution	Compact T	Distrib ype	ution	Recir	culation C	ontrol		ntral DHV stribution	-		r Drain Wate t Recovery
DHW Syste	m - 1/1	Not Required		Not R	equired		No	ot Require	d	N	lone	li .	N	lot Require	:d	No	t Require	d	Not	Required
SPACE COND	ITIONING SYS	STEMS		4	-		H	$\overline{}$		\sqcap	-	//	н	16	0					
	01		02		(03	EF	04	P	05) \	06	D	E07 R	08		09		10	11
r	lame	Syst	em Typ	e		ating U	nit C	ooling Uni Name	it F	an Name		ributio Iame	n I	Required hermostat Type	Stat	us E	erified existing endition	Equi	ating pment ount	Cooling Equipmen Count
HVAC	System 1	Heat pump	heating	g cooling	7	eat Pum ystem 1	'	Heat Pump System 1)	IVAC Fan	С	Oucts		Setback	Ne	W	NA		1	1
01		02		03	Т	04		05	T	06	07	7	(08	09)	10)		11
HVAC - HEAT	PUMPS																1			
								Heating	ng		Cooling		ling	ng Zonall		ıllı	Compressor			

						Speed	1-116	ers-intpump
Registration Number:	Re	gistration Date/			HERS Pr	ovider:		
222-P010186611A-000-000-000000-0000			2022-09-19 1	16:33:26				CalCERTS inc
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Re	port Version: 20	19.2.000		Report (Generated: 202	2-09-19	15:10:41
	Scl	nema Version: re	ev 20200901					

CERTIFICATE OF COMPLIANCE CF1R-PRF-01E Project Name: 4575-77 PESCADERO AVENUE ADU (AA1) Calculation Date/Time: 2022-09-19T15:09:52-07:00 (Page 1 of 9) Calculation Description: TITLE 24 COMPLIANCE Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd19

01	Project Name	4575-77 PESCADERO AVENUE ADU (AA1)			
02		TITLE 24 COMPLIANCE			
03		4575-77 PESCADERO AVENUE			
04	City	SAN DIEGO, CA	05	Standards Version	2019
06	Zip code	92107	07	Software Version	CBECC-Res 2019.2.0
08	Climate Zone	7	09	Front Orientation (deg/ Cardinal)	52
10	Building Type	Single family	11	Number of Dwelling Units	1
12	Project Scope	AdditionOnly	13	Number of Bedrooms	1
14	Addition Cond. Floor Area (ft ²)	494	15	Number of Stories	1
16	Existing Cond. Floor Area (ft ²)	0	17	Fenestration Average U-factor	0.3
18	Total Cond. Floor Area (ft ²)	494	19	Glazing Percentage (%)	23.60%
20	ADU Bedroom Count		21	ADU Conditioned Floor Area	494
22	Is Natural Gas Available?	Yes	R	ISINC	

Addition Alone Project Analysis Parameter	HEI	RS PROV	/IDER		
01	02	03	04	05	06
Existing Area (excl. new addition) (ft2)	Addition Area (excl. existing) (ft2)	Total Area (ft2)	Existing Bedrooms	Addition Bedrooms	Total Bedrooms
0	494	494	0	1	1

MPLIANCE	RESULTS
01	Building Complies with Computer Performance
02	This building incorporates features that require field testing and/or verification by a certified HERS rater under the supervision of a CEC-approved HERS provider.
03	This building incorporates one or more Special Features shown below

Registration Number: 222-P010186611A-000-000-000000-0000	Registration Date/Time: 2022-09-19 16:33:26	HERS Provider:
CA Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-19 15:10:41

CERTIFICATE OF COMPLIANCE		CF1R-PRF-01E
Project Name: 4575-77 PESCADERO AVENUE ADU (AA1)	Calculation Date/Time: 2022-09-19T15:09:52-07:00	(Page 2 of 9)
Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).rib	d19

	ENERGY U	JSE SUMMARY		
Energy Use (kTDV/ft ² -yr)	Standard Design	Proposed Design	Compliance Margin	Percent Improvement
Space Heating	0.44	0.57	-0.13	-29.5
Space Cooling	22.44	20.12	2.32	10.3
IAQ Ventilation	5.1	5.1	0	0
Water Heating	34.18	34.18	0	0
Self Utilization/Flexibility Credit	n/a	0	0	n/a
Compliance Energy Total	62.16	59.97	2.19	3.5

REQUIRED SPECIAL FEATURES	
The following are features that must be installed as condition for meeting the modeled energy performance for this computer analysis.	
Non-standard duct location (any location other than attic)	

HERS FEATURE SUMMARY			DTC	10.0	
The following is a summary of the features that must detail is provided in the buildng tables below. Registe				0	mance for this computer analysis. Additional
Building-level Verifications: Quality insulation installation (QII)	HE	RSF	ROV	IDER	

Building-level Verifications:	Н	Е	RS	Р	R	0	\vee	Е	R			
Quality insulation installation (QII)												
Indoor air quality ventilation												
Kitchen range hood												
Cooling System Verifications:												
Minimum Airflow												
Verified Refrigerant Charge												
Fan Efficacy Watts/CFM												

Heat	ing System Verifications:
•	Verified heat pump rated heating capacity
HVA	C Distribution System Verifications:
•	Duct leakage testing
•	Ducts located within the conditioned space (except < 12 lineal ft)
Dom	estic Hot Water System Verifications:
•	None

Registration Number: 222-P010186611A-000-000-000000-0000	Registration Date/Time: 2022-09-19 16:33:26	HERS Provider:
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Calculation Description: TITLE 24 COMPLIANCE	Input File Name: 4575-77 PESCADERO ADU ADDITION (AA1).ribd1	e

01		02	03		04	05	06			07
Zone Name	Zo	one Type H	VAC System Name	Zone Flo	oor Area (ft²)	Avg. Ceiling Height	Water Heatin	g System 1	Water	Heating System 2
ADU	Co	nditioned	HVAC System 1		494	7.916	DHW Sy	stem		N/A
OPAQUE SURFACES 01	02	03	04	05	06	07	08	09		10
Name	Zone	Construction	Azimuth	Orientation	Gross Area (ft ²)	Window and Door Area (ft2)	Tilt (deg)	Wall Excep	otions	Status
RIGHT EXTERIOR WALL 1	ADU	R-15 Wall Stucco	322	Right	237.48	31.77	90	Extensio	on	New
REAR EXTERIOR	ADII	P. 15 Wall Stucco	222	Back	140 520	40.02	90	Extension		Now

WALL 1	ADU	R-15 Wall	Stucco	232	Bac	ck	140.	539		10.02		90	Extension	New
FRONT EXTERIOR WALL 1	ADU	R-15 Wall	Stucco	52	Fro	nt	140.	539		11.32		90	Extension	New
LEFT EXTERIOR WALL 1	ADU	R-15 Wall	Stucco	142	Let	ft	237.	48	2	3.498) [90	Extension	New
Exterior Floor 1	ADU	R-19 EXTERIO	OR FLOOR	n/a	n/	a	116.	51	-	n/a		n/a		New
Interior Floor 1	ADU	R-19 INTERIO	OR FLOOR	n/a	n/	a	377.	49		n/a		n/a		New
PAQUE SURFACE	S - CATHEDRAL (CEILINGS												
01	02	03	04		05		06	0	7	08		09	10	11
Name	Zone	Construction	Azimu	th Or	entation	Are	ea (ft²)	Skyligh (ft		Roof Rise 12)	(x in	Roof Reflectance	Roof Emittance	Cool Roof
LEFT VAULTED	ADII	R-30 VAULTED	1/12		Left		247	_		3.5		0.1	0.85	No

01	02	03	04	05	06	07	08	09	10	11
Name	Zone	Construction	Azimuth	Orientation	Area (ft ²)	Skylight Area (ft ²)	Roof Rise (x in 12)	Roof Reflectance	Roof Emittance	Cool Roo
LEFT VAULTED Ceiling 1	ADU	R-30 VAULTED CEILING	142	Left	247	0	3.5	0.1	0.85	No
RIGHT VAULTED Ceiling 1	ADU	R-30 VAULTED CEILING	322	Right	247	0	3.5	0.1	0.85	No

gistration Number: 222-P010186611A-000-00000000-0000	Registration Date/Time: 2022-09-19 16:33:26	HERS Provider:	CalCERTS
Building Energy Efficiency Standards - 2019 Residential Compliance	Report Version: 2019.2.000 Schema Version: rev 20200901	Report Generated: 2022-09-19	15:10:41

REVI	SION	/ DATE
	DE51GN5	P.O. BOX 47478 LOS ANGELES, CA 40047 (323)455-4827 EMAIL:LRGDESIGNS414@GMAIL.COM
PROJECT: ADU ADDITION	SITE ADDRESS: 4575-77 PESCADERO AVENUE SAN DIEGO, CA 92107	OMNER: REBECCA TORRES & JESSICA WILKINSON
DATE	9/19/	
SCALE		
SHEET	Γ	



5/24/2023, 10:50:21 AM PRJ-1071757 **Diego Garcia**



2019 Low-Rise Residential Mandatory Measures Summary

NOTE: Low-rise residential buildings subject to the Energy Standards must comply with all applicable mandatory measures, regardless of the compliance approach used. Review the respective section for more information. *Exceptions may apply.

Building Envelop	e Measures:
§ 110.6(a)1:	Air Leakage. Manufactured fenestration, exterior doors, and exterior pet doors must limit air leakage to 0.3 cfm per square foot or less when tested per NFRC-400, ASTM E283 or AAMA/WDMA/CSA 101/I.S.2/A440-2011.*
§ 110.6(a)5:	Labeling. Fenestration products and exterior doors must have a label meeting the requirements of Section 10-111(a).
§ 110.6(b):	Field fabricated exterior doors and fenestration products must use U-factors and solar heat gain coefficient (SHGC) values from Tables 110.6-A, 110.6-B, or JA4.5 for exterior doors. They must be caulked and/or weather stripped.*
§ 110.7:	Air Leakage. All joints, penetrations, and other openings in the building envelope that are potential sources of air leakage must be caulked, gasketed, or weather stripped.
§ 110.8(a):	Insulation Certification by Manufacturers. Insulation must be certified by the Department of Consumer Affairs, Bureau of Household Goods and Services (BHGS).
§ 110.8(g):	Insulation Requirements for Heated Slab Floors. Heated slab floors must be insulated per the requirements of Section 110.8(g).
§ 110.8(i):	Roofing Products Solar Reflectance and Thermal Emittance. The thermal emittance and aged solar reflectance values of the roofing material must meet the requirements of § 110.8(i) and be labeled per §10-113 when the installation of a cool roof is specified on the CF1R.
§ 110.8(j):	Radiant Barrier. When required, radiant barriers must have an emittance of 0.05 or less and be certified to the Department of Consumer Affairs
§ 150.0(a):	Ceiling and Rafter Roof Insulation. Minimum R-22 insulation in wood-frame ceiling; or the weighted average U-factor must not exceed 0.043. Minimum R-19 or weighted average U-factor of 0.054 or less in a rafter roof alteration. Attic access doors must have permanently attached insulation using adhesive or mechanical fasteners. The attic access must be gasketed to prevent air leakage. Insulation must be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in § 110.7, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling.*
§ 150.0(b):	Loose-fill Insulation. Loose fill insulation must meet the manufacturer's required density for the labeled R-value.
§ 150.0(c):	Wall Insulation. Minimum R-13 insulation in 2x4 inch wood framing wall or have a U-factor of 0.102 or less, or R-20 in 2x6 inch wood framing or have a U-factor of 0.071 or less, (R-19 in 2x6 or U-factor of 0.074 or less). Opaque non-framed assemblies must have an overall assembly U-factor not exceeding 0.102, equivalent to an installed value of R-13 in a wood framed assembly. Masonry walls must meet Table 150.1-A or B.*
§ 150.0(d):	Raised-floor Insulation. Minimum R-19 insulation in raised wood framed floor or 0.037 maximum U-factor.*
§ 150.0(f):	Slab Edge Insulation. Slab edge insulation must meet all of the following: have a water absorption rate, for the insulation material alone without facings no greater than 0.3%; have a water vapor permeance no greater than 2.0 perm per inch; be protected from physical damage and UV light deterioration; and, when installed as part of a heated slab floor, meet the requirements of § 110.8(g).
§ 150.0(g)1:	Vapor Retarder. In climate zones 1 through 16, the earth floor of unvented crawl space must be covered with a Class I or Class II vapor retarder. This requirement also applies to controlled ventilation crawl space for buildings complying with the exception to § 150.0(d). Vapor Retarder. In climate zones 14 and 16, a Class I or Class II vapor retarder must be installed on the conditioned space side of all
§ 150.0(g)2:	insulation in all exterior walls, vented attics, and unvented attics with air-permeable insulation.
§ 150.0(q):	Fenestration Products. Fenestration, including skylights, separating conditioned space from unconditioned space or outdoors must have a maximum U-factor of 0.58; or the weighted average U-factor of all fenestration must not exceed 0.58.*
Fireplaces, Deco	rative Gas Appliances, and Gas Log Measures:
§ 110.5(e)	Pilot Light. Continuously burning pilot lights are not allowed for indoor and outdoor fireplaces.
§ 150.0(e)1:	Closable Doors. Masonry or factory-built fireplaces must have a closable metal or glass door covering the entire opening of the firebox.
§ 150.0(e)2:	Combustion Intake. Masonry or factory-built fireplaces must have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and tight-fitting damper or combustion-air control device.*
§ 150.0(e)3:	Flue Damper. Masonry or factory-built fireplaces must have a flue damper with a readily accessible control.*
Space Conditioni	ng, Water Heating, and Plumbing System Measures:
§ 110.0-§ 110.3:	Certification. Heating, ventilation and air conditioning (HVAC) equipment, water heaters, showerheads, faucets, and all other regulated appliances must be certified by the manufacturer to the Energy Commission.*
§ 110.2(a):	HVAC Efficiency. Equipment must meet the applicable efficiency requirements in Table 110.2-A through Table 110.2-K.*
§ 110.2(b):	Controls for Heat Pumps with Supplementary Electric Resistance Heaters. Heat pumps with supplementary electric resistance heaters must have controls that prevent supplementary heater operation when the heating load can be met by the heat pump alone; and in which the cut-on temperature for compression heating is higher than the cut-on temperature for supplementary heating, and the cut-off temperature for compression heating is higher than the cut-off temperature for supplementary heating.*
§ 110.2(c):	Thermostats. All heating or cooling systems not controlled by a central energy management control system (EMCS) must have a setback thermostat.*
§ 110.3(c)4:	Water Heating Recirculation Loops Serving Multiple Dwelling Units. Water heating recirculation loops serving multiple dwelling units must meet the air release valve, backflow prevention, pump priming, pump isolation valve, and recirculation loop connection requirements of § 110.3(c)4.
§ 110.3(c)6:	Isolation Valves. Instantaneous water heaters with an input rating greater than 6.8 kBTU per hour (2 kW) must have isolation valves with hose bibbs or other fittings on both cold and hot water lines to allow for flushing the water heater when the valves are closed.
§ 110.5:	Pilot Lights. Continuously burning pilot lights are prohibited for natural gas: fan-type central furnaces; household cooking appliances (appliances without an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt); and pool and spa heaters
§ 150.0(h)1:	Building Cooling and Heating Loads. Heating and/or cooling loads are calculated in accordance with the ASHRAE Handbook, Equipment Volume, Applications Volume, and Fundamentals Volume; the SMACNA Residential Comfort System Installation Standards Manual; or the ACCA Manual J using design conditions specified in § 150.0(h)2.

2019 Low-Rise Residential Mandatory Measures Summary

and Acceptable Indoor Air Quality in Residential Buildings subject to the amendments specified in § 150.0(o)1.

determined by ASHRAE 62.2 Sections 4.1.1 and 4.1.2 and as specified in § 150.0(o)1C

Pool and Spa Systems and Equipment Measures:

output frequency no less than 20 kHz.

must meet the applicable requirements of § 150.0(k).*

§ 110.4(b)2:

§ 150.0(p):

§ 150.0(k)1H:

§ 150.0(k)1I:

§ 150.0(k)2D:

Lighting Measures:

Requirements for Ventilation and Indoor Air Quality. All dwelling units must meet the requirements of ASHRAE Standard 62.2, Ventilation

Single Family Detached Dwelling Units. Single family detached dwelling units, and attached dwelling units not sharing ceilings or floors with other dwelling units, occupiable spaces, public garages, or commercial spaces must have mechanical ventilation airflow provided at rates

Multifamily Attached Dwelling Units. Multifamily attached dwelling units must have mechanical ventilation airflow provided at rates in accordance with Equation 150.0-B and must be either a balanced system or continuous supply or continuous exhaust system. If a balanced system is not used, all units in the building must use the same system type and the dwelling-unit envelope leakage must be ≤ 0.3 CFM at 50 Pa (0.2 inch water) per square foot of dwelling unit envelope surface area and verified in accordance with Reference Residential Appendix RA3.8.

Multifamily Building Central Ventilation Systems. Central ventilation systems that serve multiple dwelling units must be balanced to provide ventilation airflow for each dwelling unit served at a rate equal to or greater than the rate specified by Equation 150.0-B. All unit airflows must be

within 20% of the unit with the lowest airflow rate as it relates to the individual unit's minimum required airflow rate needed for compliance.

Certification by Manufacturers. Any pool or spa heating system or equipment must be certified to have all of the following: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater that allows shutting off the heater without adjusting the thermostat setting; a permanent weatherproof plate or card with operating instructions; and must not use electric resistance heating.*

Piping. Any pool or spa heating system or equipment must be installed with at least 36 inches of pipe between the filter and the heater, or

Directional Inlets and Time Switches for Pools. Pools must have directional inlets that adequately mix the pool water, and a time switch that

Pool Systems and Equipment Installation. Residential pool systems or equipment must meet the specified requirements for pump sizing, flow

Lighting Controls and Components. All lighting control devices and systems, ballasts, and luminaires must meet the applicable requirements

Blank Electrical Boxes. The number of electrical boxes that are more than 5 feet above the finished floor and do not contain a luminaire or other device must be no greater than the number of bedrooms. These electrical boxes must be served by a dimmer, vacancy sensor control, or

Recessed Downlight Luminaires in Ceilings. Luminaires recessed into ceilings must meet all of the requirements for: insulation contact (IC)

Electronic Ballasts for Fluorescent Lamps. Ballasts for fluorescent lamps rated 13 watts or greater must be electronic and must have an

Night Lights, Step Lights, and Path Lights. Night lights, step lights and path lights are not required to comply with Table 150.0-A or be controlled by vacancy sensors provided they are rated to consume no more than 5 watts of power and emit no more than 150 lumens.

Lighting Integral to Exhaust Fans. Lighting integral to exhaust fans (except when installed by the manufacturer in kitchen exhaust hoods)

Light Sources in Enclosed or Recessed Luminaires. Lamps and other separable light sources that are not compliant with the JA8 elevated

Light Sources in Drawers, Cabinets, and Linen Closets. Light sources internal to drawers, cabinetry or linen closets are not required to

comply with Table 150.0-A or be controlled by vacancy sensors provided that they are rated to consume no more than 5 watts of power, emit no more than 150 lumens, and are equipped with controls that automatically turn the lighting off when the drawer, cabinet or linen closet is closed.

Interior Switches and Controls. Controls must not bypass a dimmer, occupant sensor, or vacancy sensor function if the control is installed to

Screw based luminaires. Screw based luminaires must contain lamps that comply with Reference Joint Appendix JA8.*

temperature requirements, including marking requirements, must not be installed in enclosed or recessed luminaires.

Interior Switches and Controls. All forward phase cut dimmers used with LED light sources must comply with NEMA SSL 7A.

Interior Switches and Controls. Controls and equipment must be installed in accordance with manufacturer's instructions.

Interior Switches and Controls. Lighting must have readily accessible wall-mounted controls that allow the lighting to be manually

Field Verification and Diagnostic Testing. Dwelling unit ventilation airflow must be verified in accordance with Reference Residential Appendix RA3.7. Kitchen range hoods must be verified in accordance with Reference Residential Appendix RA3.7.4.3 to confirm it is

Kitchen Range Hoods. Kitchen range hoods must be rated for sound in accordance with Section 7.2 of ASHRAE 62.2.

rated by HVI to comply with the airflow rates and sound requirements as specified in Section 5 and 7.2 of ASHRAE 62.2.

dedicated suction and return lines, or built-in or built-up connections to allow for future solar heating.

will allow all pumps to be set or programmed to run only during off-peak electric demand periods. **Pilot Light.** Natural gas pool and spa heaters must not have a continuously burning pilot light.

Covers. Outdoor pools or spas that have a heat pump or gas heater must have a cover.

Luminaire Efficacy. All installed luminaires must meet the requirements in Table 150.0-A.

labeling; air leakage; sealing; maintenance; and socket and light source as described in § 150.0(k)1C.

Interior Switches and Controls. Exhaust fans must be controlled separately from lighting systems.

Interior Switches and Controls. Lighting controls must comply with the applicable requirements of § 110.9.



§ 150.0(h)3A:

§ 150.0(h)3B:

§ 150.0(j)1:

Ducts and Fans Measures:

§ 150.0(m)2:

150.0(m)7:

§ 150.0(m)8:

manufacturer's instructions

grade, and from the heating source to kitchen fixtures.*

agency that is approved by the Executive Director.

reductions in the cross-sectional area.*

tapes unless such tape is used in combination with mastic and draw bands.

mastics, sealants, and other requirements specified for duct construction.

accordance with § 150.0(m)11 and Reference Residential Appendix RA3.

§ 150.0(k)2G:	Interior Switches and Controls. An energy management control system (EMCS) may be used to comply with control requirements if it: provides functionality of the specified control according to § 110.9; meets the Installation Certificate requirements of § 130.4; meets the EMCS requirements of § 130.0(e); and meets all other requirements in § 150.0(k)2.
§ 150.0(k)2H:	Interior Switches and Controls. A multiscene programmable controller may be used to comply with dimmer requirements in § 150.0(k) i provides the functionality of a dimmer according to § 110.9, and complies with all other applicable requirements in § 150.0(k)2.
§ 150.0(k)2I:	Interior Switches and Controls. In bathrooms, garages, laundry rooms, and utility rooms, at least one luminaire in each of these spaces be controlled by an occupant sensor or a vacancy sensor providing automatic-off functionality. If an occupant sensor is installed, it must be initially configured to manual-on operation using the manual control required under Section 150.0(k)2C.
§ 150.0(k)2J:	Interior Switches and Controls. Luminaires that are or contain light sources that meet Reference Joint Appendix JA8 requirements for dimming, and that are not controlled by occupancy or vacancy sensors, must have dimming controls."
§ 150.0(k)2K:	Interior Switches and Controls. Under cabinet lighting must be controlled separately from ceiling-installed lighting systems.
§ 150.0(k)3A:	Residential Outdoor Lighting. For single-family residential buildings, outdoor lighting permanently mounted to a residential building, or t buildings on the same lot, must meet the requirement in item § 150.0(k)3Ai (ON and OFF switch) and the requirements in either § 150.0(k)3Aii (photocell and either a motion sensor or automatic time switch control) or § 150.0(k)3Aii (astronomical time clock), or an El
§ 150.0(k)3B:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, outdoor lighting for private patios, entra balconies, and porches; and residential parking lots and carports with less than eight vehicles per site must comply with either Se 150.0(k)3A or with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)3C:	Residential Outdoor Lighting. For low-rise residential buildings with four or more dwelling units, any outdoor lighting for residential parking or carports with a total of eight or more vehicles per site and any outdoor lighting not regulated by Section 150.0(k)3B or Section 150.0(k)3 comply with the applicable requirements in Sections 110.9, 130.0, 130.2, 130.4, 140.7 and 141.0.
§ 150.0(k)4:	Internally illuminated address signs. Internally illuminated address signs must comply with § 140.8; or must consume no more than 5 v power as determined according to § 130.0(c).
§ 150.0(k)5:	Residential Garages for Eight or More Vehicles. Lighting for residential parking garages for eight or more vehicles must comply with the applicable requirements for nonresidential garages in Sections 110.9, 130.0, 130.1, 130.4, 140.6, and 141.0.
§ 150.0(k)6A:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total in common area in a single building equals 20 percent or less of the floor area, permanently installed lighting for the interior common areas i building must be comply with Table 150.0-A and be controlled by an occupant sensor.
§ 150.0(k)6B:	Interior Common Areas of Low-rise Multifamily Residential Buildings. In a low-rise multifamily residential building where the total intercommon area in a single building equals more than 20 percent of the floor area, permanently installed lighting for the interior common are that building must: i. Comply with the applicable requirements in Sections 110.9, 130.0, 130.1, 140.6 and 141.0; and ii. Lighting installed in corridors and stairwells must be controlled by occupant sensors that reduce the lighting power in each space by at lea 50 percent. The occupant sensors must be capable of turning the light fully on and off from all designed paths of ingress and egress.
Solar Ready Bui	
§ 110.10(a)1:	Single Family Residences. Single family residences located in subdivisions with ten or more single family residences and where the application for a tentative subdivision map for the residences has been deemed complete and approved by the enforcement agency, which do not have a photovoltaic system installed, must comply with the requirements of § 110.10(b) through § 110.10(e).
§ 110.10(a)2:	Low-rise Multifamily Buildings. Low-rise multi-family buildings that do not have a photovoltaic system installed must comply with the requirements of § 110.10(b) through § 110.10(d).
§ 110.10(b)1:	Minimum Solar Zone Area. The solar zone must have a minimum total area as described below. The solar zone must comply with access pathway, smoke ventilation, and spacing requirements as specified in Title 24, Part 9 or other Parts of Title 24 or in any requirements ado by a local jurisdiction. The solar zone total area must be comprised of areas that have no dimension less than 5 feet and are no less than square feet each for buildings with roof areas less than or equal to 10,000 square feet or no less than 160 square feet each for buildings v roof areas greater than 10,000 square feet. For single family residences, the solar zone must be located on the roof or overhang of the building, or on the roof or overhang of another structure located within 250 feet of the building, or on covered parking installed with the building project, and have a total area no less than 15 percent of the total roof area of the building excluding any skylight area. The solar a requirement is applicable to the entire building, including mixed occupancy.
§ 110.10(b)2:	Azimuth. All sections of the solar zone located on steep-sloped roofs must be oriented between 90 degrees and 300 degrees of true north
§ 110.10(b)3A:	Shading. The solar zone must not contain any obstructions, including but not limited to: vents, chimneys, architectural features, and roof mounted equipment.*
§ 110.10(b)3B:	Shading. Any obstruction located on the roof or any other part of the building that projects above a solar zone must be located at least tw distance, measured in the horizontal plane, of the height difference between the highest point of the obstruction and the horizontal project the nearest point of the solar zone, measured in the vertical plane.*
§ 110.10(b)4:	Structural Design Loads on Construction Documents. For areas of the roof designated as a solar zone, the structural design loads for dead load and roof live load must be clearly indicated on the construction documents.
§ 110.10(c):	Interconnection Pathways. The construction documents must indicate: a location reserved for inverters and metering equipment and a pathway reserved for routing of conduit from the solar zone to the point of interconnection with the electrical service; and for single family residences and central water-heating systems, a pathway reserved for routing plumbing from the solar zone to the water-heating system.
§ 110.10(d):	Documentation. A copy of the construction documents or a comparable document indicating the information from § 110.10(b) through § 110.10(c) must be provided to the occupant.
§ 110.10(e)1:	Main Electrical Service Panel. The main electrical service panel must have a minimum busbar rating of 200 amps.
3 (0)	

2019 Low-Rise Residential Mandatory Measures Summary

Clearances. Air conditioner and heat pump outdoor condensing units must have a clearance of at least 5 feet from the outlet of any dryer vent.

Storage Tank Insulation. Unfired hot water tanks, such as storage tanks and backup storage tanks for solar water-heating systems, must have

Insulation Protection. Piping insulation must be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind as required by Section 120.3(b). Insulation exposed to weather must be water retardant and protected from UV light (no adhesive tapes). Insulation covering chilled water piping and refrigerant suction piping located outside the conditioned space must include, or be protected by, a

Class I or Class II vapor retarder. Pipe insulation buried below grade must be installed in a waterproof and non-crushable casing or sleeve.

Gas or Propane Water Heating Systems. Systems using gas or propane water heaters to serve individual dwelling units must include all of the following: A dedicated 125 volt, 20 amp electrical receptacle that is connected to the electric panel with a 120/240 volt 3 conductor, 10 AWG copper branch circuit, within 3 feet from the water heater without obstruction. Both ends of the unused conductor must be labeled with the word "spare" and be electrically isolated. Have a reserved single pole circuit breaker space in the electrical panel adjacent to the circuit breaker

for the branch circuit and labeled with the words "Future 240V Use"; a Category III or IV vent, or a Type B vent with straight pipe between the outside termination and the space where the water heater is installed; a condensate drain that is no more than 2 inches higher than the base of the water heater, and allows natural draining without pump assistance; and a gas supply line with a capacity of at least 200,000 Btu per hour.

Solar Water-heating Systems. Solar water-heating systems and collectors must be certified and rated by the Solar Rating and Certification Corporation (SRCC), the International Association of Plumbing and Mechanical Officials, Research and Testing (IAPMO R&T), or by a listing

Ducts. Insulation installed on an existing space-conditioning duct must comply with California Mechanical Code (CMC) Section 604.0. If a

CMC Compliance. All air-distribution system ducts and plenums must meet the requirements of the CMC Section 601.0, 602.0, 603.0, 604.0, 605.0 and ANSI/SMACNA-006-2006 HVAC Duct Construction Standards Metal and Flexible 3rd Edition. Portions of supply-air and return-air ducts and plenums must be insulated to a minimum installed level of R-6.0 or a minimum installed level of R-4.2 when cucts are entirely in conditioned space as confirmed through field verification and diagnostic testing (RA3.1.4.3.8). Portions of the duct system completely exposed and surrounded by directly conditioned space are not required to be insulated. Connections of metal ducts and inner core of flexible ducts must be mechanically fastened. Openings must be sealed with mastic, tape, or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or aerosol sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than ¼ inch, the combination of mastic and either mesh or tape must be used. Building cavities, support platforms for air handlers, and plenums designed or constructed with materials other than sealed sheet metal, duct board or flexible duct must not be used to convey conditioned air. Building cavities and support platforms must not be compressed to cause

Factory-Fabricated Duct Systems. Factory-fabricated duct systems must comply with applicable requirements for duct construction,

connections, and closures; joints and seams of duct systems and their components must not be sealed with cloth back rubber adhesive duct

Field-Fabricated Duct Systems. Field-fabricated duct systems must comply with applicable requirements for: pressure-sensitive tapes,

Gravity Ventilation Dampers. Gravity ventilating systems serving conditioned space must have either automatic or readily accessible,

manually operated dampers in all openings to the outside, except combustion inlet and outlet air openings and elevator shaft vents.

Protection of Insulation. Insulation must be protected from damage, sunlight, moisture, equipment maintenance, and wind. Insulation exposed to weather must be suitable for outdoor service. For example, protected by aluminum, sheet metal, painted canvas, or plastic cover. Cellular foam insulation must be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation.

Porous Inner Core Flex Duct. Porous inner core flex ducts must have a non-porous layer between the inner core and outer vapor barrier.

Duct System Sealing and Leakage Test. When space conditioning systems use forced air duct systems to supply conditioned air to an occupiable space, the ducts must be sealed and duct leakage tested, as confirmed through field verification and diagnostic testing, in

Backdraft Damper. Fan systems that exchange air between the conditioned space and outdoors must have backdraft or automatic dampers.

Air Filtration. Space conditioning systems with ducts exceeding 10 feet and the supply side of ventilation systems must have MERV 13 or

Space Conditioning System Airflow Rate and Fan Efficacy. Space conditioning systems that use ducts to supply cooling must have a hole for the placement of a static pressure probe, or a permanently installed static pressure probe in the supply plenum. Airflow must be ≥ 350 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.45 watts per CFM for gas furnace air handlers and ≤ 0.58 watts per CFM for all others. Small duct high velocity systems must provide an airflow ≥ 250 CFM per ton of nominal cooling capacity, and an air-handling unit fan efficacy ≤ 0.62 watts per CFM. Field verification testing is required in accordance with Reference Residential Appendix RA3.3.*

§ 150.0(m)12: equivalent filters. Filters for space conditioning systems must have a 2 inch depth or can be 1 inch if sized per Equation 150.0-A. Pressure drops

and labeling must meet the requirements in §150.0(m)12. Filters must be accessible for regular service.*

contractor installs the insulation, the contractor must certify to the customer in writing, that the insulation meets this requirement.

Recirculating Loops. Recirculating loops serving multiple dwelling units must meet the requirements of § 110.3(c)5.

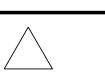
a minimum of R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

Water Piping, Solar Water-heating System Piping, and Space Conditioning System Line Insulation. All domestic hot water piping must be insulated as specified in Section 609.11 of the California Plumbing Code. In addition, the following piping conditions must have a minimum insulation wall thickness of 1 inch or a minimum insulation R-value of 7.7: the first 5 feet of cold water pipes from the storage tank; all hot water piping with a nominal diameter equal to or greater than 3/4 inch and less than 1 inch; all hot water piping with a nominal diameter less than 3/4 inch that is: associated with a domestic hot water recirculation system, from the heating source to storage tank or between tanks, buried below

Liquid Line Drier. Air conditioners and heat pump systems must be equipped with liquid line filter driers if required, as specified by the

REVISION / DATE









575-77 PESCADERO AVENUE AN DIEGO, CA 92107

PROJECT: ADU AD SITE ADDRESS: 45

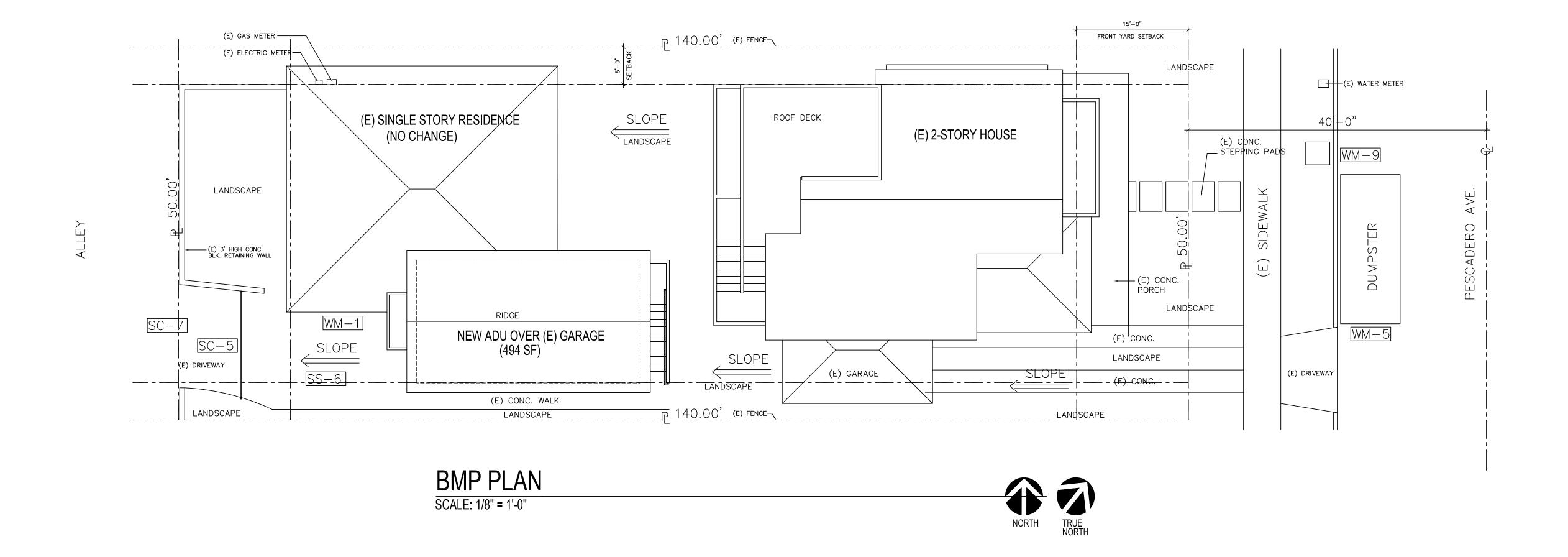
DATE 9/19/2022

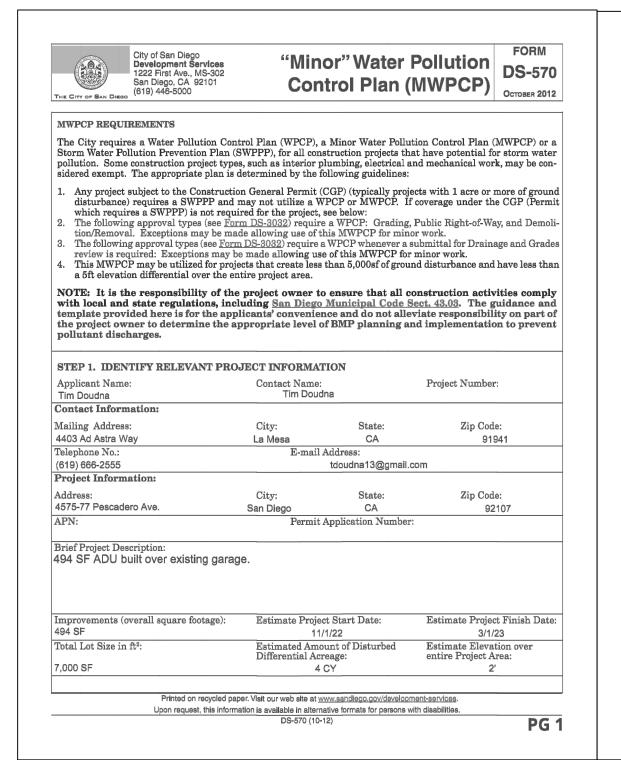
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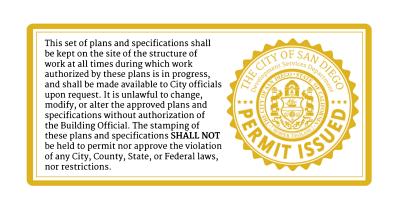
GUEET





Pag	e 2 of 2	City of San Diego • Development Services Department • "Minor" Water Pollution Contro	I Plan (MW	PCP)
ST	EP 2: IDE	NTIFY CONSTRUCTION STORM WATER BMPs		
All ma	construction	construction sites have the potential to discharge sediment and other pollutants into on projects are required to reduce pollution to the maximum extent practicable by in practices (BMPs). Sections 5 of the <u>Storm Water Standards Manual</u> outline the Stormwater BMPs. There are five categories:	mplement	ing best
2. 3. 4.	Velocity re Sediment Offsite sed	ontrol practices eduction control practices diment tracking control ite and materials management		
вм	Ps from ea	ach of the five categories must be used together as a system in order to prevent poter	ntial disch	arges.
Rec of r in t	uired Stan equired Bl he box pro	"Yes" to any of the questions below, your project is subject to Table 1 on the following dard Construction Stormwater BMPs). As noted in the table, please select at least the MPs, or as many as are feasible for your project. If no BMP is selected, an explanativided. The following questions are intended to aid in determining construction BMP blease check box either "Yes" or "No".	minimum ion must	number be given
1.	trenching	e be soil disturbing activities that will result in exposed soil areas? (This includes mi ;.) ce Table items A		ng and
2.		e be asphalt paving, including patching? ce Table 1 items C and E	☐ Yes	☑ No
3.		e be slurries from mortar mixing, coring, or concrete saw cutting? ce Table 1 items C and E	✓ Yes	□ No
4.		e be solid wastes from concrete demolition and removal, wall construction, or form we ce Table 1 items C and E		□ No
5.		e be stockpiling (soil, compost, asphalt, concrete, solid waste) for over 24 hours? ce Table 1 items C and E	☑ Yes	☑ No
6.		e be dewatering operations? ce Table 1 items B and C	☐ Yes	☑ No
7.	and soil s	e be temporary on-site storage of construction materials, including mortar mix, raw tabilization materials, treated lumber, rebar, and plated metal fencing materials? ce Table 1 items D and E		ng No
8.		n or solid waste product be generated from this project?	✓ Yes	□ No
9.		truction equipment be stored on site (e.g.: fuels, oils, trucks, etc.?	Yes	☑ No
10.		able Sanitary Services ("Porta-potty") be used on the site?	☑ Yes	□ No
				PG 2

City of Sall Diego • I		TA	BLE 1 CONSTRUCTION ST	
			m Water Quality Hand	
Minimum Require Required Best Pract	Management	CALTRANS Stormwater Handbook Detail	Check at least one BMP from each section below	If your project requires no BMP from any of the sections below, please explain within space provided
A. Select Erosion C	Control Method			onplant within opace provided
Vegetation Stabilizat (Summer)	ion Planting	SS-2, SS-4	۵	
Hydraulic Stabilizati (Summer)	on Hydroseeding	SS-4	٦	
Bonded Fiber Matrix Fiber Matrix (Winter		SS-3	۵	
Physical Stabilization Erosion Control Blan		SS-7	۵	
Lot Perimeter Protec	tion Detail	SC-2		
Mulch, Straw, Woode Application	hips, Soil	SS-6, SS-8	Ø	
B. If Runoff or Dev	vatering Operation	on is concentrated, v	elocity must be cont	rolled using an energy dissipater
Energy Dissipater O	utlet Protection	SS-10		No concentrated runoff.
C. Select Sediment	Control method	for all disturbed are	as (Chose at least on	ie)
Silt Fence		SC-1		
Fiber Rolls (Straw W	attles)	SC-5	✓	
Gravel Bags		SC-6, SC-8		
Dewatering Filtratio	n	NS-2		
Storm Drain Inlet Pr	otection	SC-10		
D. Select method for	or preventing off	site tracking of sedir	nent (choose at least	one)
Stabilized Constructi	ion Entrance	TC-1		
Entrance/Exit Tire W	7ash	TC-3		
Street Sweeping & V	acuuming	SC-7	<u> </u>	
E. Select the Gener	ral Site Managem	ent BMPs for each w	vaste that will be on	site
Material Delivery &	Storage	WM-1	<u> </u>	
Spill Prevention & C	ontrol	WM-4		
Concrete Waste Man	agement	WM-8]
Solid Waste Manager	ment	WM-5	Z	
Sanitary Waste Man	agement	WM-9	<u> </u>	
Hazardous Waste Ma	nagement	WM-6		
I have read and unde storm water, from con to minimize the pote further agree to insta compliance with the (rstand that the Cit struction and land ntially negative in	y of San Diego has ado development activities pacts of this project's	. I certify that the BMI construction and land	will be issued. ments for managing urban runoff, including Ps selected on this form will be implemented development activities on water quality. I r effectiveness. I also understand that non- City, including fines, cease and desist orders,
or other actions.	Tim Doud			09/15/22
Signature:	11M. 1 JAIIN	4.4.		——————————————————————————————————————



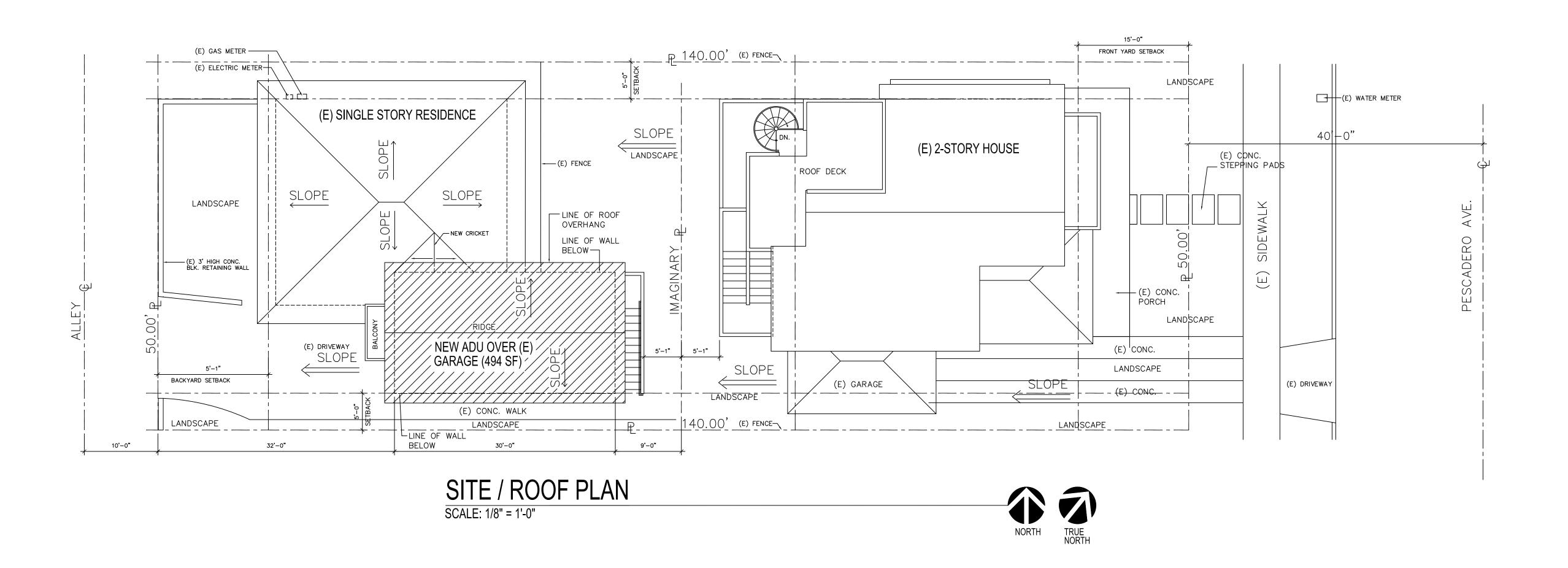
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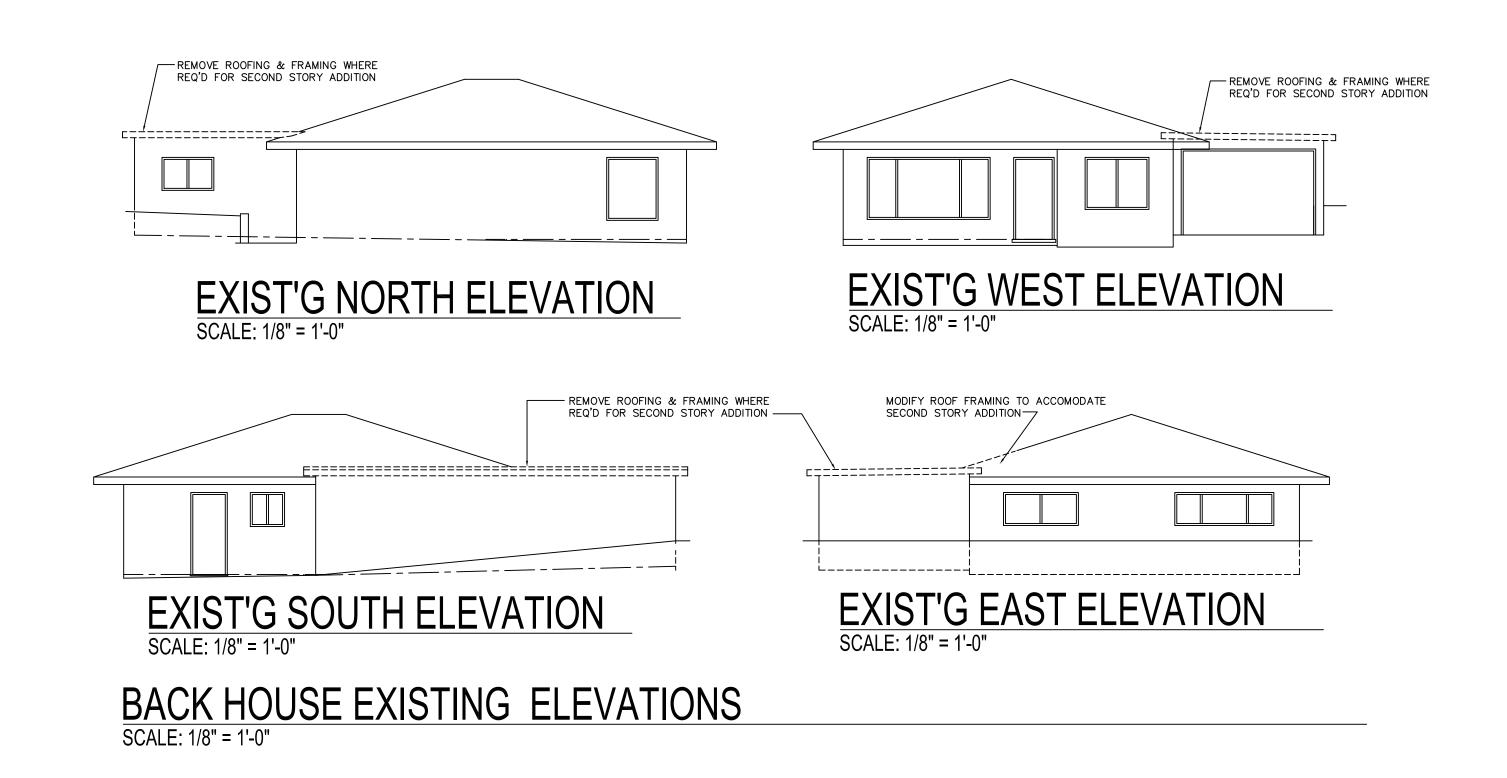


New Accessory Dwelling Unit
@ 4579 Pescadero Ave.
San Diego, CA 92107
Timothy M. Doudna, Architect

MWPC NOTES & BMP PLAN

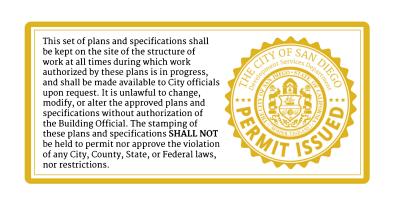
MINOR WATER POLLUTION CONTROL PLAN



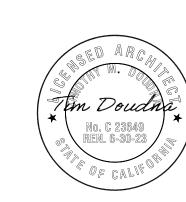


(E) FRONT	HOUSE		
FIXTURE DESCRIPTION	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
PATHTUP	4	2	8
CLOTHES WASHER	4	I	4
DISHWASHER	 5	I	 5
HOSE PIP	2.5	I	2.5
HOSE BIB ADDITIONAL	1	I	1
LAVAT <i>O</i> RY	I	6	6
KITCHEN SINK	 5	I	ļ5
LAUNDRY SINK	 5	I	ļ <i>5</i>
SHOWER	2	I	2
TOILET 16 OPF	25	4	Ь
		SUBT <i>O</i> TAL	38
(E) BACK t	tause		
FIXTURE DESCRIPTION	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
BATHTUB	4	0	0
OLØTHES WASHER	4	I	4
DISHWASHER	ļ <i>5</i>	I	l.5
HOSE PIP	2.5	0	0
HOSE BIB ADDITIONAL	ı	2	2
LAVAT <i>O</i> RY	ı	Į.	1
KITCHEN SINK	ļ <i>5</i>	I	l _. 5
LAUNDRY SINK	ļ <i>5</i>	0	0
SHOWER	2	I	2
TOILET 16 GPF	25	1	2.5
		SUBTOTAL.	14.5
NEW ADIL	'		
NEW ADU			
	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
	# OF UNITS/FIXTURE	# OF FIXTURES	# OF UNITS
FIXTURE DESCRIPTION		·	ļ ·
FIXTURE DESCRIPTION	4	I	4
FIXTURE DESCRIPTION BATHTUB CLOTHES WASHER	4	0	4
FIXTURE DESCRIPTION PATHTUD CLOTHES WASHER DISHWASHER	4 4 15	0	4 0 15
FIXTURE DESCRIPTION PATHTUP CLOTHES WASHER DISHWASHER HOSE DID	4 4 15 25	0	4 0 15
FIXTURE DESCRIPTION PATHTUD CLOTHES WASHER DISHWASHER HOSE DID ADDITIONAL	4 4 15 25	 0 0 0	4 0 15 0
FIXTURE DESCRIPTION BATHTUD CLOTHES WASHER DISHIWASHER HOSE DID HOSE DID ADDITIONAL LAVATORY	4 4 15 25	 0 0 0	4 0 15 0
FIXTURE DESCRIPTION DATHTUD CLOTHES WASHER DISHWASHER HOSE DID HOSE DID ADDITIONAL LAVATORY KITCHEN SINK	4 4 15 25 1	0 0 0 0 1	A 0 15 0 0 1 1 15
FIXTURE DESCRIPTION PATHTUD CLOTHES WASHER DISHWASHER HOSE DID HOSE DID ADDITIONAL LAVATORY KITCHEN SINK LAUNDRY SINK	4 4 15 25 1 1 15	0 0 0 0 1 1 0 0	4 0 15 0 0 1 15

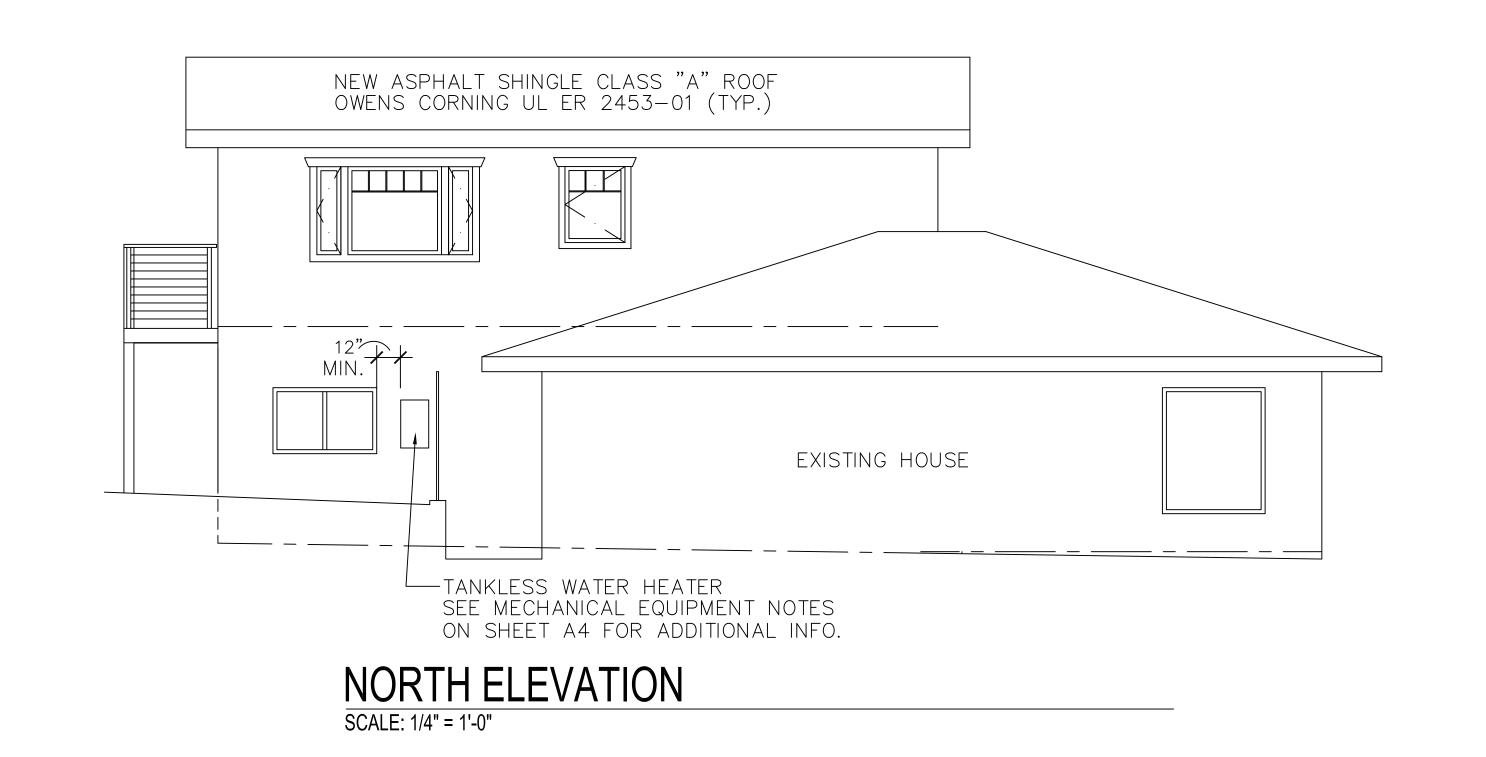
WATER METER SERVICE HAS BEEN UPGRADED TO 1".

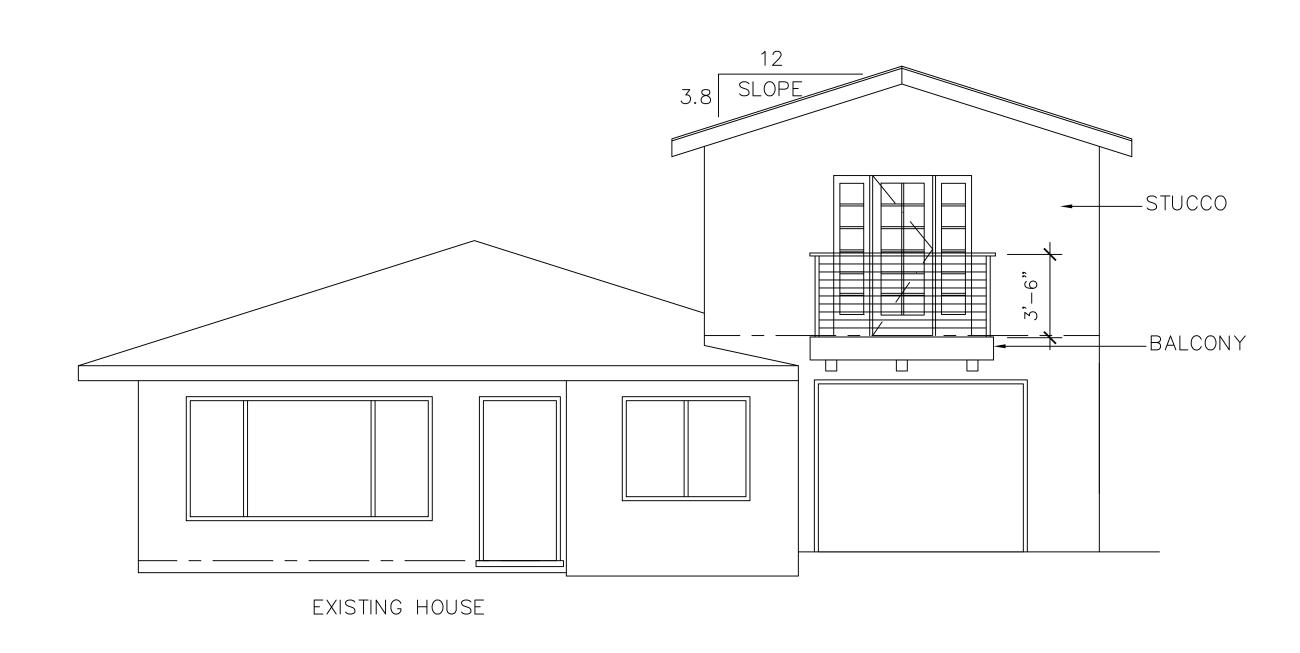


5/24/2023, 10:49:52 AM PRJ-1071757 **Diego Garcia**

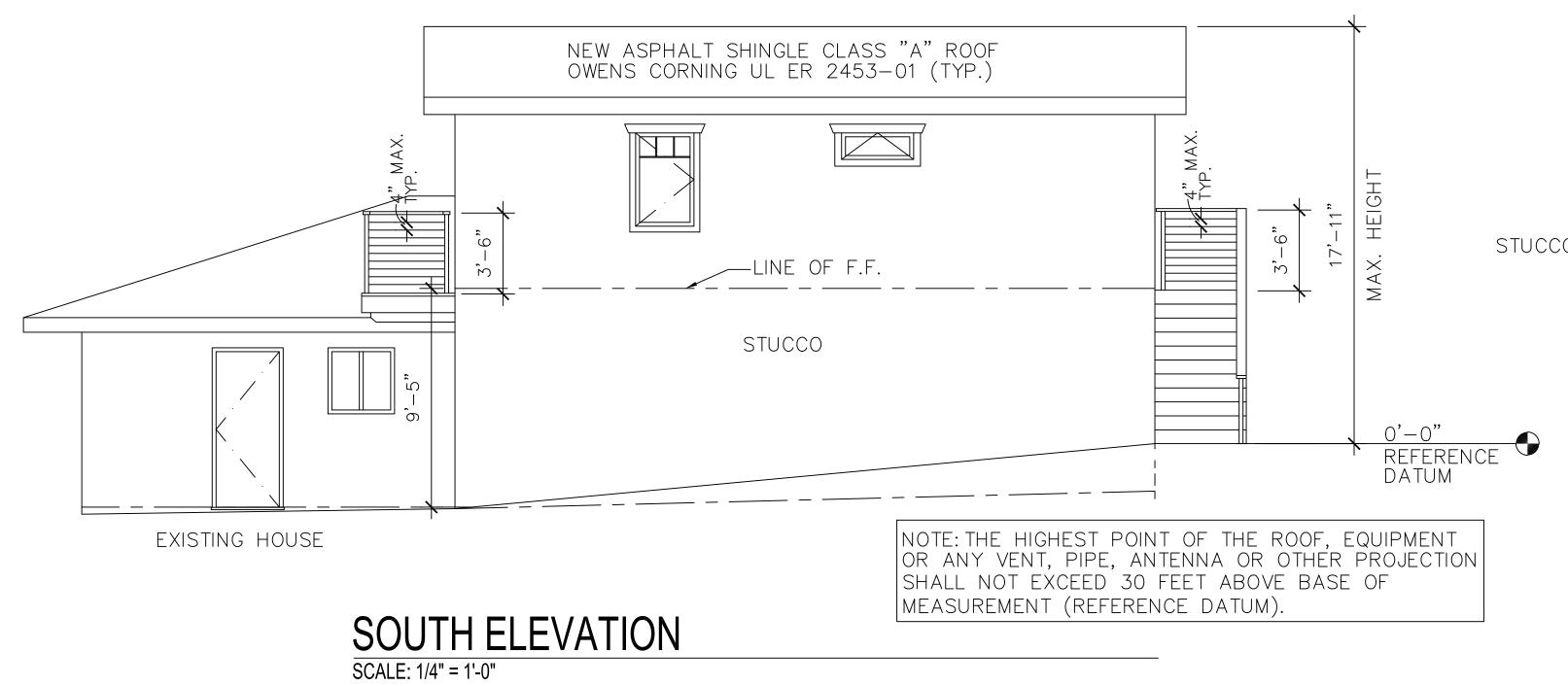


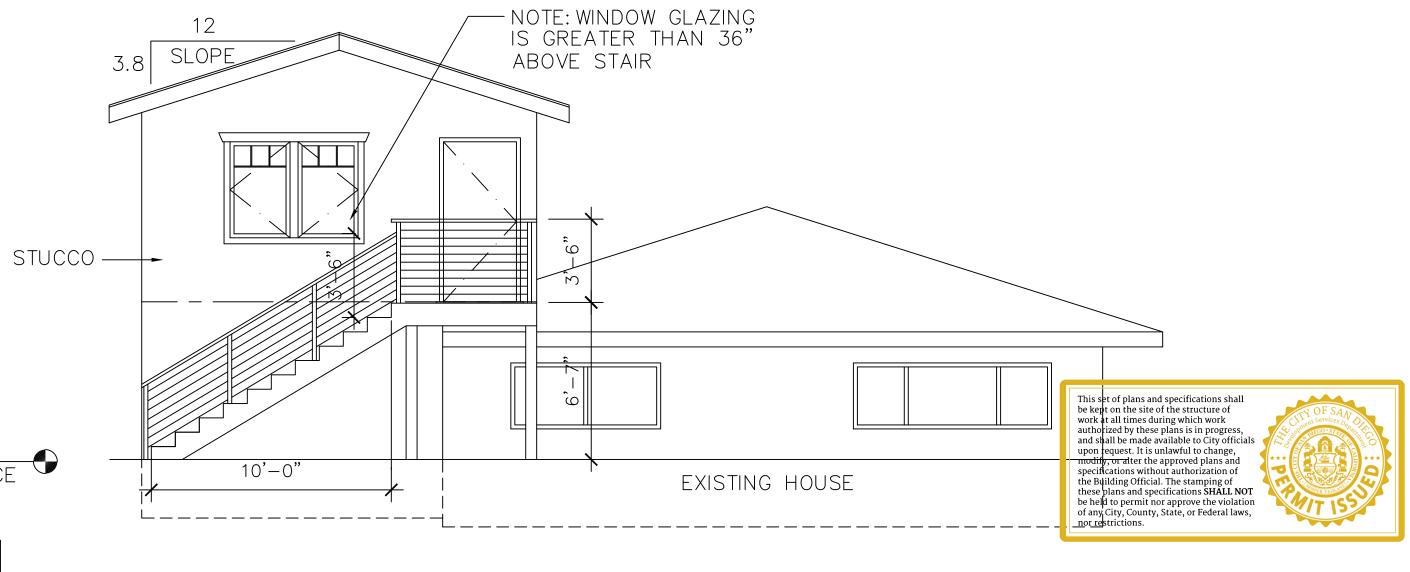
New Accessory Dwelling Unit
@ 4579 Pescadero Ave.
San Diego, CA 92107
Timothy M. Doudna, Architect
SITE / ROOF PLAN,
EXISTING EXTERIOR
ELEVATIONS





WEST ELEVATION SCALE: 1/4" = 1'-0"





EAST ELEVATION

SCALE: 1/4" = 1'-0"

- Diego Garcia

5/24/2023, 10:49:52 AM

PRJ-1071757



New Accessory Dwelling Unit
@ 4579 Pescadero Ave.
San Diego, CA 92107
Timothy M. Doudna, Architect

EXTERIOR ELEVATIONS

ELECTRICAL SYMBOLS

- → DUPLEX 120V OUTLET @ WALL
- DUPLEX 120V 1/2 SWITCHED & 1/2 HOT
- DUPLEX 120V GROUND FAULT INTERRUPT
- ₩P DUPLEX 120V WATER PROOF
- SINGLE 220V OUTLET
- ► PHONE JACK
- ™ TELEVISION JACK
- \$ SINGLE POLE SWITCH
- \$3 THREE WAY SWITCH \$D DIMMER SWITCH
- PANASONIC WHISPER LITE FAN/LIGHT COMBO (MODEL #FV-O5||VQ| - ||O CFM)
- CEILING PADDLE FAN/LIGHT
- RECESSED DOWN LIGHT
- SURFACE MOUNTED LED LIGHT FIXTURE
- COMBO CARBON MONOXIDE / SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED WITH BATTERY

ELECTRICAL NOTES:

- (EI) ALL LABOR AND MATERIALS SHALL MEET FULLY WITH THE REQUIREMENTS OF THE ELECTRICAL CODES HAVING AUTHORITY AND SHALL BE UL. LISTED AND LABELED.
- (E4) ALL EXPOSED OUTLETS IN BATHROOMS, KITCHEN AND WITHIN 6' OF ANY SINK TO BE GROUNDED FAULT INTERRUPT PROTECTED.
- E5 COMBO CARBON MONOXIDE / SMOKE DETECTOR INTERCONNECTED AND HARD-WIRED WITH BATTERY BACK-UP LOCATED IN ALL BEDROOMS AND CENTRALLY LOCATED IN THE HALLWAY AT BOTH STORIES.
- (E7) ALL EXTERIOR OUTLETS TO BE 110V DUPLEX, GFI W/ WEATHER PROOF COVER.
- (EB) FIXTURES IN SHOWER/TUB AREAS SHALL BE LABELED "SUITABLE FOR DAMP'LOCATIONS" PER NEC 410-04(a) AND SHALL BE INSTALLED MIN. 7-6" ABOVE HIGH WATER LINE OF TUB PER NEC 680.41.
- (E9) IF NON-METALLIC FLEXIBLE CONDUIT IS USED, PROVIDE GROUND WIRE AS REQUIRED BY CODE
- EID ALL CURRENT CARRYING CONDUCTORS SHALL BE COPPER TYPE "THWN" BELOW GRADE AND TYPE THN/THWN FOR EXPOSED AND ABOVE GRADE WORK.
- (EII) NON-METALIC SHEATHED CABLE (ROMEX) MAY BE USED IN LIEU OF CONDUIT AND WIRE WHEREVER PERMITTED.
- (E13) GENERAL LIGHTING IN KITCHEN AND BATHROOMS TO BE FLUORESCENT. FIXTURES MUST BE BALLASTED TYPE THAT CAN ONLY ACCEPT FLUORESCENT BULBS.

FIRE / SMOKE ALARM NOTES

- 1. SMOKE ALARMS AND SMOKE DETECTORS SHALL BE INSTALLED A MINIMUM OF 20' HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- 2. SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3' HORIZONTAL DISTANCE FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY OTHER SECTIONS OF THE CRC.
- 3. SMOKE ALARMS AND SMOKE DETECTORS SHALL NOT BE INSTALLED WITHIN A 36" HORIZONTAL PATHFROM THE SUPPLY REGISTERS OF FORCED AIR HEATING OR COOLING SYSTEM AND SHALL BE IN-STALLED OUTSIDE OF THE DIRECT AIRFLOW OF THOSE REGISTERS.
- 4. SMOKE ALARMS SHALL BE INTERCONNECTED SO THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS WITHIN THE INDIVIDUAL DWELLING UNIT. IN NEW CONSTRUCTION SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACKUP AND LOW BATTERY SIGNAL.
- 5. SMOKE ALARMS SHALL COMPLY WITH NFPA 72 AND SHALL BE LISTED IN ACCORDANCE WITH UL 217. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034. SMOKE ALARM SYSTEMS AND COMPONENTS SHALL BE CALIFORNIA STATE FIRE MARSHAL LISTED AND APPROVED IN ACCORDANCE WITH CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1 FOR THE PURPOSE FOR WHICH THEY ARE INSTALLED.

13. PLUMBING FIXTURES (WATER CLOSETS, AND URINALS) AND FITTINGS

WITH THE CALIFORNIA PLUMBING CODE (CPC).

SHALL COMPLY WITH THE FOLLOWING:

15. EXHAUST DUCTS AND VENTS SHALL BE EQUIPPED WITH

INFILTRATION.

BACK-DRAFT DAMPERS.

OUTSIDE THE BUILDING.

REVIEWED AND APPROVED.

REVIEWED AND APPROVED.

PER MINUTE (GPM).

(FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE

14. PROVIDE WATER CLOSET WITH A MAX. FLOW OF 1.28 GALLONS FLUSH (GPF).

16. MECHANICAL EXHAUST FANS WHICH EXHAUST DIRECTLY FROM BATHROOMS

MENT BETWEEN A RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT.

18. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION

CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR

AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE

17 PROVIDE KITCHEN FAUCETS WITH A MAX. FLOW OF 1.8 GALLONS PER MINUTE.

SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION

21 DIGIT REGISTRATION NUMBER FOLLOWED BY 4 ZEROS LOCATED AT

THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER

WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CFIR.

CERTIFICATE OF OCCUPANCY WILL NOT ISSUED UNTIL FORMS CF2R IS

FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED

AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD

THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25 DIGIT REGISTRATION NUMBER LOCATED

WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R.

CERTIFICATE OF OCCUPANCY WILL NOT ISSUED UNTIL CF3R IS

20. PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS

VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT

AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER

19. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF

I. FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE

2. UNLESS FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION

READILY ACCESSIBLE. HUMIDISTAT CONTROLS SHALL BE CAPABLE OF ADJUST-

SYSTEM, FANS MUST BE CONTROLLED BY A HUMIDISTAT WHICH SHALL BE

A/C CONDENSERS PROVIDE W.P.H.P. - UNDER COUNTER DISCONNECT. VERIFY 220V.-BELOW SINK FOR 6.D.— CLOSET MICRO. <u>BEDROOM</u> -24"x30" ATTIC ACCESS. PROVIDE ATTIC LIGHT & ELECTRICAL PLAN SCALE: 1/4" = 1'-0" ΑF

TOTAL WATER FIXTURE UNITS									
D00R N0.	DOOR TYPE	DIMENSIAN WIDTH HEIGHT	THK.	HARDWARE GR <i>O</i> UP	REMARKS				
	Α	3'-0" 6'-8"	-3/4"	DEAD-BOLT					
2	Α	2'-4" 6'-8"	-3/8"	PRIVACY					
3)	А	2'-6" 6'-8"	-3/8"	PRIVACY					
4	C	8'-0" 6'-8"							
5	₽	6'-0" 6'-8"		DEAD-BOLT					

This set of plans and specifications shall be kept on the site of the structure of work at all times during which work authorized by these plans is in progres and shall be made available to City official modify, or alter the approved plans and the Building Official. The stamping of these plans and specifications **SHALL NOT** be held to permit nor approve the violation of any City, County, State, or Federal laws,

Tim Douara

New Accessory Dwelling Unit @ 4579 Pescadero Ave. San Diego, CA 92107 Timothy M. Doudna, Architect

MECHANICAL & ELECTRICAL **PLANS**

5/24/2023, 10:49:52 AM PRJ-1071757 Diego Garcia

<u>DININ'G</u>l CLOSET <u>KITCHEN</u> -EXHAUST HOOD OVER RANGE TO HAVE MIN. **BEDROOM** VENTILATION RATE OF 100 CFM (A3) ACCESS. PROVIDE ATTIC LIGHT & NOTE: INDOOR AIR QUALITY REQUIREMENT MET

WITH BATHROOM EXHAUST FAN - 110 CFM

MECHANICAL PLAN SCALE: 1/4" = 1'-0"

MECHANICAL EQUIPMENT

FAU (LOCATED IN ATTIC)

BRYANT MODEL 311JAV-024045 42,000 BTUHinput / 34,000 BTUHoutput / 80% AFUE MULTI-POSITION (HORIZONTAL RATING SHOWN ABOVE) CFM FOR UP TO 2 TONS (NOM.) A/C

WATER HEATER

RINNAI CONTINUUM MODEL 2532W (OUTDOOR UNIT) TANKLESS / 15,000 TO 199,000 BTUH / 81% RECOVERY EFFICIENCY RECESS BOX: MODEL RGB-25-W RINNAI CERTIFIED PLUMBER REQ'D TO INSTALL INPUT RATING <= 200 kBTU/HR PER T-24 CALCS (FOR LOCATION SEE SHT. AS NORTH ELEVATION)

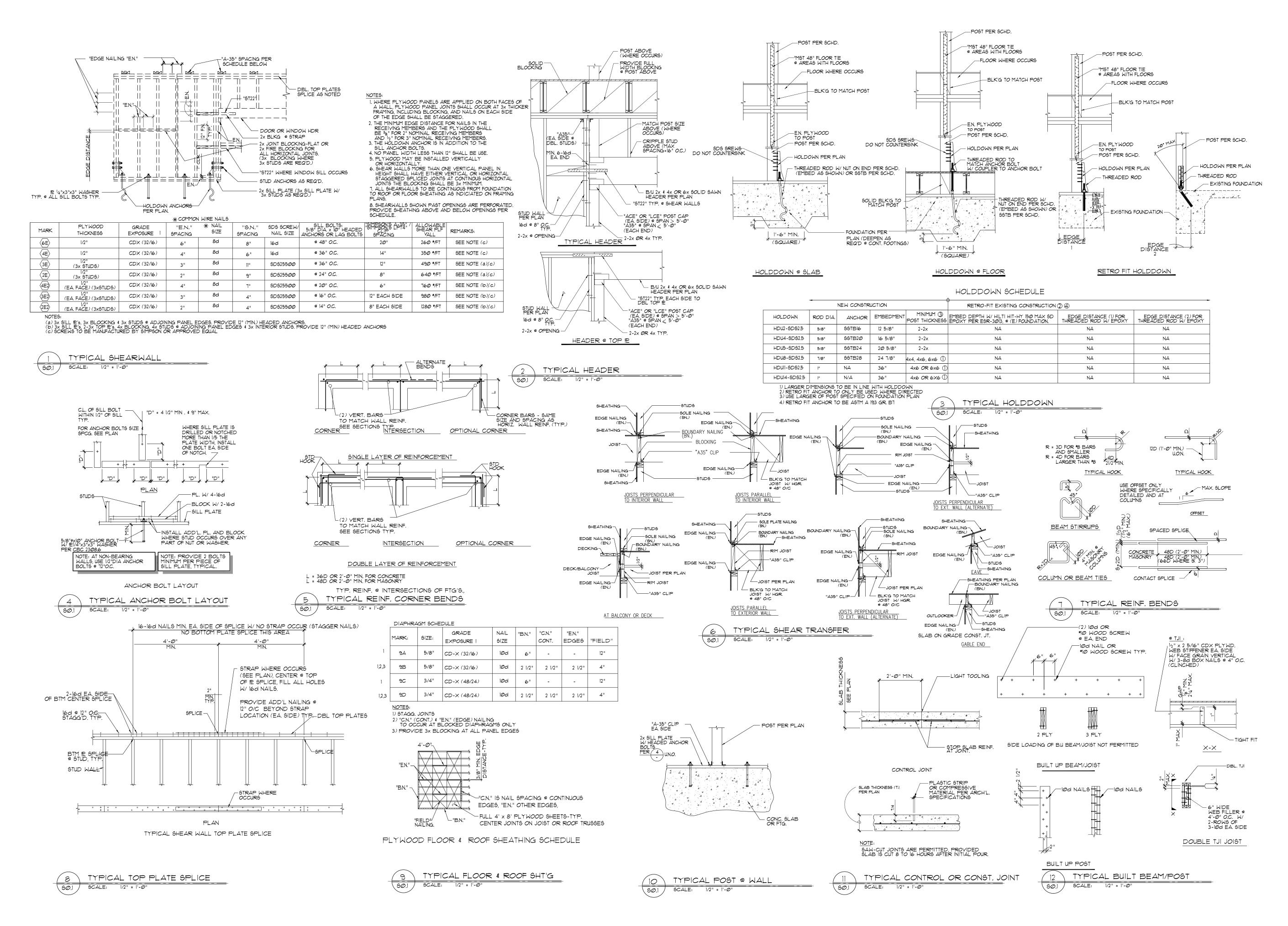
LEGEND:

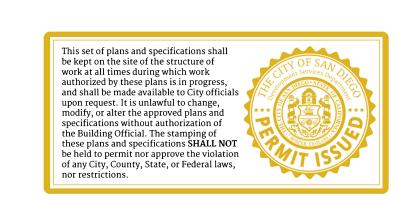
SUPPLY DUCT IN ATTIC TO WALL REGISTER RETURN AIR DUCT

PANASONIC WHISPER LITE FAN/LIGHT COMBO (MODEL #FV-O5||VQ| - ||O CFM)

MECHANICAL NOTES:

- I. ALL AIR DUCTS SHALL HAVE R42 INSULATION.
- 2. DUCTS TO BE SIZED BY CONTRACTOR. CONTRACTOR TO NOTIFY ARCHITECT OF CHANGES REQUIRED DUE TO STRUCTURAL CONFLICTS.
- 3. THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK, WHICH THE BUILDING OCCUPANT CAN PROGRAM TO AUTOMATICALLY SET BACK THE THERMOSTAT TWICE IN 24 HOURS.
- 4. THE INSULATION INSTALLED SHALL POST A SIGNED CERTIFICATE. SECTION 276. INSULATION CERTIFICATE (ALL OCCUPANCIES). AFTER INSTALLING INSULATION, THE INSTALLER SHALL POST IN A CONSPICUOUS LOCATION IN THE BUILDING A CERTIFICATE SIGNED BY THE INSTALLER AND THE BUILDER STATING THAT ALL INSTALLATION CONFORMS THE REQUIREMENTS OF TITLE 24, PART 2, CHAPTER 2-53, AND THAT THE MATERIALS INSTALLED CONFORM WITH THE REQUIREMENTS OF TITLE 20, CHAPTER 2, SUBCHAPTER 4, ARTICLE 3. THE CERTIFICATE SHALL STATE THE MANUFACTURERS NAME AND MATERIAL IDENTIFICATION, THE INSTALLED "R" VALUE, AND (IN APPLICATIONS OF LOOSE FILL INSULATION) THE MINIMUM INSTALLED WIEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURERS LABELED DENSITY FOR THE DESIRED "R" VALUE.
- 5.. FOR INFILTRATION CONTROL, ALL OPENINGS AND PENETRATIONS MUST BE CAULKED AND SEALED, SUCH AS AROUND WINDOWS, WITH COMPLETE NECESSARY MAINTENANCE INFORMATION.
- 6. ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING.
- 7. ALL SWINGING DOORS AND WINDOWS OPENING TO THE EXTERIOR OR UNCONDITIONED SPACE SUCH AS THE GARAGE SHALL BE FULLY WEATHERSTRIPPED, GASKETED OR OTHERWISE TREATED TO LIMIT INFILTRATI*O*N.
- 8. ALL MECHANICAL EQUIPMENT INCLUDING FIXED APPLIANCES SHALL BE SECURELY FASTENED PER U.M.C.
- 9. MECHANICAL HVAC CONTRACTOR TO VERIFY AND BE RESPOSIBLE FOR ALL DUCT AND REGISTER SIZES.
- O. ATTIC / UNDERFILOOR INSTALLATON MUST COMPLY WITH SECTIONS 904, 908 AND 909 OF THE CALIFORNIA MECHANICAL CODE (CMC).
- ||. PROVIDE 5 AIR CHANGES PER HOUR FOR BATHROOM & LAUNDRY ROOM VENTILATION.
- 12. PROVIDE LAVATORY FAUCETS WITH MAX. FLOW OF 1.2 GPM.

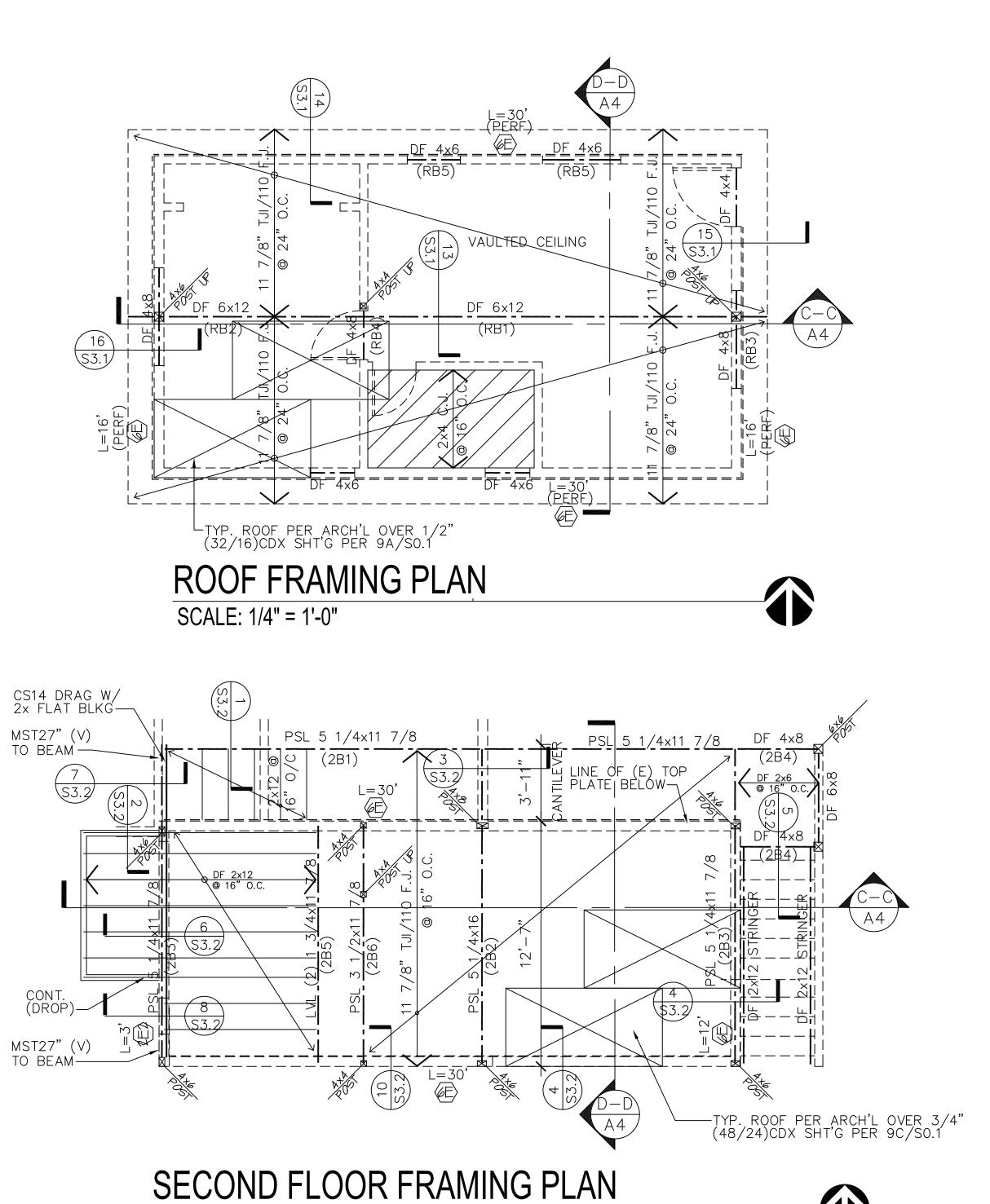




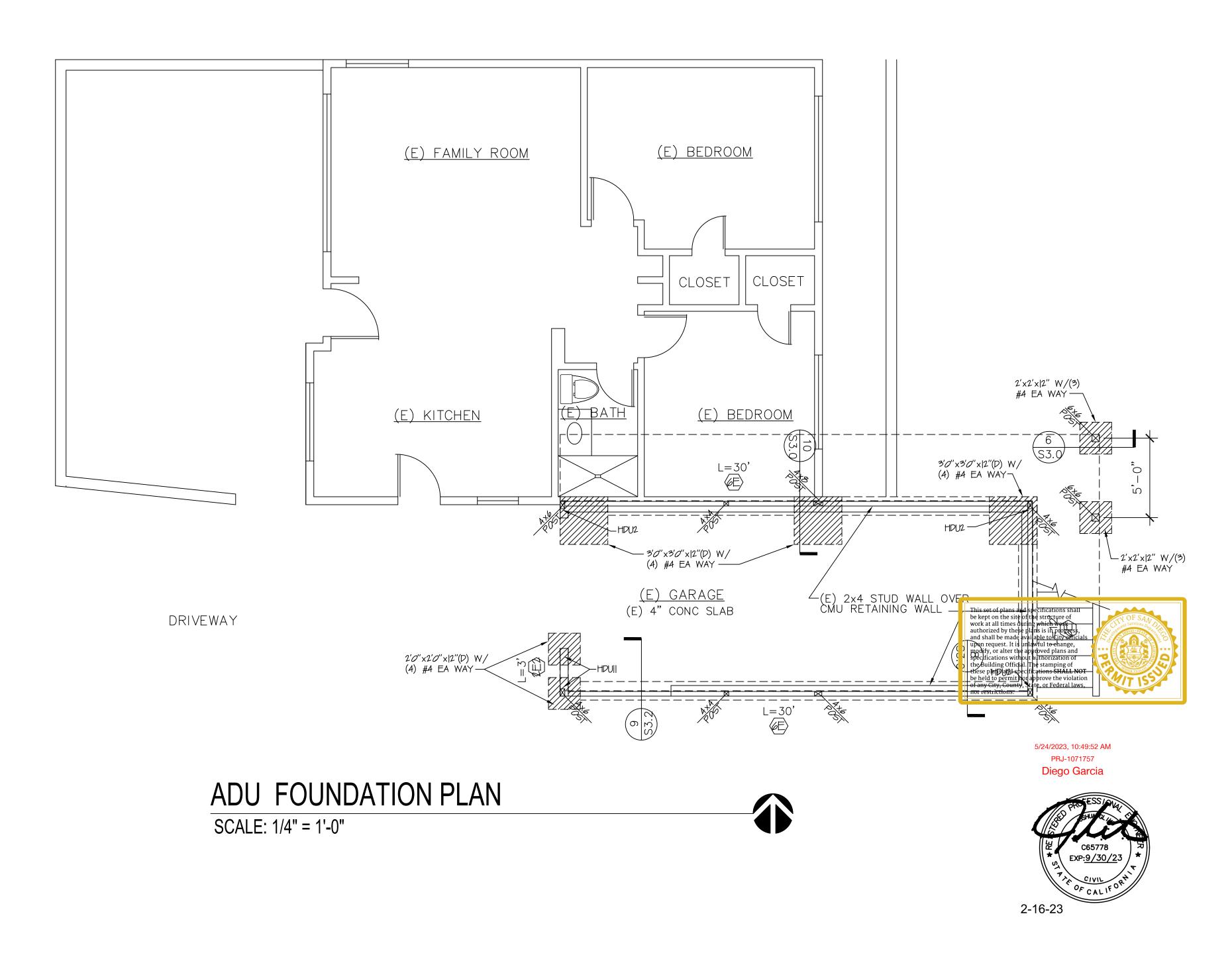


Second Story Addition & ADU 2475-77 Pescadero Ave.
San Diego, CA 92107
Timothy M. Doudna, Architect

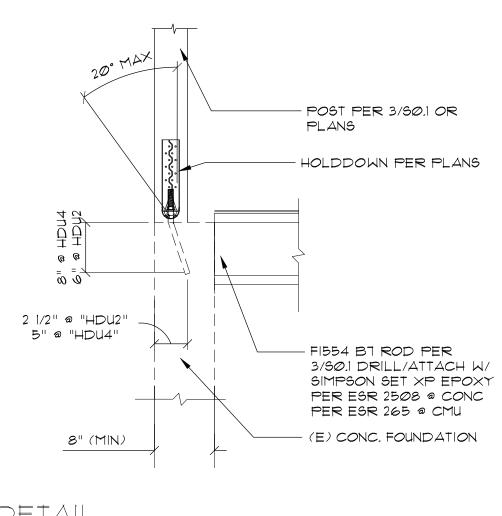
STRUCTURAL DETAILS



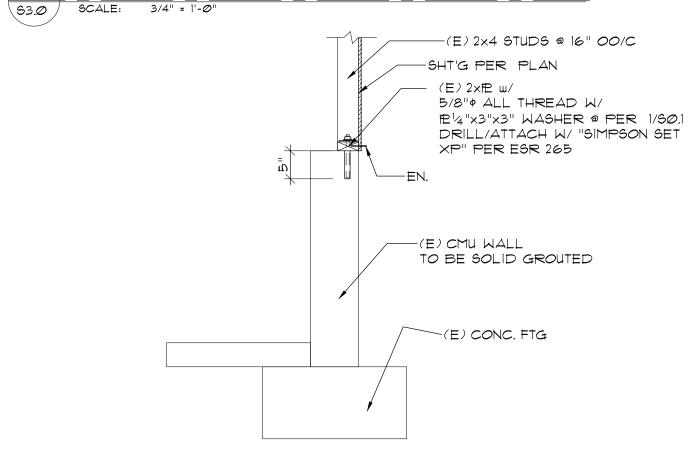
SCALE: 1/4" = 1'-0"



New Accessory Dwelling Unit
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ADU FOUNDATION &
FRAMING PLANS







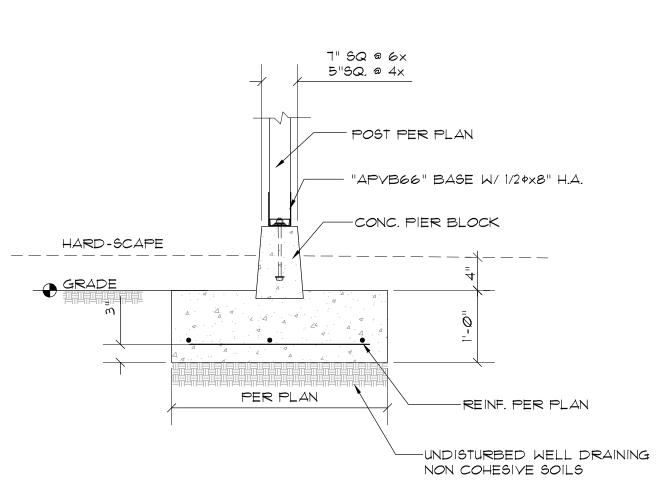
-POST PER PLAN

-(E)CMU WALL TO BE SOLID GROUTED

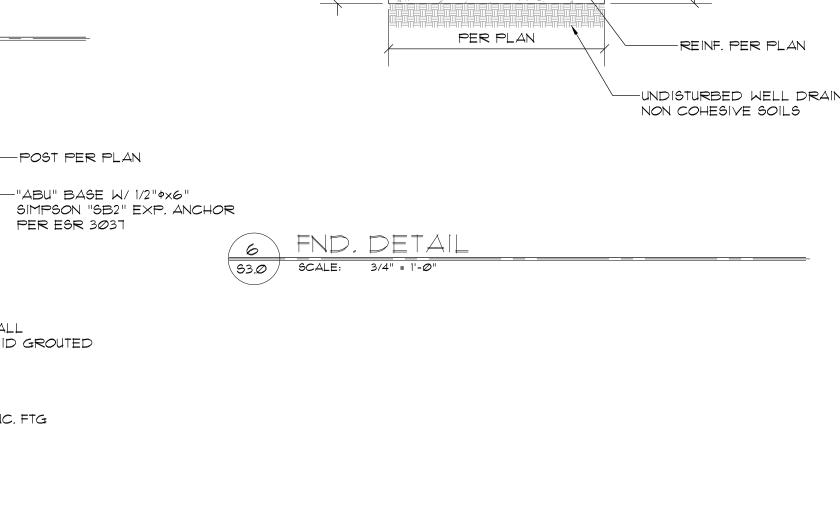
(E) CONC. FTG

-(4) *4 DWLS x 1'-0" LONG. DRILL 4" INTO (E) CONC. W/ SIMPSON SET XP PER ESR 2508











3 NOT USED 63.0 SCALE: 3/4" = 1'-0"



5/24/2023, 10:49:52 AM PRJ-1071757 Diego Garcia



New Accessory Dwelling Unit @ 4579 Pescadero Ave. San Diego, CA 92107 Timothy M. Doudna, Architect

STRUCTURAL **DETAILS**

7 NOT USED 63.0 SCALE: 3/4" = 1'-0"

11 NOT USED 93.0 9CALE: 3/4" = 1'-0"

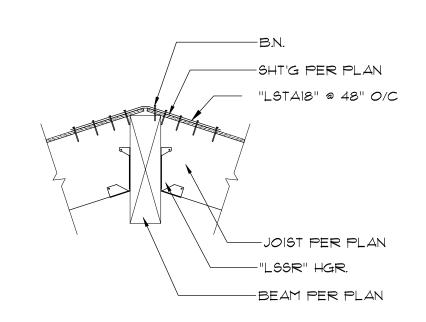
10 FND, DETAIL 63.0 SCALE: 3/4" = 1'-0"

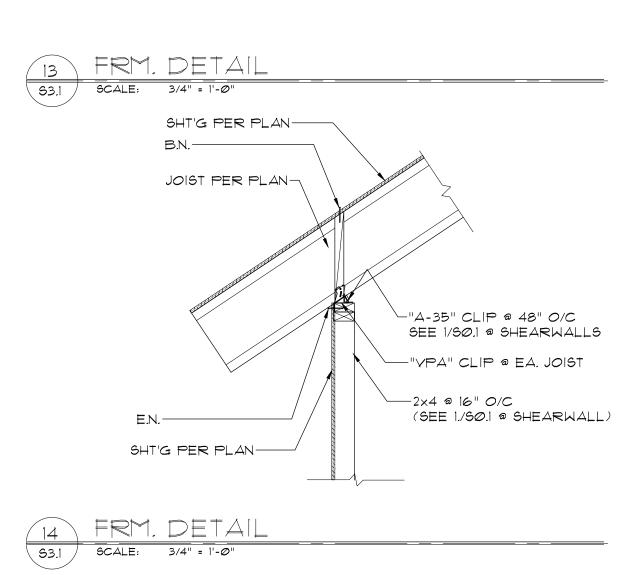
9 FND. DETAIL 93.0 9CALE: 3/4" = 1'-0"

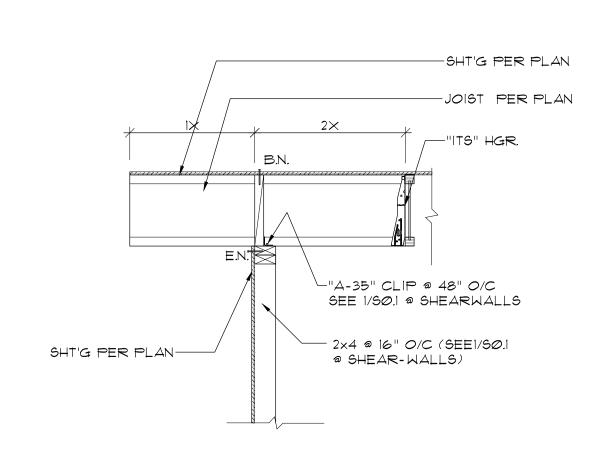
(N) 4" CONC. SLAB—

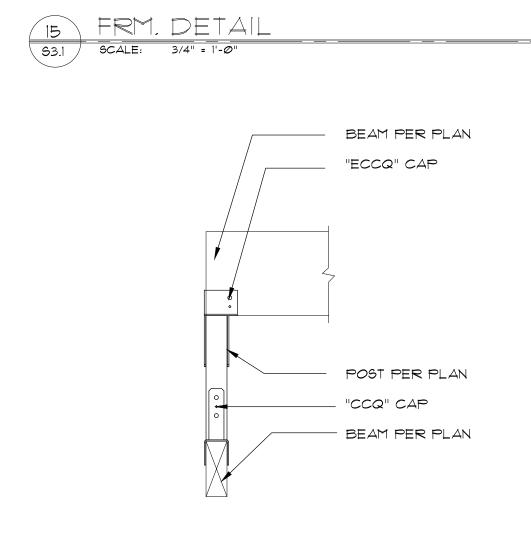
PER PLAN

#4 DWL\$xI-Ø" LONG @ 18" O/C (DRILL 4" INTO (E) SLAB AND FRICITON FIT)





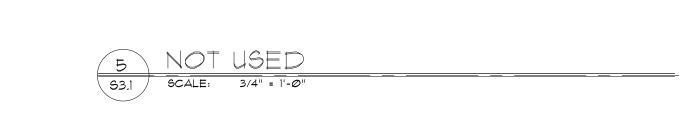












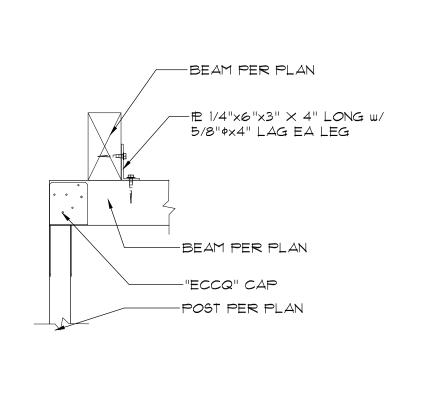












9CALE: 3/4" = 1'-0"

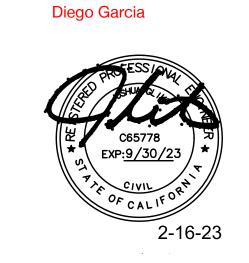


7 NOT USED 63.1 SCALE: 3/4" = 1'-0"









5/24/2023, 10:49:52 AM PRJ-1071757

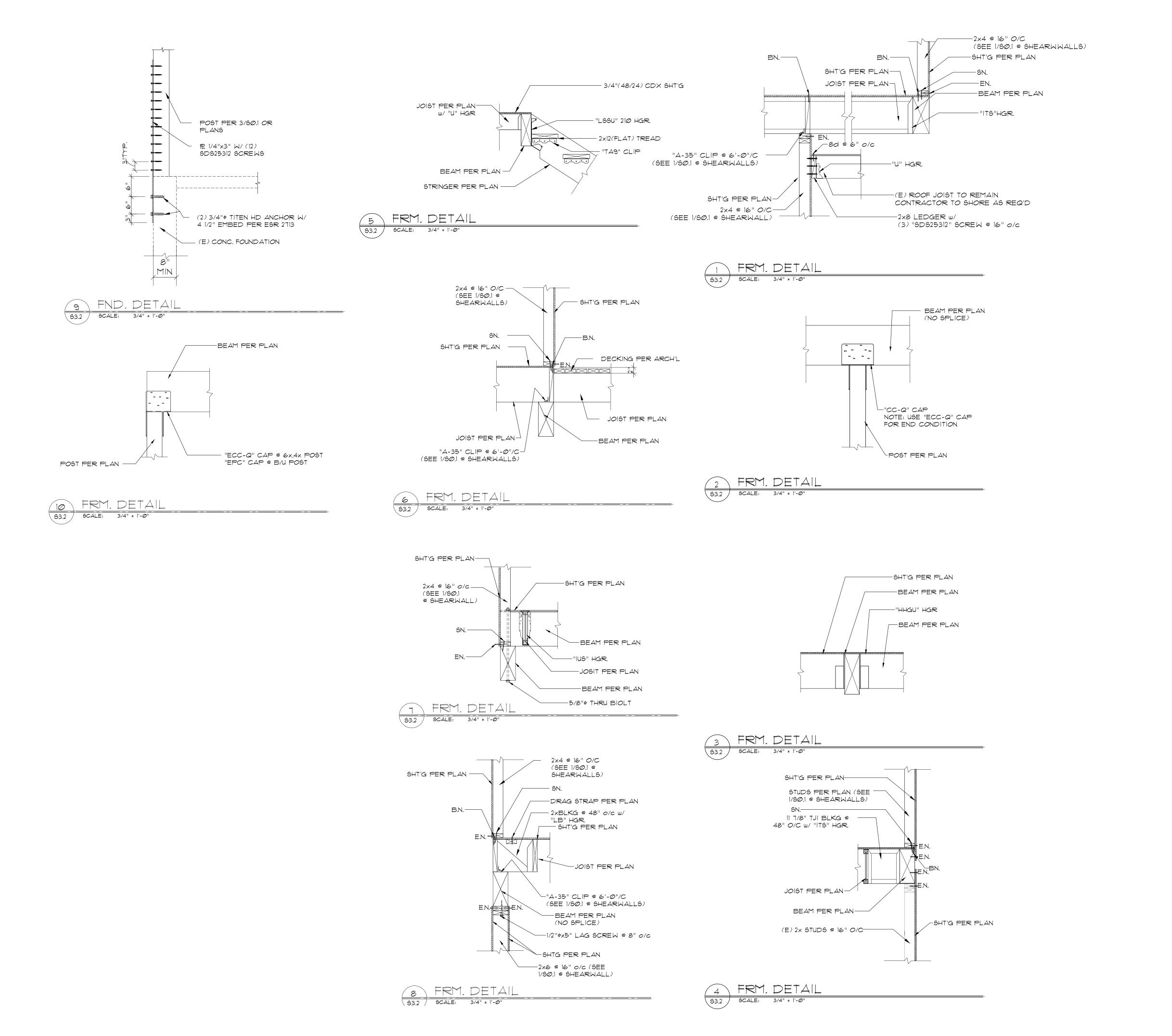
New Accessory Dwelling Unit @ 4579 Pescadero Ave. San Diego, CA 92107 Timothy M. Doudna, Architect

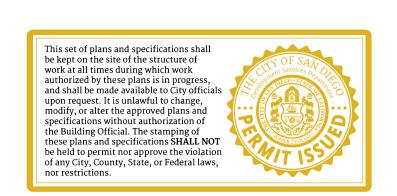
This set of plans and specifications shall be kept on the site of the structure of work at all times during which work authorized by these plans is in progress, and shall be made available to City officials upon request. It is unlawful to change, modify, or alter the approved plans and specifications without authorization of the Building Official. The stamping of these plans and specifications SHALL NOT be held to permit nor approve the violation of any City, County, State, or Federal laws, nor restrictions.

STRUCTURAL **DETAILS**

8 NOT USED 63.1 SCALE: 3/4" = 1'-0"

4 NOT USED 63.1 SCALE: 3/4" = 1'-0"



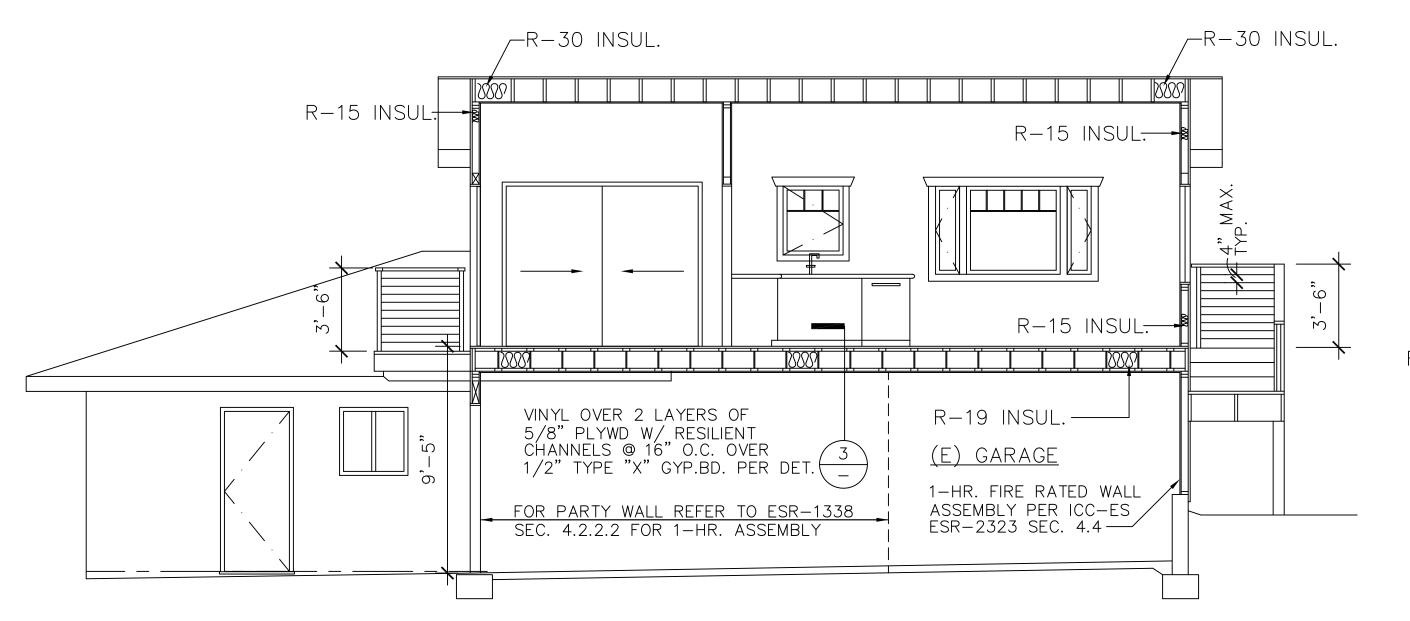


5/24/2023, 10:49:52 AM PRJ-1071757 **Diego Garcia**

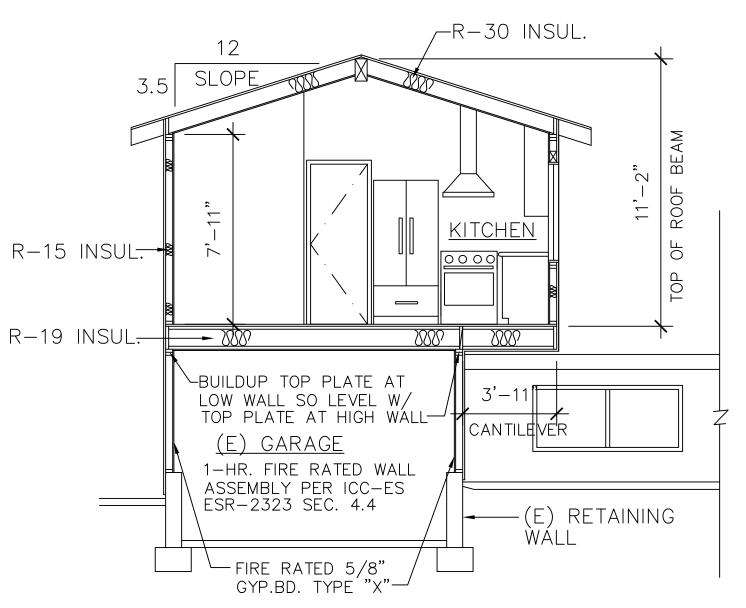


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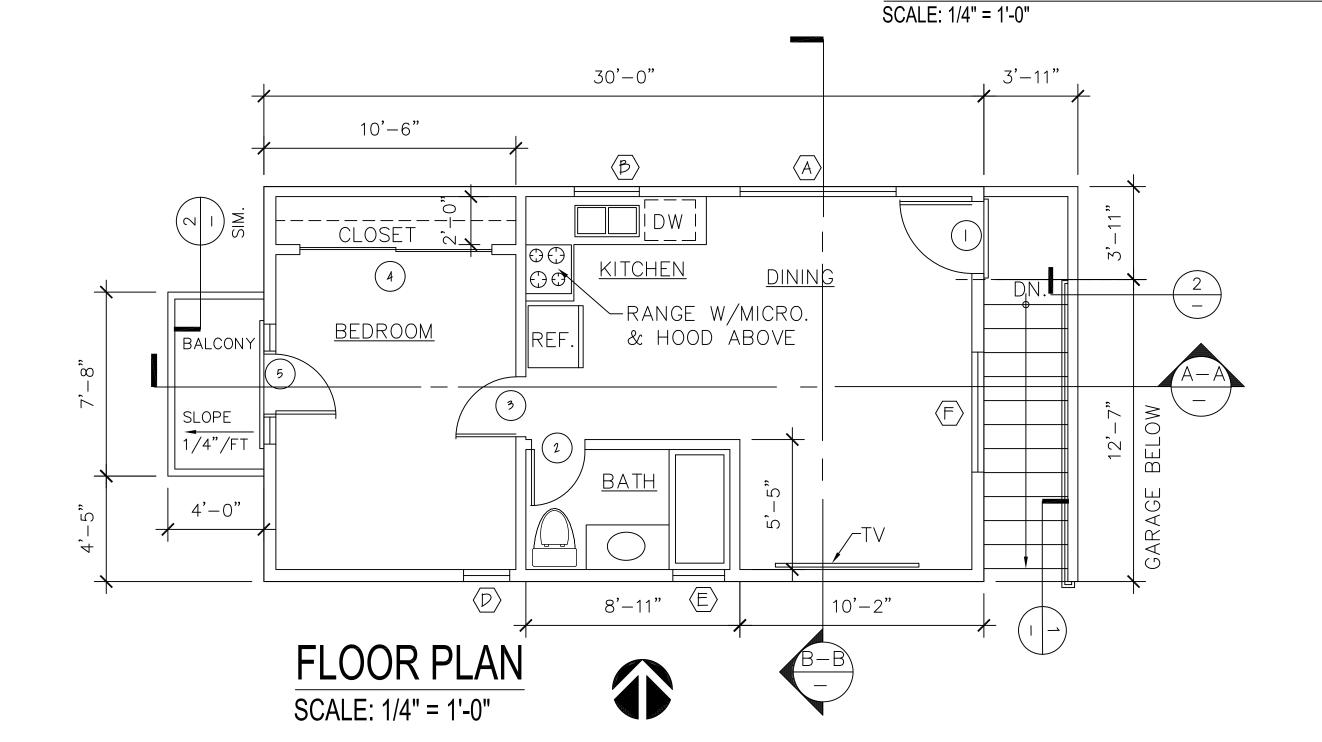
STRUCTURAL DETAILS



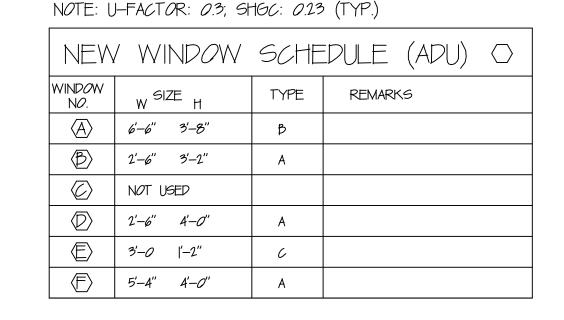
SECTION A-A

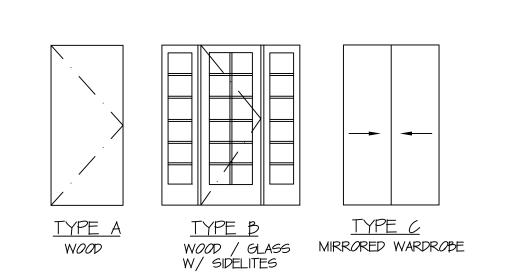


SECTIONB-B SCALE: 1/4" = 1'-0"

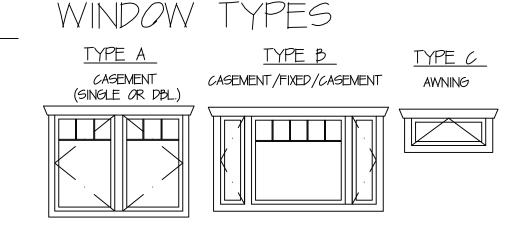


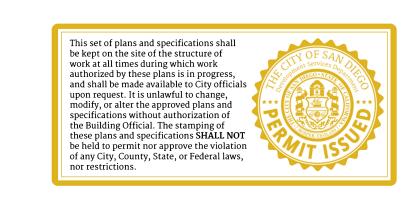
DOOR SCHEDULE (ADU)									
<i>D00</i> R N0.	DOOR TYPE	DIMENSION WIDTH HEIGHT	THK.	HARDWARE GR <i>O</i> UP	REMARKS				
	А	3'-0" 6'-8"	-3/4"	DEAD-BOLT					
2	А	2'-4" 6'-8"	-3/8"	PRIVACY					
3	А	2'-6" 6'-8"	-3/8"	PRIVACY					
4	C	8'-0" 6'-8"							
5	₿	6'-0" 6'-8"		DEAD-BOLT					

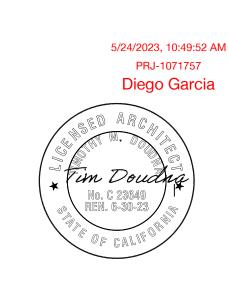




DOOR TYPES







New Accessory Dwelling Unit @ 4579 Pescadero Ave. San Diego, CA 92107 Timothy M. Doudna, Architect

FLOOR PLAN, SECTIONS &

SCHEDULES

2. DOUBLE WOOD FLOOR (1 HR.) - FOR VINYL OR LINOLEUM CARPET AND PAD SEE NOTE 3. DOUBLE FLOOR USING %" PLYWOOD SUBFLOOR MnnnnnnnMMINERAL FIBER INSULATION SEE NOTE 4. ← 1 HR. RATED LATH AND PLASTER RESILIENT CHANNELS

@ 16" O.C. OR 1/2" TYPE "X" GYPSUM BOARD

GENERAL NOTES

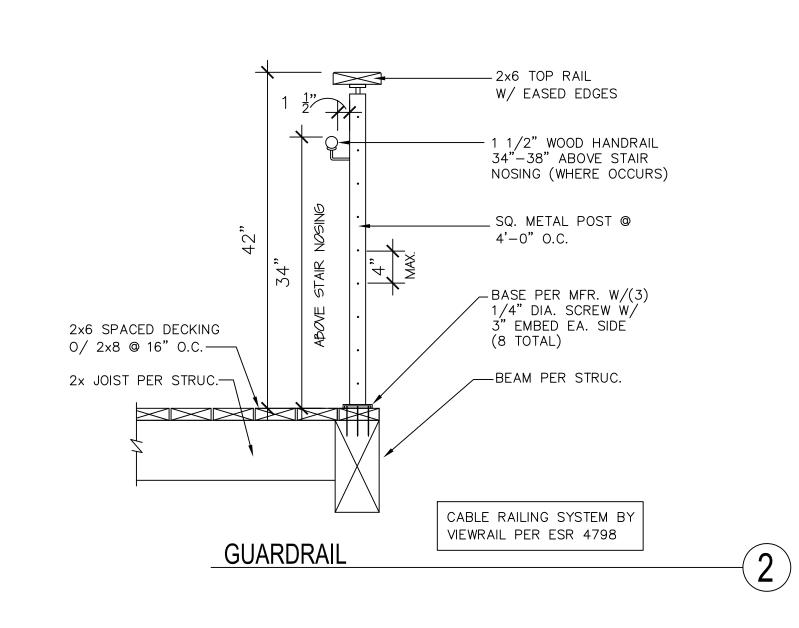
1. 13 OZ. FACE CARPET (31 OZ. TOT) AND 40 OZ. JUTTED PAD, OR 48 OZ. FOAM RUBBER, OR 3/8" REBONDED URETHANE FOAM 94 PCF), URETHANE FOAM (2.4 PCF).

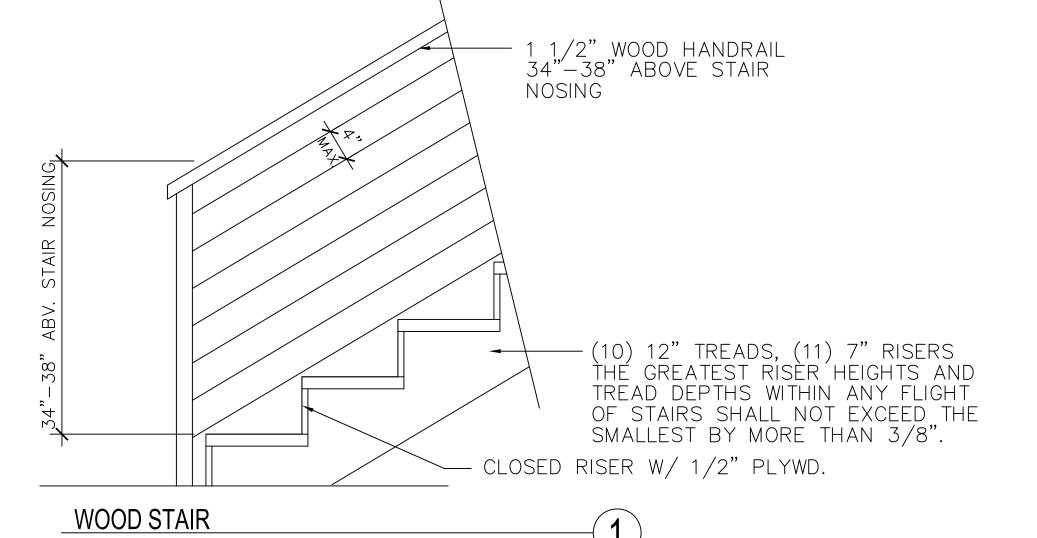
2. TYPE AND SPACING OF RESILIENT CHANNELS AND THE ATTACHMENT OF CHANNELS AND GYPSUM BOARD OR LATH SHALL BE AS REQUIRED FOR FIRE RATINGS.

3. SHEET VINYL AND LINOLEUM FLOOR COVERINGS WITH 1/8" MIN. THICKNESS RESILIENT BACKING MAY BE SUBSTITUTED FOR CARPET AND PADDING IN KITCHEN AND BATHROOM AREAS, IF CEILINGS ARE ON RESILIENT CHANNELS.

4. THE MINERAL FIBER INSULATION SHALL HAVE A THERMAL RESISTANCE R VALUE OF 11 OR GREATER

AS DETERMINED BY FEDERAL SPECIFICATION HH-521E.





FIRE / SOUNDRATED FLOOR-CEILING CONSTRUCTION