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PROPERTY INSPECTION REPORT

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07/31/2025



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1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview

A home inspection is a non invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the InterNACHI Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

General: Notes

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Note: Read the [Standards of Practice](#) set forth by the [InterNational Association of Certified Home Inspectors](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended.

It is HIGHLY recommended that you purchase and maintain a comprehensive home warranty, including coverage for your roofing, heating and air conditioning, plumbing, and electrical systems and renew it each year you own this house.

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Note: [For the purpose of this report, all directional references \(left, right, rear, front\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: [The client is advised that a mold inspection / testing be performed by a qualified specialist if any evidence of past or current water leaks \(plumbing, roof, intrusion or otherwise\) are reported by the inspector.](#)

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Safety / Major**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Minor = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Moderate = The item, component, or system while perhaps functioning as intended is in need of **moderate** repair, service; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or a qualified contractor** and are not considered routine maintenance or DIY items.

Safety / Major = The item, component or system poses a safety concern to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk.

The item, component or system is **Not** functioning as intended, or needs further evaluation by a specialized qualified licensed contractor or can cause damage to the structure. Items, components or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: Building Type
Single Family

General: Occupancy
Occupied

General: Utilities
All Utilities On

General: Temperature
80-90 F

General: Weather Conditions
Dry, Sunny

General: In Attendance
Client

It is preferred and recommended that the client be present during the inspection process. This is advised so that concerns can be discussed and addressed at the time of the inspection. It is encouraged that the client inquire about any information that is not understood or questions that arise during the inspection process or after completion of the inspection report.

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Note: Many areas and items at this property were obscured by furniture and/or stored items. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

Misc. Concerns / Comments: Homes 30 years old or more

This home is over 30 years old and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

4: ROOF

Information

General: Inspection Method	General: Roofing Material	General: Flashing Material
Drone	Tile	Metal

General: Drone

An aerial drone was used for the roof evaluation. It is understood that this method of inspection is not as thorough as if I was actually able to walk the roof surface, and is considered a limited inspection. Any comments made in this report relating to the roof covering, roof protrusions, gutters, chimneys, etc. are limited to the visible perspective of the drone. If a more thorough inspection is desired I recommend consulting a roofing contractor.



Mavic Air 2

General: Roof Underlayment Inspection Limited

Due to lack of visibility as a result of the installed roof coverings, we are not able to inspect, evaluate or comment on the condition or installation of the roof underlayment system. Deciciencies with the underlayment can include but not limited to: premature failure, shrinkage, not installed, improper installation or physical damage. As a result of these limitations, we recommend further evaluation by a licensed roof contractor to determine if latent defects exist.

General: Roof Tiles

This report provides the results of a visual inspection of the roof, focusing on areas such as excessive cracking, displaced tiles, and any visible signs of leaking. It is important to note that roofs can develop leaks at any time, which can cause damage to the building and its contents. To minimize the risk of such damage, it is recommended to regularly monitor the roof and address any issues as they arise. A thorough inspection should be conducted by a licensed professional at least once every few years, and any necessary repairs should be made to ensure the continued integrity and performance of the roof. Additionally, it is a good idea to keep a close eye on the roof following any severe weather events or other disturbances to the area. If you have any concerns about the any aspects of the roof, it is recommended to consult with a licensed roofing professional for a more comprehensive evaluation.

Coverings: Roof Views

Roof covering requires periodic repairs and sealant, especially around roof penetrations. Suggest periodic evaluation and repairs as needed to aide in preventing water penetration into structure. Roof covering are subject to unpredictable change. i.e. leaks may develop with out warning.



Flashings: Flashing Information

Visible portions of the flashings were inspected looking for significant deficiencies (drip edge, sidewall, headwall, counter, etc - if applicable). Typically most areas of flashings are not visible as they are covered by the roof covering material and/or the wall cladding (as applicable), and therefore functionality has to be determined by looking for moisture intrusion on ceilings where the flashing was presumed to be in place, or on the roof decking from within the attic (as accessible). No reportable conditions were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Skylights, Chimneys & Other Roof Penetrations: Skylight

Skylight(s) are installed in the home. As manufacturers differ in design and installation methods, improper or non-standard sealing methods are impossible to detect without an intrusive roof inspection. The roof covering precludes us from evaluating the installation and flashings. Skylights may leak at any time. Recommend obtaining a roof certification before the close of escrow if the client is concerned.



Skylights, Chimneys & Other Roof Penetrations: Roof Penetrations Information

The roof protrusions were viewed from ground level, a ladder, or by a drone and no deficiencies were observed at visible portions at the time of inspection unless otherwise noted in this report. The protrusions are also looked at from the attic (if accessible), to look for signs of leaks, etc.

Skylights, Chimneys & Other Roof Penetrations: Chimney Information

The chimney(s) were inspected looking for an adequate and functioning chimney crown, the condition of the masonry and flashings, the condition of visible portions of the flue liner(s), etc. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Roof Drainage Systems: Roof Drainage

The gutters were inspected looking for proper securement, debris in the channel, standing water, damage, etc. Leaking gutters can not be diagnosed if an active rain was not occurring at the time of inspection, and if leaks are noticed after taking ownership of the home, sealing or repairs may be needed at seams or endcaps. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Roof Drainage Systems: Gutter Information

The gutters were inspected looking for proper securement, debris in the channel, standing water, damage, etc. Leaking gutters can not be diagnosed if an active rain was not occurring at the time of inspection, and if leaks are noticed after taking ownership of the home, sealing or repairs may be needed at seams or endcaps. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Roof Drainage Systems: Recommend Maintaining Gutters

It is recommended to periodically clean debris from the guttering channels to prevent downspouts from clogging. Clogs in downspouts can allow the gutters to overflow; damaging roof sheathing, fascia boards, and saturating grounds at the foundation.

Limitations

General

ROOF LIMITATIONS

Findings

4.2.1 Coverings

UNDERLAYMENT - TILE

Tile roofs have a lifespan of 60-70 years. What fails is the underlayment it has a lifespan of 24-26 years. I would recommend having a roof tune-up perform what this entails is to replace any broken or slid down tiles, replace or repair the concrete ridge and rake caps, sealing all vent and stove pipes, cleaning and cutting the valleys, and pulling a few tiles to check the condition of the underlayment to determine when it will need to be replaced.

Recommendation

Contact a qualified roofing professional.



Recommendation



4.3.1 Flashings

TAR USED AS FLASHING

Tar was used as flashing. This is considered to be substandard and not necessary when flashing is installed properly. Recommend further evaluation and needed repairs be made by a qualified licensed roofing contractor.❖❖

Recommendation

Contact a qualified roofing professional.



Recommendation



4.3.2 Flashings

TILE ROOF- FAILED MORTAR BOND

Mortar bond/flashing was displaced or missing at roof to wall or hip/ridge locations. Failed mortar bond, can allow excessive rain below the tiles and may cause a leak. Recommend an evaluation and any necessary work be performed by a licensed roofing contractor.

Recommendation

Contact a qualified roofing professional.



Recommendation



4.4.1 Skylights, Chimneys & Other Roof Penetrations



Safety Hazard

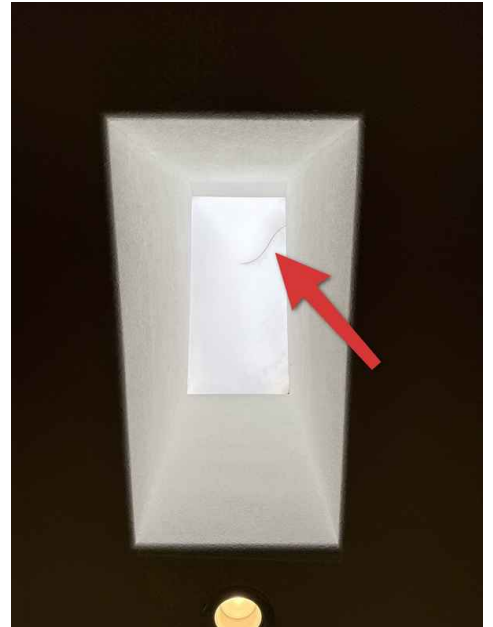
SKYLIGHT - GLAZING CRACKED

PRIMARY BATH

Glass in one or more skylights was cracked. Recommend that a qualified contractor replace glass as necessary.

Recommendation

Contact a qualified roofing professional.



4.4.2 Skylights, Chimneys & Other Roof Penetrations



Recommendation

PREVIOUS PROTRUSION NOT SEALED

There was a previous protrusion through the roof surface that has since been removed. After removal, the area was not sealed, flashed, or appropriately patched, allowing for a hole to be present. Repairs to properly "finish" the past protrusion is recommended to be performed by a qualified roofing contractor.

Recommendation

Contact a qualified professional.



4.5.1 Roof Drainage Systems



Recommendation

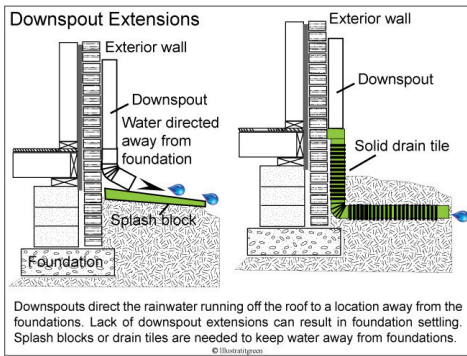
DOWNSPOUT POOR TERMINATION

FRONT

There were downspouts present that were discharging within five feet of the foundation of the home. Current standards require downspouts to be diverted at least five feet from the foundation of the home to prevent the grounds surrounding the foundation from becoming saturated. Saturated grounds can allow water / moisture to enter basement and crawl space areas, and in extreme cases can allow for settlement of the home. Properly extending all downspouts at least five feet away from the home is recommended to be conducted by a gutter contractor or other qualified person.

Recommendation

Contact a qualified professional.



4.6.1 Maintenance / Other

TREES AND/OR SHRUBS IN CONTACT WITH ROOF SURFACE



Vegetation such as trees, shrubs, and/or vines overhanging the roof surface or were in contact with the roof edge. Organic debris such as leaves or needles are likely to accumulate in gutters and on the roof surface. Gutters can overflow and cause water to come in contact with the building exterior or water can accumulate around the foundation. This is a conducive condition for wood-destroying organisms. Vegetation in contact with the roof can damage the roof surface and/or the roof drainage system. Recommend pruning vegetation so as to not be in contact with the roof and to not overhang the roof surface. If vegetation is too tall then it should be pruned at least 10 feet above the roof surface.

Recommendation

Contact a qualified professional.



5: GROUNDS

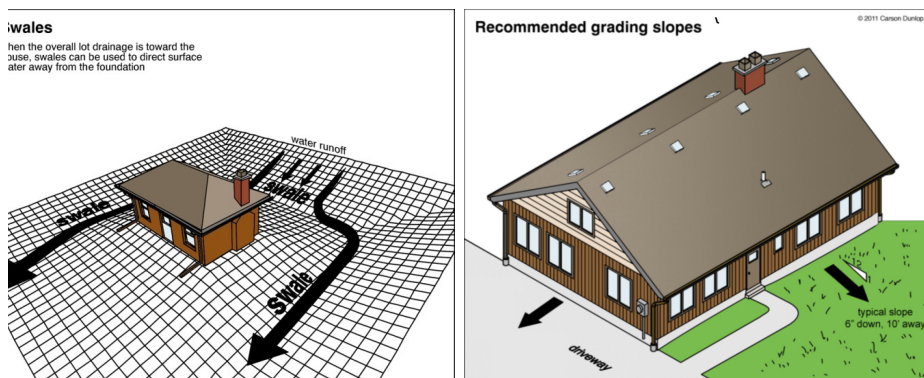
Information

Grading: Grading Limitations

The performance of the grading and lot drainage is limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems. I recommend consulting with the sellers as to any previous moisture intrusion that may have occurred in the past.

Grading: Grading / Drainage Overview

The grounds in contact with the home were inspected to determine that they were graded in a manner to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the home, with a 6 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade (if applicable). No significant grading deficiencies were observed at the time of inspection unless otherwise noted in this report.



Vegetation: Vegetation Information

Vegetation was inspected around the home to ensure that it had adequate clearance from the structure, and was not impacting the structure. No deficiencies were observed unless otherwise noted in this report.

Driveways, Sidewalks, Patios: Grounds Informations

The patio/sidewalk/driveway area was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.



Patio / Porch Covers: Patio Information

The patio area was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.

Retaining Walls: Retaining Walls Information

Retaining walls are inspected in respect to their effect on the structure of the home. The structural integrity or load bearing capacities of retaining walls are beyond the scope of a home inspection. No deficiencies were observed in the walls relation to the home unless otherwise noted in this report.

Limitations

Grading

GROUND LIMITATIONS

Findings

5.1.1 Grading

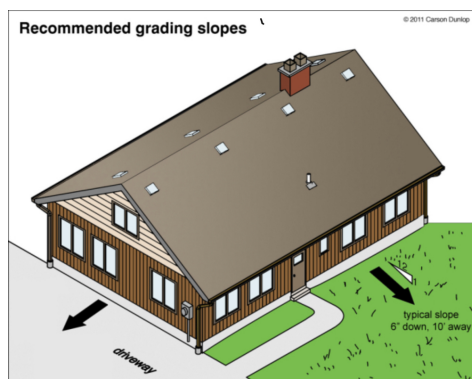
LOW AREAS

**Recommendation**

Grading and drainage is either negative or neutral adjacent to the residence, and moisture intrusion will remain a possibility. The soil or the hard surfaces should slope away from the residence to a distance of at least six feet, to keep moisture away from the footings. We can elaborate on this issue. Refer to a licensed geo technical and or licensed grading and drainage contractor.

Recommendation

Contact a qualified professional.



5.1.2 Grading

GROUND DRAINS

**Maintenance Item**

Ground drain lines were visible at the property at several areas. These drains are not tested for functional flow or adequacy. It is important to maintain these drains and prevent debris from entering. Recommend having all ground drain lines inspected and cleaned after moving into the property and on a periodic basis by a qualified Person.

Recommendation

Contact a qualified professional.



5.2.1 Vegetation

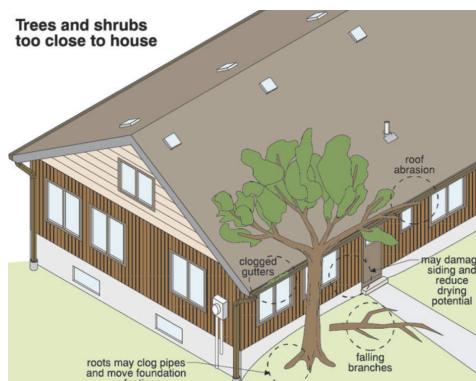
TREE NEAR / CONTACTING BUILDING

Recommendation

Trees were in contact with or were close to the building at one or more locations. Damage to the building can occur, especially during high winds, or may have already occurred (see other comments in this report if applicable). Recommend that a qualified tree service contractor or certified arborist remove trees as necessary to prevent damage to the building exterior.

Recommendation

Contact a qualified tree service company.



5.3.1 Driveways, Sidewalks, Patios

HARDSCAPE - TYPICAL SETTLEMENT CRACKS

Maintenance Item

Typical settlement cracks noted in areas of the hardscape at one or more locations. Recommend monitoring and repair when necessary by a licensed concrete contractor.

Recommendation

Contact a qualified concrete contractor.



5.4.1 Porches / Steps / Stoops

HANDRAILS MISSING MORE THAN 3 STEPS

REAR

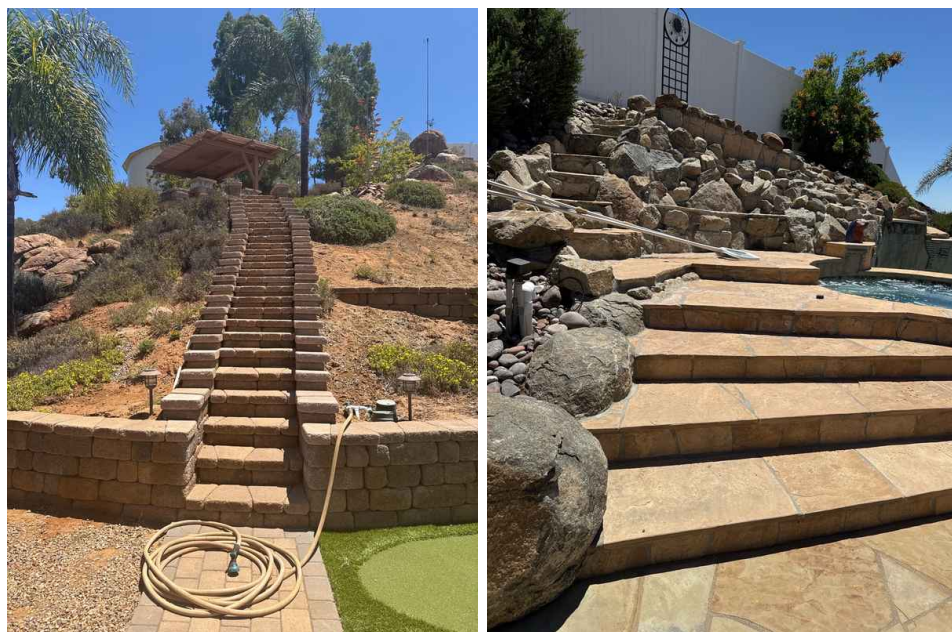


Safety Hazard

Handrails at one or more flights of stairs were missing. This is a potential fall hazard. Handrails should be installed at stairs with four or more risers or where stairs are greater than 30 inches high. Recommend that a qualified contractor install handrails where missing and per standard building practices.

Recommendation

Contact a qualified general contractor.



5.6.1 Retaining Walls



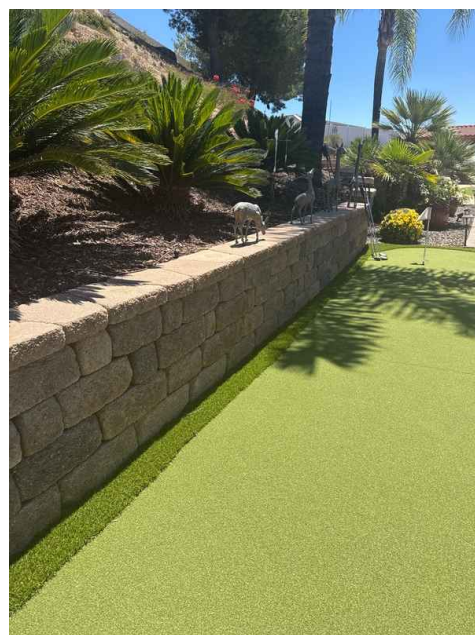
Maintenance Item

STACK BLOCK

A stack block retaining walls are present. These retaining walls appear to be in good condition. However, I could not observe the footings and I am unable to determine if the walls are properly constructed or permitted. If concerned about the construction of the retaining walls recommend further evaluation by a qualified licensed contractor prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



5.6.2 Retaining Walls

WALKOFF HAZARD(S)

LEFT SIDE/RIGHT SIDE

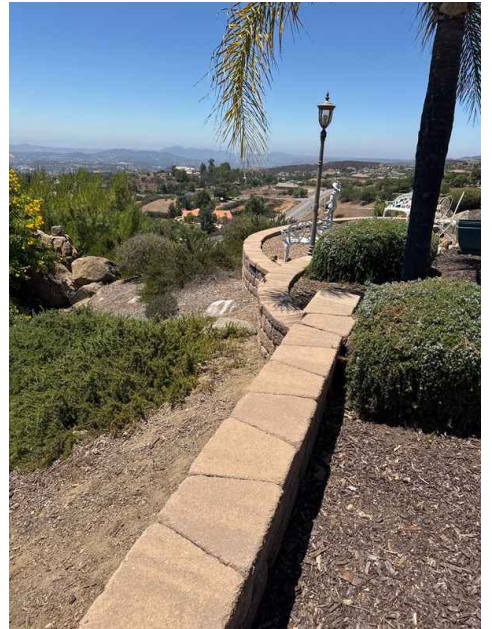
A walk off or drop off hazard was noted in one or more areas. Recommend installing guard rails for added safety.

Recommendation

Contact a qualified professional.



Recommendation



6: EXTERIOR

Information

Exterior Walls / Trim:	Exterior Walls / Trim: Wall
Construction Material	Covering Material
Wood Frame	Stucco

Exterior Walls / Trim: Wall and Cladding Information

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Exterior Walls / Trim: Windows Information

The exterior components of the windows (trim, flashing, etc.) were inspected looking for damage, lack of proper flashing, clearance from grade, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Exterior Walls / Trim: Exterior Doors Information

All exterior doors were inspected by looking for damage, lack of proper flashing, deficiencies with their operation, etc. No reportable deficiencies were present at the time of inspection unless otherwise noted in this report.

Eaves / Soffits: Soffit / Fascia Information

The soffit and fascia was inspected at visible portions looking for any water damage or other significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Walls / Trim

EXTERIOR LIMITATIONS

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation.

Findings

6.1.1 Exterior Walls / Trim

HAIRLINE STAIRSTEP CRACKS

Maintenance Item

One or more minor hairline or stairstep cracks were found in the wall areas. It is unknown the age of these cracks. At the time of inspection nothing out of the ordinary of normalized settlement was noticed. Recommend caulking and painting these areas, along with monitoring for future movement/widening. Future movement or widening would require an engineer to fully evaluate.

Recommendation

Contact a stucco repair contractor



6.1.2 Exterior Walls / Trim

STUCCO - STAINING Recommendation

Stains noted on the stucco at one or more locations. This condition is typically a result of a lack of proper roof drainage or other moisture related issues. Recommend further evaluation by a licensed environmental contractor and/or stucco contractor to determine any corrections necessary at this time.

Recommendation

Contact a stucco repair contractor



6.1.3 Exterior Walls / Trim

STUCCO DAMAGE - MOISTURE

FRONT

 Recommendation

Moisture damaged stucco noted in areas. In damp climates, moisture can enter cracks or damaged areas and further deteriorate the stucco. Also the wall behind the stucco can become damaged from moisture. Recommend further evaluation and repair by a licensed stucco contractor.

Recommendation

Contact a stucco repair contractor



6.1.4 Exterior Walls / Trim

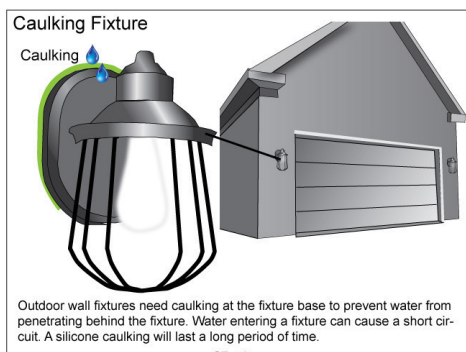
EXTERIOR LIGHT FIXTURE NOT SEALED



Generally, electrical fixtures and devices should be sealed water tight to the exterior walls of the home. Recommend sealing (or re-seal) these gaps appropriately.

Recommendation

Contact a qualified professional.



7: INTERIOR, DOORS, WINDOWS

Information

Windows: Type

Multi-pane, Sliding, Vinyl

Interior Doors: Interior Door Informations

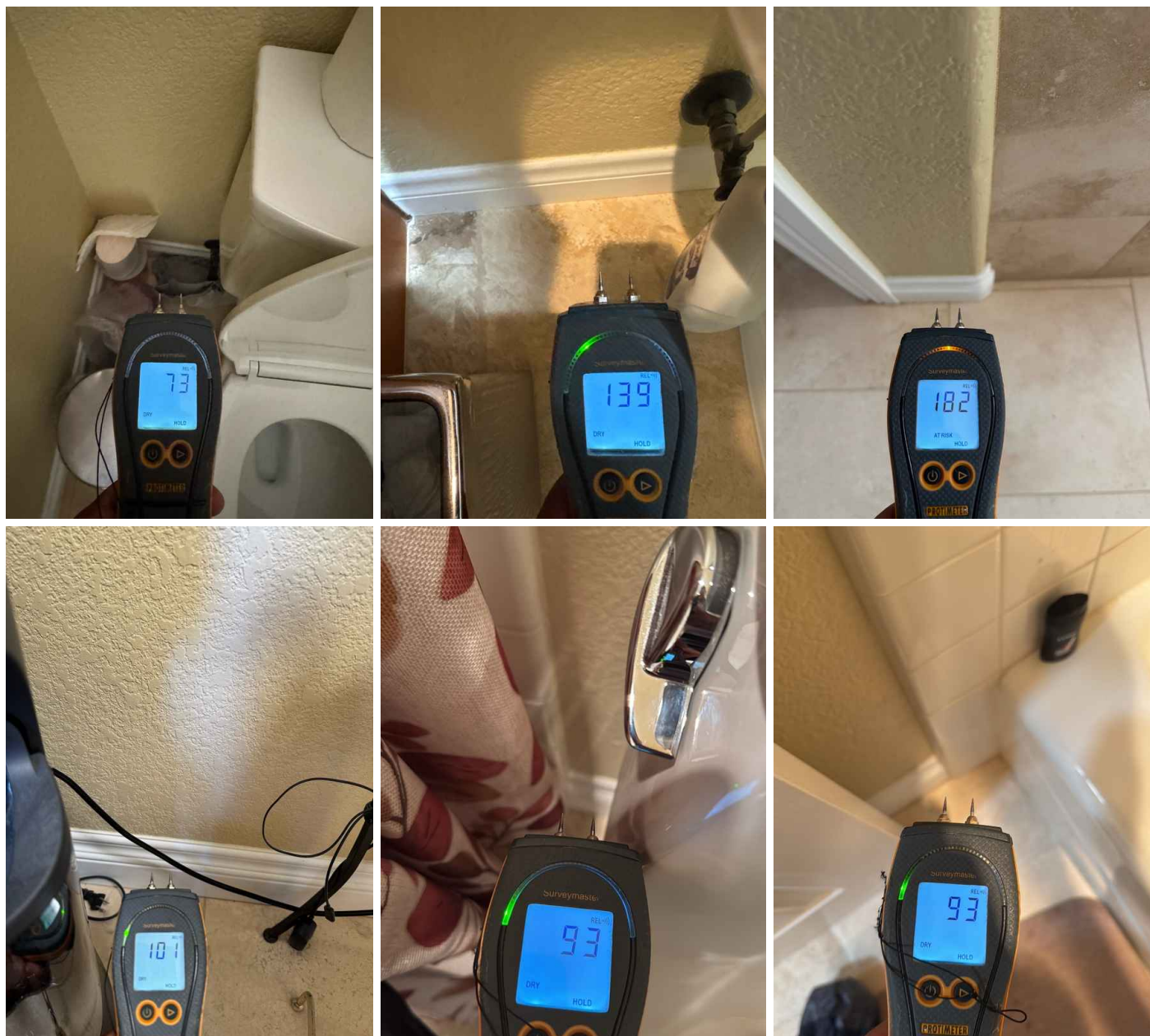
A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Windows: Window Information

Only a representative number of accessible windows are checked for operation during this inspection in accordance with the standards of practice of a home inspection. In some instances inspector may not be able to disclose the exact condition of every window. This includes reporting on the condition of the locks, springs, counter-balance mechanisms, or evidence of leaking if furniture, personal items or window coverings prevent access to windows and surrounding areas. If concerned we recommend having all blocked/ concealed windows inspected once stored items have been removed.

Walls: Interior Wall Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.



Ceiling: Interior Ceiling Information

The ceilings throughout the property were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Floors: Interior Floor Information

Visible portions of the floors throughout the property were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Countertops & Cabinets: Countertops / Cabinet Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Doors

INTERIOR LIMITATIONS**Findings**

7.4.1 Walls



Maintenance Item

STRESS FRACTURES

PRIMARY BEDROOM

Cracks and/or blemishes were found in walls and/or ceilings in one or more areas. Cracks and nail pops are common, are often caused by lumber shrinkage or minor settlement, and can be more or less noticeable depending on changes in humidity. They did not appear to be a structural concern, but the client may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified professional.



7.5.1 Ceiling



Maintenance Item

STRESS FRACTURES

PRIMARY BEDROOM

Cracks were found in walls and/or ceilings in one or more areas. Cracks and nail pops are common, are often caused by lumber shrinkage or minor settlement, and can be more or less noticeable depending on changes in humidity. They did not appear to be a structural concern, but the client may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified professional.



7.5.2 Ceiling



Maintenance Item

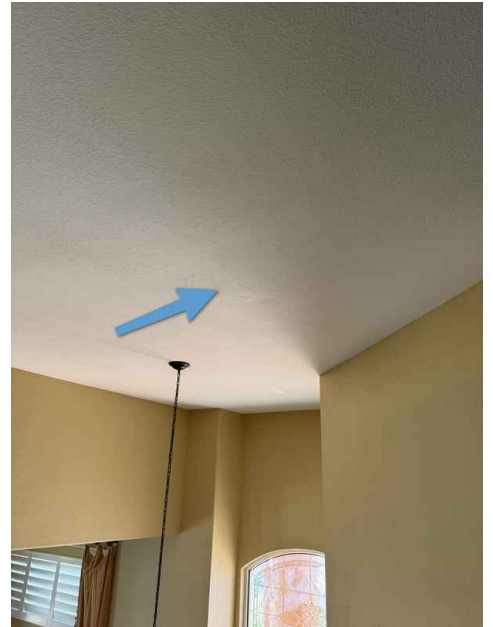
ASK OWNER ABOUT REPAIRS / PATCHING

ENTRY

Patches or evidence of prior repairs were found in one or more ceilings. Recommend asking the property owner about the repairs (e.g. why necessary, whether prior leaks have occurred).

Recommendation

Contact the seller for more info



7.5.3 Ceiling

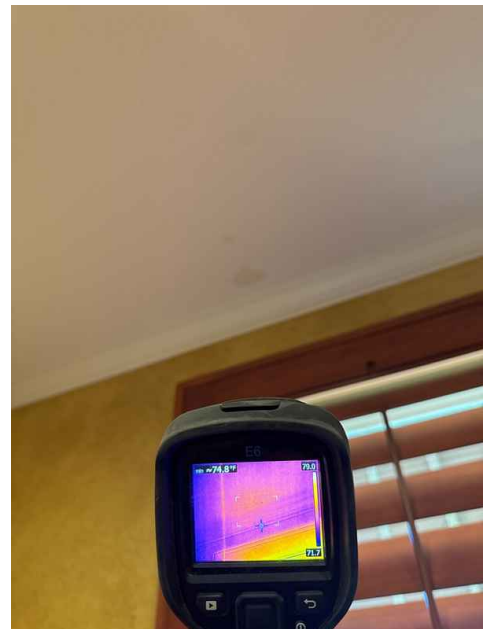
WATER STAINS - DRY

FIRST FLOOR OFFICE

Water stains were noted on the ceiling which can be from a previous plumbing leak. These stains were tested for moisture and were found to be dry at the time of the inspection. Recommend asking the seller as to history, or if repairs have been performed. Otherwise, a licensed contractor should be consulted to determine whether additional repairs are needed at the time.

Recommendation

Contact a qualified professional.



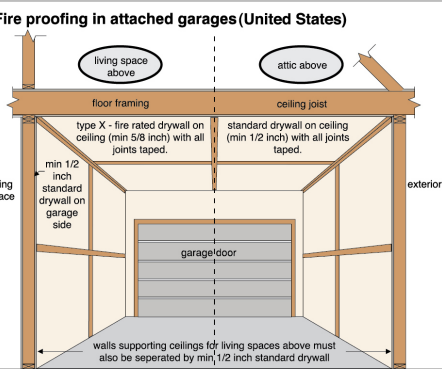
8: GARAGE / CARPORT

Information

General: Structure Type Attached Garage	General: Occupant Door Glass	General: Vehicle Door Sectional
General: Automatic Opener Safety Devices Did not test	General: Wall Type Finished	General: Ceiling Type Finished

Structure: Garage Area to Living Space Separation Information

Current building standards require "garage to living space separation". This separation helps to slow a garage oriented fire and to help prevent CO gases from entering living areas. This is achieved by the installation of a steel or solid wood door between the garage and living areas measuring no less than 1 3/8" thick, or a 20 minute fire rated door. The walls require the installation of 1/2" drywall, and the installation of 5/8" Type X drywall on the ceiling (if living areas are overhead). No protrusions should be present on the walls and/or ceiling in the area unless properly sealed with an approved sealant. These upgrades are recommended for safety if not present, and a qualified contractor can be consulted for more information.



Occupant Doors: Garage Door Information

Current standards require that door(s) in between living areas and the garage are constructed of steel or solid wood, measuring at least 1 3/8 inches thick or that the door is 20-minute fire rated.

Vehicle Door: Garage Door Information

The garage door(s) were tested by operating the wall mounted transmitter and checking for proper operation. The door(s) were examined for significant damage or installation related deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.



Automatic Opener: Garage Door Opener

The garage door opener(s) were inspected by depressing the wall mounted transmitter and observing the openers functionality (remote transmitters are not tested). No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Note: When tested, the safety sensors (eyes) functioned correctly, reversing the door. *I do not test the pressure reverse sensors because it can easily damage the overhead door.*



Floor, Walls, Ceiling: Walls Information

The walls appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed at visible portions unless otherwise noted in this report.

Floor, Walls, Ceiling: Slab Information

Visible portions of the concrete slab was inspected looking for significant deficiencies and significant cracking. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Any references to cracks on basement or garage concrete slabs will need to be sealed with an appropriate material by a qualified person at a minimum, regardless of the cracks size. This will prevent the possibility of moisture/water infiltration rising through the crack(s) during periods of heavy rainfall.

Limitations

General

GARAGE LIMITATIONS

The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.

Findings

8.3.1 Occupant Doors



Safety Hazard

DOOR NOT FIRE RESISTANT

The door between the garage and the house did not appear to be fire resistant, or the inspector was unable to verify that it was via a label. This is a potential safety hazard. House to garage doors, to prevent fire and fumes from spreading from the garage into interior living space, should be constructed of fire-resistant materials. Doors, generally considered to be suitable for the purpose, are solid core wood (at least 1 3/8 inches thick), steel, honeycomb steel or a door that has been factory labeled as fire rated. Recommend that a qualified contractor replace or repair the door and, at that time, make any other corrections that might be required to provide suitable fire resistance between the garage and the dwelling per standard building practices.

Recommendation

Contact a qualified door repair/installation contractor.



8.3.2 Occupant Doors



Safety Hazard

SELF-CLOSING DEVICE MISSING

The self-closing device on the door between the garage and the house is not installed / missing. These devices are installed to keep the door closed to prevent possible fire and fumes from the garage from spreading to the house. Recommend that a qualified person repair as necessary.

Recommendation

Contact a qualified professional.



8.6.1 Floor, Walls, Ceiling

FLOORS / WALLS OBSCURED

Floor and / or wall areas were obscured by stored items and couldn't be fully evaluated.



9: PLUMBING

Information

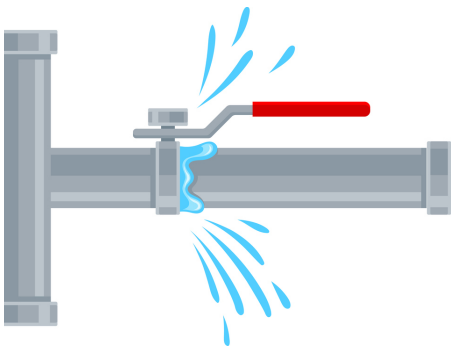
Service: Water Service Type Public	Service: Water service Material Unknown / Not Visible	Service: Sewer Type Public
Drain, Waste, & Vent Systems: Waste Line Materials Not fully evaluated	Drain, Waste, & Vent Systems: Vent Materials ABS	Water Heater: Estimated Mfg. Year 2025
Water Heater: Energy Source / Type Tank, Natural gas	Water Heater: Capacity 50 Gallon	Water Heater: Location Garage
Laundry: Information Gas Supply, 240 Volt Electric, Dryer Present (not tested), Clothes Washer Present (not tested)	Exhaust Fans / Ventilation: Type Window	Fuel Systems: Fuel Supply Piping Type Steel
		
Fuel Systems: Fuel Service Type Natural Gas		

Service: Water meter location
By street



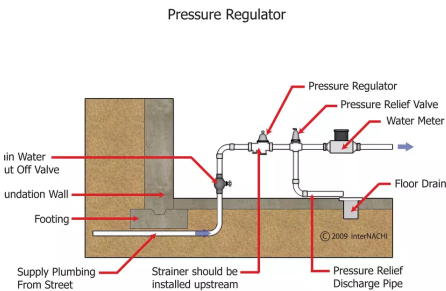
Service: Water Shut-Off Location
Garage

Water Shut-off valves for the plumbing system in the home are not operated or tested during the inspection. Rust and corrosion can build up inside the shut-off valves If they have not been operated for a significant amount time. This condition poses a risk of a leak or flood from the valve assembly if the shut-off valves is disturbed. This includes any main water shut-offs and valve stops under sinks, connections for laundry machines, inside access panels, and plumbing distribution manifolds.



Service: Pressure Regulator Present
Unknown

The pressure regulator was inspected visually for leaks or heavy corrosion and/or rust. No indications of deficiencies were present at the time of inspection unless otherwise noted in this report.



Service: Water Pressure

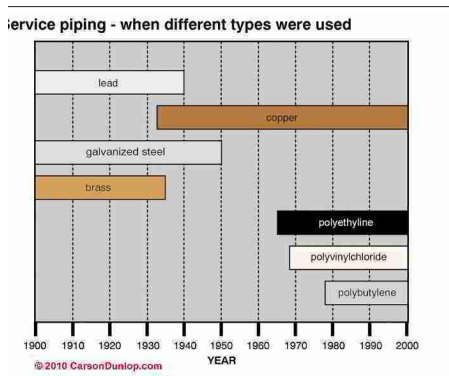
Not taken

The water pressure was tested at an available spigot on the exterior of the home, or at the washing machine spigots (if not in use). 80psi or less is recommended to protect distribution pipes and connections from leaking (60 - 70psi is preferred). Most pressure regulators are adjustable from 25 - 75 psi, and any readings over 75psi indicate a missing or defective pressure regulator.

Supply Lines: Materials

Copper, Copper

Visible portions of the water distribution pipes were inspected looking for leaks or other significant deficiencies. No reportable conditions were visually present at the time of inspection unless otherwise noted in this report.



Supply Lines: Visibility Limited - Slab Foundation

Most plumbing pipes are not visible on homes with a slab foundation as they run under the slab and behind finished walls. Any mention of water distribution pipes or drain, waste, and vent pipes (DWV) relates to visible portions only, and any portions not visible are excluded from this inspection.

Drain, Waste, & Vent Systems: Drain Line Materials

PVC, ABS

Water was ran through all drains in the home for an extended period of time to determine if functional drainage was occurring. No hindered drainage was present at the time of inspection unless otherwise noted in this report. Lived-in conditions can not be adequately replicated during an inspection and I have no control of future drainage conditions due to lived-in usage (solids being flushed down the system, etc.).

Drain, Waste, & Vent Systems: Clean-out Location(s)

Exterior Rear

The following locations that can be used to access the sewer line for either inspection and/or unclogging a the sewer drain.

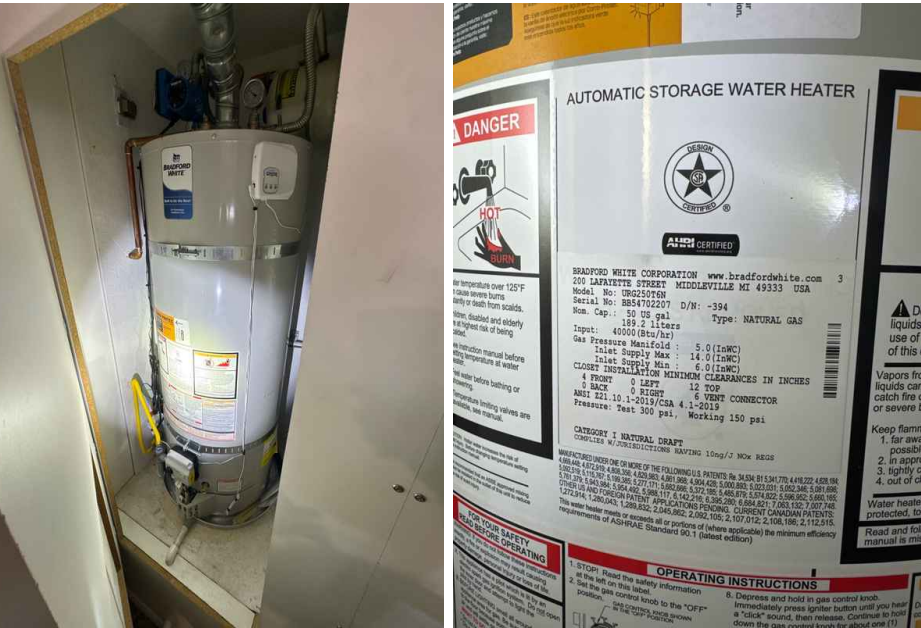


Drain, Waste, & Vent Systems: Drain, Waste, and Vent Pipe Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other significant deficiencies. No leaks or other reportable conditions were visibly present unless otherwise noted in this report. Sewer camera inspections are recommended for any home regardless of age due to the sewer lateral between the home and sewer service or home and septic tank not being visible and the possibility of damage, blockages, or sagging areas in this pipe. These inspections typically cost around \$250.00, but can save thousands if a problem is found.

Water Heater: Equipment Photo

Manufacturers recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.



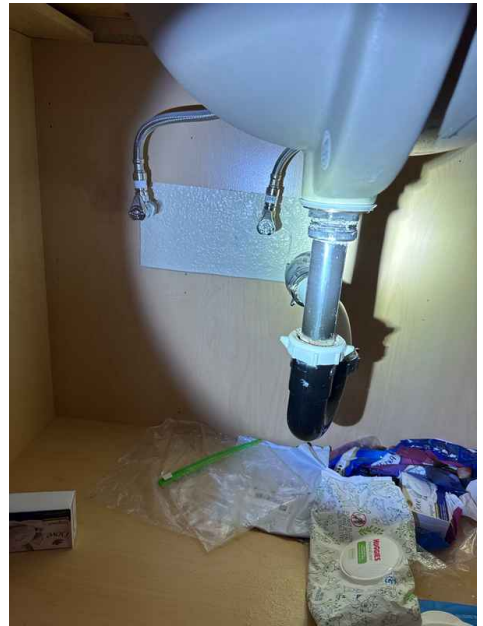
Water Heater: Thermal Image of Water Heater Producing Hot Water

The water heater produced hot water at the time of inspection. No reportable deficiencies were observed with the unit unless otherwise noted in this report.



Sinks / Fixtures: Sink Information

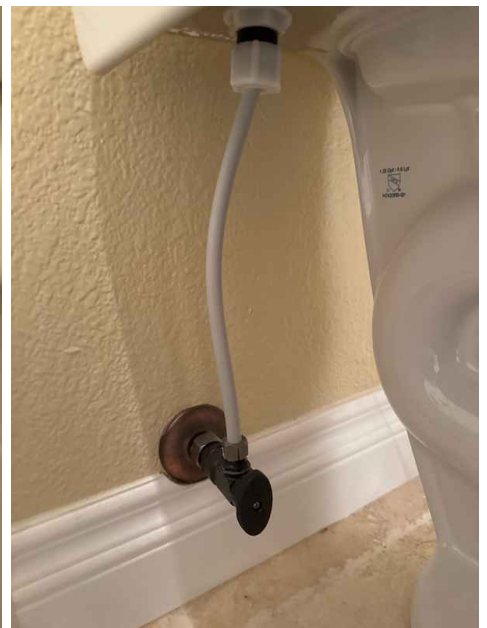
The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.





Toilets / Bidets: Toilet Information

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine no leaks were present at the water supply line or tank location. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



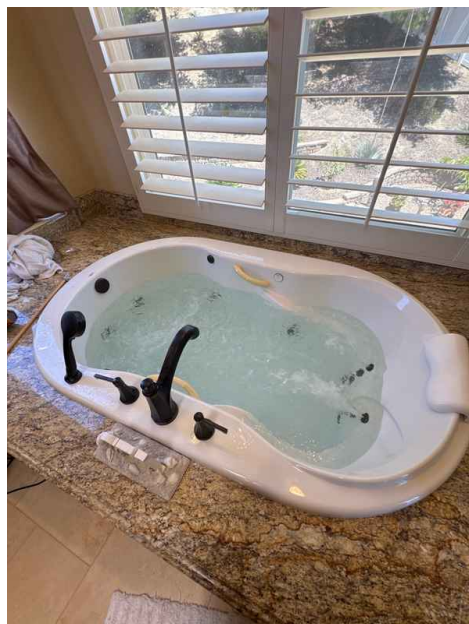
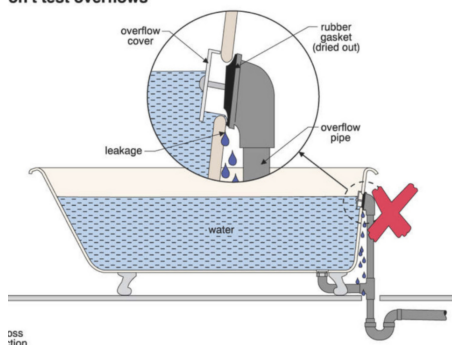
Bathtub / Shower: Jetted Tub Appeared to be Functioning.

The jetted tub was inspected by filling the tub with water to a level above the jets, and then initiating the motor to check that the motor was functional. The tub was then drained to check for leaks and/or damage or cracking in the tub. No significant deficiencies or leaks were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Bathtub / Shower: Drain Overflow Information

Tub and sink overflows are not tested for functionality due to the very high likelihood the gaskets will leak. Care should be exercised in filling tubs to not allow water into the overflow. While they will likely drain away the bulk of water, some amount of leaking should be anticipated. As an improvement, a licensed plumber could check the gaskets and make repairs deemed necessary. Again, it should be assumed these overflows will not be water tight.

on't test overflows



Laundry: Laundry Area Photo

Washer and Dryer are not tested as part of a standard inspection. Neither the laundry equipment nor the utility hook-ups (water, electric and gas), nor venting and waste lines for any particular appliance are evaluated as part of a standard inspection, unless otherwise noted. Concerns related to any laundry equipment or hook-up needs of new equipment should be assessed by a reputable and qualified tradesman.



Exhaust Fans / Ventilation: Ventilation Information

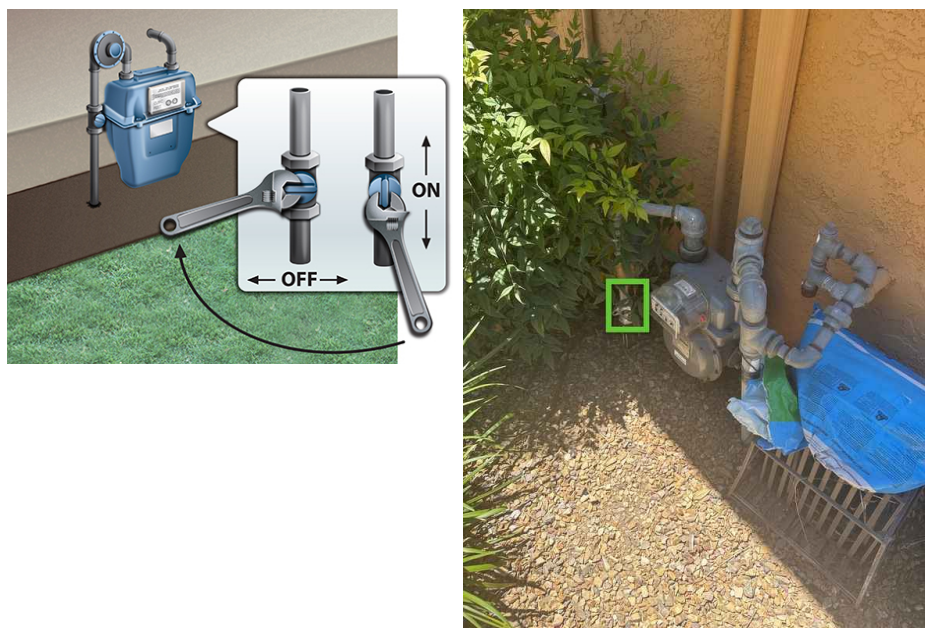
The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months. No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.

Fuel Systems: Main Gas Shut-off Location

Gas Meter

The main gas shut off valve can be operated utilizing an approved emergency shut off wrench. A wrench is typically necessary to operate this valve. It is recommended that the valve only be operated by the service provider unless an emergency situation does not permit this. Below you will find a link with further information for your convenience:

[SDGE Emergency Shutoff/Gas](#)



Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

Home inspectors check for functional flow at fixtures and drains by running water at all fixtures for an extended period of time. The test is to operate each serviceable fixture (faucets, toilets, and a representative number of hose spigots) and observe the associated drains, and allow adequate water to run to determine adequate flow rate, adequacy of the drain, and the draw of the drain (absence of blockage). However, inasmuch as significant portions of drainpipes are concealed, inspectors can only infer their condition by observing the draw at drains. Nonetheless, blockages and leaks will occur in the life of any system. Regardless, blockages and leaks in main sewer pipes are common and are costly to repair or replace, and for this reason, we sensibly disclaim responsibility for evaluating the concealed portions and strongly recommend that buyers arrange to have the main sewer pipe video-scanned by The Real Estate Inspection Company, or accept the risk of any damage that might occur.

Home inspectors do not operate (turn) any water supply shut off valves such as angle stops (the type under sinks), laundry hose spigots, water heater supply valves, or main water shut off valves at the meter. Home inspectors do not test clothes washer drains or stand pipes, or flood test the over-flow drains at tubs and sinks in accordance with industry standards of practice. If you have questions about these exclusions, please contact your home inspector.

Findings

9.1.1 Excluded Items

WATER SOFTNER / TREATMENT DEVICE



Note: A water softener system / water treatment device was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Water softeners typically work by removing unwanted minerals (e.g. calcium, magnesium) from the water supply. They prevent build-up of scale inside water supply pipes, improve lathering while washing, and prevent spots on dishes. Recommend consulting with the property owner about this system to determine its condition, required maintenance, age, expected remaining life, etc.

Recommendation

Contact a qualified professional.



9.1.2 Excluded Items

IRRIGATION / SPRINKLERS

Recommendation

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. Recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Recommendation

Contact a qualified professional.



9.1.3 Excluded Items



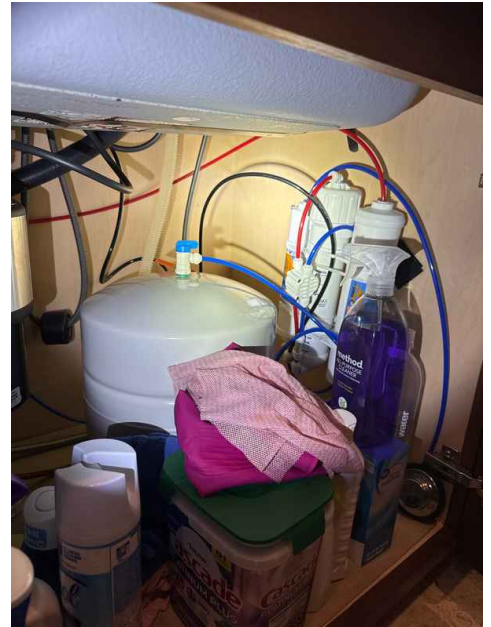
Recommendation

WATER FILTER / REVERSE OSMOSIS

Note: A water filtration / reverse osmosis system was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Filter cartridges typically need replacing periodically. Cleaning and other maintenance may also be needed. Recommend consulting with the property owner about this system to determine its condition, required maintenance, age, expected remaining life, etc.

Recommendation

Contact a qualified professional.



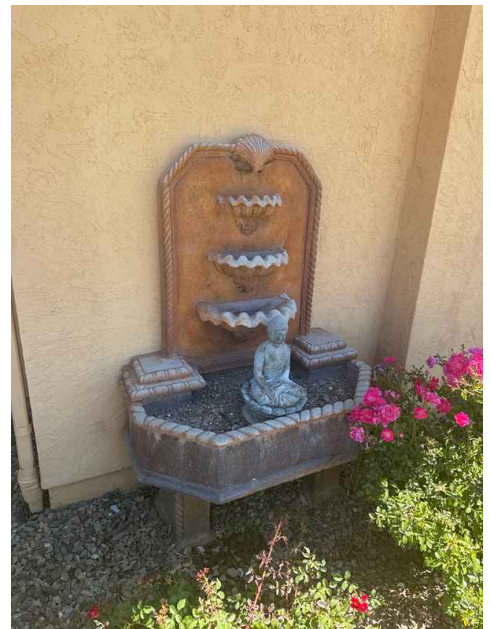
9.1.4 Excluded Items



Maintenance Item

WATER FEATURE

An exterior built in pond is installed on the property. Built in ponds and their related components are out of the scope of our general home inspection and was not inspected by our company. Recommend further evaluation by a qualified person to verify proper installation and operation prior to the end of your contingency period if concerned.



9.1.5 Excluded Items



Recommendation

DRAIN LINE SCOPE RECOMMENDED

Our inspection of the drain waste lines is limited to running water down each sink, tub and shower drain and look for slow or clogged drains at each fixture. This test is very limited and does not ensure that the main drain line is not blocked or clogged and truly functional. Only a sewer line video scope can provide an accurate and detailed inspection of the main sewer line. Problems with the main sewer line can be very expensive to repair and should be identified during your contingency period. This service can be provided by our company at request and is highly recommended.

Recommendation

Contact a qualified professional.

9.2.1 Service

Recommendation

MAIN WATER SHUT-OFF DIFFICULT LOCATION

GARAGE

The main water supply shut-off was located in a difficult location to access at time of inspection. Recommend that the client familiarize themselves with the location and make repairs to provide easier access.



9.3.1 Supply Lines

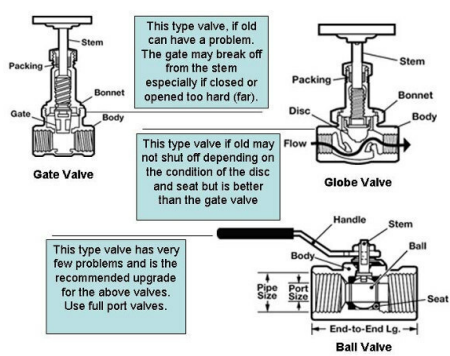
Recommendation

GATE VALVE STYLE -SHUTOFF

The home appears to be equipped with an older-style shut off valve at one or more areas. Gate valves are known to be less effective than a newer-style ball valve. Advise consulting a licensed plumbing contractor for replacement as necessary.

Recommendation

Contact a qualified plumbing contractor.



9.5.1 Water Heater

Maintenance Item

REPLACED WATER HEATER

2025

The water heater installed in this home does not appear to be original. Recommend asking the seller for documentation showing that this unit was installed by a licensed plumbing contractor per the manufacturers installation requirements. If documentation cannot be produced, we recommend this unit be further explored by a licensed plumbing contractor or SDG&E before the removal of contingencies for safety.

Recommendation

Contact the seller for more info

9.6.1 Sinks / Fixtures

FLEXIBLE PIPE

PRIMARY BATH/HALLWAY BATH

Ribbed, flexible drain pipe was used at the sink. This type of drain pipe accumulates debris more easily than smooth wall pipe and is likely to clog. Recommend that a qualified plumber replace flexible piping with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



9.6.2 Sinks / Fixtures

DRAIN LEAK

HALLWAY BATH

One or more leaks were found at the sink drain. A qualified plumber should repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



Safety Hazard



9.6.3 Sinks / Fixtures

STOPPER ISSUE

HALLWAY BATH

The sink stopper was inoperable and/or ineffective when tested. Recommend necessary repairs or replacement by a qualified person.

Recommendation

Contact a qualified plumbing contractor.



9.6.4 Sinks / Fixtures

SHUT-OFF VALVES CORRODED

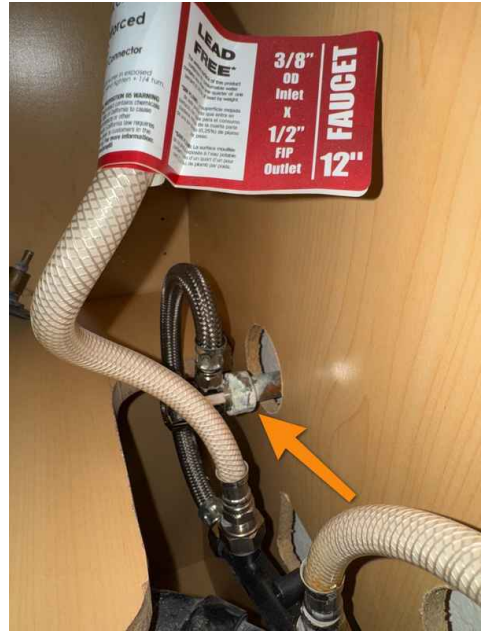
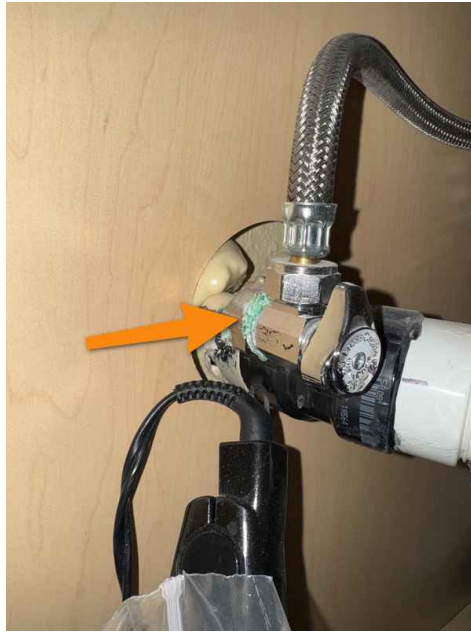
PRIMARY BATHBEDROOM 3 BATH/HALLWAY BATH

Shut-off valves were corroded. This indicates a past leak and could possibly leak again in the future. Recommend repairs be made by a qualified licensed plumbing contractor.



Recommendation

Contact a qualified plumbing contractor.



9.6.5 Sinks / Fixtures

PREVIOUS LEAK

BEDROOM 3 BATH/HALF BATH/KITCHEN

Evidence of previous possible leaks were noted at the drain line below the sink. Area appeared dry at the time of the inspection. Advise monitoring and repair by a licensed plumbing contractor.

Recommendation

Contact a qualified professional.





9.8.1 Bathtub / Shower

DIVERTER - TUB SPOUT LEAKS WITH SHOWER ON

HALLWAY BATH

The tub diverter(s) did not function properly at the time of the inspection. Water sprays from shower head and tub spout at the same time. This is typically due to corrosion and or hard water build-up. Recommend further evaluation by a licensed plumber before the end of your contingency period to determine repairs necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



9.8.2 Bathtub / Shower

TILE - CHIPPED

SECOND FLOOR HALLWAY BATH

Tile in one or more locations were chipped. Recommend that a qualified professional repair as needed.

Recommendation

Contact a qualified general contractor.



Maintenance Item



9.8.3 Bathtub / Shower

STOPPER ISSUE

SECOND FLOOR HALLWAY BATH

The bathtub drain stopper mechanism was missing. Recommend that a qualified person repair or replace as necessary.

Recommendation

Contact a qualified plumbing contractor.



Maintenance Item



9.9.1 Laundry

REPLACE FOIL/NYLON DUCT

Replace plastic or foil, accordion-type ducting material with rigid or corrugated semi-rigid metal duct. Most manufacturers specify the use of a rigid or corrugated semi-rigid metal duct, which provides maximum airflow. The flexible plastic or foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow. Flexible Nylon ducting is no longer approved in most areas for dryer venting due to the possibility of a fire hazard and has never been approved for use on gas dryers. Clean the dryer vent and exhaust duct periodically. Check the outside dryer vent while the dryer is operating to make sure exhaust air is escaping. If it is not, the vent or the exhaust duct may be blocked. A handyman is recommended for periodic cleaning of vent and duct.

Recommendation

Contact a handyman or DIY project



Maintenance Item

Choose these



RIGID METAL
These are least likely to sag.

Avoid these



FLEXIBLE PLASTIC
These are likely to sag and trap lint.



FLEXIBLE METAL
Also good, these hold their shape if bent.



FLEXIBLE FOIL These may look like flexible metal but don't hold their shape if bent.



9.9.2 Laundry

LAUNDRY HOSE UPGRADE

 Recommendation

The laundry area is equipped with rubber supply lines. This type of line is prone to dry rot and failure. Advise upgrades to new steel braided hoses to prevent this condition.

Recommendation

Contact a handyman or DIY project



9.9.3 Laundry

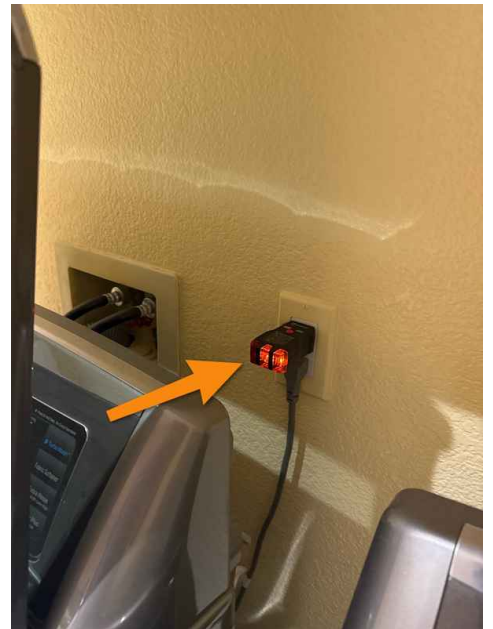
RECOMMEND GFCI UPGRADE - LAUNDRY

 Recommendation

This house was built prior to the requirement for the installation of GFCI receptacles in certain locations in the house. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, all kitchen counter top outlets, and at exterior, to GFCI protected outlets. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at [GFCI Requirements](#)

Recommendation

Contact a qualified electrical contractor.



10: ELECTRICAL

Information

Service: Information 120-240 Voltage, 1 phase 3 wire Voltage	Service: Entrance Conductor Material Copper	Panels: Main Panel Location Exterior, Left rear
		
Panels: Panel Capacity 200 AMP	Panels: Sub Panel Location(s) N/A	GFCI / AFCI Protection: GFCI reset locations Kitchen
Wiring: Wiring Type Non Metallic Sheathed, Copper		
Service: Service Entrance Conductors Underground service conductors terminate in sealed portion of service panel and are not visible.		

200 AMP

DANGER

Hazardous voltage.
Will cause severe
injury or death.

Turn off power before
working inside.

300-600-90-181

SINGLE POLE
INTERNAL 200 COMMON TRIP

ON ON

SERVICE
DISCONNECT

A photograph of a security system control panel. The panel is a vertical stack of several modules, including a power supply unit at the top and multiple alarm control modules below. A large bundle of wires, including red, black, and white, is connected to the back of the modules. A red warning sticker is affixed to the left side of the panel, featuring a camera icon and the text: "VIDEO SURVEILLANCE", "WARNING", "24 HOURS MONITORED BY SECURITY CAMERAS", "PRO-ALERT", "SECURITY SYSTEMS", and "619-258-9424". A metal door handle is visible at the top left of the panel.



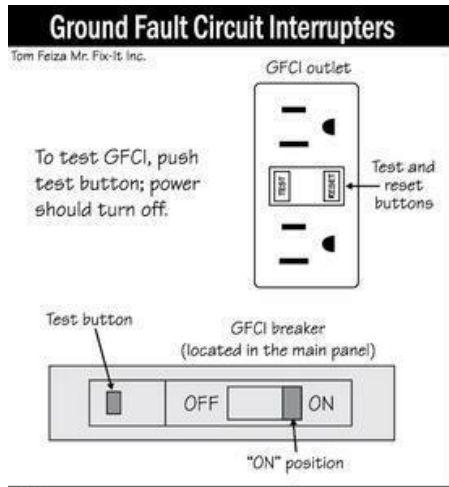
Breakers

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GFCI / AFCI Protection: GFCI protection present

Partial

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

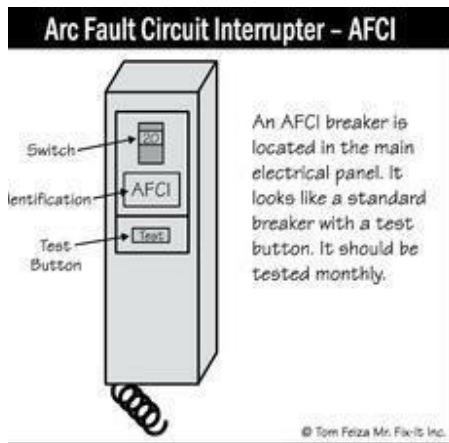


078

GFCI / AFCI Protection: AFCI protection present

No

An **Arc Fault Circuit Interrupter** (AFCI) is a [circuit breaker](#) that breaks the circuit when it detects an [electric arc](#) in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



020

Wiring: Exterior Lighting

Our company does not test low voltage/exterior lighting. Recommend asking the sellers to demonstrate that all exterior landscape lighting is functional, before the removal of contingencies.

Smoke Detectors / CO Alarms / Door Bell: Smoke Detector Installed / Location(s)**Bedrooms**

Smoke detectors were installed on each floor and in each bedroom, however, they were not tested. We recommend testing the detectors for proper function before occupying the home.



Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) Installed / Location(s)

Yes

Carbon Monoxide detectors are required in homes with any gas-burning appliances (furnace, range, water heater), fireplaces, or wood-burning stoves and/or an attached garage. Please see the new law regarding Carbon Monoxide detectors.



Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Findings

10.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM STYSTEMS

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.

Recommendation



10.3.1 Panels

LABELS - ILLEGIBLE

Some labels are present, but illegible or confusing. Recommend correction by a licensed electrical contractor or qualified professional for safety.

Safety Hazard

Recommendation
Contact a qualified professional.



10.3.2 Panels
FULL PANEL

 Maintenance Item

The electrical panel appears to be mostly full. Space is not provided for the addition of many more breakers(if any). We could not inspect the condition of buss bars. It is recommended that the panel be further evaluated by a licensed electrical contractor to verify the condition of the bus bar and to determine if repairs or expansion is necessary.

Recommendation
Contact a qualified professional.

10.3.3 Panels
CHALLENGER PANEL

 Safety Hazard

Challenger panels built and installed in the 1980s and 1990s were found to have an issue where they were overheating under normal conditions at the metal “bus bar.” This led to expansion and contraction of the bus bar, and electrical arcing between the bus bar. Over time, these components could melt down, causing a shock or fire hazard. Challenger breaker panels started facing recalls in 1988. Recommend consulting with a licensed electrician for options on replacement.

Recommendation
Contact a qualified electrical contractor.



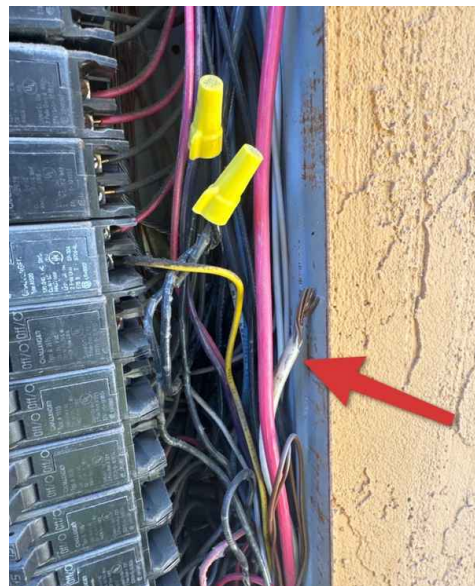
10.4.1 Panel Wiring & Breakers
LOOSE WIRES NOT TERMINATED

 Safety Hazard

One or more wires inside the panel were loose, and were not terminated. This poses a safety hazard for shock and/or fire. Recommend that a qualified electrician remove any abandoned wiring or repair as necessary. For example, by trimming wires to length and installing wire nuts.

Recommendation

Contact a qualified electrical contractor.



10.5.1 GFCI / AFCI Protection

GFCI ISSUES

PRIMARY BATH

One or more ground fault circuit interrupter (GFCI) receptacles (outlets) were not functioning properly (would not trip / would not reset / still energized when tripped). Recommend repairs be made by a qualified licensed electrical contractor. For example, replacing with new GFCI receptacle outlet.

Recommendation

Contact a qualified electrical contractor.



Safety Hazard



10.5.2 GFCI / AFCI Protection

MISSING GFCI PROTECTION - EXTERIOR

FRONT



Safety Hazard

One or more locations at this property were noted as not having GFCI protection or the i was unable to verify if GFCI protection existed at these locations. Adoption of GFCI outlets was generally phased in over numerous years/decades. Recommend client evaluate upgrading these areas to GFCI protection at their discretion.

General guidelines for GFCI-protected receptacles include the following locations:

1. Outdoors (since 1973)
2. Bathrooms (since 1975)
3. Garages(since 1978)
4. Kitchens (since 1987)
5. Crawl spaces and unfinished basements (since 1990)
6. Wet bar sinks (since 1993)
7. Laundry and utility sinks (since 2005)



Recommendation

Contact a qualified electrical contractor.

10.5.3 GFCI / AFCI Protection

LACK OF ADEQUATE PROTECTION (AFCI)



The property is not equipped with adequate AFCI protection as per today's building requirements. Recommend retrotting as required by a licensed electrical contractor.

General guidelines for AFCI-protected receptacles include the following locations: Bedrooms (since 1999) Kitchens, laundry areas, family rooms, dining rooms, living rooms, parlors, libraries, dens and recreation rooms, sunrooms, closets and hallways (since 2014)

Recommendation

Contact a qualified electrical contractor.

10.6.1 Switches / Receptacles

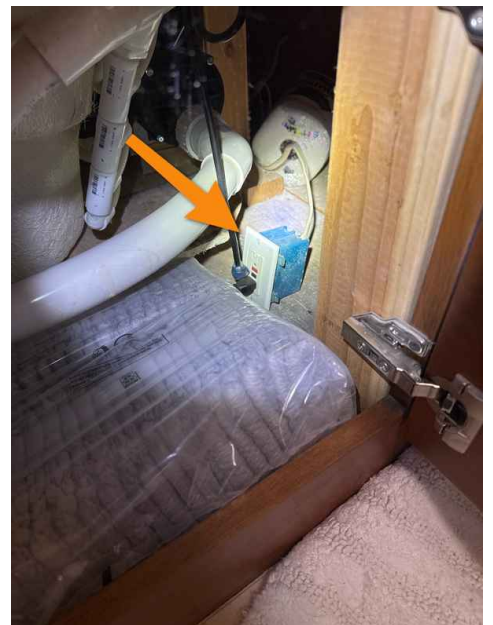
RECEPTACLE LOOSE

PRIMARY BATH

One or more receptacles were not properly secured and loose. Recommend a licensed electrician repair as necessary.

Recommendation

Contact a qualified electrical contractor.



10.7.1 Lighting & Fans

LAMPS INOPERABLE

BEDROOM ONE

One or more light fixtures were inoperable (didn't turn on when nearby switches were operated) and/or were very dim. Recommend further evaluation by replacing bulbs and/or consulting with the property owner (perhaps on a switch that was not identified). If replacing bulbs doesn't work and/or no other switch(es) can be found, then recommend that a qualified electrician evaluate and repair or replace light fixtures as necessary.

Recommendation

Contact a qualified electrical contractor.



Recommendation



10.7.2 Lighting & Fans

LIGHTING LOOSE - INTERIOR

KITCHEN

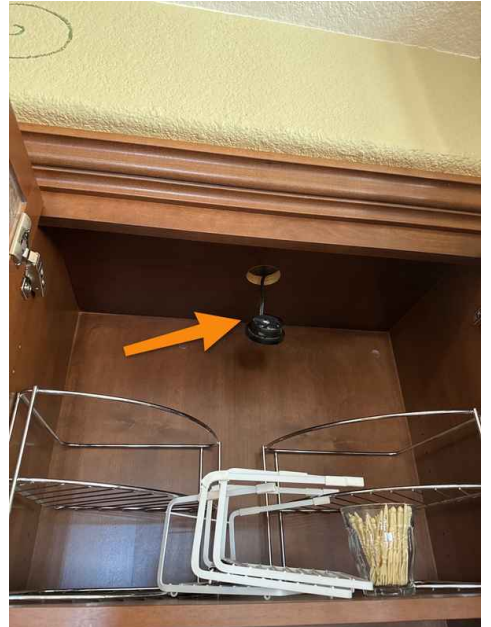
One or more light fixtures were loose and/or damaged. Recommend that a qualified electrician repair or replace light fixtures as necessary.

Recommendation

Contact a qualified electrical contractor.



Recommendation



11: BUILT-IN APPLIANCES

Information

General: Range / Oven / Cooktop Energy Source / Supply	General: Oven Self Cleaning	General: Exhaust / Ventilation Type
Natural Gas	Yes	Hood
General: Fridge stays?	General: Fridge water supply connection	
Unknown	Unknown	

General: Appliances Not Moved

Our company cannot inspect behind or beneath built-in appliances. We cannot move them to see behind or beneath them. We cannot see through any appliance or building materials. Damage that may include but not limited to; moisture damage, wood destroying organism damage, mold or other environmental hazards, to the floor and wall behind the built-in appliances can be present and not reported on because of this limitation. You may wish to ask the sellers to disclose any known and unknown defects that may exist behind or below the built-in appliances in this home. You may also wish to have them moved to view these areas for yourself before the close of escrow.

General: Home Warranty

This inspection is intended to represent the condition of the appliances at the time of the inspection. It is common for appliance issues to arise in homes that are in the transition process. Damage can occur during the move-in/move-out process, appliances that are accustomed to frequent operation can seize due to inactivity(or fail entirely) and latent defects can become apparent once personal items are removed. It is recommended that you obtain and maintain a thorough Home Warranty to guard against these unforeseen conditions.

Microwave: Microwave operating as intended.

The microwave was tested using a microwave tester and was functional at the time of the inspection. This test is not exhaustive and does not confirm the performance, accuracy, or effectiveness of the unit.



Exhaust / Ventilation: Exhaust Vent

The range exhaust vent was tested and was functional at the time of the inspection. This is not an exhaustive test, and does not evaluate the performance or effectiveness of the unit.

**Dishwasher: Dishwasher**

The dishwasher was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the cleaning efficiency of the dishwasher.



Garbage / Food Disposal: Food Waste Disposer

The food waste disposer was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the efficiency of the unit.



Refrigerator: Refrigerator

Refrigerators built in or not are not part of our general home inspection and are not inspected or commented on. If concerned about its serviceability and functionality we recommend further evaluation by a qualified licensed appliance contractor prior to the end of your contingency period.

I could not identify or inspect the water shut off valve for the refrigerator. I do not move refrigerators in order to access the outlet. Moving refrigerators is out of the scope of a home inspection. If concerned we recommend verifying that the water shut off valve is operational, not corroded and not leaking prior to the end of your contingency period.



Limitations

General

APPLIANCE LIMITATIONS

12: HVAC

Information

Heating / Forced Air: Estimated Year Mfg. 1993/1992	Heating / Forced Air: Location Garage, Attic	Heating / Forced Air: Energy source Heat Pump
Air Conditioner: Estimated Year Mfg. 1993	Air Conditioner: Location Elevated Pad, Exterior	Air Conditioner: System Type Split system
Ducts and Registers: Type Ducts and Registers	Filter & Thermostat: Filter Size 24x36x1	

Heating / Forced Air: Appears Functional

Heat system appears to be in working order.

The photo(s) below is/are a thermal image of the supply air temperature at register(s) at the time of this inspection.



Heating / Forced Air: Equipment Photos

The furnace/heat pump is inspected just as the cooling unit. As with all mechanical equipment, the unit can fail at anytime without warning. Inspectors cannot determine future failures. As long as the unit is functioning properly in the heating mode, it is an indication that the major components are operational. There is a visual inspection conducted on the furnace and the inspector will report on the condition of the unit. Any defective items will be listed separately in the report.

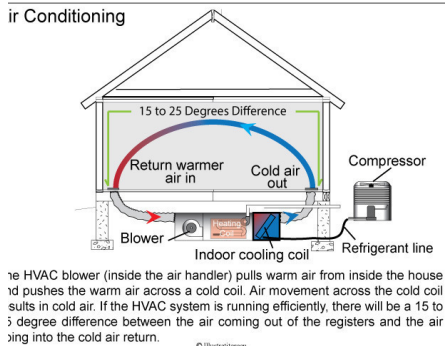


Air Conditioner: Temperature split

20 F*, Under 14* F

A common way of inspecting a homes air conditioning system is by obtaining temperature measurements in the home before and after air cycles through the air conditioning system. Temperature readings are taken at a vent blowing into a room (supply side) of the AC system and deducted from temperature readings taken at the air filter (return side). The difference in temperature called a "temperature split" or differential, gives an indication of how well the air conditioning system is performing overall. The national average for a system in the US should read between 15 and 25 degrees.

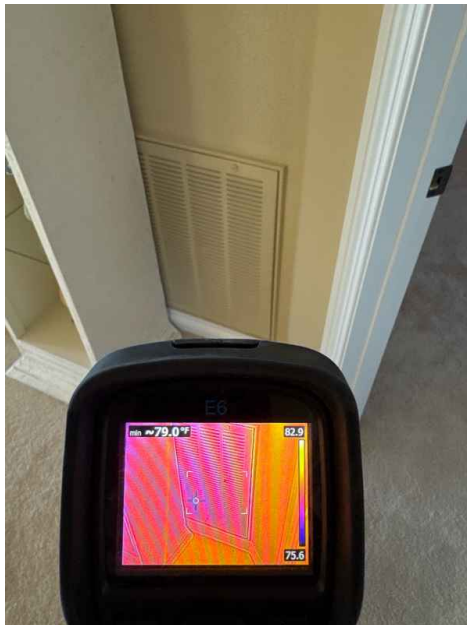
Air Conditioning



Air Conditioner: Appears Functional

The photo(s) below is/are a thermal image of the air temperature at supply and return air register(s) at the time of this inspection.

Note: Please be aware that when an air Conditioner is tested during cooler or cold seasons the temperature recorded can be inaccurate due to certain pressures in the system.





Air Conditioner: Equipment Photos

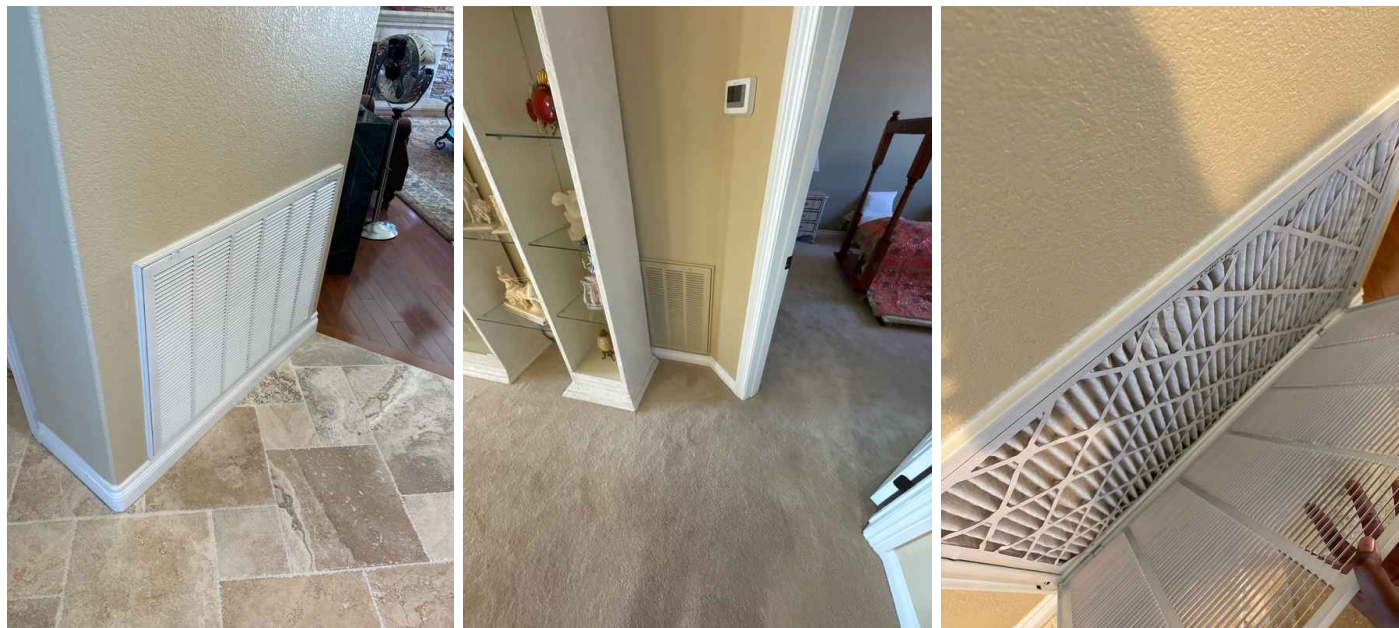
A/C system was tested using normal operating controls. As with all mechanical equipment, the unit can fail at anytime without warning. Inspectors cannot determine future failures. As long as the unit is functioning properly in the cooling mode, it is an indication that the major components are operational. If a more detailed evaluation of the cooling capacity is desired, a HVAC company should be consulted prior to closing.



Filter & Thermostat: Filter Location(s)

Hallway, 2nd Floor, Hallway

The return air grille, air filter, and return air plenum were inspected at visible portions looking for any significant deficiencies, gaps in the plenum, dirty filter(s), or an accumulation of dust. I recommend changing the filter every 30 days - 3 months depending on the style of filter used. This is one of the most important "maintenance" items you can perform as a dirty filter puts additional strain on the air handler and may cause damage to the unit.

**Filter & Thermostat: T-stat Location(s)**

Hallways

The thermostat was operational when used to operate the HVAC system at the time of the inspection. Programmable thermostats are not adjusted and no testing is done to check the accuracy or programmed settings of the thermostat.

**Limitations**

General comments

HVAC LIMITATIONS**Findings**

12.1.1 General comments

SERVICE HEATING / COOLING SYSTEM

Recommendation

The last service date of the forced air heating / cooling system appeared to be more than 1 year ago, or the inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.

Recommendation

Contact a qualified HVAC professional.

12.2.1 Heating / Forced Air

LIFESPAN (AGED)

1993/1992



Safety Hazard

The unit was at or past its typical service life. Major repairs or replacement should be anticipated in the future due to the age of the unit(s). Depending on prior maintenance and other factors, the unit(s) could last anywhere from months to years, and the remaining life is undeterminable. ***Due to its age, servicing is recommended to be conducted by an HVAC contractor.***

Recommendation

Contact a qualified HVAC professional.

12.2.2 Heating / Forced Air

SEDIMENT TRAP (DRIP LEG)

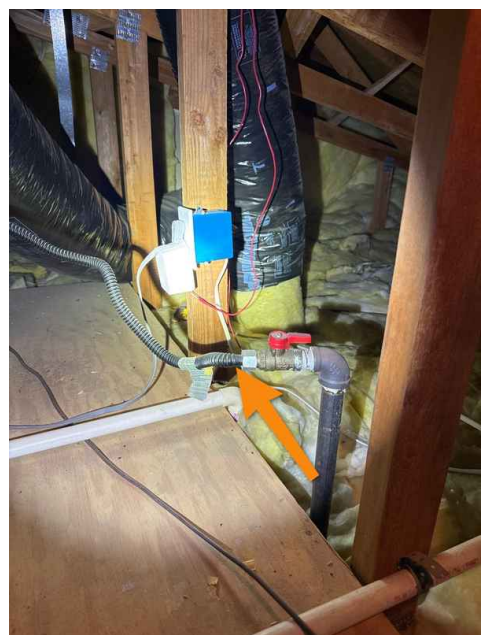
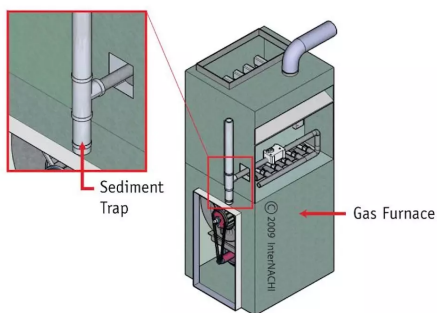
Recommendation

The furnace gas piping is not equipped with a sediment trap. Advise installation by a licensed HVAC or qualified professional to comply with today's HVAC safety standards.

Recommendation

Contact a qualified HVAC professional.

Sediment Trap



12.2.3 Heating / Forced Air

FLEXIBLE GAS LINE PASSES THROUGH FURNACE WALL

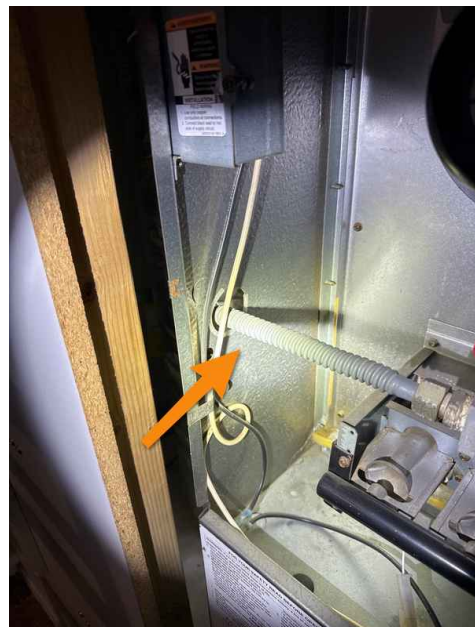
The flexible gas line passes through the sidewall of the furnace. This soft flex gas line is easily damaged if it contacts the sharp edge of the furnace wall. We recommend that a licensed HVAC contractor and repair as necessary to comply with today's safety standards.

Recommendation

Contact a qualified professional.



Recommendation



12.3.1 Air Conditioner

NO CONDENSATION CATCH PAN INSTALLED

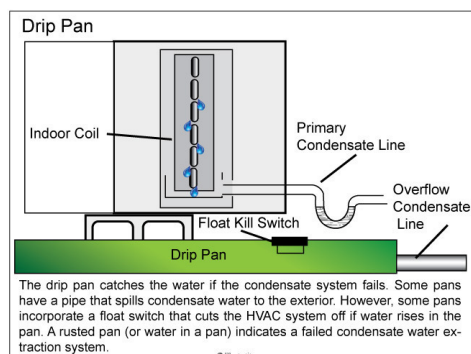
No condensation catch pan installed under the evaporative case. In the event the condensate drain line becomes clogged water from the condensate line will overflow onto whatever is below/around the unit, potentially causing water damage. Recommend a qualified licensed HVAC contractor evaluate the unit and add if allowed.

Recommendation

Contact a qualified HVAC professional.



Recommendation



12.3.2 Air Conditioner

LIFESPAN - AGED

1993



Safety Hazard

By industry lifespan standards, one or more hvac components appeared to be at or near its useful lifespan (~15 years) and may need replacing or significant repairs at any time. Recommend budgeting for a replacement in the near future or discussing replacement options with a qualified HVAC technician to determine applicable costs.

Recommendation

Contact a qualified HVAC professional.

12.3.3 Air Conditioner

R22 WARNING

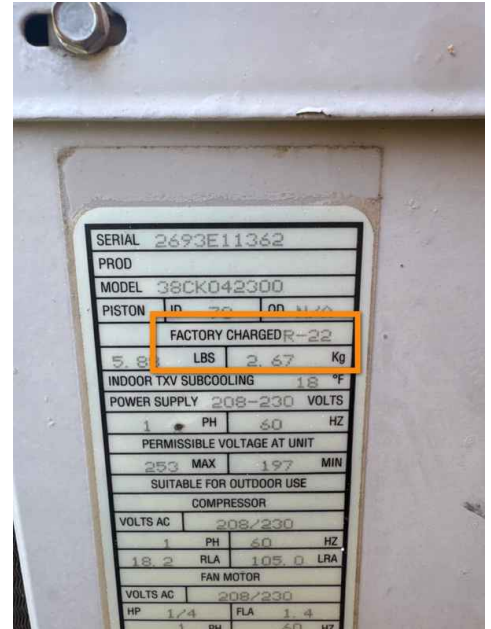
The AC systems are charged with R22 refrigerant. As of January 1st 2020, this type of refrigerant is no longer approved for use due to environmental concerns (depletion of the ozone layer). This may result in increased cost of repairs or premature replacement of the systems. Given the nature of these concerns, recommend you have the entire system further evaluated and serviced by a licensed HVAC specialist before the close of your inspection contingencies.

Recommendation

Contact a qualified HVAC professional.



Recommendation



12.3.4 Air Conditioner

REFRIGERANT LINE INSULATION DETERIORATED

Insulation on the air conditioning refrigerant lines was deteriorated or missing in some areas. This may result in reduced efficiency and increased energy costs. In attics it can cause sweating. Recommend that a qualified person replace or install insulation as necessary.

Recommendation

Contact a handyman or DIY project



Maintenance Item



12.3.5 Air Conditioner

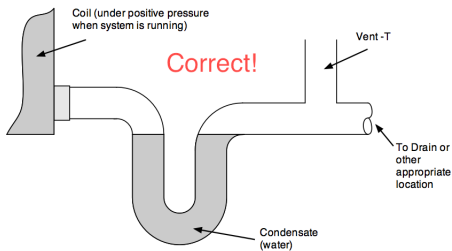
CONDENSATE DRAIN LINE TRAP MISSING

Recommendation

The P trap for the primary condensation drain was missing. The intended purpose of the p-trap is to allow condensate to flow from the equipment while simultaneously preventing air leakage into or out of the unit. Recommend further evaluation and repair by a qualified professional.

Recommendation

Contact a qualified HVAC professional.



12.3.6 Air Conditioner

SECONDARY DRAIN NOT INSTALLED

Recommendation

The secondary condensation drain (or equivalent) at the evaporative coil was not installed at the time of the inspection. This may not have been required at the time of installation. However, this is a recommended retrofit. The secondary condensation drain acts as a redundancy to prevent leaks in the event the primary drain becomes clogged. Advise consulting a licensed HVAC contractor for necessary correction.

Recommendation

Contact a qualified HVAC professional.



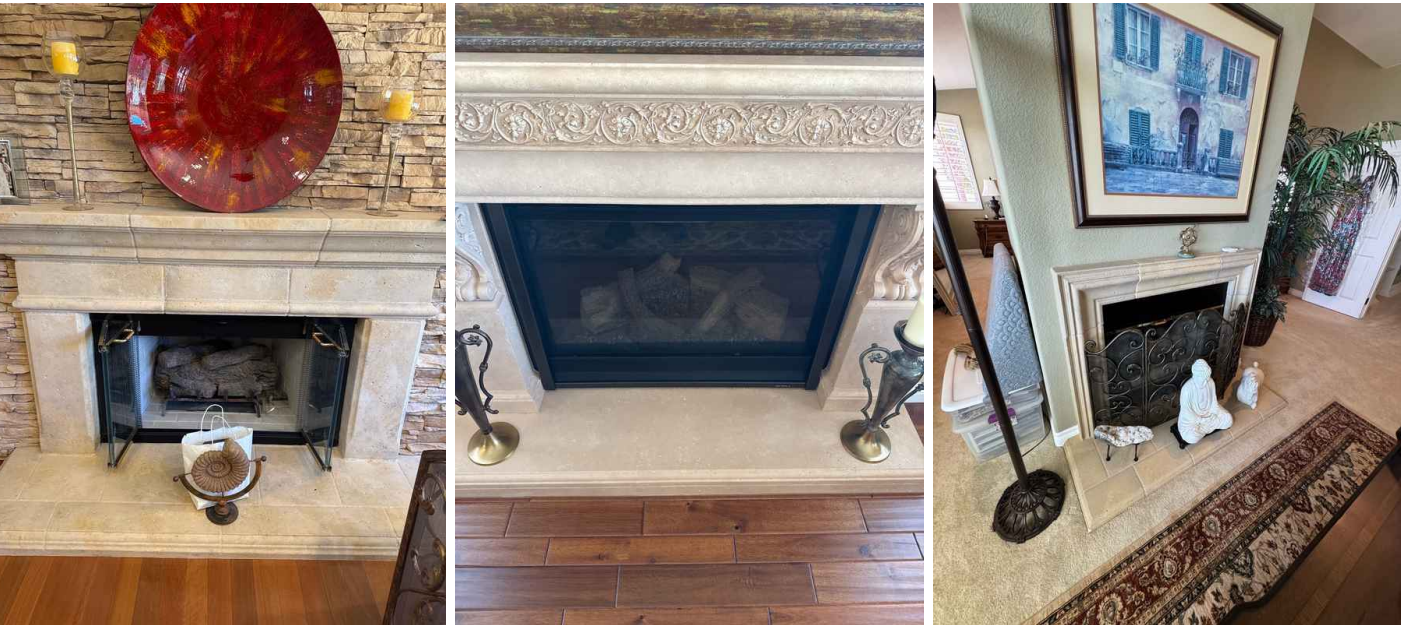
13: FIREPLACES AND FUEL-BURNING APPLIANCES

Information

Fireplaces, Stoves & Inserts: Type	Fireplaces, Stoves & Inserts: Gas	Chimney(s): Type
Gas log insert, Electric Insert	log lighter	Metal
	Yes	

Fireplaces, Stoves & Inserts: Recommend secondary evaluation

An NFPA Level 2 inspection is recommended to be conducted by a chimney sweep during the transfer of ownership of a home, and is highly recommended prior to the end of your inspection contingency period. This Level 2 inspection is invasive utilizing remote cameras, and can uncover issues not seen during a home inspection, particularly the condition of the flue liner. No significant deficiencies were observed at visual portions unless otherwise noted in this report.



Limitations

Fireplaces, Stoves & Inserts

FIREPLACE / STOVE / CHIMNEY / FLUE LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance replaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector, who is a generalist. The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety. We do not inspect the shape of fireplace or the design to determine if your replace has a proper air draw.

Findings

13.1.1 Fireplaces, Stoves & Inserts

GAPS FACE / FIREBOX

PRIMARY BEDROOM

The opening where the fireplace gas line penetrates the refractory panel is not sealed. Super-heated gasses can enter the wall cavity. Fire hazard. Recommend that a qualified contractor repair as necessary.

Recommendation

Contact a qualified fireplace contractor.



Safety Hazard



13.1.2 Fireplaces, Stoves & Inserts

ALUMINUM FLEX

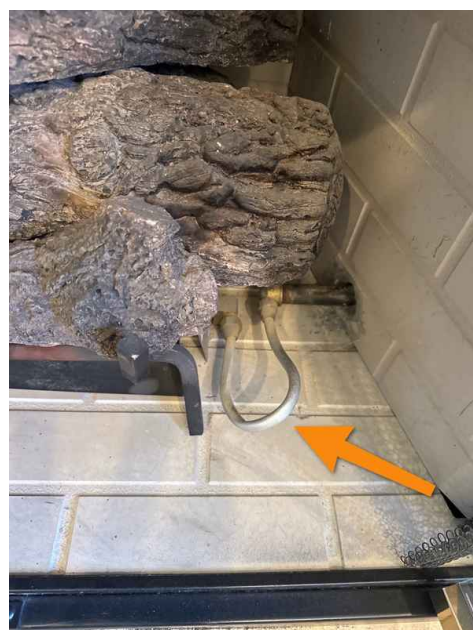
An aluminum-type gas line was noted installed at one or more location. This style of gas line was common at the time of construction, but are considered unsafe by today's building standards. Advise consulting a licensed contractor for necessary replacement.

Recommendation

Contact a qualified professional.



Recommendation



13.2.1 Chimney(s)

CHIMNEY LINER DIRTY

Chimney liner had layer of creosote/soot/dust, so inspection of the underlying structure was limited. Recommend qualified chimney sweep company inspect and/or clean.

Recommendation

Contact a qualified chimney sweep.



Recommendation



14: ATTIC, INSULATION & VENTILATION

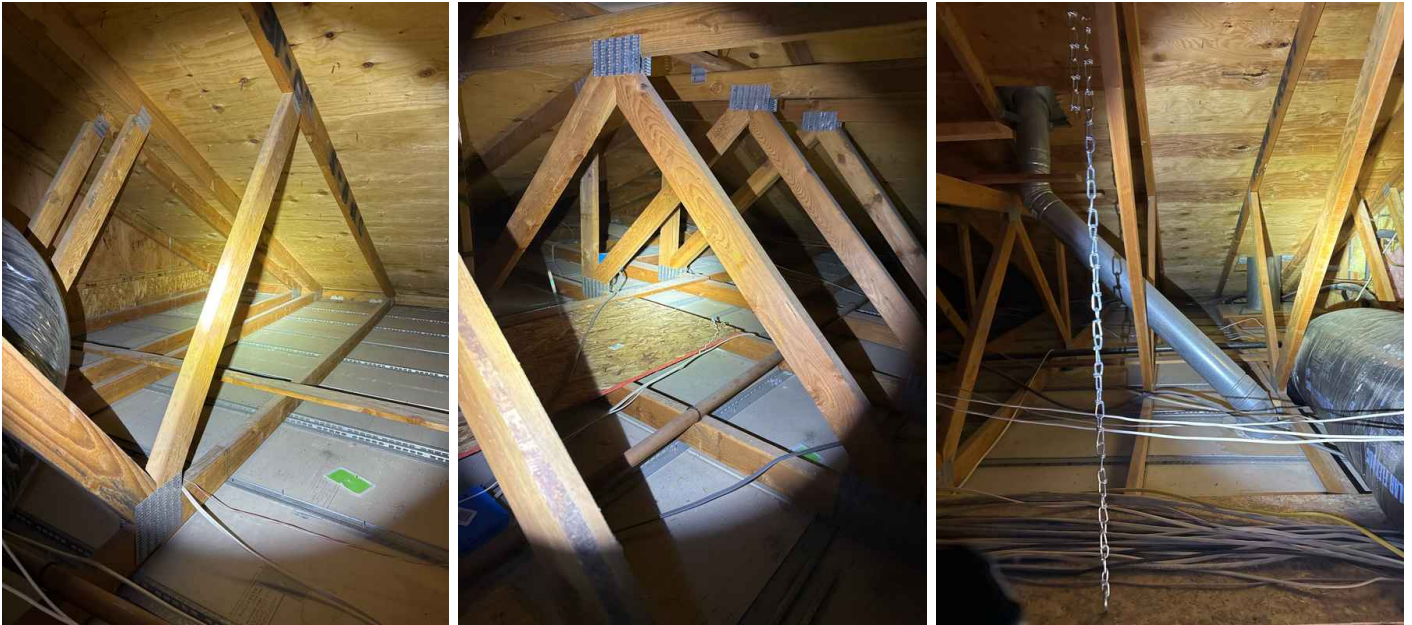
Information

Access: Access Location(s) Second floor hallway	Access: How Viewed Partially Traversed	Structure & Sheathing: Types Trusses, Rafters, Oriented Strand Board (OSB) Sheathing
Attic Insulation: Insulation Type Fiberglass Roll	Attic Insulation: Estimated R Value Not Determined	Exhaust & Ventilation: Ventilation Type Roof vents

Access: Attic Views

Due to typical design/accessibility constraints (insulation, storage, etc..) evaluation of the attic areas, roof decking, sheathing, gas lines, electrical and plumbing elements, condensate lines, including structural components, is generally limited. Additional items may also affect the ability to enter attic area, security wires, electrical and/or added alterations to attic and it's components.





Limitations

Access

ATTIC LIMITATIONS

Findings

14.1.1 Access

ACCESS PANEL DAMAGED

The drywall access panel was damaged. Replacement of the panel is recommended to be performed by a qualified professional.

Recommendation

Contact a handyman or DIY project



Recommendation



14.1.2 Access

NOT FULLY EVALUATED -- INSULATION

Insulation has been installed on the attic floor and/or the roof sheathing. The insulation obscures the attic floor and/or roof structure. The inspector makes no attempt to move or remove it for evaluation purposes. All areas and components obscured by the insulation are excluded from this inspection.



Recommendation

15: FOUNDATION

Information

Foundation: Foundation Type	Foundation: Foundation / Stem Wall Material	Foundation: Footing Material
Concrete Slab on Grade	Slab on grade	Concrete slab

Seismic Re-Inforcement: Anchor Bolts / Hold Downs
Unknown / Not visible

Foundation: Slab On Grade

The concrete slab throughout the property was not fully visible to inspect. Home Inspectors do not move stored items or lift floor coverings which may conceal cracks or other concealed defects that the inspector cannot see. This should not deter you from further evaluation by a qualified licensed foundation contractor or structural engineer prior to the end of your contingency period if concerned about the slab. It would be your (clients) responsibility to arrange this and for lifting or removing of the flooring.

Note: This homes foundation appears to be original. Due this this condition its recommended to have the foundation and its components further evaluated by a licensed foundation contractor prior to the end of your contingency period and have any necessary repairs or replacement made as needed.

Foundation: Suggested Foundation Maintanance and Care

Proper drainage and moisture maintenance is imperative to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored particles prevent recognition of signs of settlement-cracking in all but the must severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

Seismic Re-Inforcement: Home Likely Bolted

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be seen because of this. I recommend further evolution by a licensed foundation contractor to confirm.

Limitations

Foundation

FOUNDATION LIMITATIONS

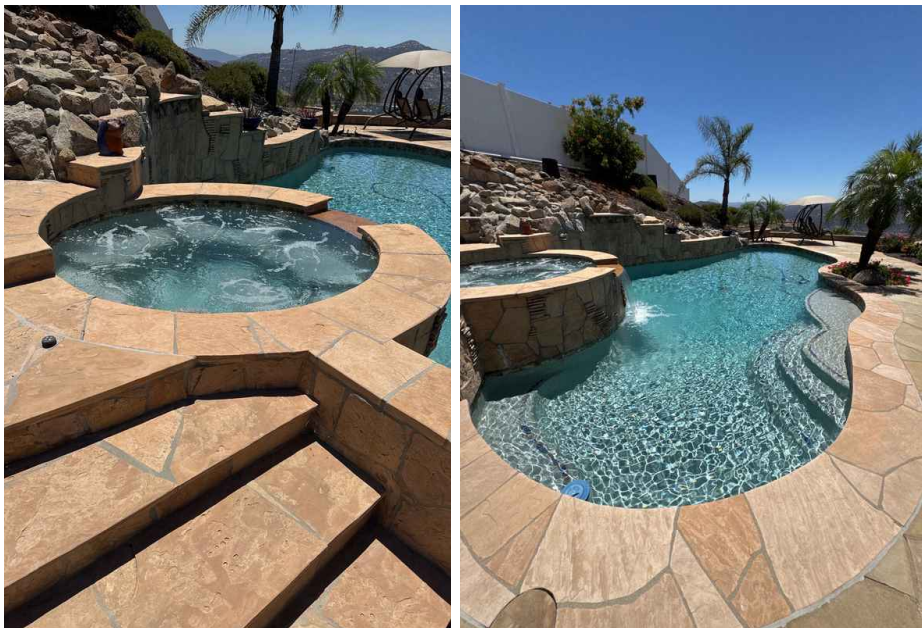
The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement.

16: POOL AND/OR SPA

Information

General: Pool/Spa - Not Inspected

The Pool/ Spa and its equipment was not included in this home inspection report. Pool/ Spa repairs can be costly if not properly maintained. Pools/ Spas are a great recreational amenity. However, they can also be very dangerous for small children. I highly recommend that you take steps to secure the pool to prevent accidental drownings. It is your responsibility to determine which type of safety barrier best meets your needs and the needs of your family and guests. I highly recommend having the Pool/ Spa inspected by this company or by a qualified licensed pool contractor before the close of your contingency period.



General: Equipment Photo(s)



General: Disclaimer

Pools and spas do leak. This may become apparent from secondary evidence during our inspection, but the owner or the occupant of a property would be aware that the water level drops regularly and must be topped off, and this should be disclosed. Unusually high water bills could reveal this, but only a pressure test of the pipes, a dye test of cracks, or a geo-phone test of specific areas would confirm it, and any such specialized test is beyond the scope of our service. Therefore, you should ask the sellers to guarantee that the pool or spa does not leak, request to review the water bills for a twelve month period, or obtain comprehensive insurance to cover such an eventuality.

Fences / Gates / Barriers: General

Pool and Spa Safety Information: For up to date pool safety recommendations go to the following sites:

- Red Cross Pool Safety [Red Cross](#)
- Pool Safety Guidelines [Pool Safely](#)
- Barrier Guidelines [Pool Barrier](#)

California Law has been modified to direct pool/spa owners to recommend at least 2 of the 7 Safety Items are present. The Swimming Pool Safety Act: CA Pool Safety Act and/or CALIFORNIA SENATE BILL 442 PROproperty Inspections recommend having at least 3 of these safety features and checking to see yearly if there has been any changes.

Fences / Gates / Barriers: Disclaimer

Pools are fun, but children and adults can lose their life quickly. Over 4000 lives annually are lost with one-third under the age of 14. A child can drown in the time it takes to answer a phone. A swimming pool is 14 times more likely than a motor vehicle to be involved in the death of a child age 4 and under. An estimated 5,000 children ages 14 and under are hospitalized due to near-drownings each year; 15 percent die in the hospital and as many as 20 percent suffer severe, permanent brain damage. Of all preschoolers who drown, 70 percent are in the care of one or both parents at the time of the drowning and 75 percent are missing from sight for five minutes or less. Drowning surpasses all other causes of death to children age 14 and under in Arizona, California, Florida, Hawaii, Montana, Nevada, Oregon, Utah and Washington.

A pool alarm with a loud speaker system to sound outside as well as inside the home could save a life. Even if you do not have children you should be concerned. 35% of children that drowned did so in someone else's pool. For more info, do an Internet search on pool safety or visit this website: <http://www.poolsafely.gov/>

Fences / Gates / Barriers: Pool Leak Test Not Performed

Our Inspection company did not perform a leak test. If you have concerns about a leak, We recommend to schedule a pool leak inspection with a leak detection company prior to your inspection deadline.

Fences / Gates / Barriers: Pool Maintenance

MAINTENANCE SCHEDULE FOR CLIENTS:

- Check the water level once a day.
- Check the pH twice a week.
- Check hardness, TDS, and total alkalinity once a month.
- Test for metals once every six months.
- Check the skimmer basket twice a week.
- Check the pump strainer pot once a week.
- Look for leaks every day.
- Vacuum the pool once or twice a week.
- Brush the pool walls and bottom once a week.
- Clean the waterline once a week.
- Clean the solar panels once a month.
- Empty and clean the filter every three months.
- Winterize once a year if climate gets down towards freezing levels.

Findings

16.2.1 Fences / Gates / Barriers

FEWER THAN TWO DROWNING PREVENTION SAFETY FEATURES



Safety Hazard

Effective January 1, 2018 the California Business and Professions Code Section 7195 require home inspectors to state the following in their reports when there are fewer than Two drowning prevention safety features:

CALIFORNIA HEALTH AND SAFETY CODE SECTION 115920-115929 now recommends a pool be equipped with at least Two of the following seven drowning prevention safety features:

- (1) The pool shall be isolated from access to a home by an enclosure that meets the requirements of Section 115923.
- (2) The pool shall incorporate removable mesh pool fencing that meets American Society for Testing and Materials (ASTM) Specifications F 2286 standards (the inspector is not able to determine if the ASTM specifications are met)
- (3) The pool shall be equipped with an approved safety pool cover.
- (4) The residence shall be equipped with exit alarms on those doors providing direct access to the pool.
- (5) All doors providing direct access from the home to the swimming pool shall be equipped with a self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor.
- (6) Swimming pool alarms that, when placed in pools, will sound upon detection of accidental or unauthorized entrance into the water.
- (7) Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the devices set forth above.

Recommend installing two or more of the choices above. A qualified person should evaluate and repair or replace as necessary, and as per standard building practices.

Recommendation

Contact a qualified professional.



17: COMPLEMENTARY PICTURES

Information

Complimentary Photos: Kitchen



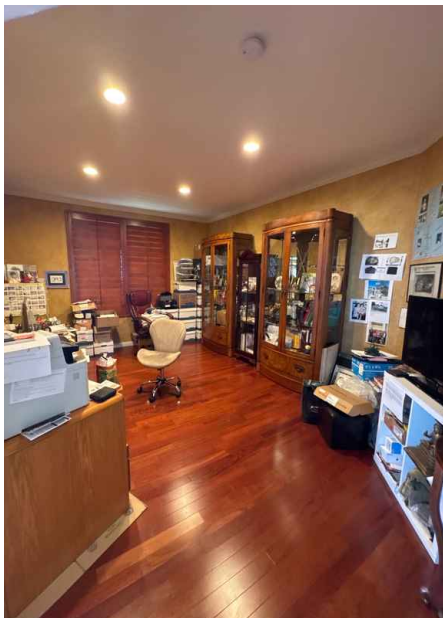
Complimentary Photos: Living Room



Complimentary Photos: Family Room



Complimentary Photos: First Floor Office



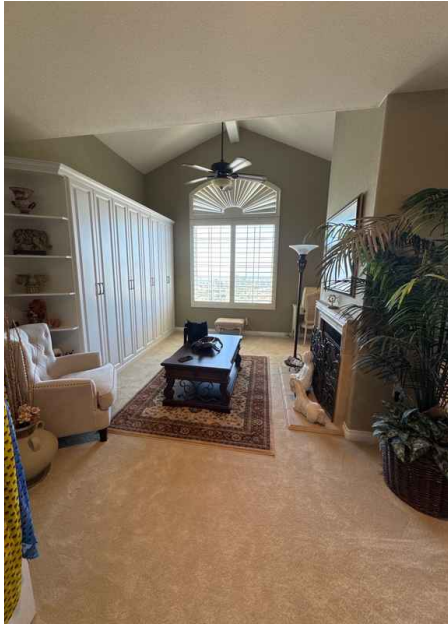
Complimentary Photos: Dining Room



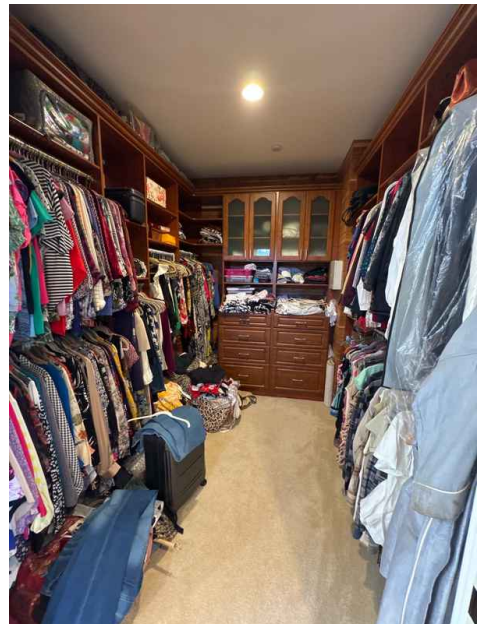
Complimentary Photos: Interior Photos

The photographs in this section of this inspection report are not intended to point out defects. These photographs have been provided to you as a complementary service and are for your information. Only limited representative number of rooms or locations are included in this Complimentary Photo section.

Complimentary Photos: Primary Bedroom



Complimentary Photos: Primary Bath



Complimentary Photos: Hallway bath



Complimentary Photos: Bedroom 1



Complimentary Photos: Bedroom 2



Complimentary Photos: Bedroom 3



Complimentary Photos: Half Bath



Complimentary Photos: Bedroom 3 bath

