2. SPECIAL NOTICE: THE COMPETENCE AND RESPONSIBILIT OF CONTRACTOR AND THEIR SUBCONTRACTORS WILL BE CONSIDERED IN AWARDING THE CONTRACT OWNER RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS AND WAIVE ALL FORMALITY IN CONNECTION THEREWITH.

3. SUPPLEMESPECIAL NOTICE: THE COMPETENCE AND RESPONSIBILITY OF CONTRACTOR AND THEIR NTARY CONDITIONS: THE FOLLOWING CONDIRIONS ARE HEREBY MADE A PART OF AND SHALL APPLY TO THE WORK OF EVERY DIVISION, SECTION AND SUBSECTION OF THESE SPECIFICATIONS.

4. SCOPE: FURNISH ALL LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK OF EACH DDIVISION OR SECTION AS INDICATED ON DRAWINGS OR AS SPECIFIED IN AN OPERABLE AND LAWFUL MANNER.

5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING PROPERTY AT THE PROJECT SITE AND TO CROSS CHECK ALL DETAILS AND NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.

6. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS THAT ARE NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.

7. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF GOVERNING BUILDINGS CODE AND/OR ALL OTHER GOVERNING CODES AND AGENCIES' REQUIREMENTS.

8. SITE EXAMINATION: ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST VISIT AND EXAMINE THE PROJECT SITE, EXISTING BUILDING AND ALL EXISTING CONDIRIONS THEREIN AND SHALL TAKE THEM INTO ACCOUNT IN THEIR PROPOSAL.

9. PERMITS AND TAXES: SECURE AND PAY FOR ALL PERMIS, WATER, SEWER HOOKUPS AND ANY OTHER MUNICIPAL OR PRIVATE FEES REGARDING THE WORK, INCULUDING WATER METER AND COSTS REQUIRED BY UTILITIES TO RUN MAIN ON AND OFF THE PROPERTY.

10. SUBMITTALS: WITHIN 15 DAYS AFTER THE AWARD OF CONTRACT AND BEFORE ANY MATERIALS ARE DELIVERED TO JOB SITE, SUBMIT CONSTRCTION SHEDULE AND PHASING OF THE WORK FOR OWNER'S REVIEW SHOP DRAWINGS (3 SETS), STAMPLES, AND/OR COMPLETE LIST OF ALL MATERIALS PROPOSED TO BE FURNISHED AND INSTALLED UNDER THE WORK OF EACH DIVISION THAT REQUEST THEM. PROVIDE THE OWNER WITH 3 SETS OF OPERATING AND MAINTENANCE INSTRUCTION FOR ALL EQUIPMENT INSTALLED AT COMPLETION OF WORK.

11. FLOOR FINISH JUCTIONS: SHALL BE TRUE AND LEVEL ALL FINISH FLOOR HEIGHT VARIATIONS SHALL BE CORRECTED BY LEVELING OR BY AN APPROVED EVEN RAMP WITH MAXIMUM SLOPE OF 10% IN ALL TRAVELED DIRECTIONS, STEPS SHALL NOT TO BE PERMITTED UNLESS INDICATED ON THE DRAWINGS.

12. PROTECTION: COMPLY WITH O.S.H.A. AND ALL GOVERNING HEALTHE AND SAFETY CODES PROVIDE PROTECTION FOR ALL PROPERTY, NEW AND EXISTING WORK AND ALL MATERIALS STORED ON THE JOB SITE AGAINST LESS AND/OR DAMAGE, INCLUDING WIND AND EARTHQUAKE DAMAGE AND PROTECTION FOR ALL PERSONS AGAINST INJURIES DURING CONSTRUCTION.

13. TEMPORARY PHONE AND FACILITIES: PROVIDE AT HIS EXPENSE JOB PHONES AND TOILETS, TEMPORARY POWER AND WATER THE CONTRACTOR TO PROVIDE HIS OWN HOOKUPS AND EXTENTIONS. THE CONTRACTOR SHALL PROVIDE BARRICATES, WARNING LANTERNS, ETC. TO PROTECT THE OWNER'S EMPLOYEES, NEIGHBORS AND VISITORS FROM ANY HAZARD OF THE CONSTRUCTION AREAS AND CONSTRUCTION ACTIVITIES.

14. CLEAN UP: AT COMPLETION OF WORK, IT SHALL BE LEFT BROOM-CLEAN AND UNDAMAGED AS A CONDITION OF ACCEPTANCE. MATERIAL AND DEBRIS NOT MOVED AND DAMAGES NOT REPAIRED WHEN DIRECTED SHALL BE ORDERED DONE BY OTHERS AND THE COST CHARGED TO THE CONTRACTOR PAYMENT FOR THE WORK COMPLETED, USE OF COMPLETED OR PARTIALLY COMPLETED WORK SHALL NOT BE CONSTRCTED AS ACCEPTANCE OR APPROVAL OF THE WORK. ARCHITECT'S DECISIONS IN THESE MATTERS SHALL BE FINAL.

15. GUARANTEES & LIENS: PROVIDE LIEN RELEASES FROM CONTRACTORS, ALL SUBCONTRACTORS, AND SUPPLIERS. DELIVER TO THE OWNER ALL REQUIRED LIEN RELEASES. GUARANTEES AND CERTIFICATES. GUARANTEE THE ENTIRE WORK AND PROPER FUCTIONING OF ALL EQUIPMENT APPLIANCES FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE AND THAT ANY DEFECTS SHALL BE PROMPTLY CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER. LONGER GUARANTEES MAY BE SPECIFIED FOR

16. THE CONTRACTOR SHALL MAKE EVERY PROVISION TO INSURE THE INTEGRITY OF THE BUILDING. SECURITY MEASURES AND GUARD SERVICE SHALL BE PROVIDED THE CONTRACTOR DURING ALL TIMES WHEN THE BUILDING IS NOT SECURED

17. ALL INFORMATION REGARDING N.I.C. ITEMS WILL BE SUPPLIED BY THE OWNER.

18. MATERIALS TO BE USED SHALL BE OF FIRST QUALITY. THE WORK SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER AND CONFORM TO THE GOVERNING CODES AND REQUIREMENTS

19. ALL CEILINGS SUSPENSION SYSTEMS SHALL BE APPROVED TYPE BY THE GOVERNING AGENCIES FOR ITS PROPOSED USE. THE CONTRACTOR SHALL SUBMIT MANUFACTURER SPECIFICATION AND RESEARCH REPORT TO THE GOVERNING AGENCIES FOR APPROVAL PRIOR TO THE PURCHASE AND DELIVERY OF THESE MATERIALS.

20. INSULATION WITH A MIN. OF R-13 INSTALLED IN WALL STUD SPACES.

21. INSULATION WITH A MIN. OF R-30 INSTALLED IN CLF. JOIST SPACES.

22. INSULATION WITH A MIN. OF R-19 INSTALLED UNDER RAISED FLOORS.

23. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL, TITLE 20, CHAPTER 4, ARTICLE 3.

24. MANUFACTURED DOORS AND WINDOW SHALL BE CERTIFIED AND WITHIN 24" ARC OF EITHER DOORWAY'S VERTICAL EDGE MUST BE TEMPERED.

25. PROVIDE 70" HIGH NONABSORBENT WALL ADJ. TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. SWINGING DOOR SHALL BE SWING OUT. ALL SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR AREA OF 1024 SQ.IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING 30" CIRCLE.

26. PROVIDE MIN. 50 SQ.IN. VENTS TOP AND BOTTOM OF WATER HEATER COMPARTMENT WITH A 24" CLEAR DOOR. WATER HEATER SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER  $\frac{1}{3}$  OF THE TANK AND ONE IN THE LOWER \$\frac{1}{3}\$ OF THE TANK. THE LOWER POINT SHALL BE A MIN. OF 4" ABOVE THE

27. PROVIDE SMOKE DETECTORS IN HALLWAY ADJACENT TO BEDROOMS, IN EADH BEDROOM AND EACH

28. PROVIDE GFI PROTECTED RECEPTABLE OUTLET IN BATHROOM, GARAGE, OUTSIDE LOCATIONS AND AT COUNTERTOP AREAS WITHIN 6' OF THE KITCHEN SINK.

29. WALL SPACES 24" AND WIDER SHALL HAVE A RECEPTABLE EVERY 12'.

30. PROVIDE WEEP SCREED FOR STUCCO AT MIN. 4" ABOVE GRADE

31. PROVIDE 1 SQ.FT. UNDER FLOOR VENTILATION FOR EACH 150 SQ.FT. OF UNDREFLOOR AREA. PROVIDE ATTIC VENTILATING OPENING NOT LESS THAN  $\frac{1}{150}$  OF ATTIC AREA. THE OPENNING SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF  $\frac{1}{4}$ " IN DIMENTION.

32. FOOR VALLEY FLASHING SHALL BE PROVIDED NOT LESS THAN 28 GA. CORROSION-RESISTANT METAL, AND SHALL EXTEND AT LEAST 8" FROM THE CENTER LINE EACH WAY. FLASHING SHALL HAVE AN ADDITIONAL 26" WIDE UNDERPAYMENT DIRECTLY UNDER IT CONSISTING OF 1 LAYER OF TYPE 15 FELT RUNNING THE FULL LENGTH OF VALLEY

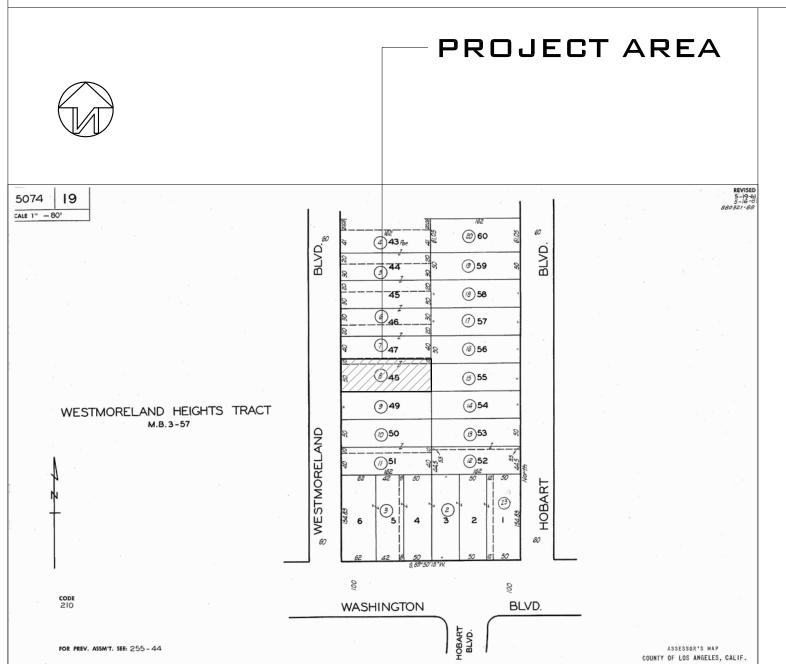
33. PROVIDE ONE WINDOW IN EACH BEDROOM, MAX. 44" SILL HEIGHT, 20" HORIZ., 24" VERT. IN. OPENING AND 5.7 SQ.FT. MIN.CLR. AREA

34. GLAZING ADJ. TO A DOOR WHICH IS LESS THAN 60" FROM A FLOOR AND WITHIN 24" ARC OF EITHER DOORWAY'S VERTICAL EDGE MUST BE TEMPERED.

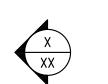
36. PROVIDE MIN. 50 SQ.IN. VENTS TOP AND BOTTOM OF WATER HEATER COMPARTMENT WITH A 24" CLEAR

# 1810 WESTMORELAND RESIDENCE

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006



# ASSESSOR MAP



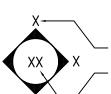
ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN



SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN



DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN



INTERIOR ELEVATION IDENTIFICATION SHEET WHERE INTERIOR ELEVATION IS DRAWN.



REVISION NUMBER



WORK POINT, DATUM POINT OR CONTROL POINT



DOOR NUMBER



WINDOW NUMBER



WALL TYPE

PLAN NOTE





EQUIPMENT NUMBER

### NORTH



NORTH ARROW

MATERIAL NUMBER

#### PROJECT DESCRIPTION:

-ADDITION OF NEW ATTACHED A.D.U. TO (E) GARAGE -NEW 1-CARPORT (236 S.F.)

#### ADDRESS:

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

#### PROPERTY OWNER:

MR. & MRS. MOON 1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

#### ASSESSOR PARCEL NO.:

5074-019-008

#### LOT AREA:

9,720.1 SQ.FT.

#### **BUILDING AREA:**

EXISTING RESIDENCE	3,552 SQ.FT. (NO CHANGE)
EXISTING GARAGE	342 SQ.FT. (NO CHANGE)
NEW A.D.U. ADDITION	472 SQ.FT1ST FLOOR 654 SQ.FT2ND FLOOR 1,126 SQ.FT. (W/O EXTERIOR WALL)
NEW 1-CARPORT	236 SQ.FT.

#### PARKING ANALYSIS:

EXISTING RESIDENCE-NO PARKING CHANGE PROPOSED A.D.U. -PROVIDED 1-CARPORT

#### BUILDING HEIGHT:

PROPOSED A.D.U.: 26'-4"

# OCCUPANCY GROUP:

R-3

### TYPE OF CONSTRUCTION:

TYPE-VB

TRACT: WESTMORELAND HEIGHTS TRACT

LOT:

BLOCK: NONE

ZONING: R2-1-HPDZ

A - 0.0 PROJECT INFORMATION

 $A - \Box . 1$ GREEN NOTES

SITE PLAN A - 1.D

PROPOSED FLOOR PLAN A - 2.0 PROPOSED ROOF PLAN

A - 3.0 PROPOSED ELEVATIONS

PROPOSED SECTIONS A - 4.0

DETAILS

FLASHING DETAILS

#### SHEET INDEX

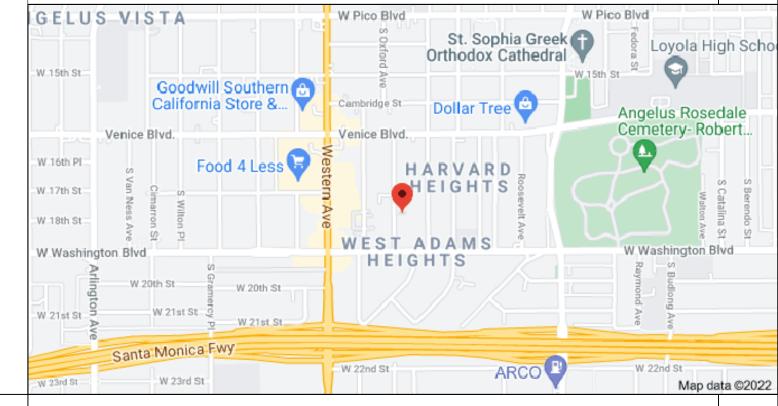
#### APPLICABLE CODE:

THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC. WHICH HAVE THE CONTRACTORS SHALL RETAIN RESPONSIBILITY FOR JURISDICTION OVER THE WORK, COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES-

- 2019 CBC AND ITS APPENDICES AND STANDARDS - 2019 CMC AND ITS APPENDICES AND STANDARDS - 2019 CEC AND ITS APPENDICES AND STANDARDS

- 2019 CPC AND ITS APPENDICES AND STANDARDS - 2019 GREEN BUILDING CODE - 2020 LOS ANGELES RESIDENTIAL CODE (LARC)

APPLICABLE CODE



FEB. 2022 AS SHOWN PROJECT DATA A-0.0

GENERAL NOTES

SYMBOLS | 6 PROJECT DATA VICINITY MAP Nonflat coatings

Nonflat-high gloss coatings Specialty Coatings Auminum roof coatings

Bituminous roof primers

Dry fog coatings aux finishing coating

Fire resistive coatings

Graphic arts coatings (sign paints)

idustrial maintenance coatings

High temperature coatings

.ow.solids.coatings1 Magnesite cement coating Masticitexture coatings

Metallic pigmented coatings Multicolor coatings

Reactive penetrating sealers Recycled coatings

Roof coatings Roof coatings , aluminum

Rust preventative coatings

wimming pool coatings

ub and tile refinish coatings

Vaterproofing membranes

loor coatings orm-release compound

Clear Top Coat Decorative Coatings

oncrete curing compounds

lond breakers

VOC CONTENT LIMITS FOR A RCHITECTURAL COATINGS 23 Grams of VOC per Liter of Coating, Less Water and Less Exempt Compound

**VOC AND FORMALDEHYDE LIMITS** 2020 Los Angeles Green Building Code

Hardwood plywood veneer core

(Incorporate this form into the plans)

**FORM** 

	GRN	11
2,5	.504.4.3, 5.504.4.5	
3335	E LIM∏S' :ions in Parts per Million.	
	CURRENT LIMIT	
	0.05	
600	0.05	

www.ladbs.org

/ledium density fiberboard

SEA LANT V Less Water and Less Exempt Co	ompounds in Grams per Lite
S EA LA NTS	CURRENT VOC LI
Architectural	50
Marine deck	760
Nonmembrane roof	300
Roadway	250
Single-ply roof membrane	450
Other	420
SEALANT PRIMIERS	
Architectural	5.750.000
Nonporous	250
Porous	775
Modified bituminous 500	500
Marine deck	760
Other	750
Note: For additional information legarding methor these tables, see South Coast Air Quality Manage AIDHE SIVE VO Less Water and Less Exempt Co	ement Diktrict Ruik 1 168. C LIMIT 1,2 ompounds in Grams per Lite
A RCHITECTURAL APPLICATIONS	CURRENT VOC LI
Indoor carpet adhesives	50
Carpet pad adhesives	50
Outdoor carpet adhesives	150
Wood flooring adhesive	100
THE PROPERTY OF THE PARTY OF TH	60
Rubber floor adhesives	00

ipurpose construction adhesives ABS welding Plastic cement welding Adhesive primer for plastic Contact adhesi ve Special purpose contact adhesive

BSTRATE SPECIFIC A PPLICATIONS

<sup>1.</sup> Some uplies in this table are derived from those specified by the California Air Resources Board. DETGIASS
If an addiesible is used to bould dissimilar substants together, the addiesible with the highest ADC contents tall be allowed.
For additional information regarding methods to meast reitle VOC content specified in this able, see South Coast Air Ordally, Management District Rive 1168, http://www.abc.ca.gou/DRD8/SC/CURHTML/R1168/PDF.

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STORM WATER POLLUTION CONTROL (2020 Los Angeles Green Building Code) **GRN 1** 

Storm Water Pollution Control Requirements for Construction Activities

Minimum Water Quality Protection Requirements for All Construction Projects

The following notes shall be incorporated in the approved set of construction/grading plans and represents the minimum standards of good housekeeping which must be implemented on all construction projects.

Construction means constructing, clearing, grading or excavation that result in soil disturbance. Construction includes structure teardown (demolition). It does not include routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of facility; emergency construction activities required to immediately protect public health and safety; interior remodeling with no outside exposure of construction material or construction waste to storm water, mechanical permit work, or sign permit work. (Order No. 01-182, NPDES Permit No. CAS004001 - Part 5: Definitions)

- 1. Eroded sediments and pollutants shall be retained on site and shall not be transported from the site via sheet flow, swales, area drains, natural drainage or wind.
- 2. Stockpiles of earth and other construction-related materials shall be covered and/or protected from being transported from the site by wind or water.
- 3. Fuels, oils, solvents and other toxic materials must be stored in accordance with their listing and shall not contaminate the soil nor the surface waters. All approved toxic storage containers are to be protected from the weather. Spills must be cleaned up immediately and disposed of properly and shall not be washed into the drainage system.
- 4. Non-storm water runoff from equipment and vehicle washing and any other activity shall be contained on the project site.
- 5. Excess or waste concrete may not be washed into the public way or any drainage system. Provisions shall be made to retain concrete waste on-site until it can be appropriately disposed of or recycled.
- 6. Trash and construction -related solid wastes must be deposited into a covered receptacle to prevent contamination of storm water and dispersal by wind.
- 7. Sediments and other materials shall not be tracked from the site by vehicle traffic. The construction entrance roadways must be stabilized so as to inhibit sediments from being deposited into the street/public ways. Accidental depositions must be swept up immediately and may not be washed down by rain or by any other means.
- 8. Retention basins of sufficient size shall be provided to retain storm water runoff on-site and shall be properly located to collect all tributary site runoff.
- 9. Where retention of storm water runoff on-site is not feasible due to site constraints, runoff may be conveyed to the street and the storm drain system provided that an approved filtering system is installed and maintained on-site during the construction duration.

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(Rev. 01/01/20)

LADBS

2020 Los Angeles Green Building Code GRN 18R

(blowdown); or

**FORM** 

www.ladbs.org

WATER CONSERVATION NOTES - ORDINANCE #184248 **RESIDENTIAL BUILDINGS** 

#### PLUMBING SYSTEM

- 1. Multi-family dwellings not exceeding three stories and containing 50 units or less shall install a separate meter or submeter within common areas and within each individual
- 2. Water use reduction shall be met by complying with one of the following: A. Provide a 20% reduction in the overall potable water
  - use within the building. The reduction shall be based on the maximum allowable water use for plumbing fixtures and fittings as required by the Los Angeles Plumbing Code. Calculations demonstrating a 20% reduction in the building "water use baseline", as established in Table 4.303.4.1, shall be provided; or
- B. New fixtures and fittings shall comply with the maximum flow rates shown in Table 4.303.4.2, or C. Plumbing fixtures shall use recycled water. Exception: Fixture replacements
- 3. New building on a site with 500 square feet or more of cumulative landscape area shall have separate meters or submeters for outdoor water use. (4.304.3)
- 4. Additions and alterations on a site with 500 square feet or more of cumulative landscape area and where the entire potable water system is replaced, shall have separate meters or submeters for outdoor water use.
- 5. In other than single family dwellings, locks shall be installed on all publicly accessible exterior faucets and hose
- 6. Provide a cover having a manual or power-operated reel system in any permanently installed outdoor in-ground swimming pool or spa in one- and two-family dwellings. For irregular-shaped pools where it is infeasible to cover 100% of the pool due to its irregular shape, a minimum of 80% of the pool shall be covered.
- 7. Except as provided in this section, for sites with over 500 square feet of landscape area, alternate waste piping shall be installed to permit discharge from the clothes washer, bathtub, showers, and bathroom/restrooms wash basins to be used for a future graywater irrigation system. (4.305.1)
- 8. Except as provided in this section, where City-recycled water is available within 200 feet of the property line, water closets, urinals, floor drains, and process cooling and heating in the building shall be supplied from recycled water and shall be installed in accordance with the Los (4.305.2)Angeles Plumbing Code.

- 9. In new buildings of 25 stories or less, the cooling towers shall comply with one of the following: A. Shall have a minimum of 6 cycles of concentration
- B. A minimum of 50% of the makeup water supply to the cooling towers shall come from non-potable water sources, including treated backwash. (4.305.3.1)
- 10. In new buildings over 25 stories, the cooling towers shall
- comply with all of the following: A. Shall have a minimum of 6 cycles of concentration (blowdown): and B. 100% of the makeup water supply to the cooling towers shall come from non-potable water sources,
- (4.305.3.2)including treated backwash. 11. Where groundwater is being extracted and discharged, develop and construct a system for onsite reuse of the groundwater. Alternatively, the groundwater may be
- discharged to the sewer. 12. Provide a hot water system complying with one of the
- following (Los Angeles Plumbing Code Section 610.4.1): A. The hot water system shall not allow more than 0.6 gallons of water to be delivered to any fixture before
- hot water arrives. B. Where a hot water recirculation or electric resistance heat trace wire system is installed, the branch from the recirculating loop or electric resistance heat trace wire
- to the fixture shall contain a maximum of 0.6 gallons. C. Residential units having individual water heaters shall have a compact hot water system that meets all of the
- to the fixtures shall take the most direct path. b. The total developed length of pipe from the water heater to farthest fixture shall not exceed the distances specified in Table 3.6.5 of the California

a. The hot water supply piping from the water heater

Energy Code Residential Appendix. c. The hot water supply piping shall be installed and insulated in accordance with Section RA3.6.2 of the California Energy Code Residential Appendix.

#### IRRIGATION SYSTEM

12. A water budget for landscape irrigation use that conforms to the California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO) is required for new landscape areas of 500 sq. fl. or more. The following methods to reduce potable water use in landscape areas include, but are not limited to, use of captured rainwater, recycled water, graywater, or water treated for irrigation purposes and conveyed by a water district or public entity.

(4.304.1)

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2020 Los Angeles Green Building Code

ITM#	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	comments  (e.g. note #, detail #) or reason for N/A)
23	4.504.1	Covering of duct openings and protection of mechanical equipment during construction	A-0.1	GRN 14 - #14
24	4.504.2	Finish material pollutant control		
25	4.504.2.1	<ul> <li>Adhesives, sealants, caulks</li> </ul>	G-1.0	GRN 14 - #15
26	4.504.2.2	<ul> <li>Paints and coatings</li> </ul>		& GRN 11
27	4.504.2.3	<ul> <li>Aerosol paints and coatings</li> </ul>		
28	4.504.2.4	<ul> <li>Verification</li> </ul>	A-□.1	GRN14 - #16
29	4.504.3	Carpet systems	A-□.1	GRN 14 - #17
30	4.504.3.1	Carpet cushion	A-□.1	GRN 14 - #17
31	4.504.4	Resilient flooring systems	A-□.1	GRN 14 - #18
32	4.504.5	Composite wood products	A-□.1	GRN 14 - #19
33	4.504.6	Filters	N/A	NOT MECH VENT
34	4.505.2.1	Capillary break	S-1	SLAB ON GRADI
35	4.505.3	Moisture content of building materials	A-□.1	GRN 14 - #23
36	4.506.1	Bathroom exhaust fans	A-2.0	LEGEND
37	4.507.2	Heating and air-conditioning system design	A-0.1	GRN 14 - #26

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PLUMBING FIXTURE FLOW RATES 2020 Los Angeles Green Building Code (Incorporate this form into the plans)

**FORM GRN 16** 

**SECTION 4.303.1** WATER REDUCTION FIXTURE FLOW RATES

FIXTURE TYPE	MAXIMUM ALLOWABLE FLOW RATE	
Showerheads	1.8 gpm @ 80 psi	
Lavatory faucets, residential	1.2 gpm @ 60 psi <sup>1,3</sup>	
Lavatory faucets, nonresidential	0.4 gpm @ 60 psi <sup>1,3</sup>	
Kitchen faucets	1.5 gpm @ 60 psi <sup>2,4</sup>	
Metering Faucets	0.2 gallons/cycle	
Gravity tank type water closets	1.28 gallons/flush <sup>5</sup>	
Flushometer tank water closets	1.28 gallons/flush <sup>5</sup>	
Flushometer valve water closets	1.28 gallons/flush <sup>5</sup>	
Urinals 0.125 gallons/flush		
Clothes Washers	ENERGY-STAR certified	
Dishwashers	ENERGY-STAR certified	

1 Lavatory Faucets shall not have a flow rate less than 0.8 gpm at 20 psi. <sup>2</sup> Kitchen faucets may temporarily increase flow above the maximum rate, but not above 2.2qpm @ 60psi and must default to a maximum flow rate of 1.8 gpm @ 60psi.

<sup>3</sup> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction. <sup>4</sup> Kitchen faucets with a maximum 1.8 gpm flow rate may be installed in buildings that have water closets with a maximum flush rate of 1.06 gallons/flush installed throughout.

5 Includes single and dual flush water closets with an effective flush of 1.28 gallons or less. Single Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is the average flush volume when tested in accordance with ASME

Dual Flush Toilets - The effective flush volume shall not exceed 1.28 gallons (4.8 liters). The effective flush volume is defined as the composite, average flush volume of two reduced flushes and one full flush. Flush volumes will be tested in accordance with ASME A1 12.19.2 and ASME

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**FORM** 

GRN 9

2020 Los Angeles Green Building Code

MANDATORY REQUIREMENTS CHECKLIST

ADDITIONS AND ALTERATIONS TO RESIDENTIAL BUILDINGS

(COMPLETE AND INCORPORATE THIS FORM INTO THE PLANS)

ITEM #	CODE SECTION	REQUIREMENT	REFERENCE SHEET (Sheet # or N/A)	COMMENTS  (e.g. n ote #, detail #) or r eason for N/A	
	*	PLANNING AND DESIGN			
1	4.106.2	Storm water drainage and retention during construction	A-0.1	GRN 1	
2	4.106.3	Grading and paving	A-1.0	SITE PLAN	
3	4.106.5	Cool roof (additions ≥ 500 sq. ft. or ≥ 50%)	A-0.1	SPEC SHEET	
		ENERGY EFFICIENCY	70		
4	4.211.4	Solar ready (additions≥2,000 sq. ft.)	N/A L	ESS THAN 2000	s.
		WATER EFFICIENCY & CONSERVATION	1	ATT	
5	4.303.1	Water conserving plumbing fixtures and fittings	A-0.1	GRN 14-#5	
6	4.303.1.3.2	Multiple showerheads serving one shower	A-□.1	GRN 14 - #6	
7	4.303.4	Water use reduction	A-□.1	GRN 14 - #6	
8	4.304.1	Outdoor water use in landscape areas	A-□.1	GRN 18R - #2	
9	4.304.2	Irrigation controllers	N/A N	O NEW LANDSCA	PI
10	4.304.3	Metering outdoor water use	N/A N	O NEW LANDSCA	PI
11	4.304.4	Exterior faucets	N/A I	ID NEW FAUCETS	
12	4.304.5	Swimming pool covers	N/A	NO POOL	6
13	4.305.1	Graywater ready	N/A N	O NEW LANDSCA	ΡI
14	4.305.2	Recycled water supply to fixtures		O NEW LANDSCA	
15	4.305.3.1	Cooling towers (buildings $\leq 25$ stories)		O COOLING TOW	
16	4.305.3.2	Cooling towers (buildings > 25 stories)		SS THAN 25 STO	R
	13	MATERIAL CONSERVATION & RESOUR			
	4.406.1	Rodent proofing	A-0.1	GRN 14 - #9	
	4.407.3	Flashing details	<del>                                     </del>	WINDOW DETAILS	
19	4.407.4	Material protection	A-□.1	GRN 14 - #10	
	4.408.1	Construction waste reduction	A-□.1	GRN 14 - #11	
21	4.410.1	Operation and maintenance manual	A-0.1	GRN 14 - #12	
	4 500 7	ENVIRONMENTAL QUALITY	Th. 1 / 0	Lug elbest to	
22	4.503.1	Fireplaces and wood stoves	N/A	NO FIREPLACE	l

As a covered entity under Title II of the Americans with Disabilities Act, the City of Los Angeles does not discriminate on the basis of disability and, upon request, will provide reasonable accommodation to ensure equal access to its programs, services and activities.

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LA DBS

2020 Los Angeles Green Building Code

**FORM GRN 14** 

**FORM** 

GRN 9

## GREEN BUILDING CODE PLAN CHECK NOTES

RESIDENTIAL BUILDINGS 13. All new gas fireplaces must be direct-vent, sealed combustion type. Wood accommodate a dedicated 208/240 volt branch circuit. The raceway shall not be burning fireplaces are prohibited per AQMD Rule 445.

 For each new dwelling and townhouse, provide a listed raceway that can less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. The 14. All duct and other related air distribution component openings shall be covered with tape, plastic, or sheet metal until the final startup of the heating, cooling and ventilating equipment. (4.504.1) panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch and ventilating equipment. circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for 15. Paints and coatings, adhesives, caulks and sealants shall comply with the future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". (4.106.4.1) 16. The VOC Content Verification Checklist. Form GRN 2. shall be completed and

2. For common parking area serving R-occupancies, the electrical system shall have sufficient capacity to simultaneously charge all designated EV spaces at the full rated amperage of the Electric Vehicle Supply Equipment (EVSE). Design shall be based upon a 40-ampere minimum branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter), shall originate at the main service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the proposed location of an EV charger. Raceways and related components that are planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of original construction. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the Los Angeles Electrical Code.

3. Roofs with slopes < 2:12 shall have a 3-year aged SRI value of at least 75 or both a 3-year aged solar reflectance of at least 0.63 and a thermal emittance of at least 0.75. Roofs with slopes > 2:12 shall have an aged SRI value of at least 16 or both a 3-year solar reflectance of at least 0.20 and a thermal emittance of

4. The required hardscape used to reduce heat island effects shall have a solar reflectance value of at least 0.30 as determined per ASTM E1918 or ASTM

5. The flow rates for all plumbing fixtures shall comply with the maximum flow 20. The Formaldehyde Emissions Verification Checklist, Form GRN 3, shall be 6. When a shower is served by more than one showerhead, the combined flow rate of all the showerheads controlled by a single valve shall not exceed 2.0

gallons per minute at 80psi, or the shower shall be designed to only allow one howerhead to be in operation at a time.

7. Installed automatic irrigation system controllers shall be weather- or soil-based 8. For projects that include landscape work, the Landscape Certification, Form GRN 12, shall be completed prior to final inspection approval.

(State Assembly Bill No. 1881) 9. Annular spaces around pipes, electric cables, conduits, or other openings in the building's envelope at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry, or metal plates. Piping prone to corrosion shall be protected in accordance with Section 313.0 of the Los Angeles Plumbing Code.

10. Materials delivered to the construction site shall be protected from rain or other 11. Only a City of Los Angeles permitted hauler will be used for hauling of

construction waste. 12. For all new equipment, an Operation and Maintenance Manual including, at a minimum, the items listed in Section 4.410.1, shall be completed and placed in the building at the time of final inspection.

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verified prior to final inspection approval. The manufacturer's specifications showing VOC content for all applicable products shall be readily available at the job site and be provided to the field inspector for verification. (4.504.2.4) 17. All new carpet and carpet cushions installed in the building interior shall meet

the testing and product requirements of one of the following (4.504.3): Carpet and Rug Institute's Green Label Plus Program California Department of Public Health's Specification 01350

NSF/ANSI 140 at the Gold level

d. Scientific Certifications Systems Indoor Advantage™ Gold 18. 80% of the total area receiving resilient flooring shall comply with one or more of the following (4.504.4): VOC emission limits defined in the CHPS High Performance Products

Volatile Organic Compound (VOC) limits listed in Tables 4.504.1-4.504.3.

b. Certified under UL GREENGUARD Gold Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program

d. Meet the California Department of Public Health's Specification 01350 19. New hardwood plywood, particle board, and medium density fiberboard composite wood products used in the building shall meet the formaldehyde limits listed in Table 4.504.5.

completed prior to final inspection approval. 21. Mechanically ventilated buildings shall provide regularly occupied areas of the building with a MERV 13 filter for outside and return air. Filters shall be

(MWELO, § 492.7) 22. A 4-inch thick base of ½ inch or larger clean aggregate shall be provided for proposed slab on grade construction. A vapor barrier shall be provided in direct contact with concrete for proposed slab on grade construction. (4.505.2.1) 23. Building materials with visible signs of water damage shall not be installed.

installed prior to occupancy and recommendations for maintenance with filters

of the same value shall be included in the operation and maintenance manual.

Wall and floor framing shall not be enclosed until it is inspected and found to 24. Newly installed bathroom exhaust fans shall be ENERGY STAR compliant and be ducted to terminate to the outside of the building. Fans must be controlled

cut sheet for verification. 25. A copy of the construction documents or a comparable document indicating the information from Energy Code Sections 110.10(b) through 110.10(c) shall be provided to the occupant."

by a humidistat which shall be readily accessible. Provide the manufacturer's

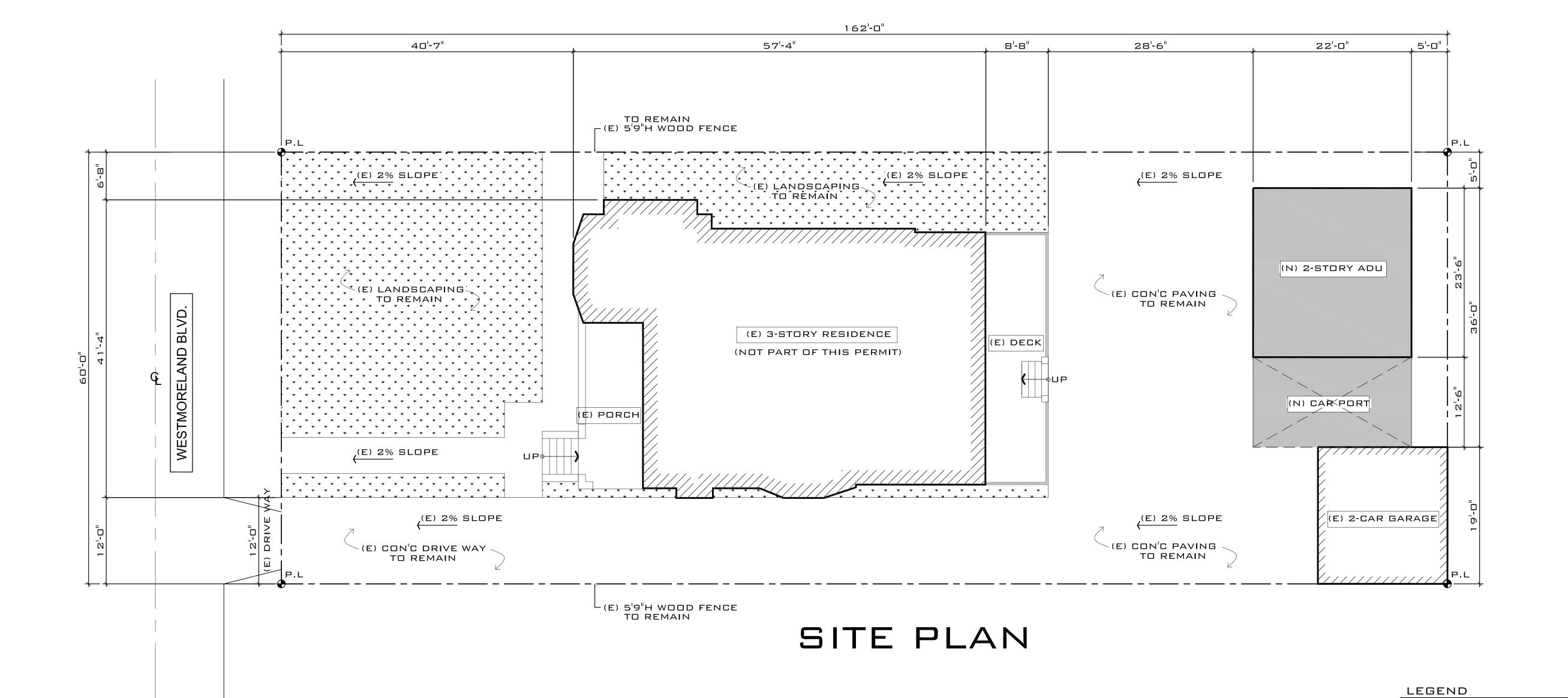
26. The heating and air-conditioning systems shall be sized and designed using ANSI/ACCA Manual J-2004, ANSI/ACCA 29-D-2009 or ASHRAE handbooks and have their equipment selected in accordance with ANSI/ACCA 36-S Manual S-2004.

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(4.408.1)

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FEB. 2022 AS SHOWN GREEN NOTES





FEB. 2022

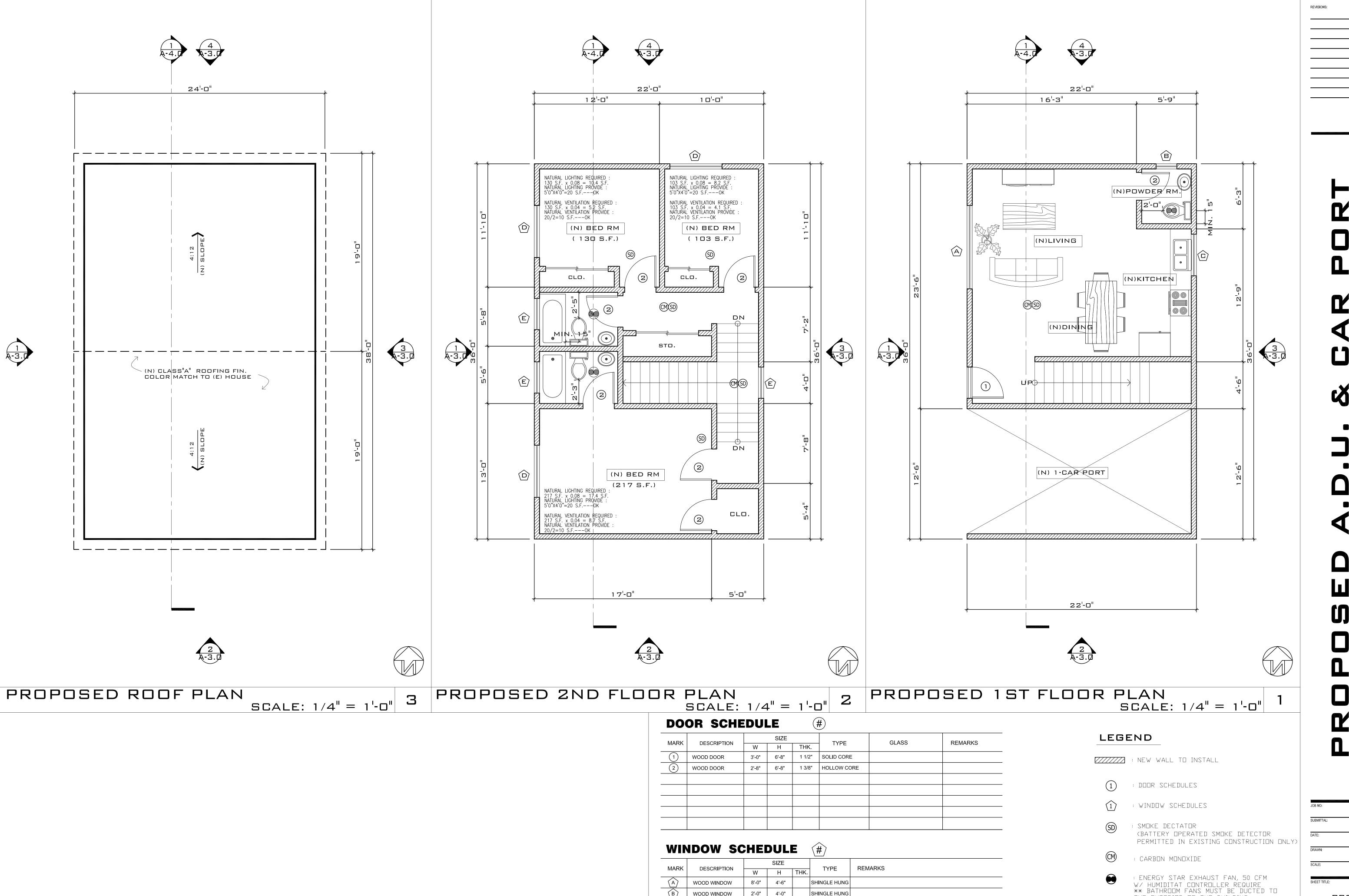
A-1.0

EXISTING BUILDING AREA

PROPERTY LINE

NEW ADDITION AREA @ 1ST FL. (236 S.F.)

(E) LANDSCAPING AREA TO REMAIN



2'-0" 4'-0"

4'-0" 4'-0"

5'-0" 4'-0"

3'-0" 3'-0"

WOOD WINDOW

WOOD WINDOW

WOOD WINDOW

WOOD WINDOW

SHINGLE HUNG

SHINGLE HUNG

SHINGLE HUNG

SHINGLE HUNG

FEB. 2022

AS SHOWN

PROPOSED FLOOR PLAN

A-2.0

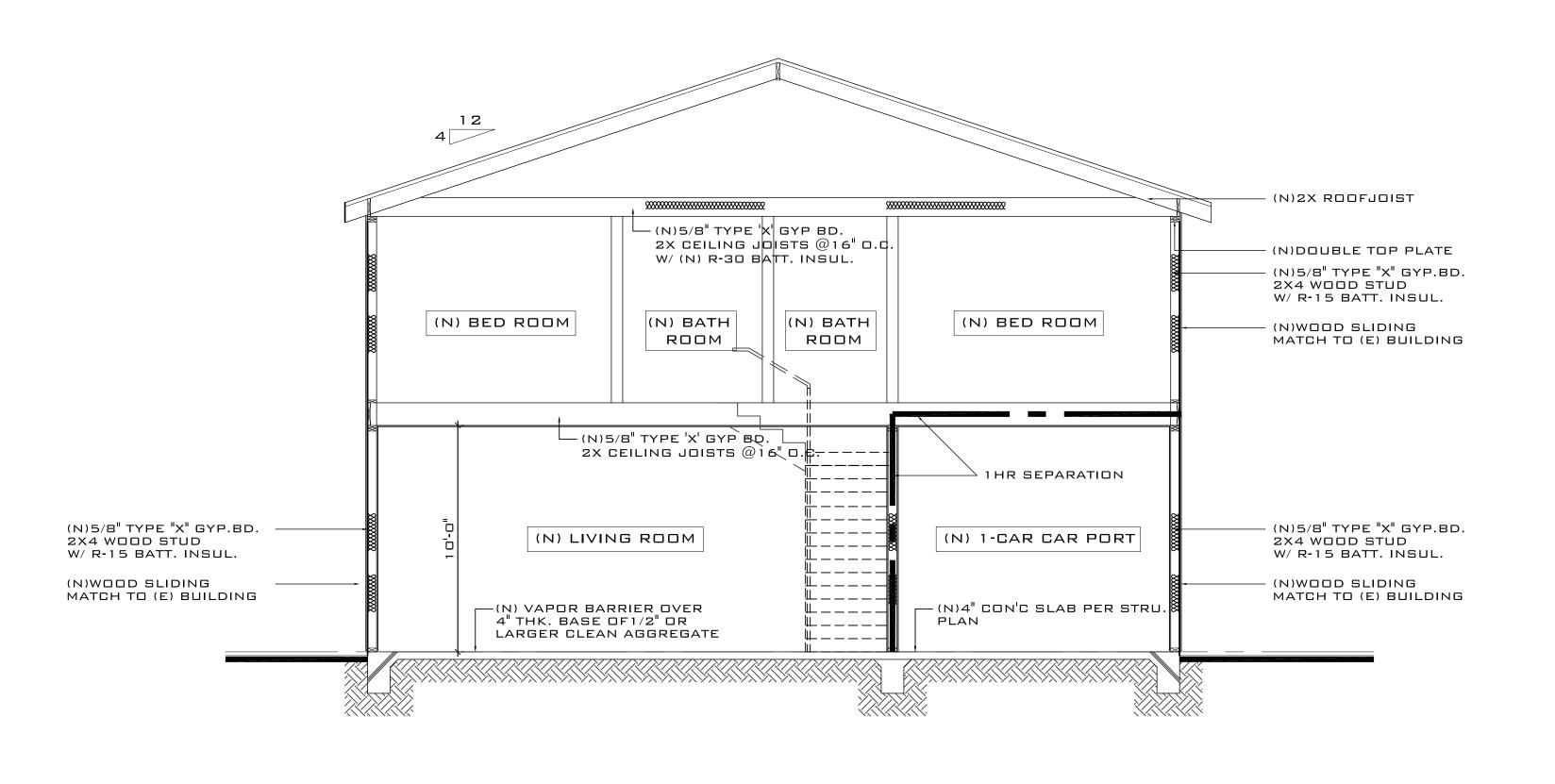
THE EXTERIOR OF THE BUILDING.

FEB. 2022

AS SHOWN

PROPOSED ELEVATIONS

A-3.0



SECTION-1 <sub>SCALE: 1/4" = 1'-0"</sub> 1

JOB NO:

SUBMITTAL:

DATE:

FEB. 2022

DRAWN:

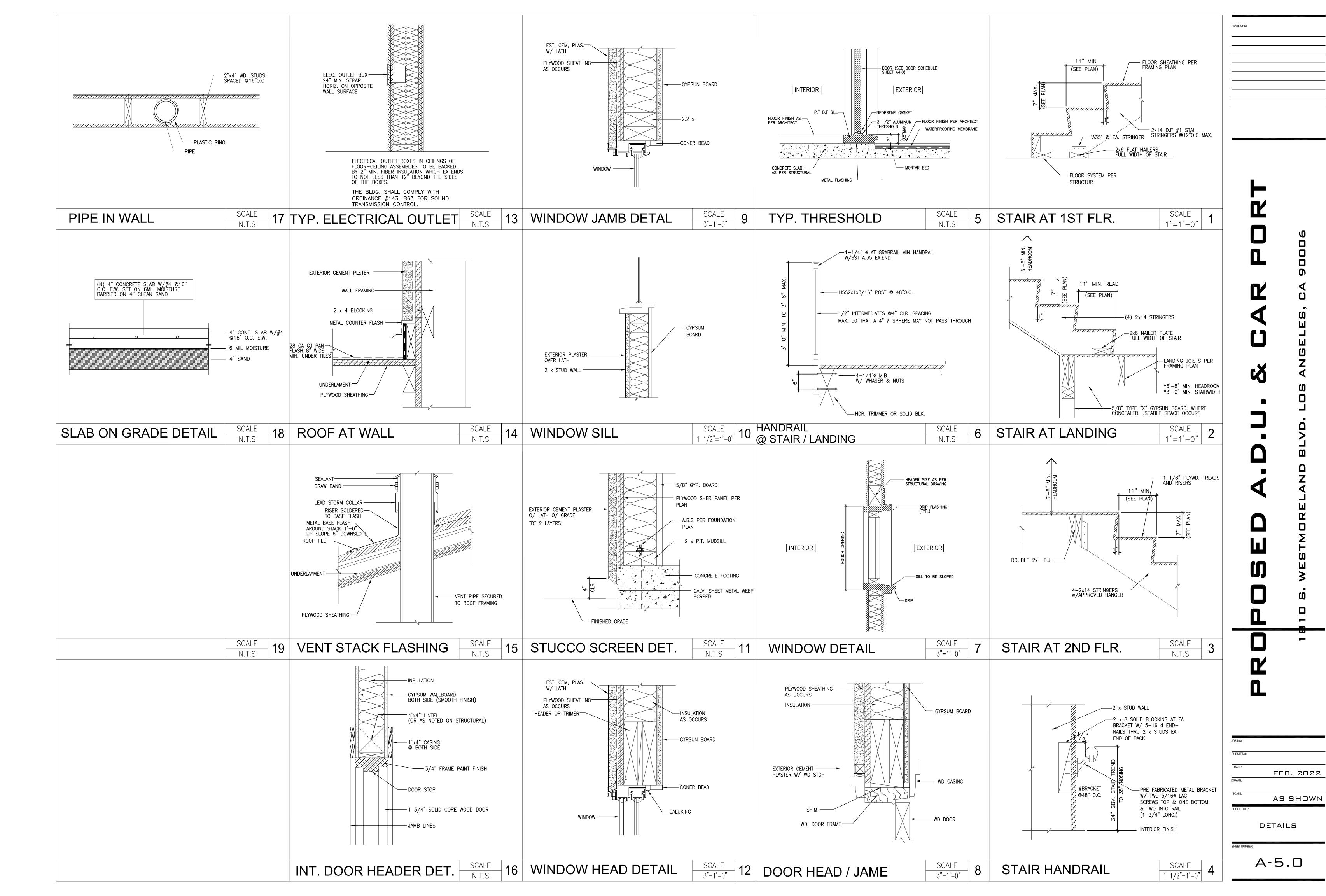
SCALE:

AS SHOWN

SHEET TITLE:

PROPOSED SECTIONS

A-4.0



LAP 12" PIECE OF WATERWAY FLEXIBLE FLASHING FROM JAMB ONTO VERTICAL

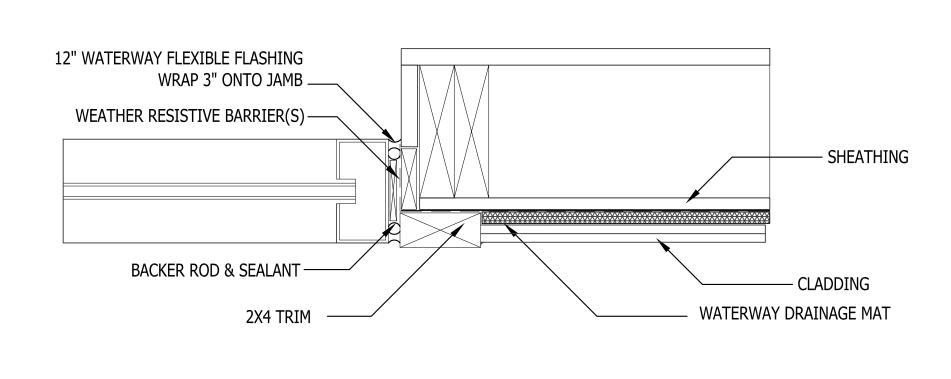
LEG OF SILL PAN

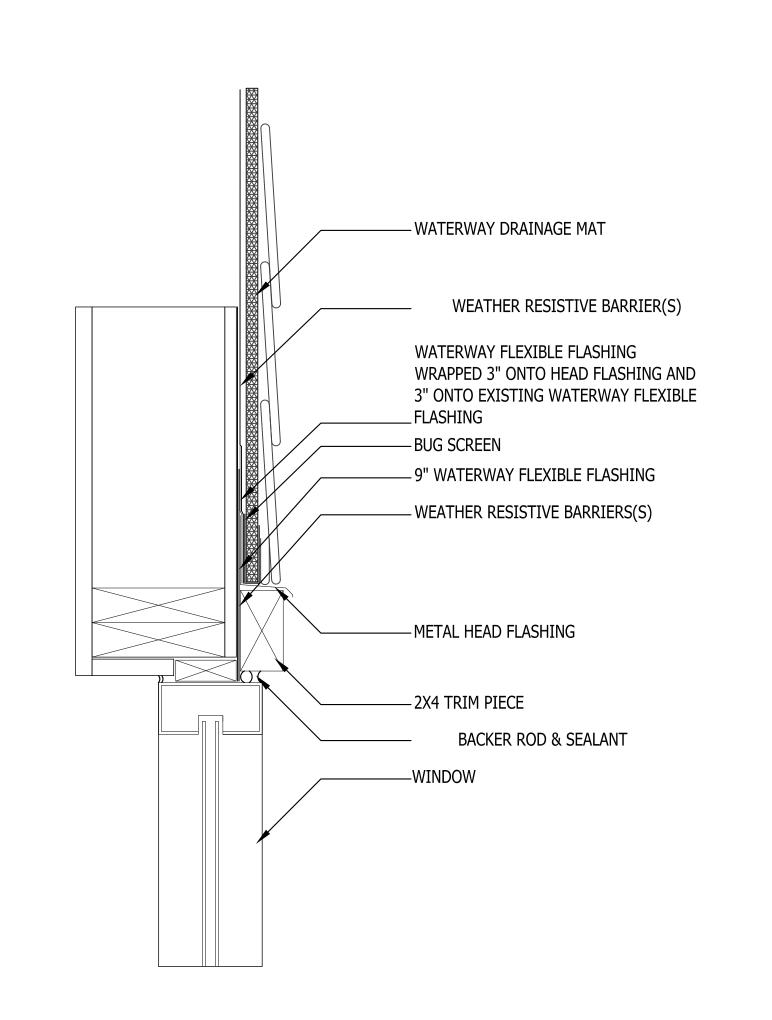
- HEAD FLASHING

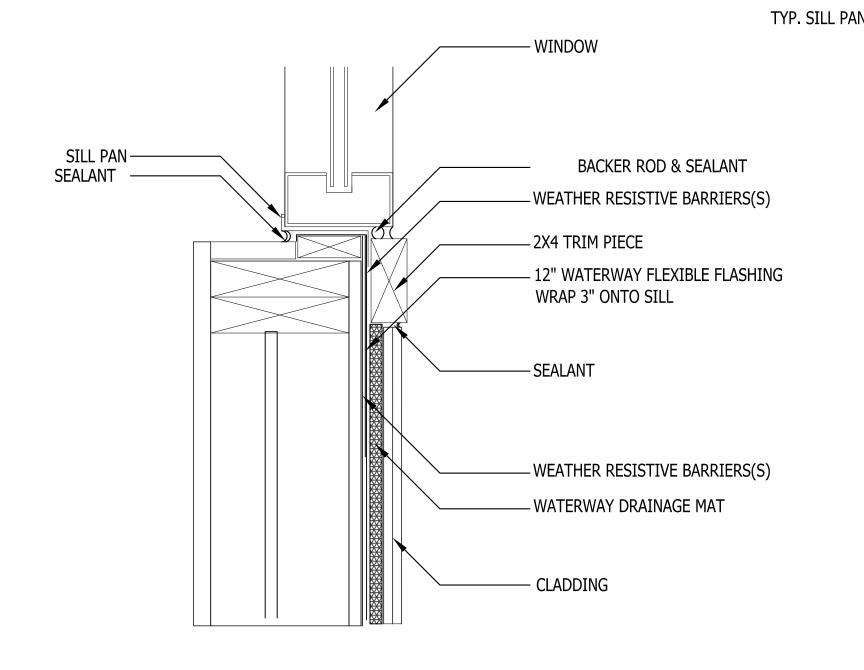
- SEALANT JOINT WINDOW FRAME

– 2X4 TRIM

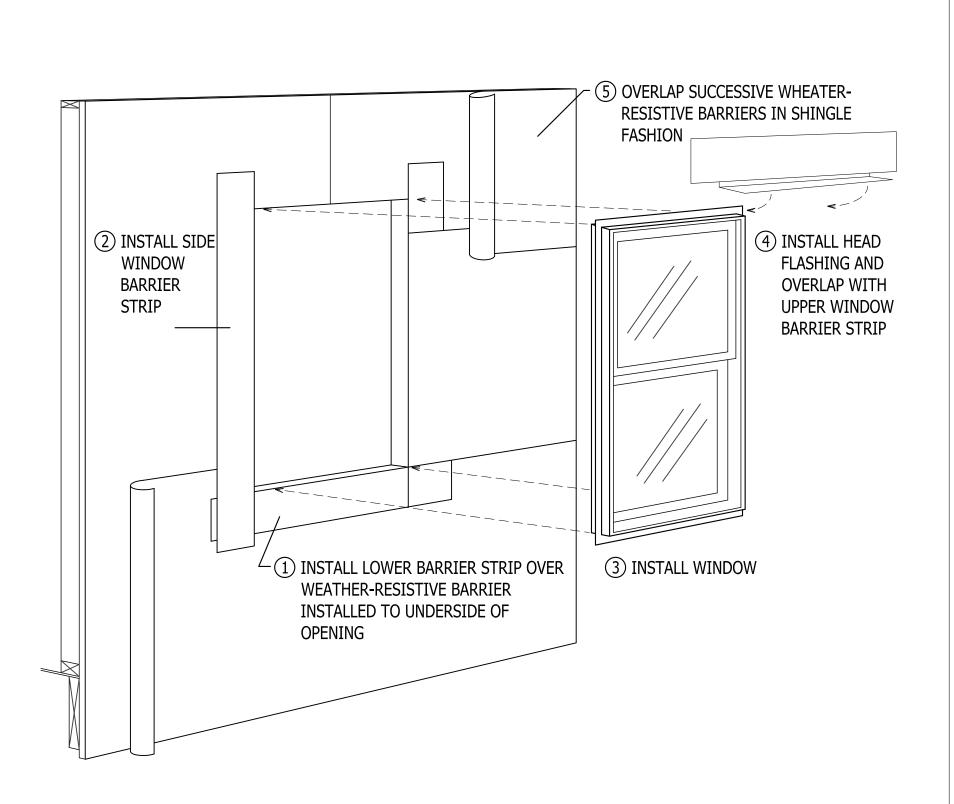
- CLADDING



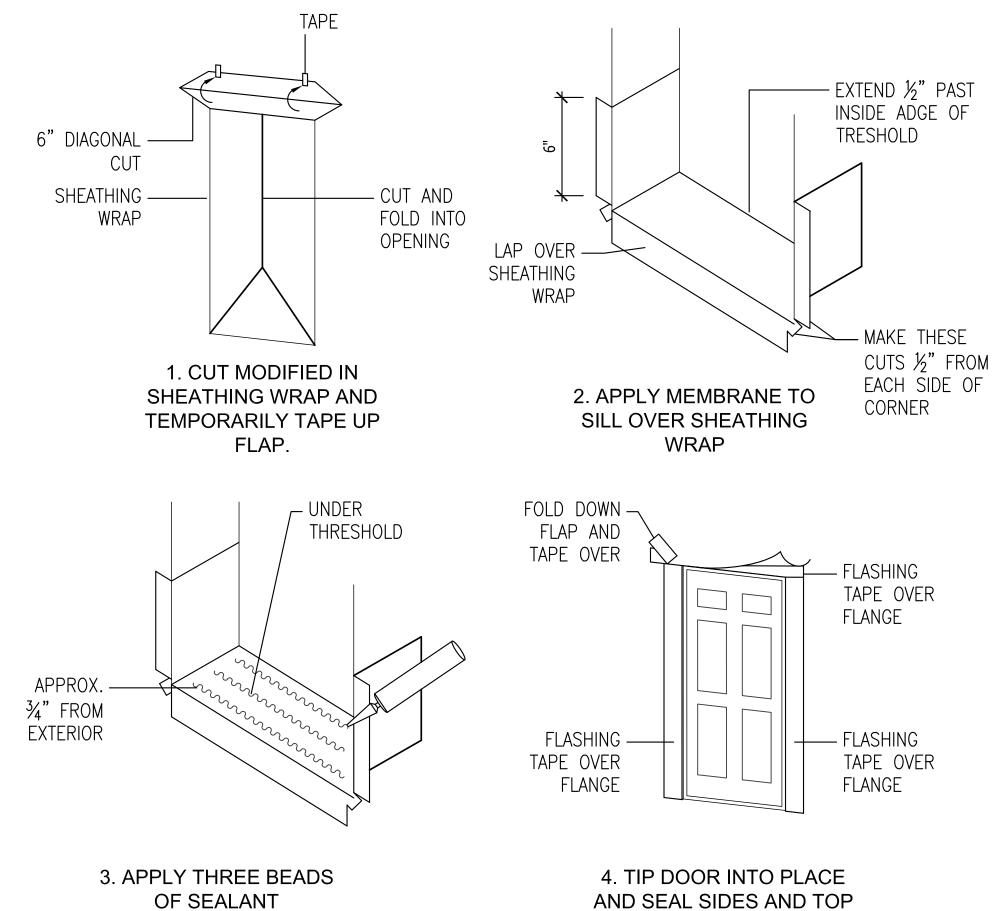




WINDOW JAMP FLASHING DETAIL SCALE: N.T.S.

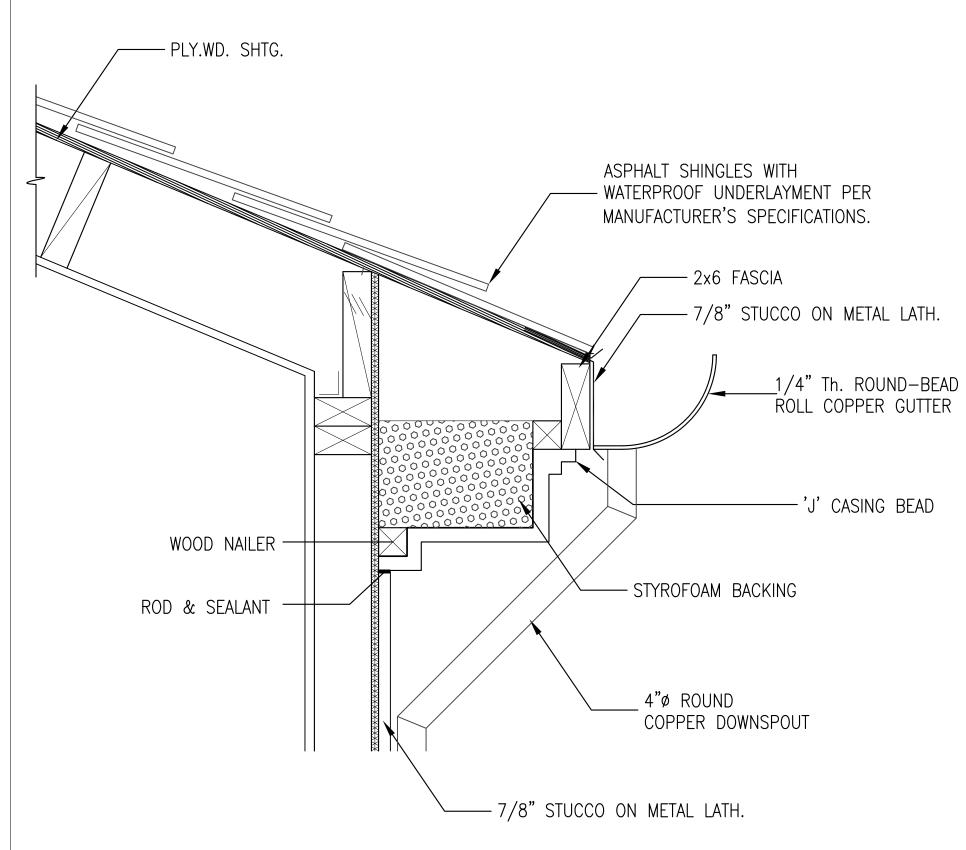


WINDOW HEAD FLASHING DETAILS



WHETHER TO USE A CUSTOM METAL PAN, AN ADJUSTABLE PLASTIC PAN, OR A PEEL-AND-STICK MEMBRANE, AS SHOWN, IS A MATTER OF PERSONAL PREFERENCE. ALL PANS SHOULD HAVE A DAM ON THE ENDS AND ALONG THE INTERIOR EDGE. IF USING A FLASHING MEMBRANE, CARRY IT UP THE SIDE JAMBS AT LEAST SIX INCHES. FOR WIDE THRESHOLDS, TWO STRIPS OF MEMBRANE CAN BE USED WITH AT LEAST A ONE INCH OVERLAP.

3 WINDOW SILL FLASHING DETAIL SCALE: N.T.S.



A-5.1

FEB. 2022

AS SHOWN

FLASHING DETAILS

4 FACE FLASHING DETAIL

SCALE: N.T.S.

DOOR FLASHING DETAIL

SCALE: N.T.S.

ROOF DRANGE DETAIL

SCALE: N.T.S.