

1. WORK INCLUDED : THIS PROJECT CONSISTS OF REMODELING OF EXISTING BUILDINGS AS INDICATED ON THE DRAWINGS AND AS HEREIN SPECIFIED ; TO THE END THAT THE BUILDING SHALL BE COMPLETELY OPERABLE ON COMPLETION OF THE CONTRACT.

2. SPECIAL NOTICE : THE COMPETENCE AND RESPONSIBILITY OF CONTRACTOR AND THEIR SUBCONTRACTORS WILL BE CONSIDERED IN AWARDED THE CONTRACT OWNER RESERVES THE RIGHT TO REJECT ANY AND ALL BIDS AND WAIVE ALL FORMALITY IN CONNECTION THEREWITH.

3. SUPPLEMENSPECIAL NOTICE : THE COMPETENCE AND RESPONSIBILITY OF CONTRACTOR AND THEIR NTARY CONDITIONS : THE FOLLOWING CONDORIONS ARE HEREBY MADE A PART OF AND SHALL APPLY TO THE WORK OF EVERY DIVISION, SECTION AND SUBSECTION OF THESE SPECIFICATIONS.

4. SCOPE : FURNISH ALL LABOR, MATERIALS, EQUIPMENT, APPLIANCES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF THE WORK OF EACH DDIVISION OR SECTION AS INDICATED ON DRAWINGS OR AS SPECIFIED IN AN OPERABLE AND LAWFUL MANNER.

5. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL DIMENSIONS AND CONDITIONS OF THE EXISTING PROPERTY AT THE PROJECT SITE AND TO CROSS CHECK ALL DETAILS AND NOTIFY THE OWNER AND THE ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING ANY WORK.

6. ANY DEVIATIONS FROM THE CONTRACT DOCUMENTS THAT ARE NECESSITATED BY FIELD CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ARCHITECT.

7. ALL WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE LATEST EDITION OF GOVERNING BUILDINGS CODE AND/OR ALL OTHER GOVERNING CODES AND AGENCIES' REQUIREMENTS.

8. SITE EXAMINATION : ALL CONTRACTORS SUBMITTING PROPOSALS FOR THIS WORK SHALL FIRST VISIT AND EXAMINE THE PROJECT SITE, EXISTING BUILDING AND ALL EXISTING CONDORIONS THEREIN AND SHALL TAKE THEM INTO ACCOUNT IN THEIR PROPOSAL.

9. PERMITS AND TAXES : SECURE AND PAY FOR ALL PERMIS, WATER, SEWER HOOKUPS AND ANY OTHER MUNICIPAL OR PRIVATE FEES REGARDING THE WORK, INCULUDING WATER METER AND COSTS REQUIRED BY UTILITIES TO RUN MAIN ON AND OFF THE PROPERTY.

10. SUBMITTALS : WITHIN 15 DAYS AFTER THE AWARD OF CONTRACT AND BEFORE ANY MATERIALS ARE DELIVERED TO JOB SITE, SUBMIT CONSTRUCTION SCHEDULE AND PHASING OF THE WORK FOR OWNER'S REVIEW SHOP DRAWINGS (3 SETS), STAMPLES, AND/OR COMPLETE LIST OF ALL MATERIALS PROPOSED TO BE FURNISHED AND INSTALLED UNDER THE WORK OF EACH DIVISION THAT REQUEST THEM, PROVIDE THE OWNER WITH 3 SETS OF OPERATING AND MAINTENANCE INSTRUCTION FOR ALL EQUIPMENT INSTALLED AT COMPLETION OF WORK.

11. FLOOR FINISH JUCTIONS : SHALL BE TRUE AND LEVEL ALL FINISH FLOOR HEIGHT VARIATIONS SHALL BE CORRECTED BY LEVELING OR BY AN APPROVED EVEN RAMP WITH MAXIMUM SLOPE OF 10% IN ALL TRAVELED DIRECTIONS. STEPS SHALL NOT TO BE PERMITTED UNLESS INDICATED ON THE DRAWINGS.

12. PROTECTION : COMPLY WITH O.S.H.A. AND ALL GOVERNING HEALTHE AND SAFETY CODES PROVIDE PROTECTION FOR ALL PROPERTY, NEW AND EXISTING WORK AND ALL MATERIALS STORED ON THE JOB SITE AGAINST LESS AND/OR DAMAGE, INCLUDING WIND AND EARTHQUAKE DAMAGE AND PROTECTION FOR ALL PERSONS AGAINST INJURIES DURING CONSTRUCTION.

13. TEMPORARY PHONE AND FACILITIES : PROVIDE AT HIS EXPENSE JOB PHONES AND TOILETS, TEMPORARY POWER AND WATER THE CONTRACTOR TO PROVIDE HIS OWN HOOKUPS AND EXTENSIONS, THE CONTRACTOR SHALL PROVIDE BARRICADES, WARNING LANTERNS, ETC. TO PROTECT THE OWNER'S EMPLOYEES, NEIGHBORS AND VISITORS FROM ANY HAZARD OF THE CONSTRUCTION AREAS AND CONSTRUCTION ACTIVITIES.

14. CLEAN UP : AT COMPLETION OF WORK, IT SHALL BE LEFT BROOM-CLEAN AND UNDAMAGED AS A CONDITION OF ACCEPTANCE. MATERIAL AND DEBRIS NOT MOVED AND DAMAGES NOT REPAIRED WHEN DIRECTED SHALL BE ORDERED DONE BY OTHERS AND THE COST CHARGED TO THE CONTRACTOR PAYMENT FOR THE WORK COMPLETED. USE OF COMPLETED OR PARTIALLY COMPLETED WORK SHALL NOT BE CONSTRUCTED AS ACCEPTANCE OR APPROVAL OF THE WORK. ARCHITECT'S DECISIONS IN THESE MATTERS SHALL BE FINAL.

15. GUARANTEES & LIENS : PROVIDE LIEN RELEASES FROM CONTRACTORS, ALL SUBCONTRACTORS, AND SUPPLIERS. DELIVER TO THE OWNER ALL REQUIRED LIEN RELEASES. GUARANTEES AND CERTIFICATES. GUARANTEE THE ENTIRE WORK AND PROPER FUCTIONING OF ALL EQUIPMENT APPLIANCES FOR A PERIOD OF ONE YEAR FROM THE DATE OF OWNER'S ACCEPTANCE AND THAT ANY DEFECTS SHALL BE PROMPTLY CORRECTED AT NO ADDITIONAL EXPENSE TO THE OWNER. LONGER GUARANTEES MAY BE SPECIFIED FOR CERTAIN WORK.

16. THE CONTRACTOR SHALL MAKE EVERY PROVISION TO INSURE THE INTEGRITY OF THE BUILDING. SECURITY MEASURES AND GUARD SERVICE SHALL BE PROVIDED THE CONTRACTOR DURING ALL TIMES WHEN THE BUILDING IS NOT SECURED.

17. ALL INFORMATION REGARDING N.I.C. ITEMS WILL BE SUPPLIED BY THE OWNER.

18. MATERIALS TO BE USED SHALL BE OF FIRST QUALITY. THE WORK SHALL BE PERFORMED BY SKILLED MECHANICS IN A WORKMANLIKE MANNER AND CONFORM TO THE GOVERNING CODES AND REQUIREMENTS, OF THE CITY.

19. ALL CEILINGS SUSPENSION SYSTEMS SHALL BE APPROVED TYPE BY THE GOVERNING AGENCIES FOR ITS PROPOSED USE. THE CONTRACTOR SHALL SUBMIT MANUFACTURER SPECIFICATION AND RESEARCH REPORT TO THE GOVERNING AGENCIES FOR APPROVAL PRIOR TO THE PURCHASE AND DELIVERY OF THESE MATERIALS.

20. INSULATION WITH A MIN. OF R-13 INSTALLED IN WALL STUD SPACES.

21. INSULATION WITH A MIN. OF R-30 INSTALLED IN CLF. JOIST SPACES.

22. INSULATION WITH A MIN. OF R-19 INSTALLED UNDER RAISED FLOORS.

23. ALL INSULATION MATERIALS SHALL BE CERTIFIED BY THE MANUFACTURER AS COMPLYING WITH THE CALIFORNIA QUALITY STANDARDS FOR INSULATING MATERIAL, TITLE 20, CHAPTER 4, ARTICLE 3.

24. MANUFACTURED DOORS AND WINDOW SHALL BE CERTIFIED AND WITHIN 24" ARC OF EITHER DOORWAYS VERTICAL EDGE MUST BE TEMPERED.

25. PROVIDE 70" HIGH NONABSORBENT WALL ADJ. TO SHOWER AND APPROVED SHATTER-RESISTANT MATERIALS FOR SHOWER ENCLOSURE. SWINGING DOOR SHALL BE SWING OUT. ALL SHOWER COMPARTMENTS SHALL HAVE A MIN. FINISHED INTERIOR AREA OF 1024 SQ.IN. AND SHALL ALSO BE CAPABLE OF ENCOMPASSING 30" CIRCLE.

26. PROVIDE MIN. 50 SQ.IN. VENTS TOP AND BOTTOM OF WATER HEATER COMPARTMENT WITH A 24" CLEAR DOOR. WATER HEATER SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 2/3 OF THE TANK. THE LOWER POINT SHALL BE A MIN. OF 4" ABOVE THE CONTROLS.

27. PROVIDE SMOKE DETECTORS IN HALLWAY ADJACENT TO BEDROOMS, IN EADH BEDROOM AND EACH FLOOR LEVEL.

28. PROVIDE GFI PROTECTED RECEPTABLE OUTLET IN BATHROOM, GARAGE, OUTSIDE LOCATIONS AND AT COUNTERTOP AREAS WITHIN 6" OF THE KITCHEN SINK.

29. WALL SPACES 24" AND WIDER SHALL HAVE A RECEPTABLE EVERY 12".

30. PROVIDE WEEP SCREED FOR STUCCO AT MIN. 4" ABOVE GRADE.

31. PROVIDE 1 SQ.FT. UNDER FLOOR VENTILATION FOR EACH 150 SQ.FT. OF UNDFLOOR AREA. PROVIDE ATTIC VENTILATING OPENING NOT LESS THAN 1/10 OF ATTIC AREA. THE OPENING SHALL BE COVERED WITH CORROSION RESISTANT METAL MESH WITH MESH OPENINGS OF 1/4" IN DIMENTION.

32. FOOR VALLEY FLASHING SHALL BE PROVIDED NOT LESS THAN 28 GA. CORROSION-RESISTANT METAL, AND SHALL EXTEND AT LEAST 8" FROM THE CENTER LINE EACH WAY. FLASHING SHALL HAVE AN ADDITIONAL 26" WIDE UNDERPAYMENT DIRECTLY UNDER IT CONSISTING OF 1 LAYER OF TYPE 15 FELT RUNNING THE FULL LENGTH OF VALLEY

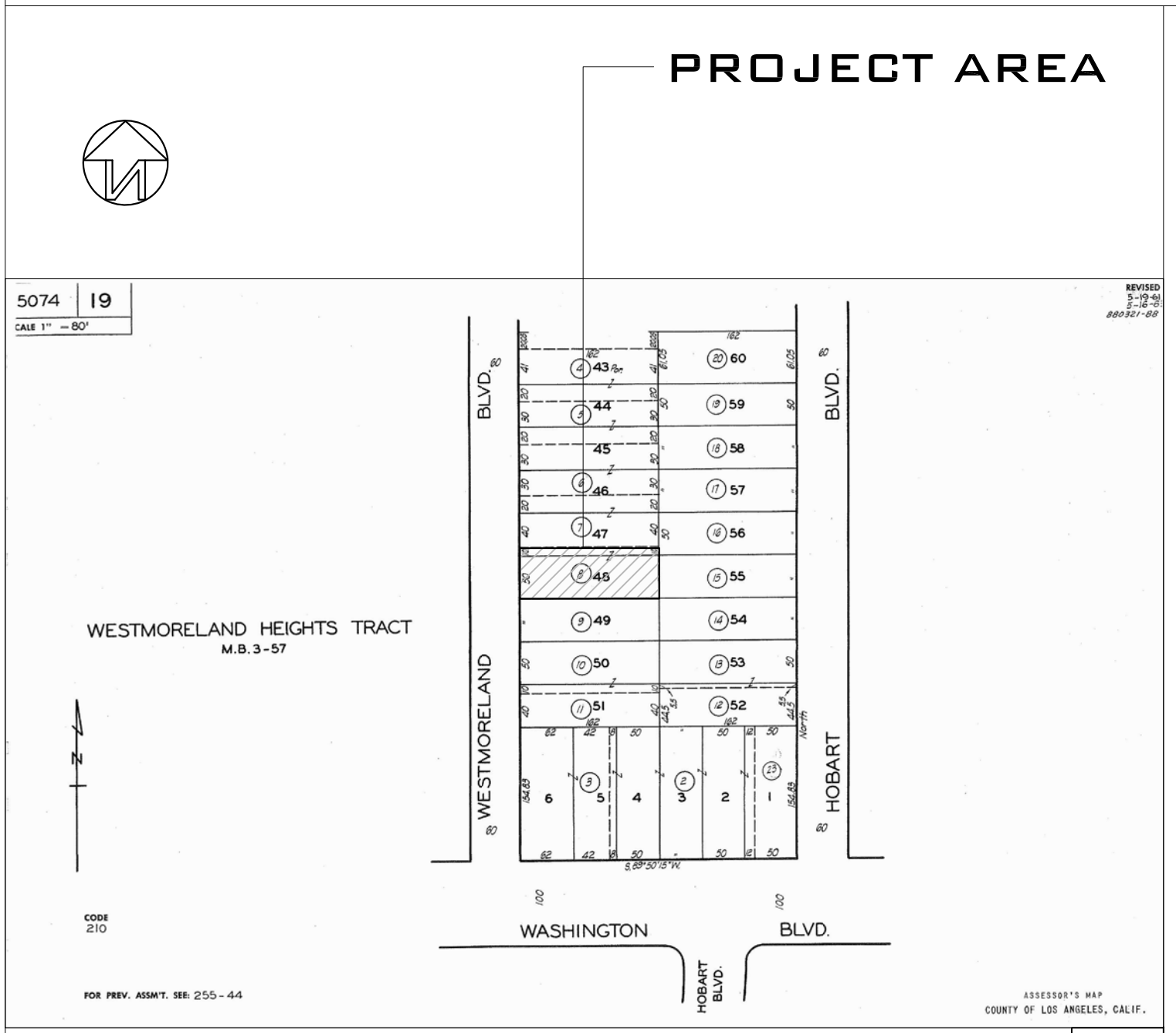
33. PROVIDE ONE WINDOW IN EACH BEDROOM, MAX. 44" SILL HEIGHT, 20" HORIZ., 24" VERT. IN. OPENING AND 5.7 SQ.FT. MIN.CLR. AREA

34. GLAZING ADJ. TO A DOOR WHICH IS LESS THAN 60" FROM A FLOOR AND WITHIN 24" ARC OF EITHER DOORWAYS VERTICAL EDGE MUST BE TEMPERED.

36. PROVIDE MIN. 50 SQ.IN. VENTS TOP AND BOTTOM OF WATER HEATER COMPARTMENT WITH A 24" CLEAR DOOR.

1810 WESTMORELAND RESIDENCE

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006



ASSESSOR MAP 5

	ELEVATION IDENTIFICATION SHEET WHERE ELEVATION IS DRAWN
	SECTION IDENTIFICATION SHEET WHERE SECTION IS DRAWN
	DETAIL IDENTIFICATION SHEET WHERE DETAIL IS DRAWN
	INTERIOR ELEVATION IDENTIFICATION SHEET WHERE INTERIOR ELEVATION IS DRAWN.
	REVISION NUMBER
	WORK POINT, DATUM POINT OR CONTROL POINT
	DOOR NUMBER
	WINDOW NUMBER
	WALL TYPE
	PLAN NOTE
	MATERIAL NUMBER
	EQUIPMENT NUMBER
	NORTH ARROW

SYMBOLS 6

PROJECT DESCRIPTION:
 -ADDITION OF NEW ATTACHED A.D.U. TO (E) GARAGE
 -NEW 1-CARPORT (236 S.F.)

ADDRESS:
 1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

PROPERTY OWNER:
 MR. & MRS. MOON
 1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

ASSESSOR PARCEL NO.:
 5074-019-008

LOT AREA:
 9,720.1 SQ.FT.

BUILDING AREA:

EXISTING RESIDENCE	3,552 SQ.FT. (NO CHANGE)
EXISTING GARAGE	342 SQ.FT. (NO CHANGE)
NEW A.D.U. ADDITION	472 SQ.FT. -1ST FLOOR 654 SQ.FT. -2ND FLOOR 1,126 SQ.FT. (W/D EXTERIOR WALL)
NEW 1-CARPORT	236 SQ.FT.

PARKING ANALYSIS:
 EXISTING RESIDENCE-NO PARKING CHANGE
 PROPOSED A.D.U. -PROVIDED 1-CARPORT

BUILDING HEIGHT:
 PROPOSED A.D.U. : 26'-4"

OCCUPANCY GROUP:
 R-3

TYPE OF CONSTRUCTION:
 TYPE-VB

TRACT: WESTMORELAND HEIGHTS TRACT

LOT: 47

BLOCK: NONE

ZONING: R2-1-HPDZ

PROJECT DATA 4

A - 0.0	PROJECT INFORMATION
A - 0.1	GREEN NOTES
A - 1.0	SITE PLAN
A - 2.0	PROPOSED FLOOR PLAN PROPOSED ROOF PLAN
A - 3.0	PROPOSED ELEVATIONS
A - 4.0	PROPOSED SECTIONS
A - 5.0	DETAILS
A - 5.1	FLASHING DETAILS

SHEET INDEX 1

APPLICABLE CODE:

THE CONTRACTOR SHALL CONFORM TO ALL CODES, ORDINANCES, ETC. WHICH HAVE THE CONTRACTORS SHALL RETAIN RESPONSIBILITY FOR JURISDICTION OVER THE WORK. COMPLIANCE WITH LATEST REVISIONS OF ALL OTHER APPLICABLE CODES AND ORDINANCES-

- 2019 CBC AND ITS APPENDICES AND STANDARDS
- 2019 CMC AND ITS APPENDICES AND STANDARDS
- 2019 CEC AND ITS APPENDICES AND STANDARDS
- 2019 CPC AND ITS APPENDICES AND STANDARDS
- 2019 GREEN BUILDING CODE
- 2020 LOS ANGELES RESIDENTIAL CODE (LARC)

APPLICABLE CODE 2



VICINITY MAP 3

GENERAL NOTES 7

REVISIONS:

PROPOSED A.D.U. & CAR PORT

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

JOB NO. _____

SUBMITTAL: _____

DATE: FEB. 2022

DRAWN: _____

SCALE: AS SHOWN

SHEET TITLE: PROJECT DATA

SHEET NUMBER: _____

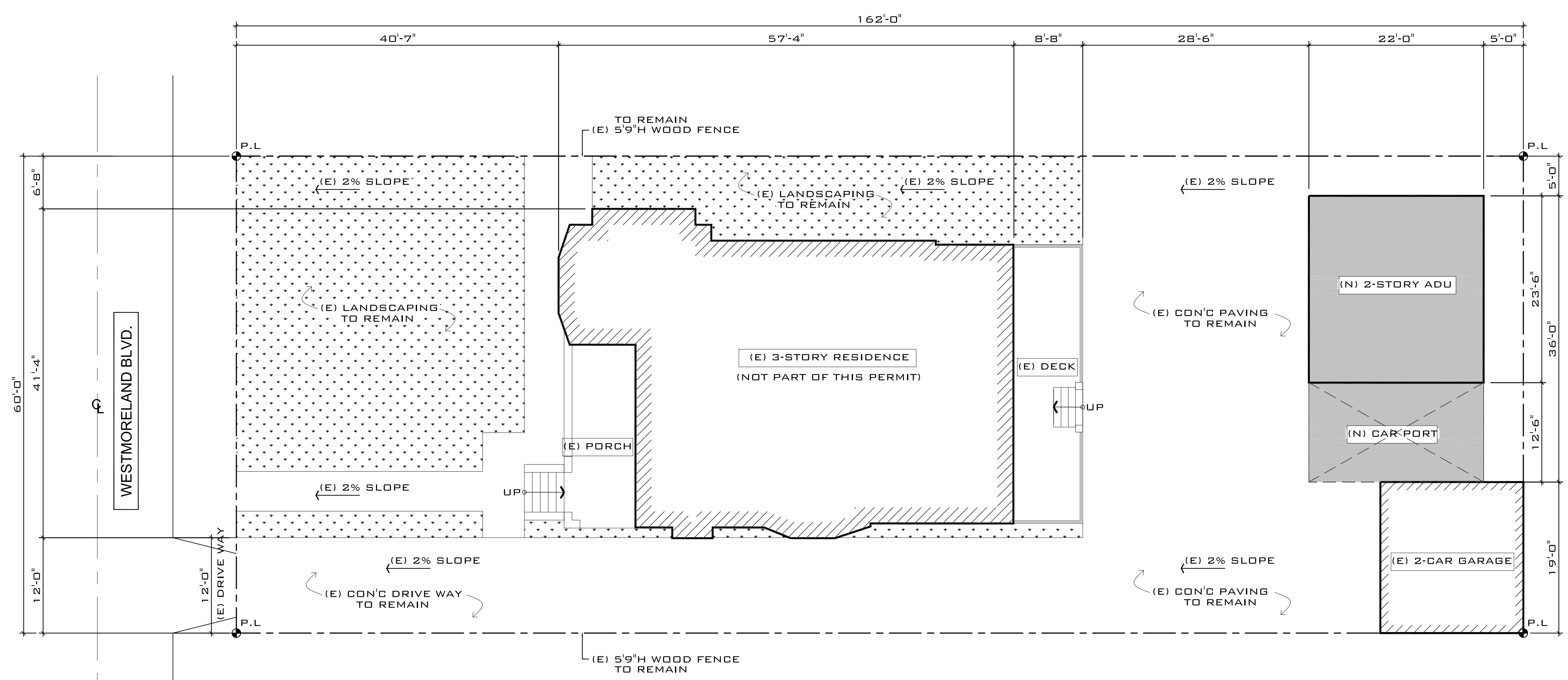
A-0.0

REVISIONS:

PROPOSED A.D.U. & CAR PORT

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

JOB NO. _____
 SUBMITAL: _____
 DATE: FEB. 2022
 DRAWN: _____
 SCALE: AS SHOWN
 SHEET TITLE: SITE PLAN
 SHEET NUMBER: A-1.0

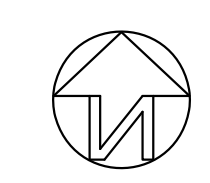


SITE PLAN

- LEGEND**
- EXISTING BUILDING AREA
 - NEW ADDITION AREA @ 1ST FL. (236 S.F.)
 - (E) LANDSCAPING AREA TO REMAIN
 - PROPERTY LINE

SITE PLAN

SCALE: 1/8" = 1'-0" 1

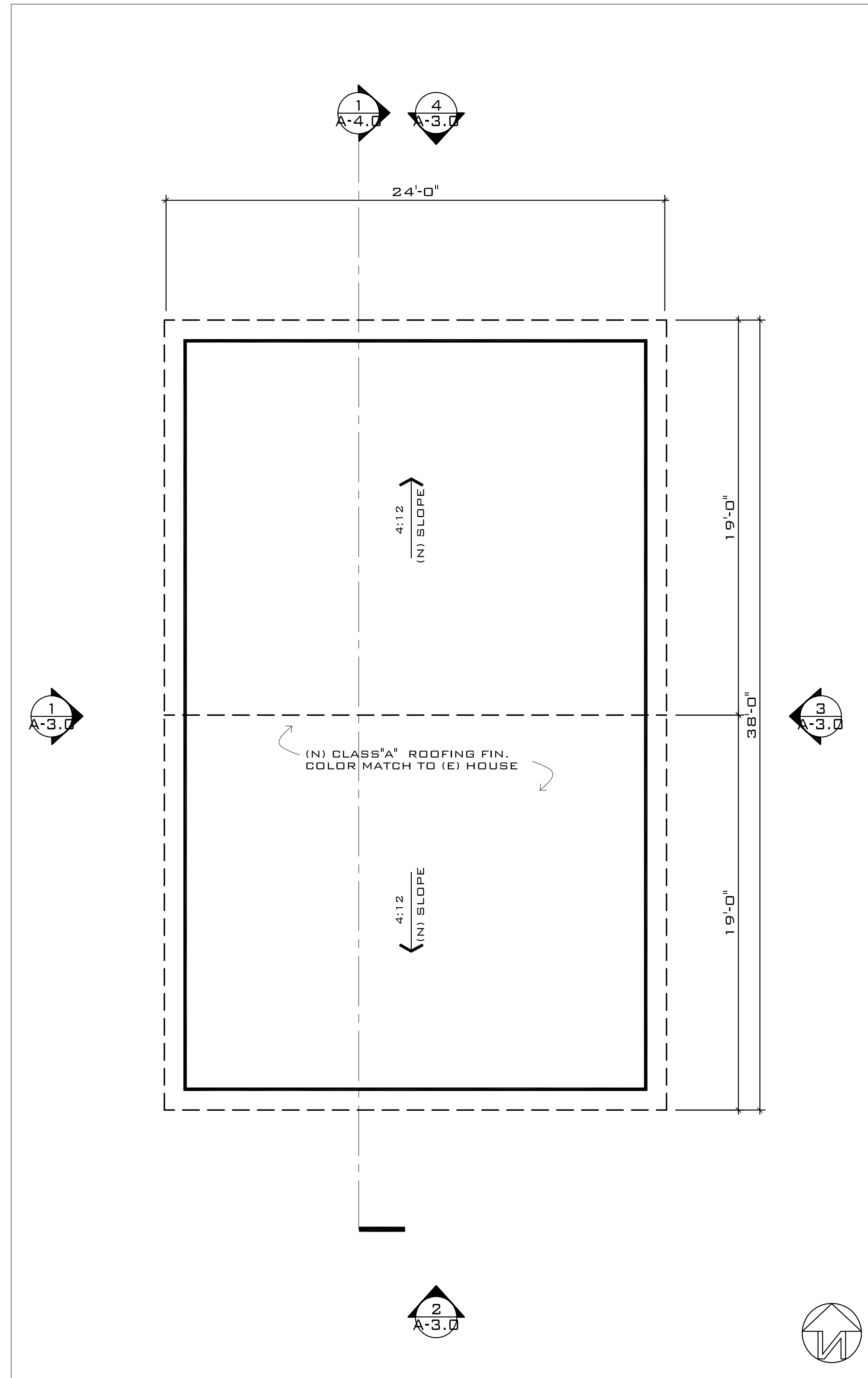
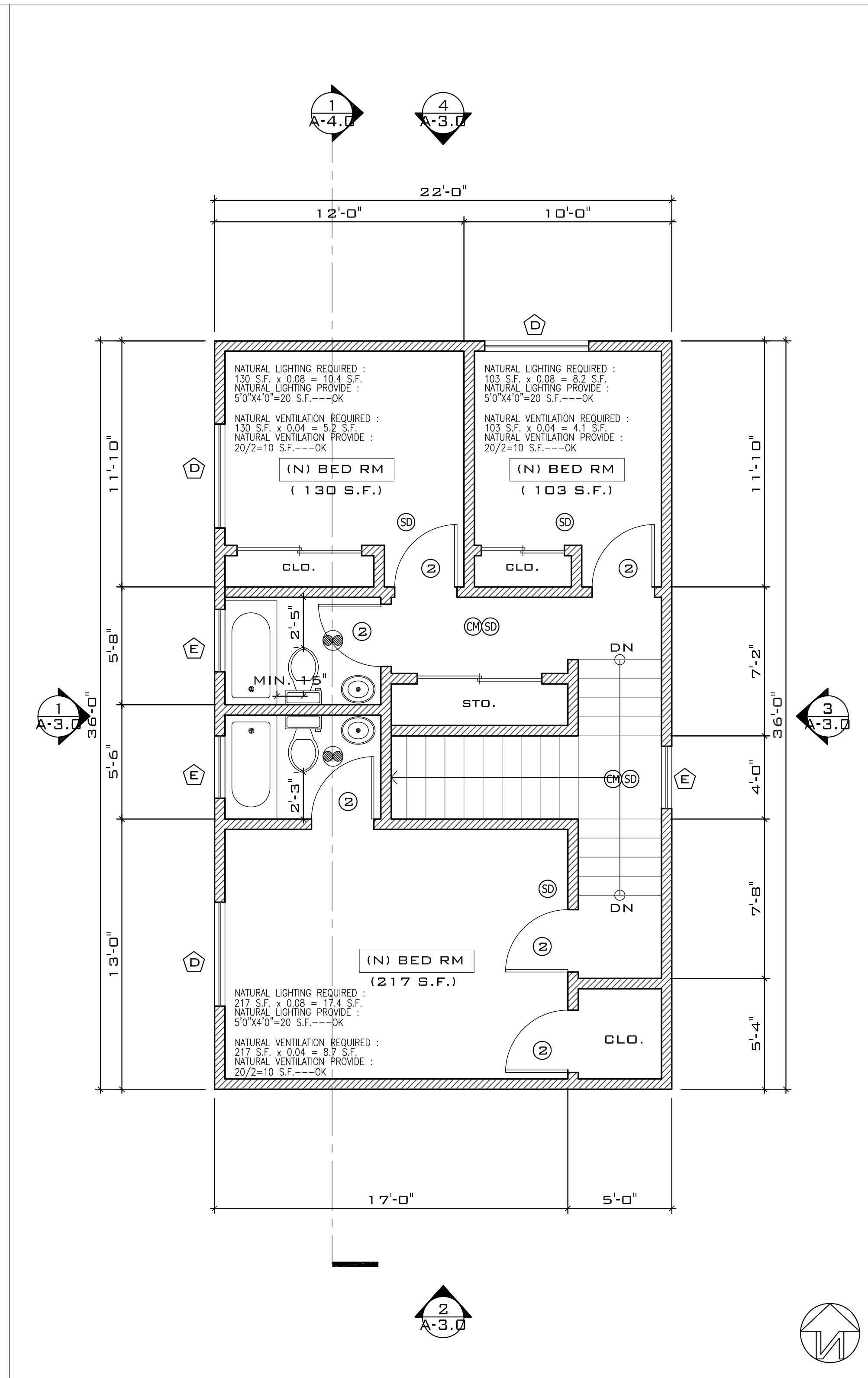
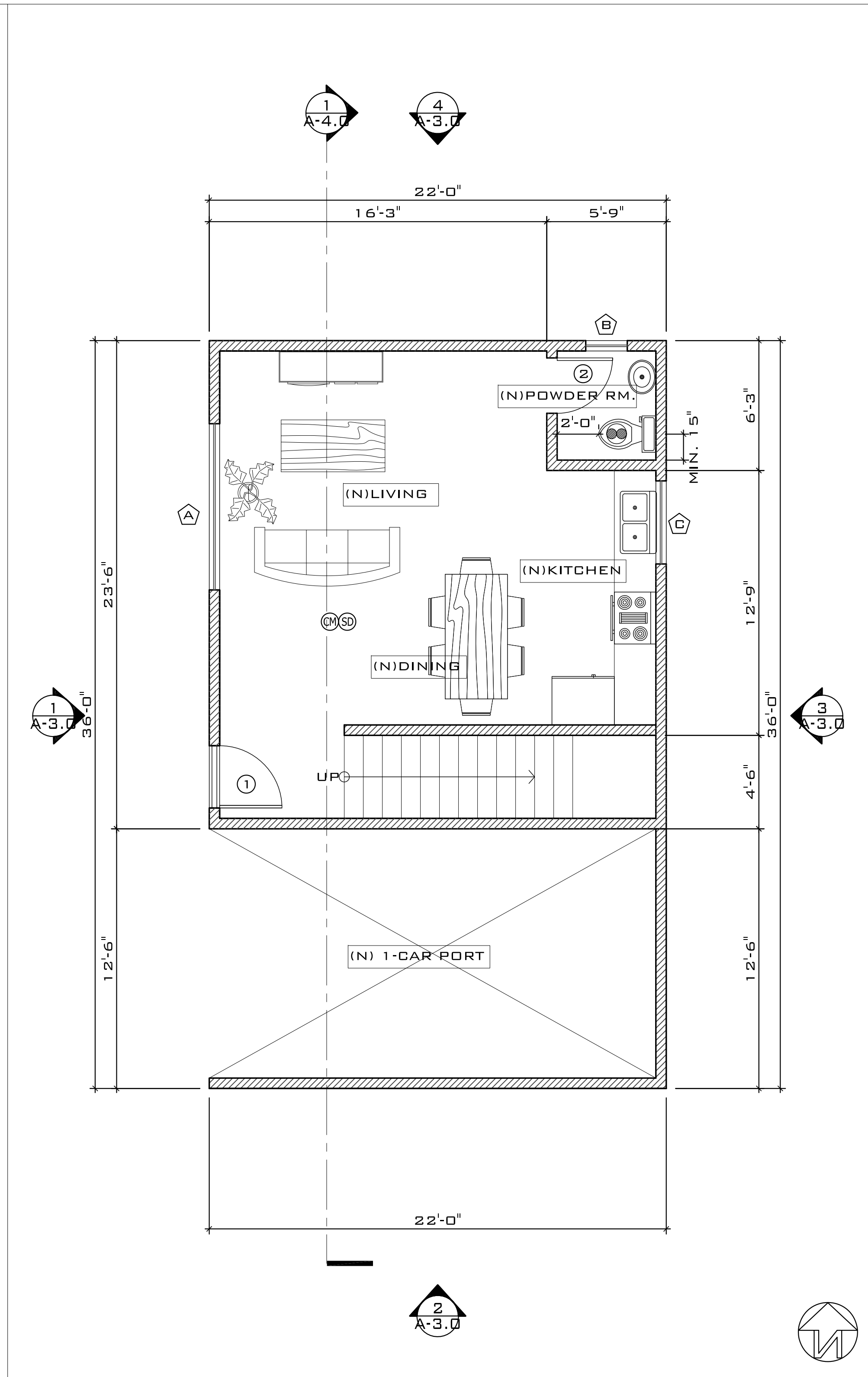


REVISIONS:

PROPOSED A.D.U. & CAR PORT

1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

JOB NO. _____
 SUBMITTAL: _____
 DATE: **FEB. 2022**
 DRAWN: _____
 SCALE: **AS SHOWN**
 SHEET TITLE: **PROPOSED FLOOR PLAN**
 SHEET NUMBER: **A-2.0**



DOOR SCHEDULE

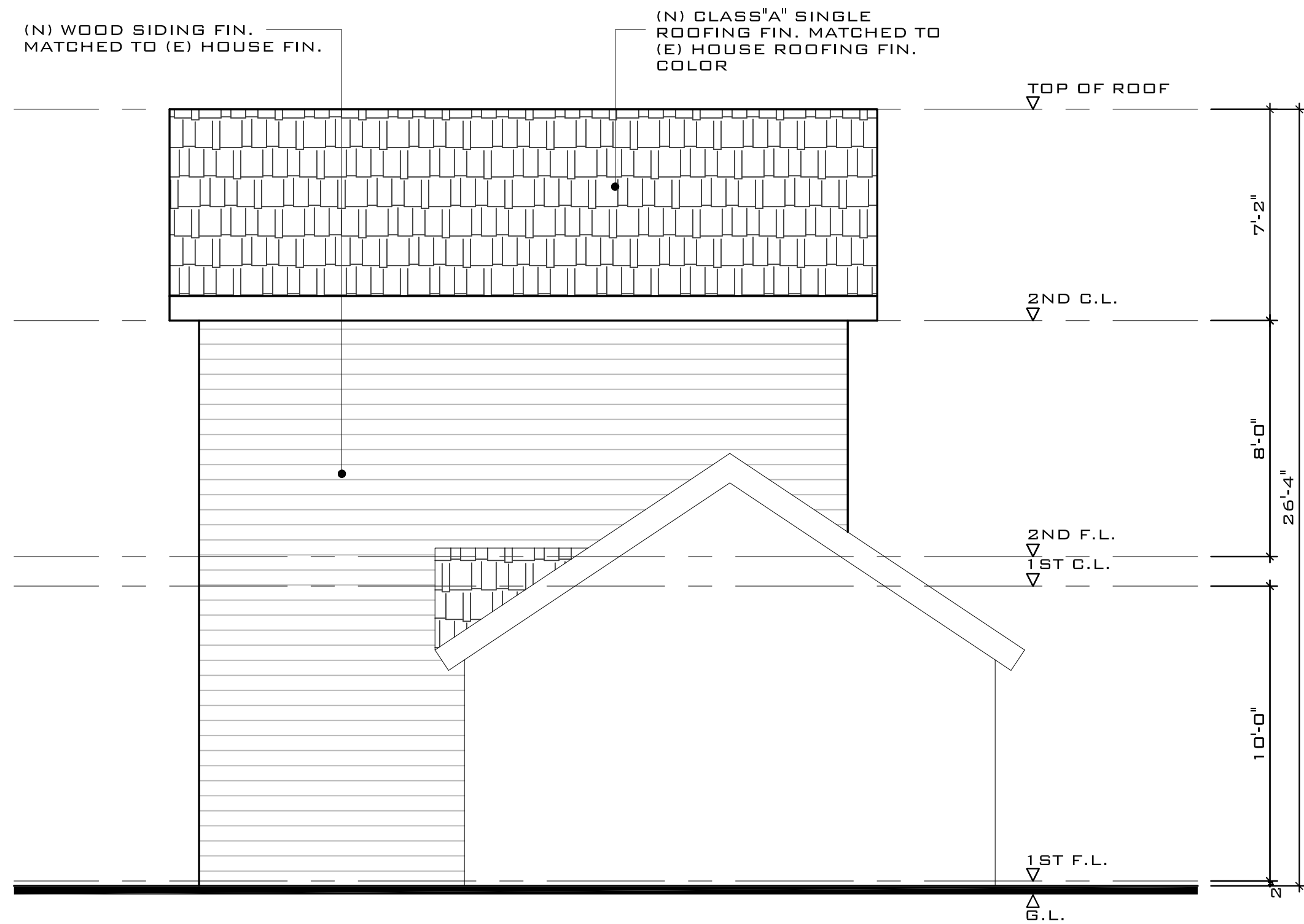
MARK	DESCRIPTION	SIZE			TYPE	GLASS	REMARKS
		W	H	THK.			
①	WOOD DOOR	3'-0"	6'-8"	1 1/2"	SOLID CORE		
②	WOOD DOOR	2'-8"	6'-8"	1 3/8"	HOLLOW CORE		

WINDOW SCHEDULE

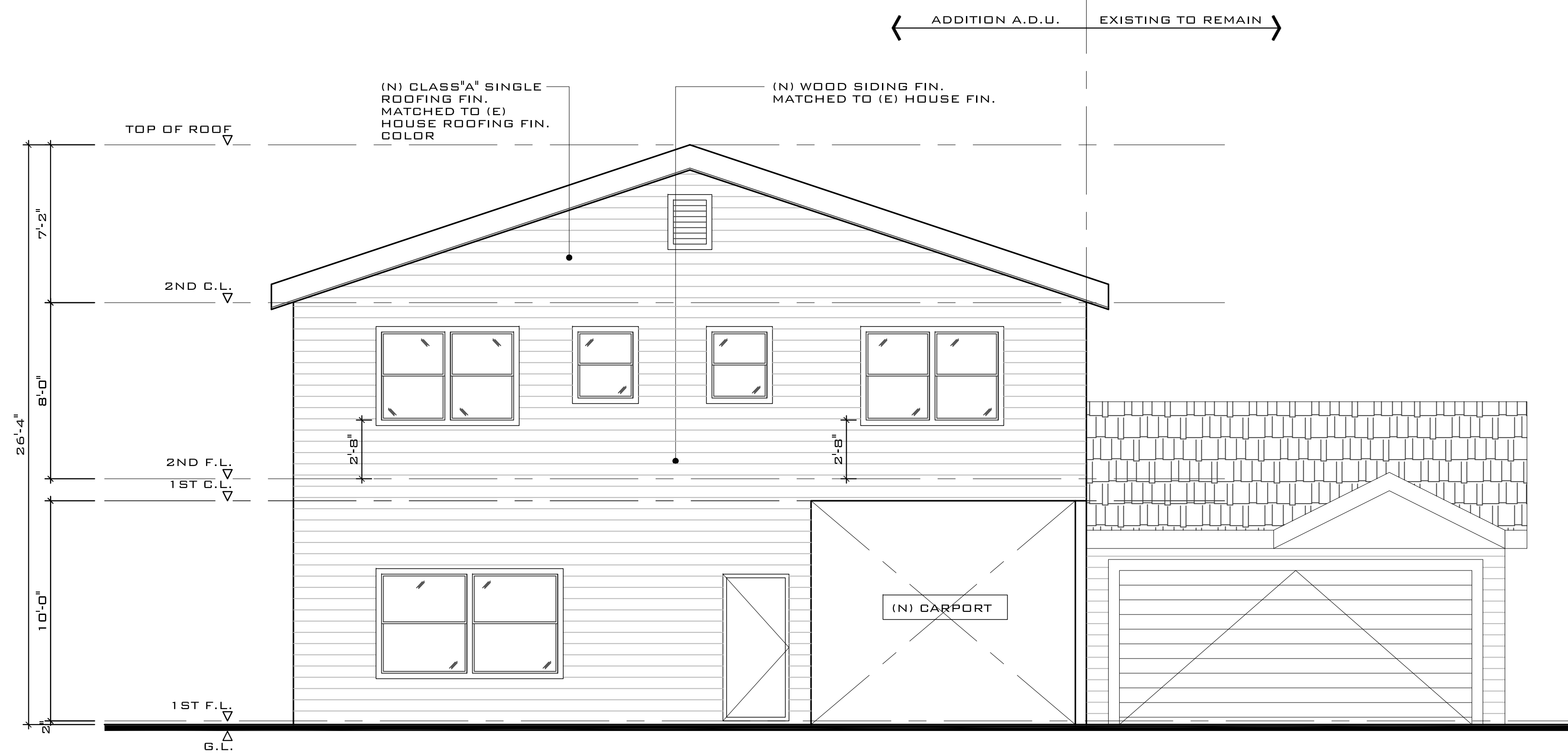
MARK	DESCRIPTION	SIZE			TYPE	REMARKS
		W	H	THK.		
A	WOOD WINDOW	8'-0"	4'-6"		SHINGLE HUNG	
B	WOOD WINDOW	2'-0"	4'-0"		SHINGLE HUNG	
C	WOOD WINDOW	4'-0"	4'-0"		SHINGLE HUNG	
D	WOOD WINDOW	5'-0"	4'-0"		SHINGLE HUNG	
E	WOOD WINDOW	3'-0"	3'-0"		SHINGLE HUNG	

LEGEND

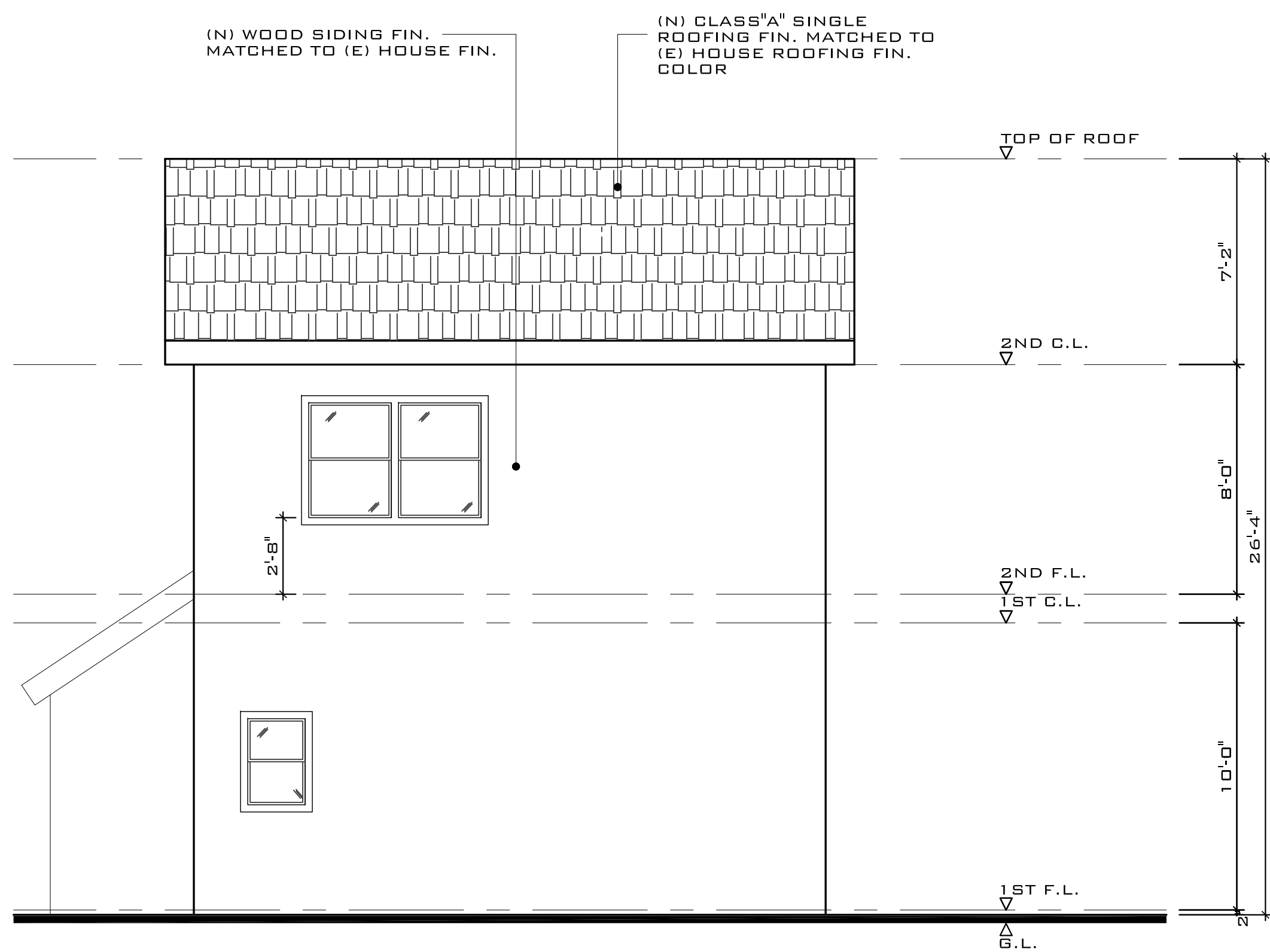
- : NEW WALL TO INSTALL
- ① : DOOR SCHEDULES
- Ⓐ : WINDOW SCHEDULES
- SD : SMOKE DETECTOR (BATTERY OPERATED SMOKE DETECTOR PERMITTED IN EXISTING CONSTRUCTION ONLY)
- CM : CARBON MONOXIDE
- : ENERGY STAR EXHAUST FAN, 50 CFM w/ HUMIDITAT CONTROLLER REQUIRE
 ** BATHROOM FANS MUST BE DUCTED TO THE EXTERIOR OF THE BUILDING.



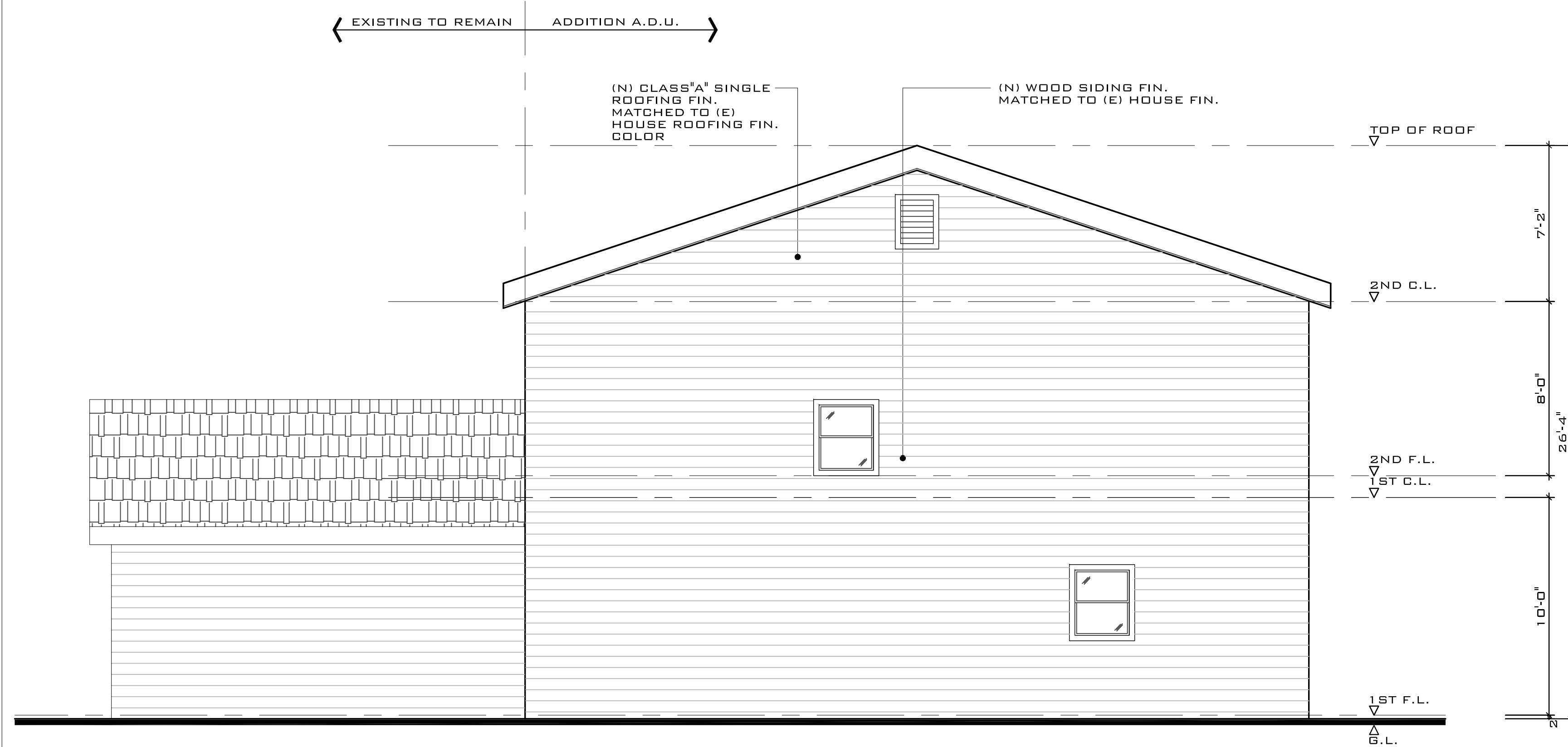
SOUTH ELEVATION SCALE: 1/4" = 1'-0" **2**



WEST ELEVATION SCALE: 1/4" = 1'-0" **1**



NORTH ELEVATION SCALE: 1/4" = 1'-0" **4**



EAST ELEVATION SCALE: 1/4" = 1'-0" **3**

REVISIONS:

PROPOSED A.D.U. & CAR PORT

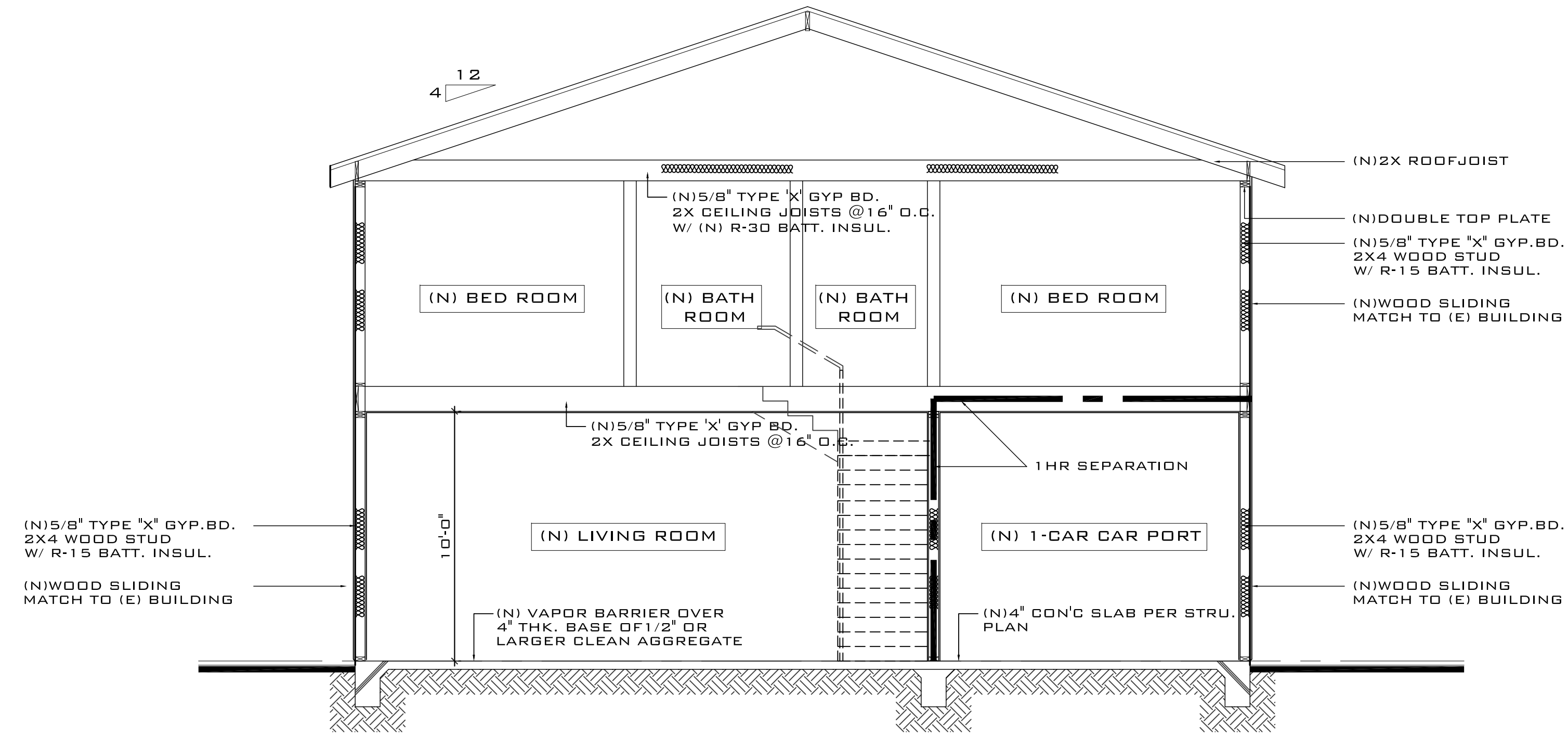
1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

XDS NO. _____
 SUBMITTAL: _____
 DATE: FEB. 2022
 DRAWN: _____
 SCALE: AS SHOWN
 SHEET TITLE: _____

PROPOSED ELEVATIONS

SHEET NUMBER: _____

A-3.0



SECTION-1 SCALE: 1/4" = 1'-0" 1

REVISIONS:

PROPOSED A.D.U. & CAR PORT

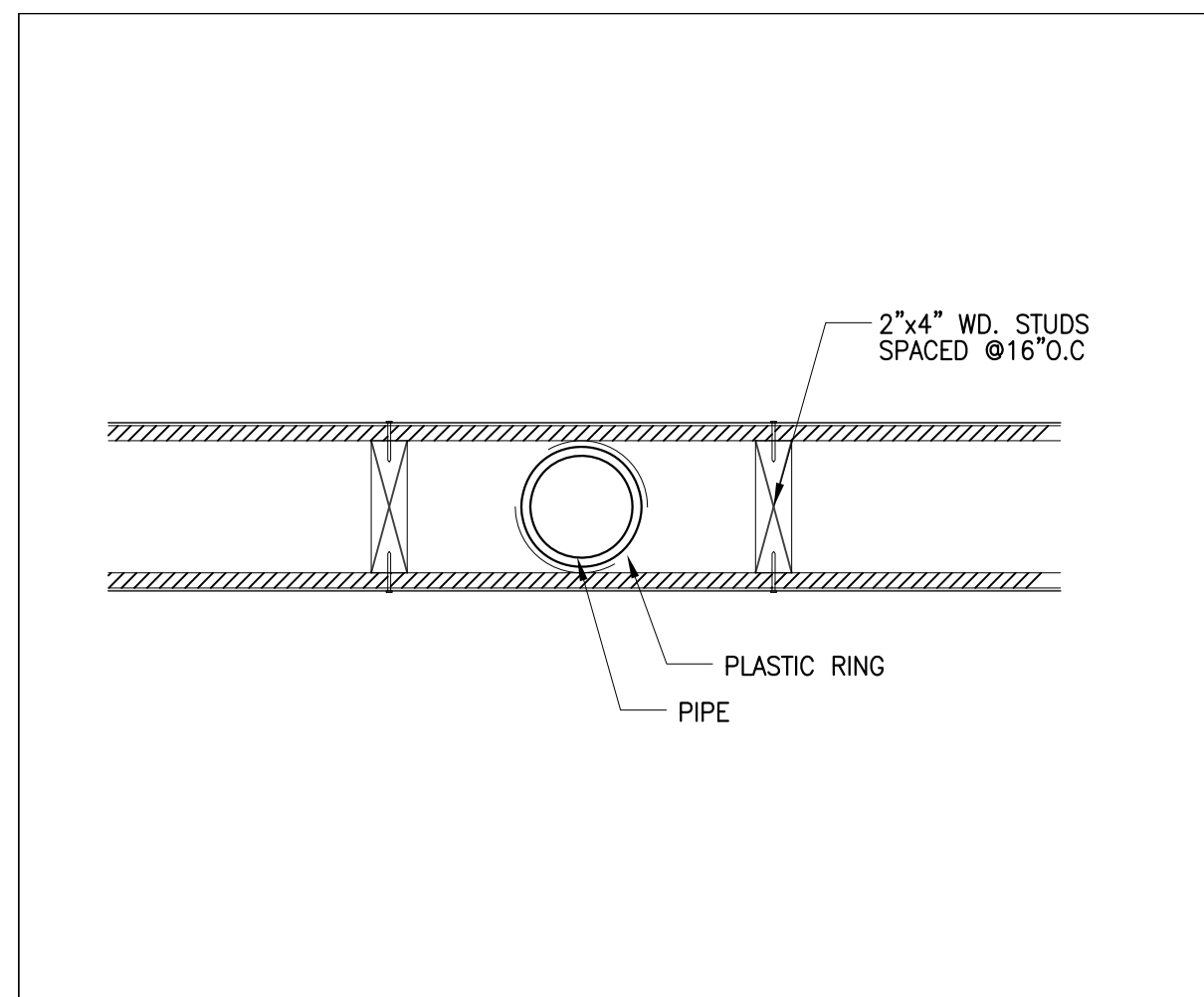
1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

JOB NO.:
 SUBMITAL:
 DATE: FEB. 2022
 DRAWN:
 SCALE: AS SHOWN
 SHEET TITLE:

PROPOSED SECTIONS

SHEET NUMBER:

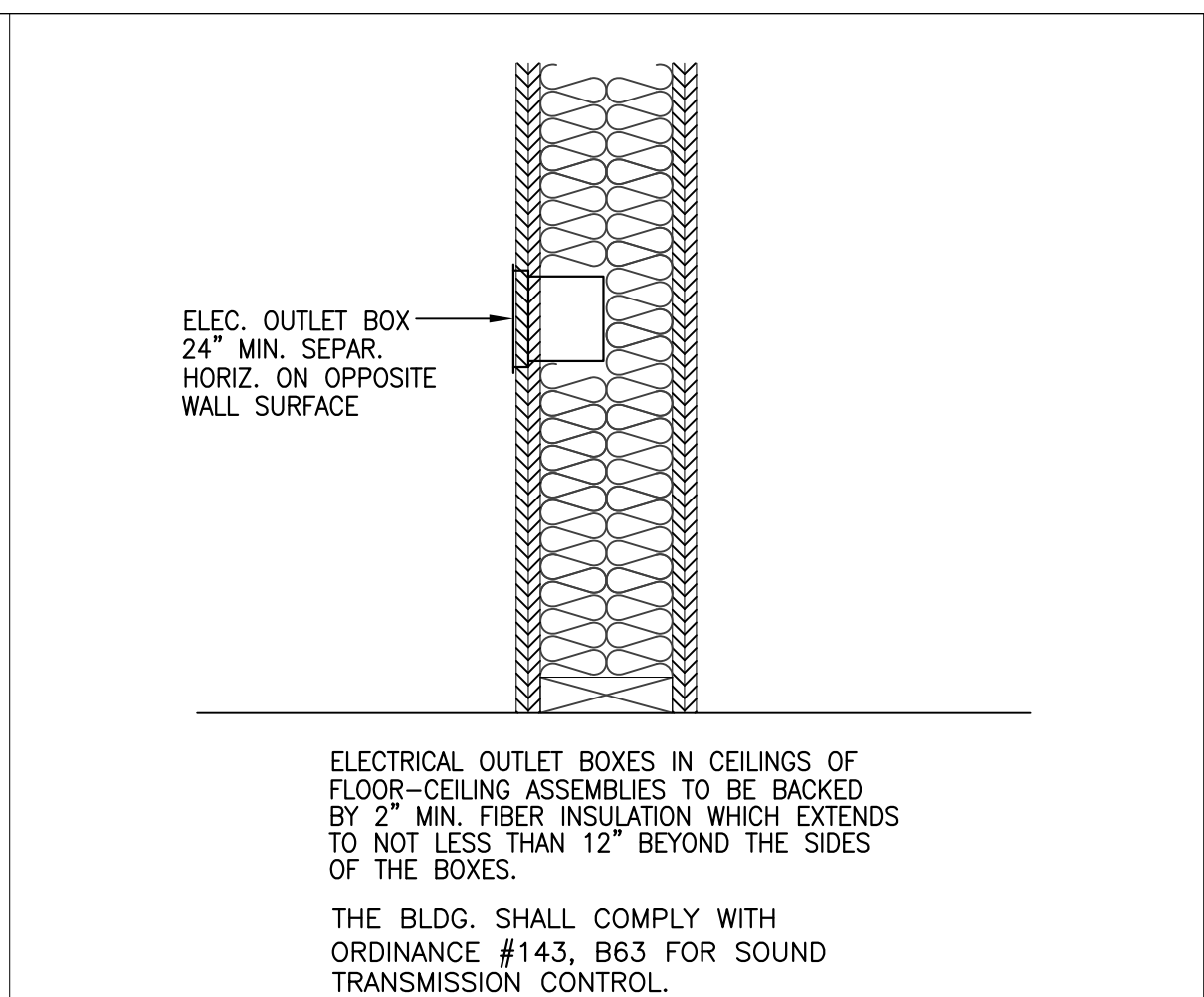
A-4.0



PIPE IN WALL

SCALE
N.T.S.

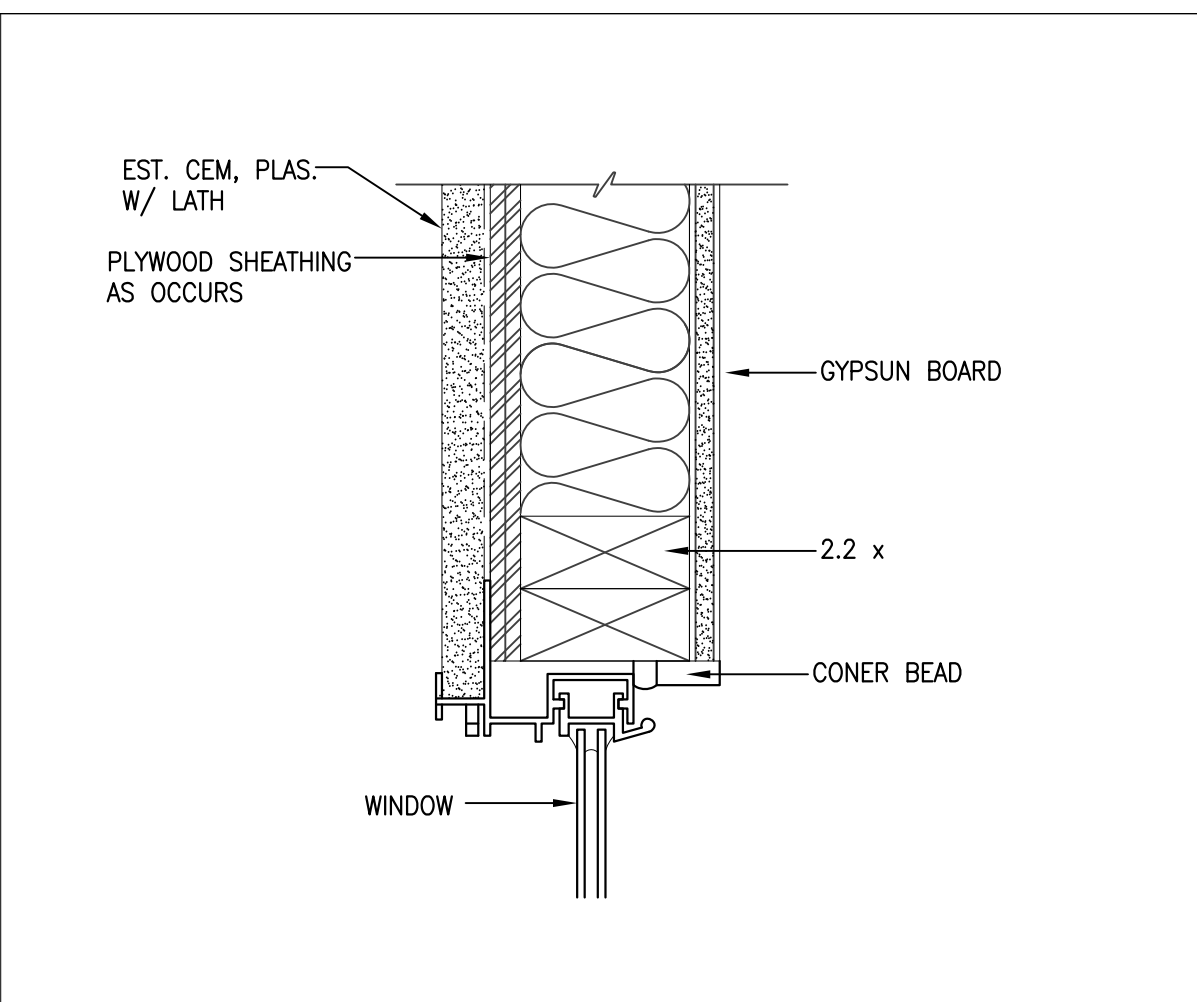
17



TYP. ELECTRICAL OUTLET

SCALE
N.T.S.

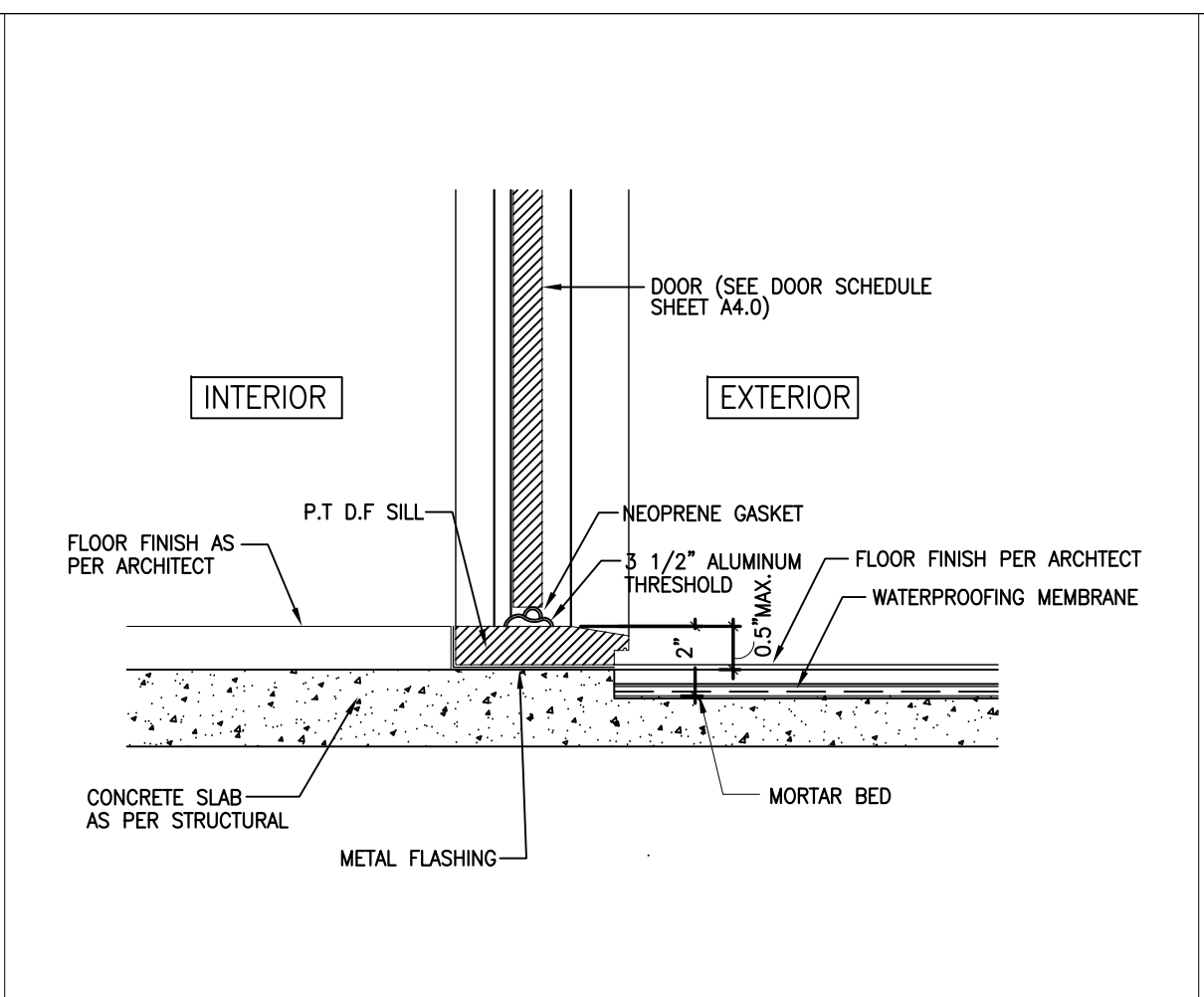
13



WINDOW JAMB DETAL

SCALE
3/8"=1'-0"

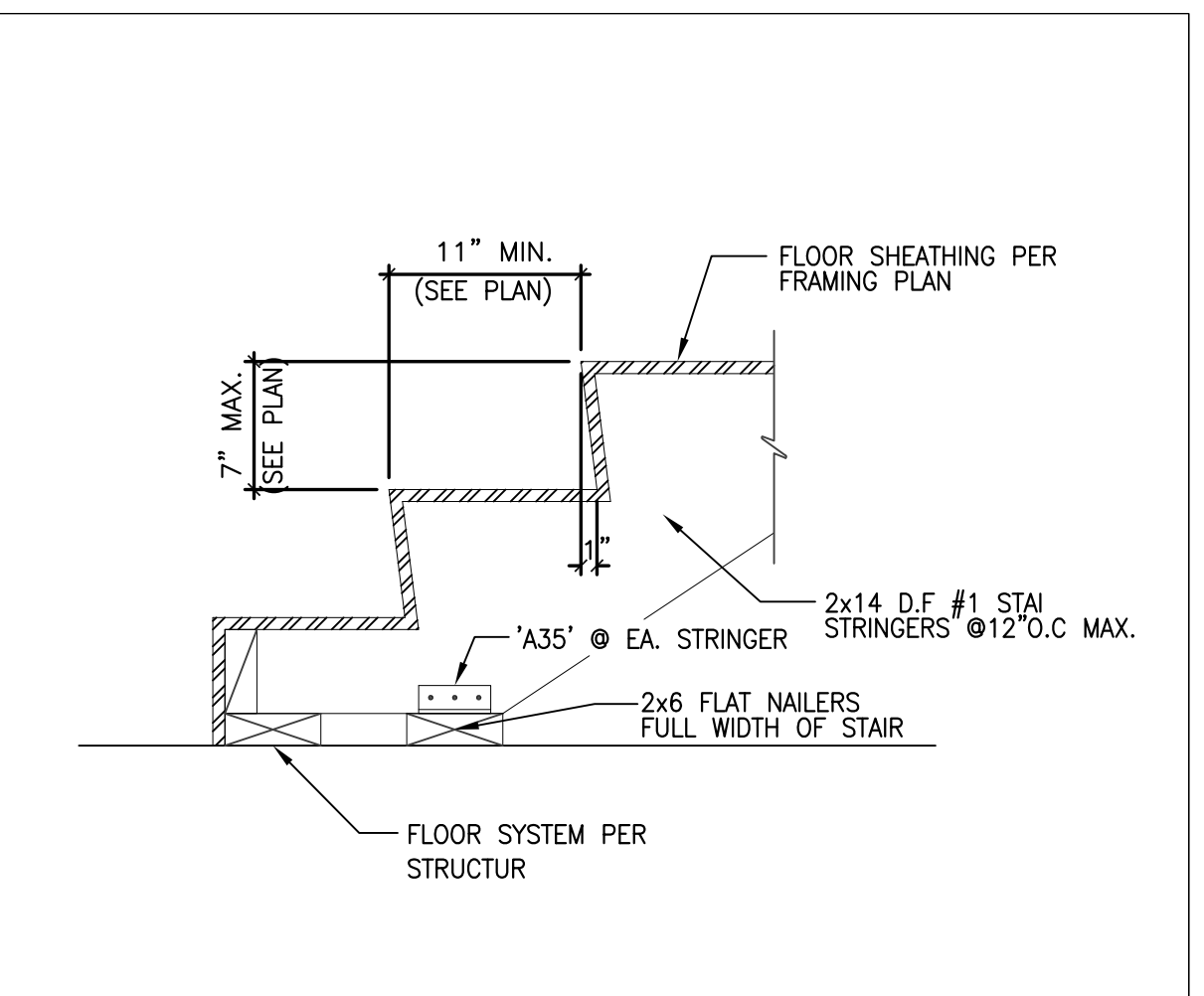
9



TYP. THRESHOLD

SCALE
N.T.S.

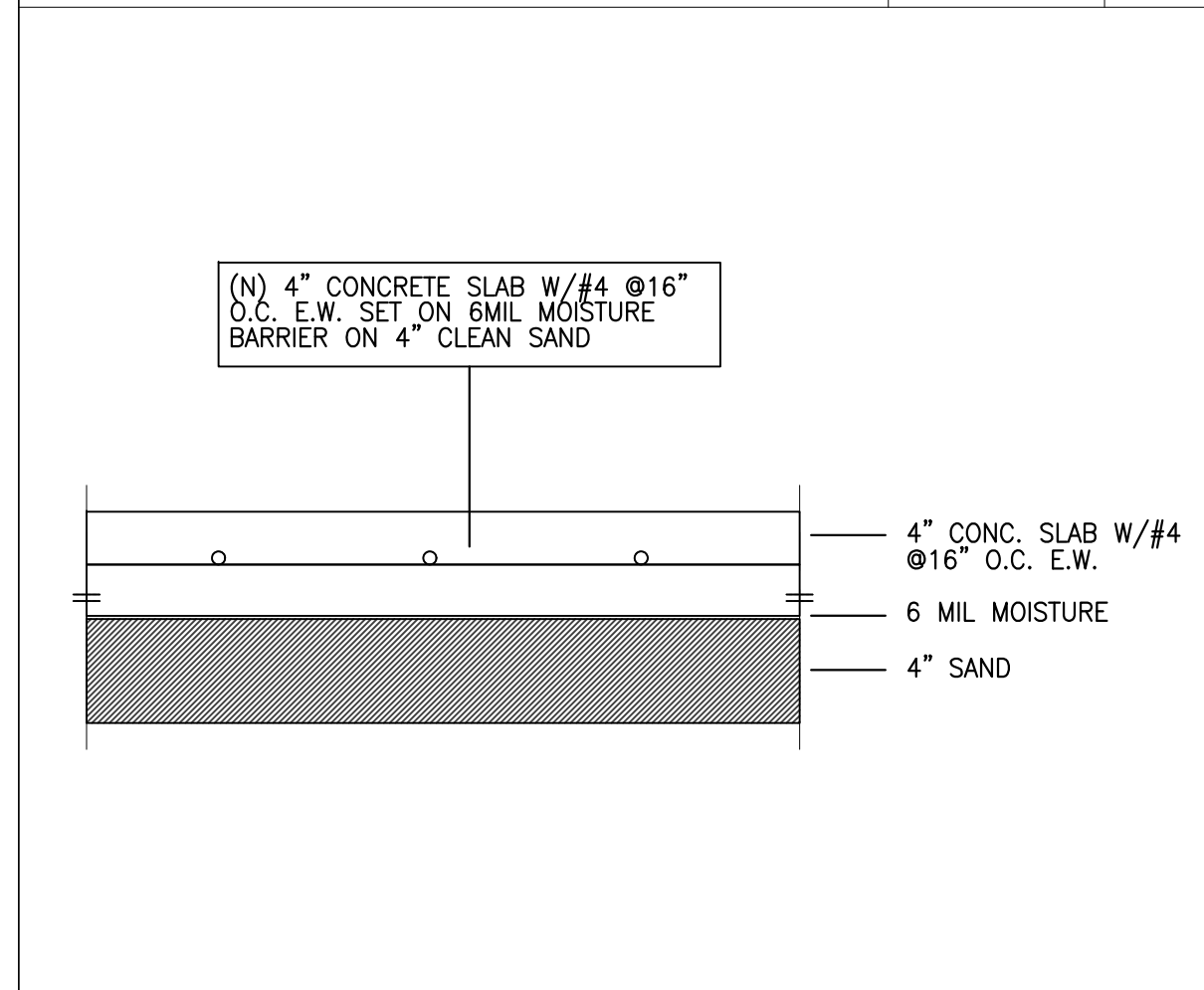
5



STAIR AT 1ST FLR.

SCALE
1"=1'-0"

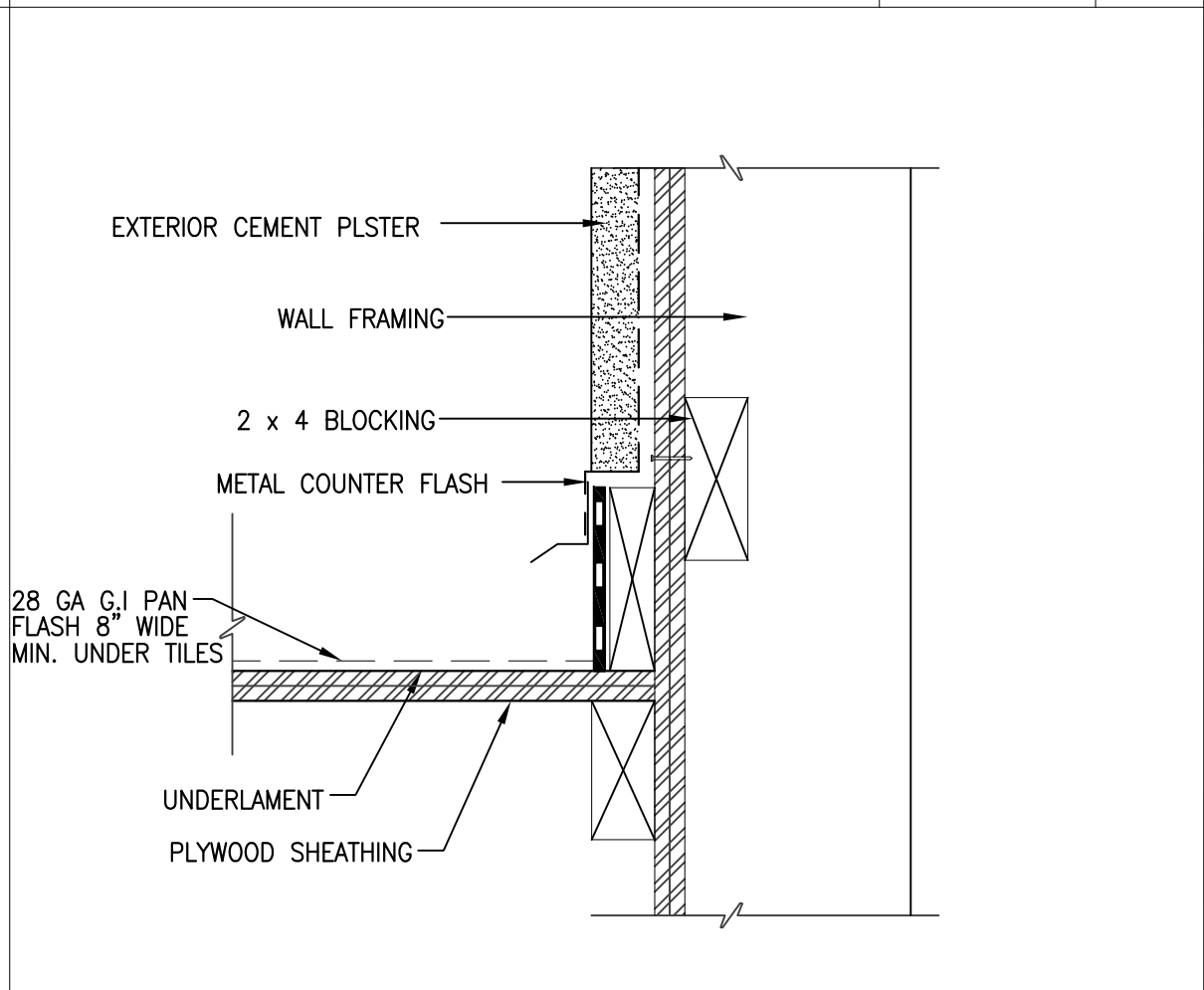
1



SLAB ON GRADE DETAIL

SCALE
N.T.S.

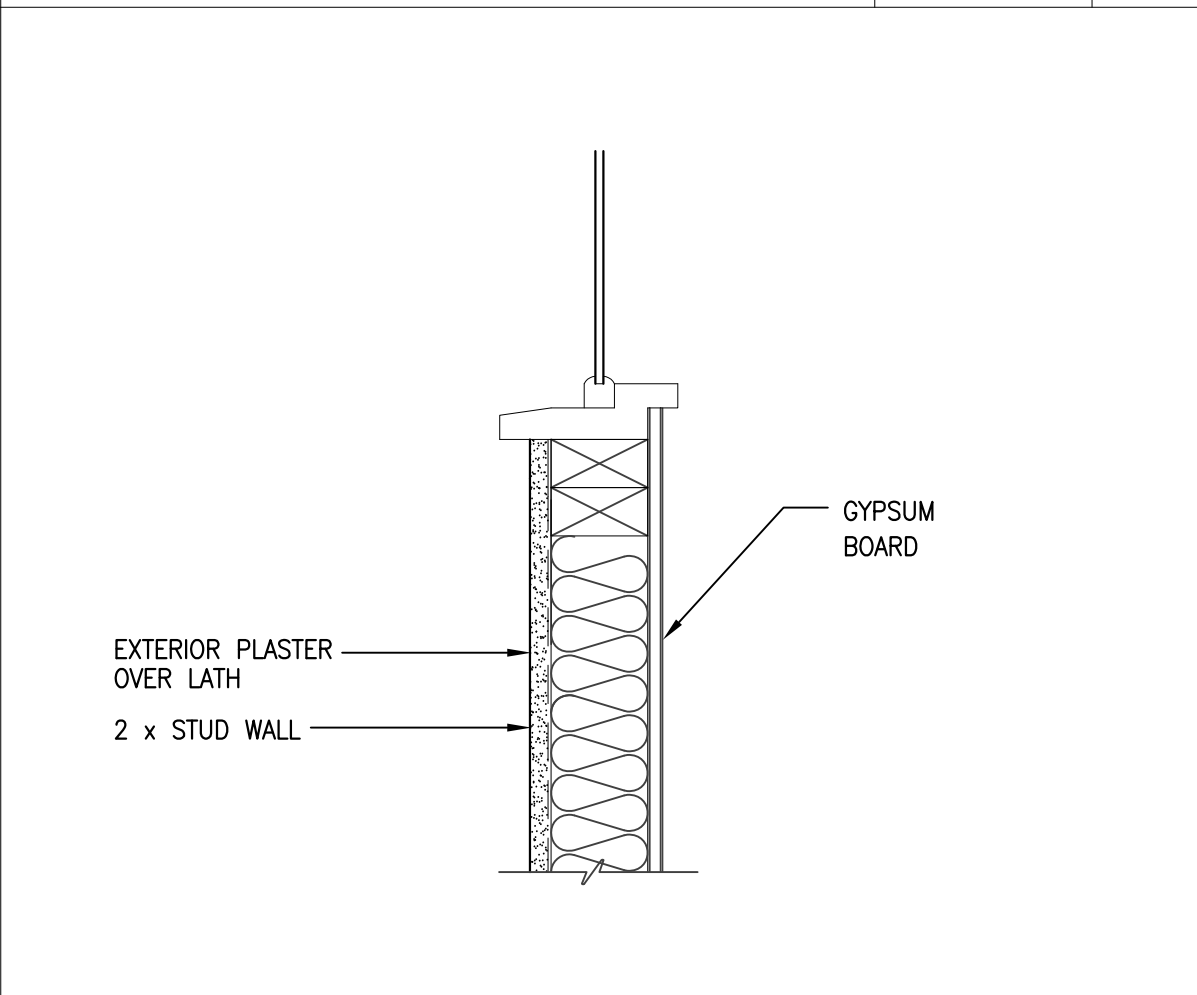
18



ROOF AT WALL

SCALE
N.T.S.

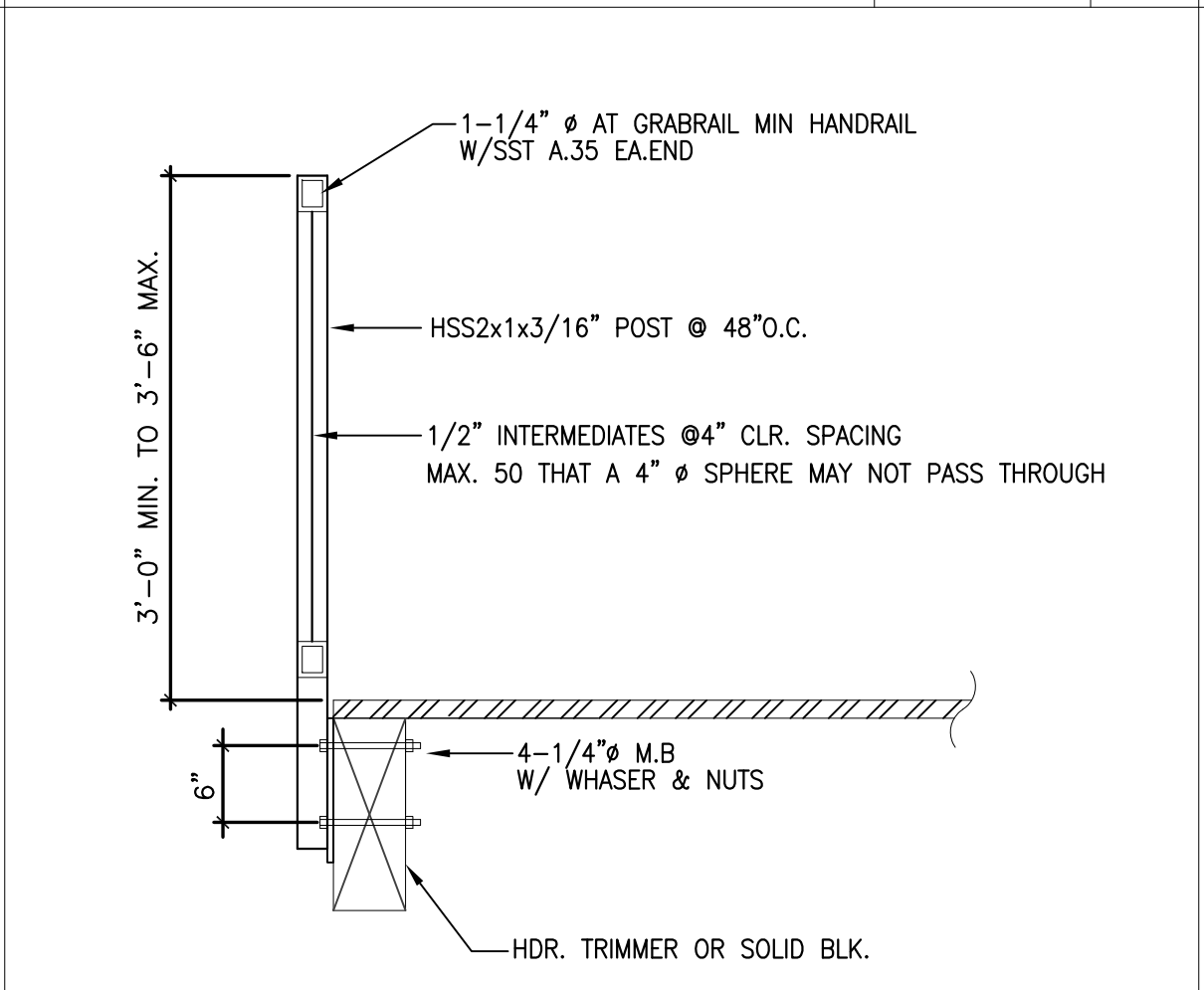
14



WINDOW SILL

SCALE
1 1/2"=1'-0"

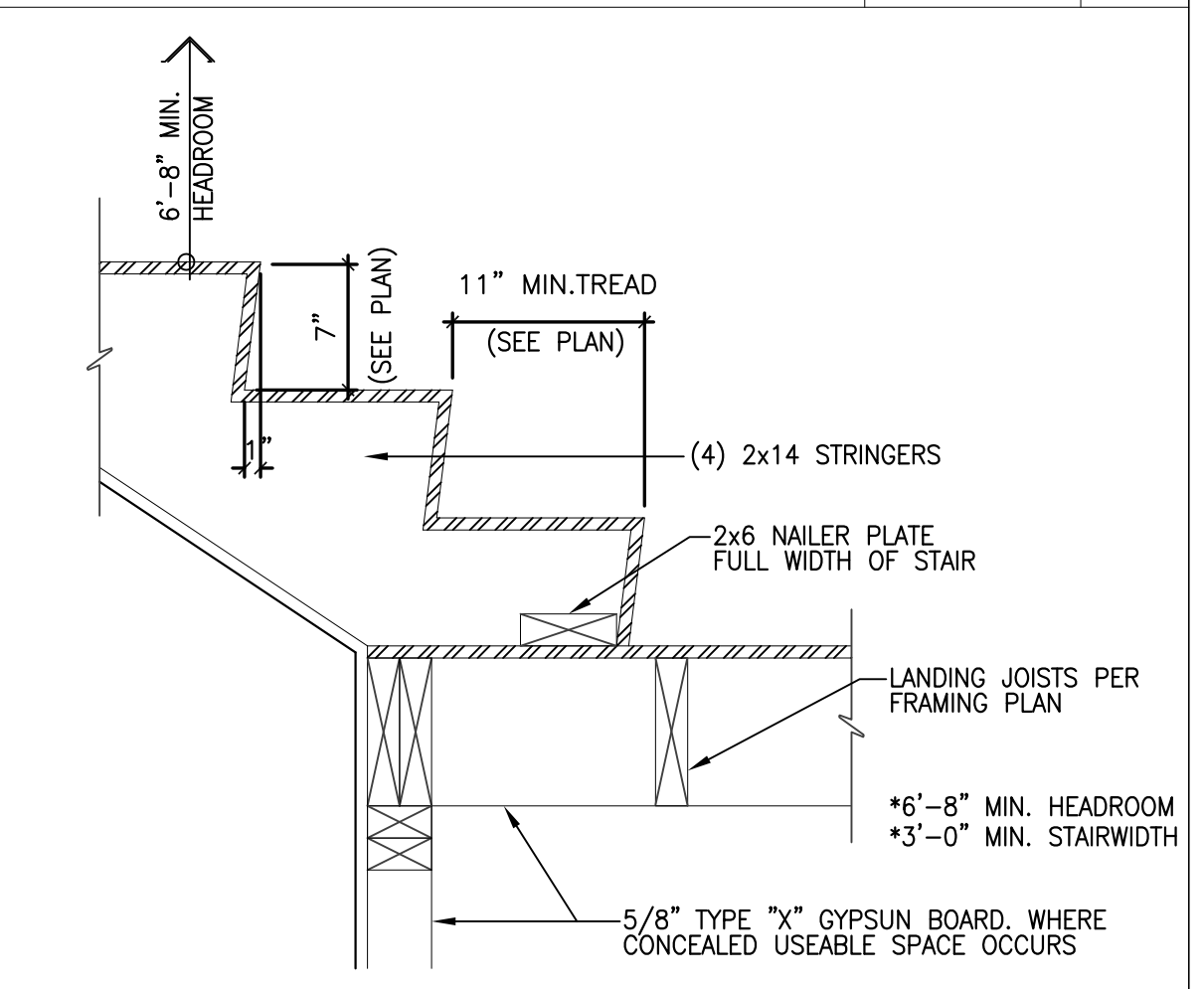
10



HANDRAIL @ STAIR / LANDING

SCALE
N.T.S.

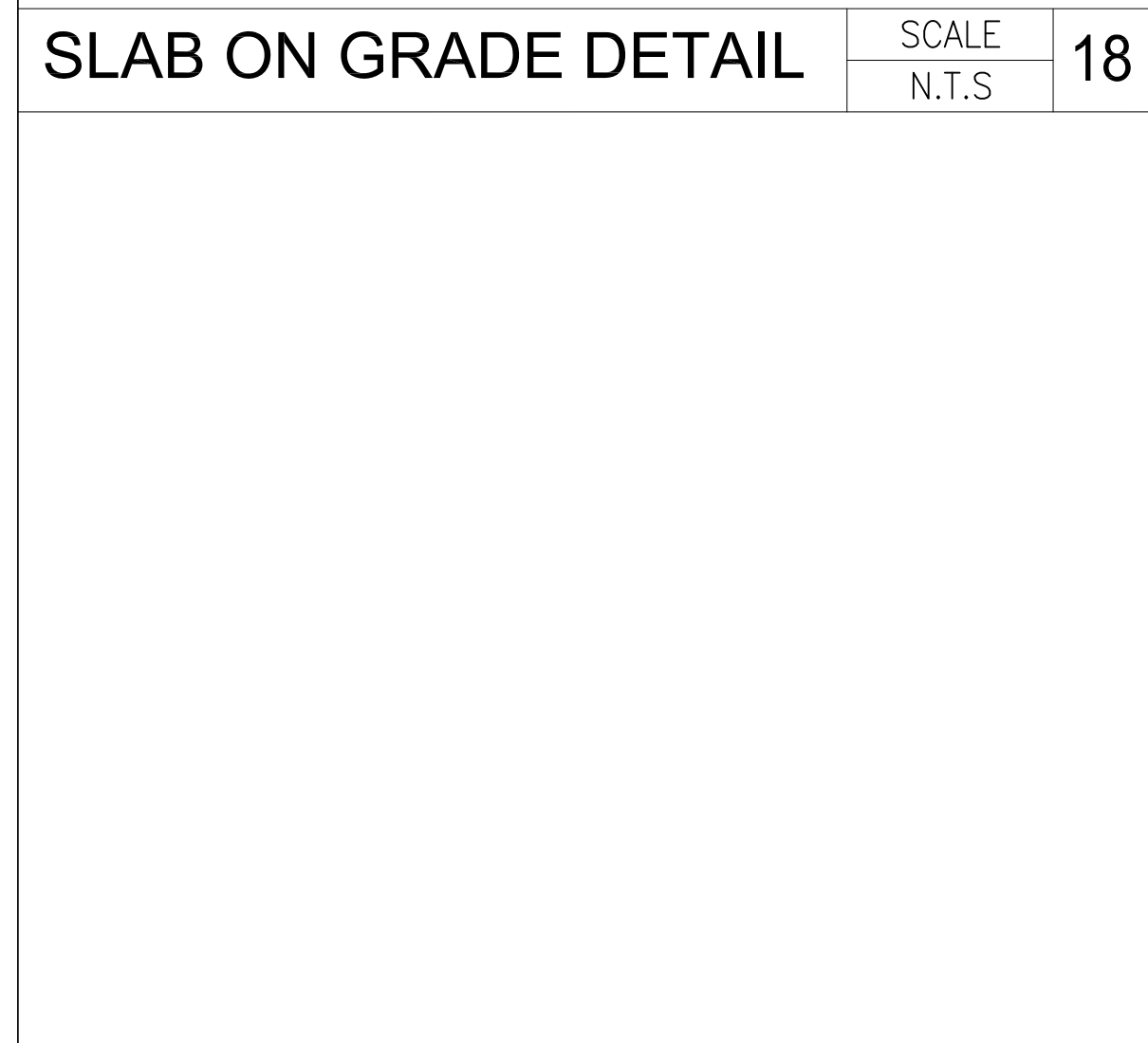
6



STAIR AT LANDING

SCALE
1"=1'-0"

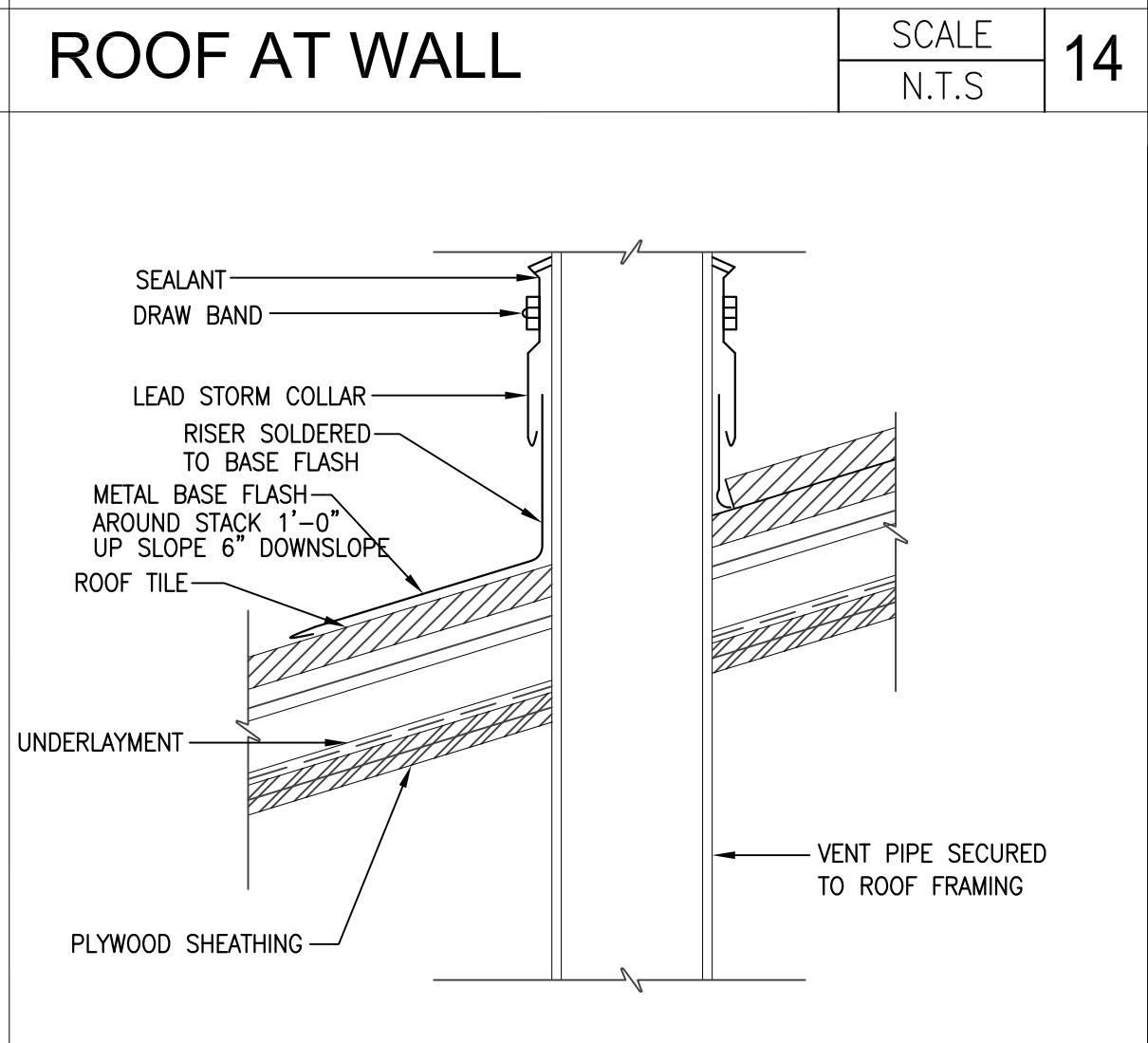
2



VENT STACK FLASHING

SCALE
N.T.S.

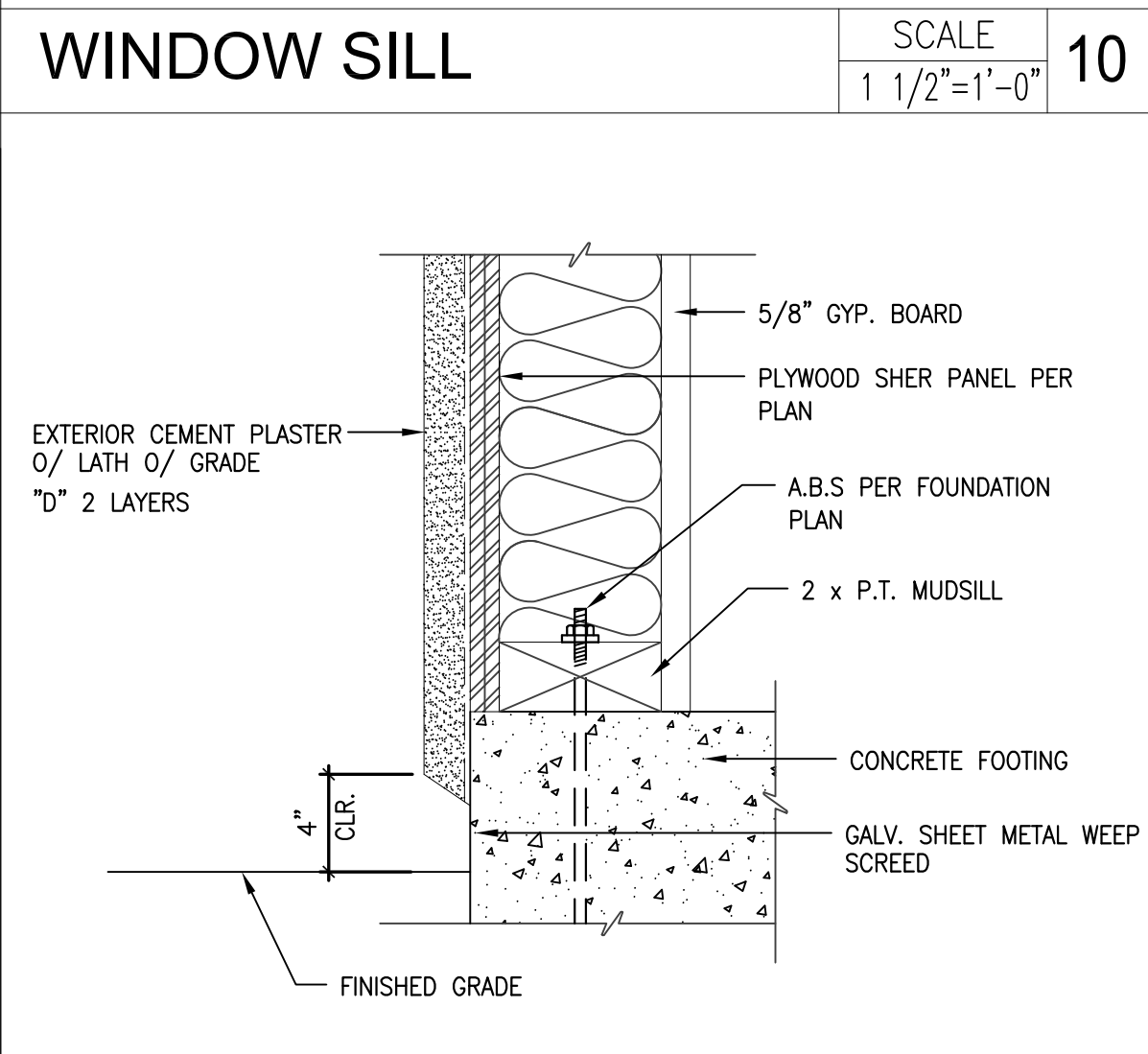
19



STUCCO SCREEN DET.

SCALE
N.T.S.

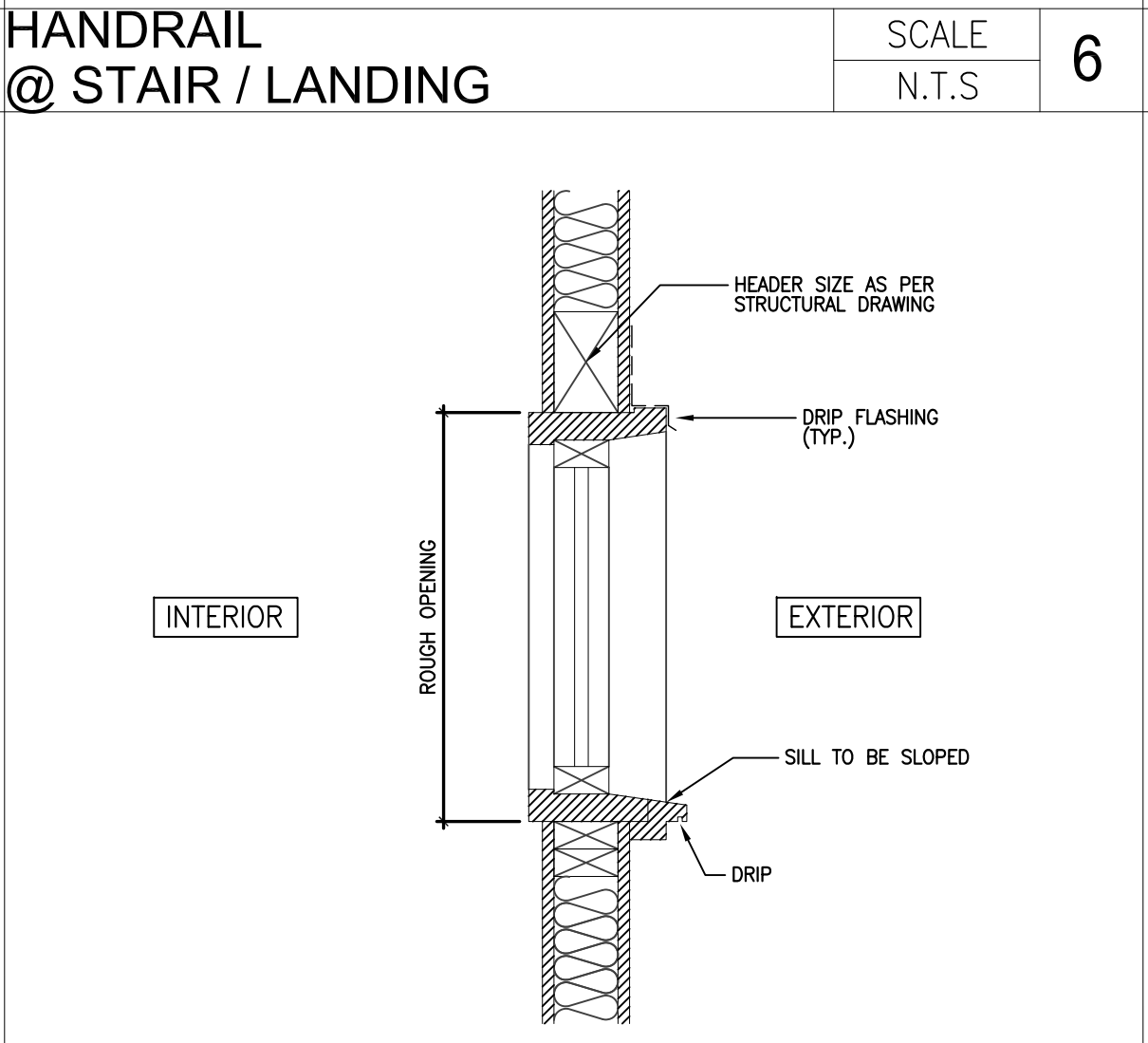
15



WINDOW DETAIL

SCALE
3/8"=1'-0"

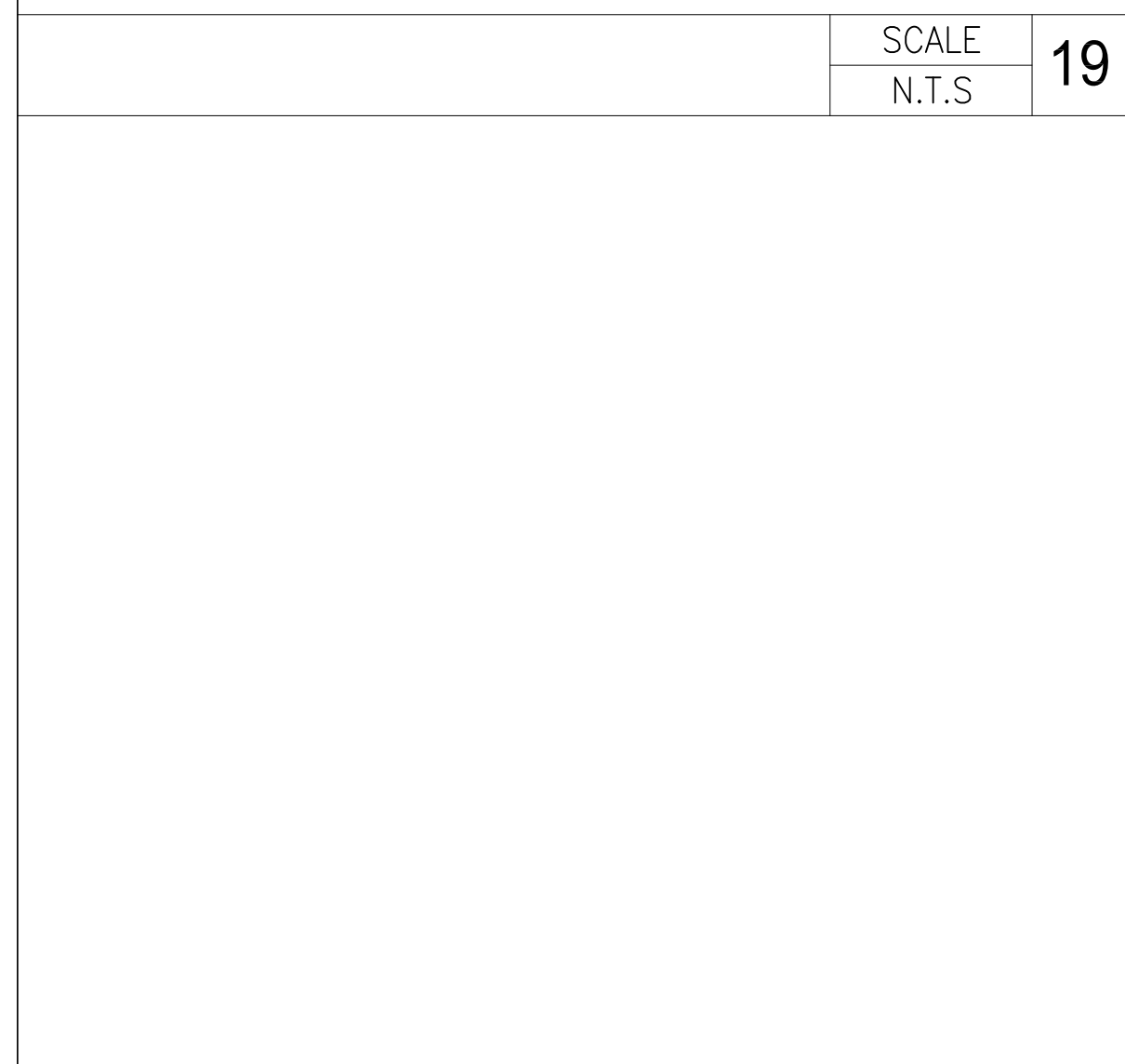
7



STAIR AT 2ND FLR.

SCALE
N.T.S.

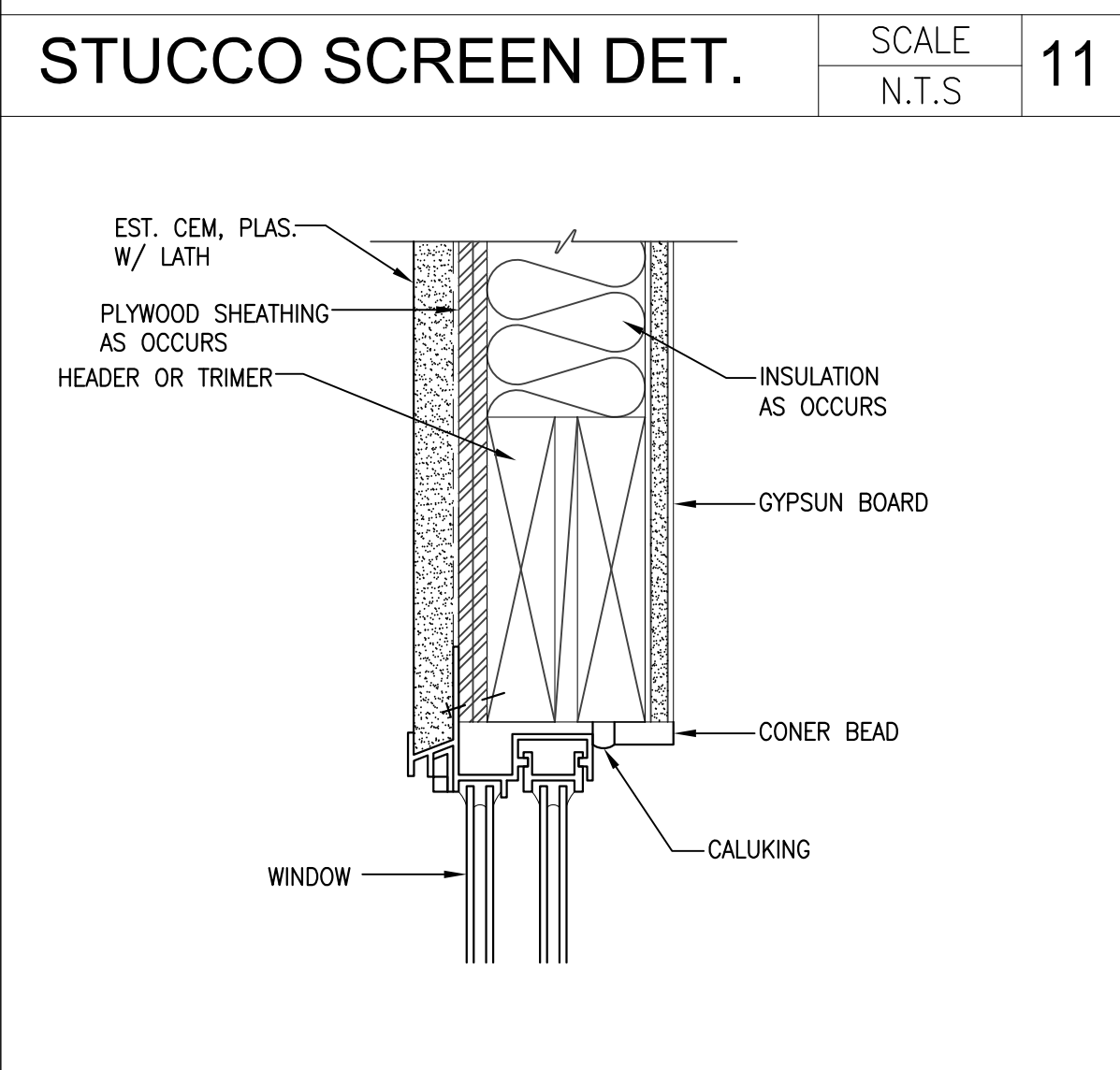
3



INT. DOOR HEADER DET.

SCALE
N.T.S.

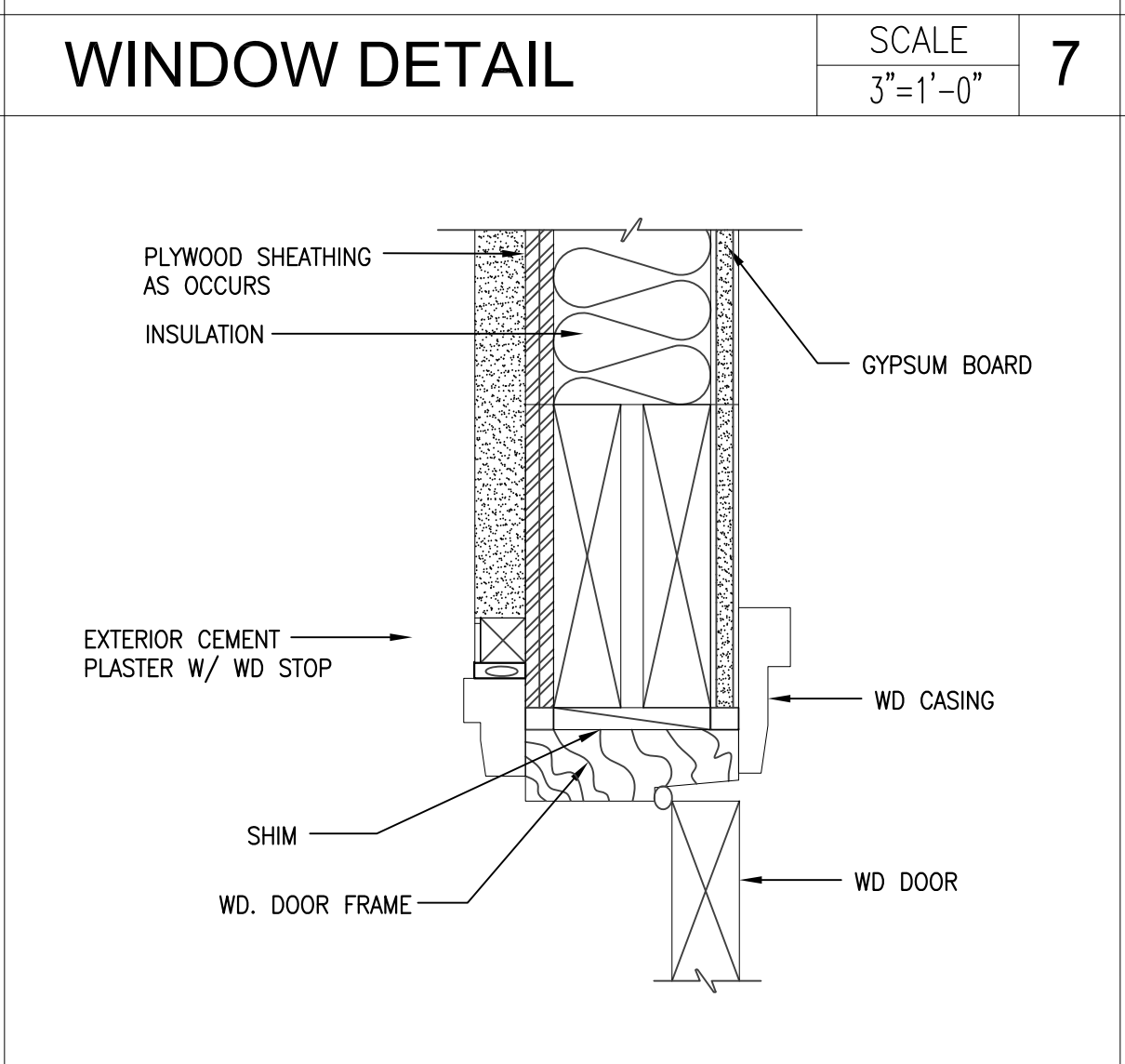
16



WINDOW HEAD DETAIL

SCALE
3/8"=1'-0"

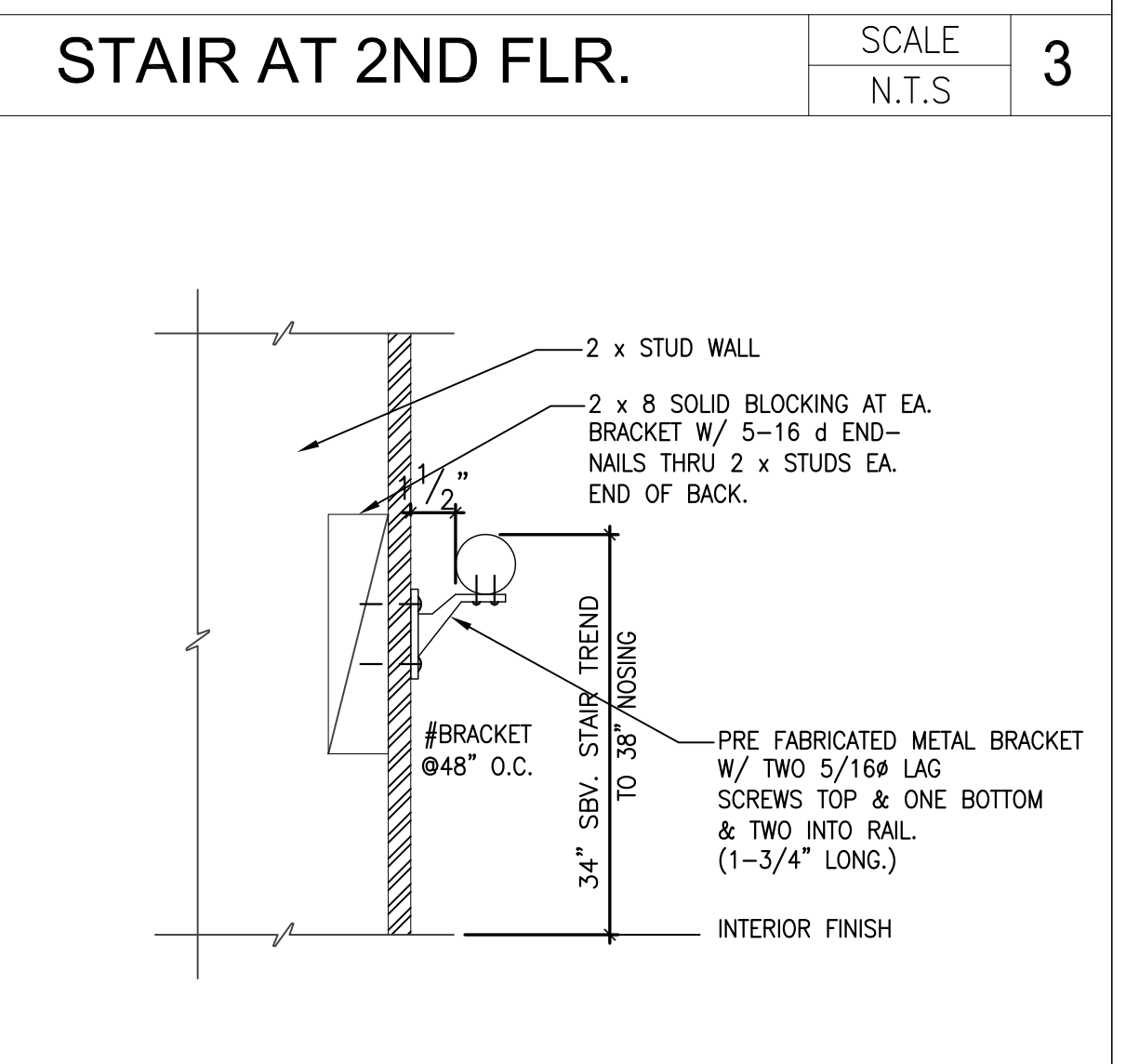
12



DOOR HEAD / JAME

SCALE
3/8"=1'-0"

8



STAIR HANDRAIL

SCALE
1 1/2"=1'-0"

4

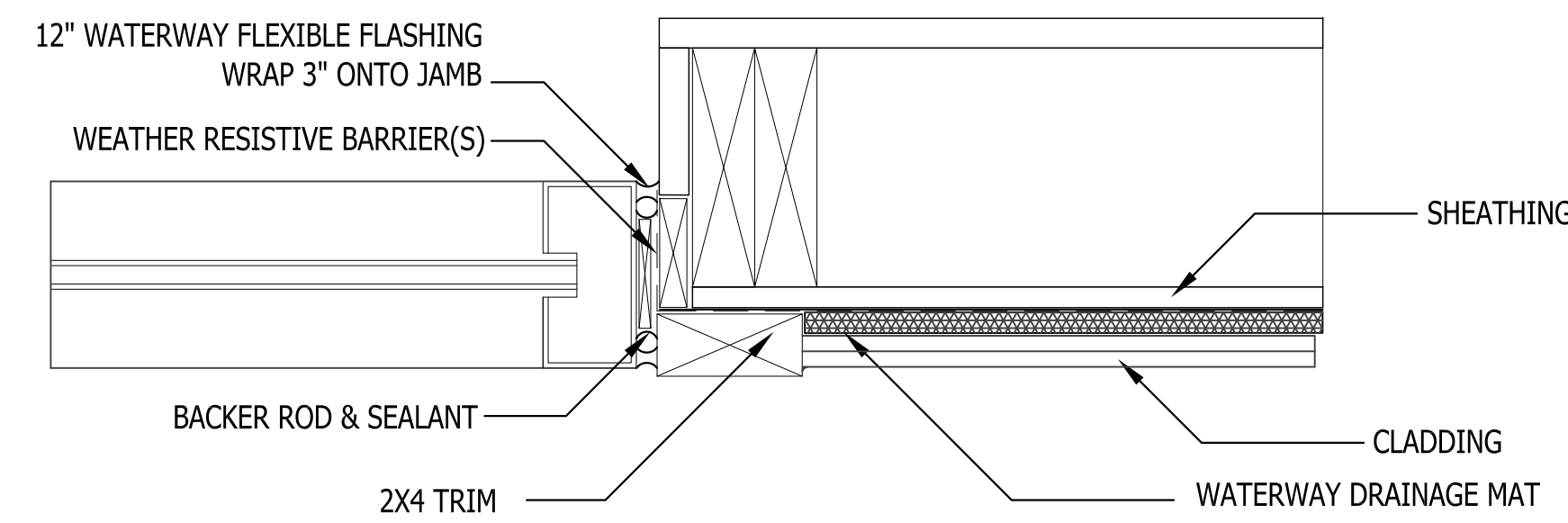
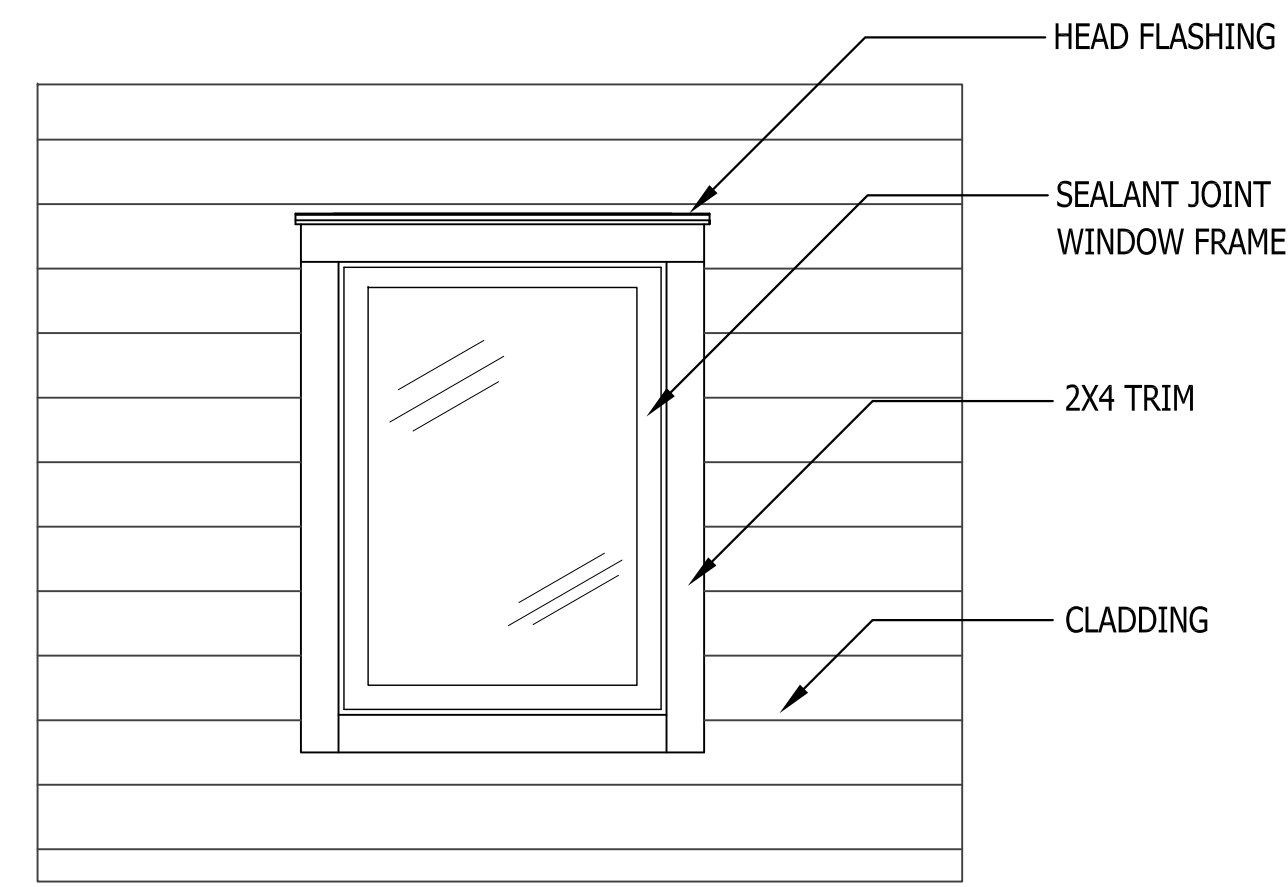
REVISIONS:

PROPOSED A.D.U. & CAR PORT

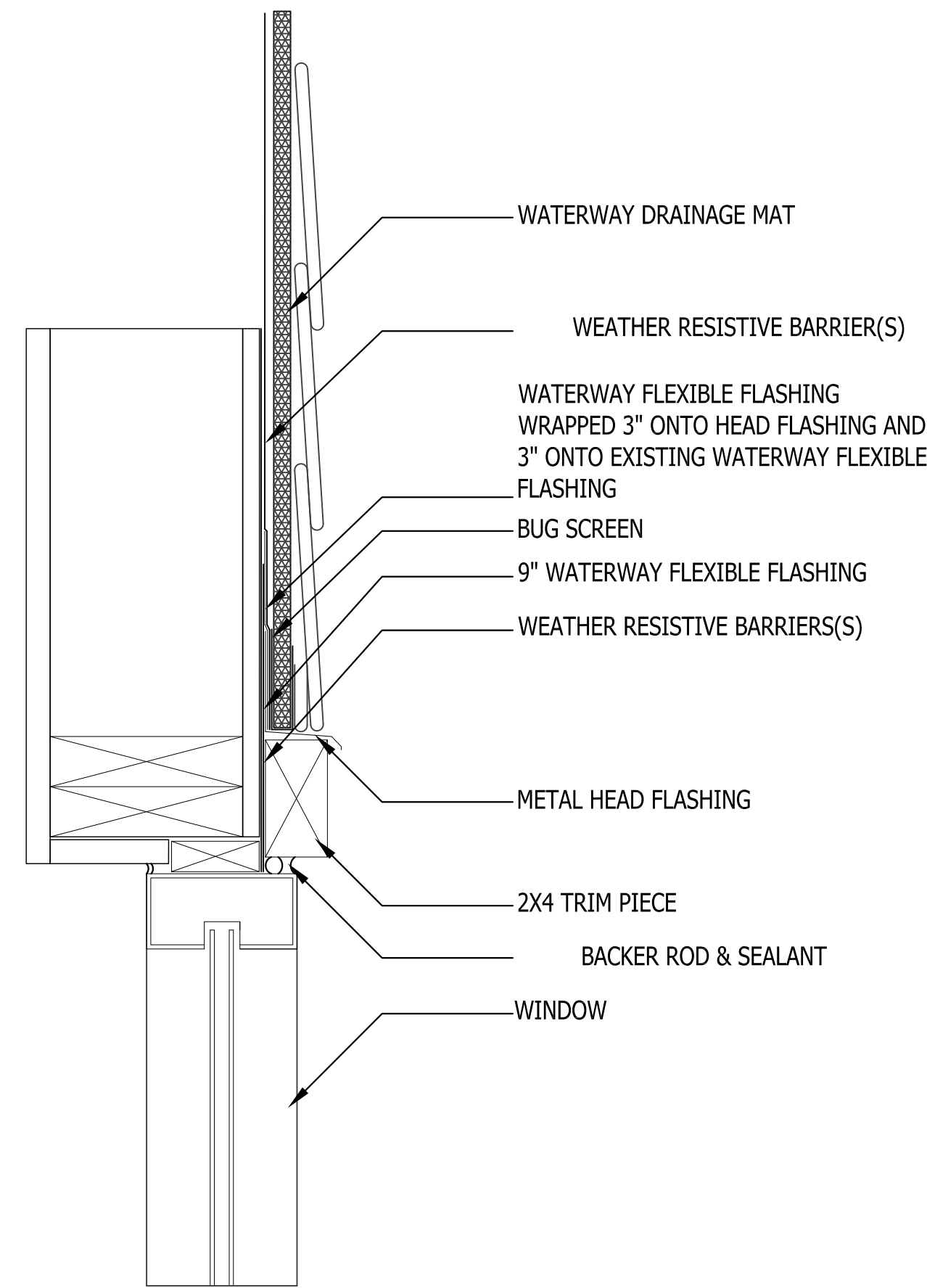
1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

A-5.0

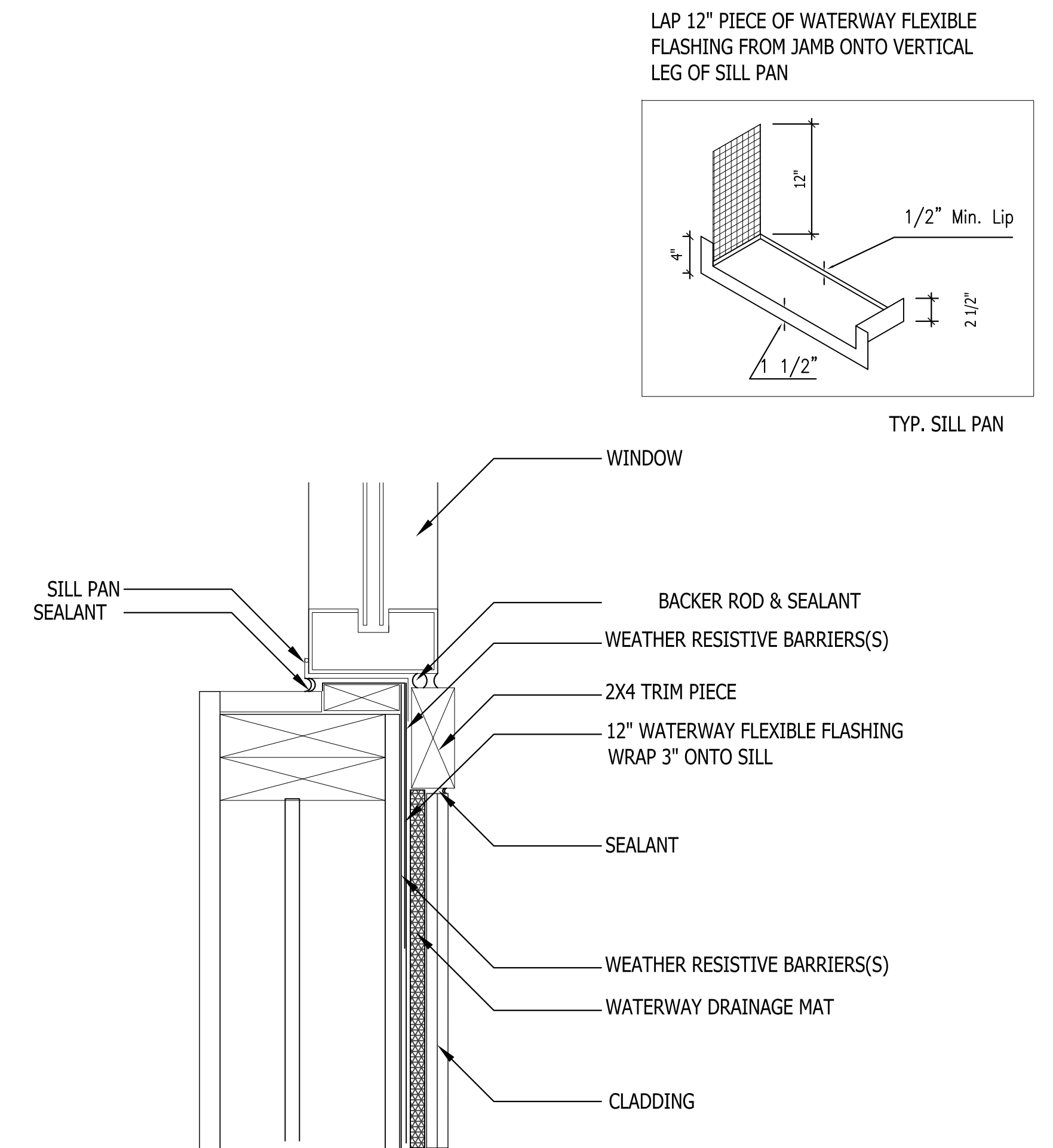
JOB NO.
SUBMITTAL:
DATE: FEB. 2022
DRAWN:
SCALE: AS SHOWN
SHEET TITLE: DETAILS
SHEET NUMBER:



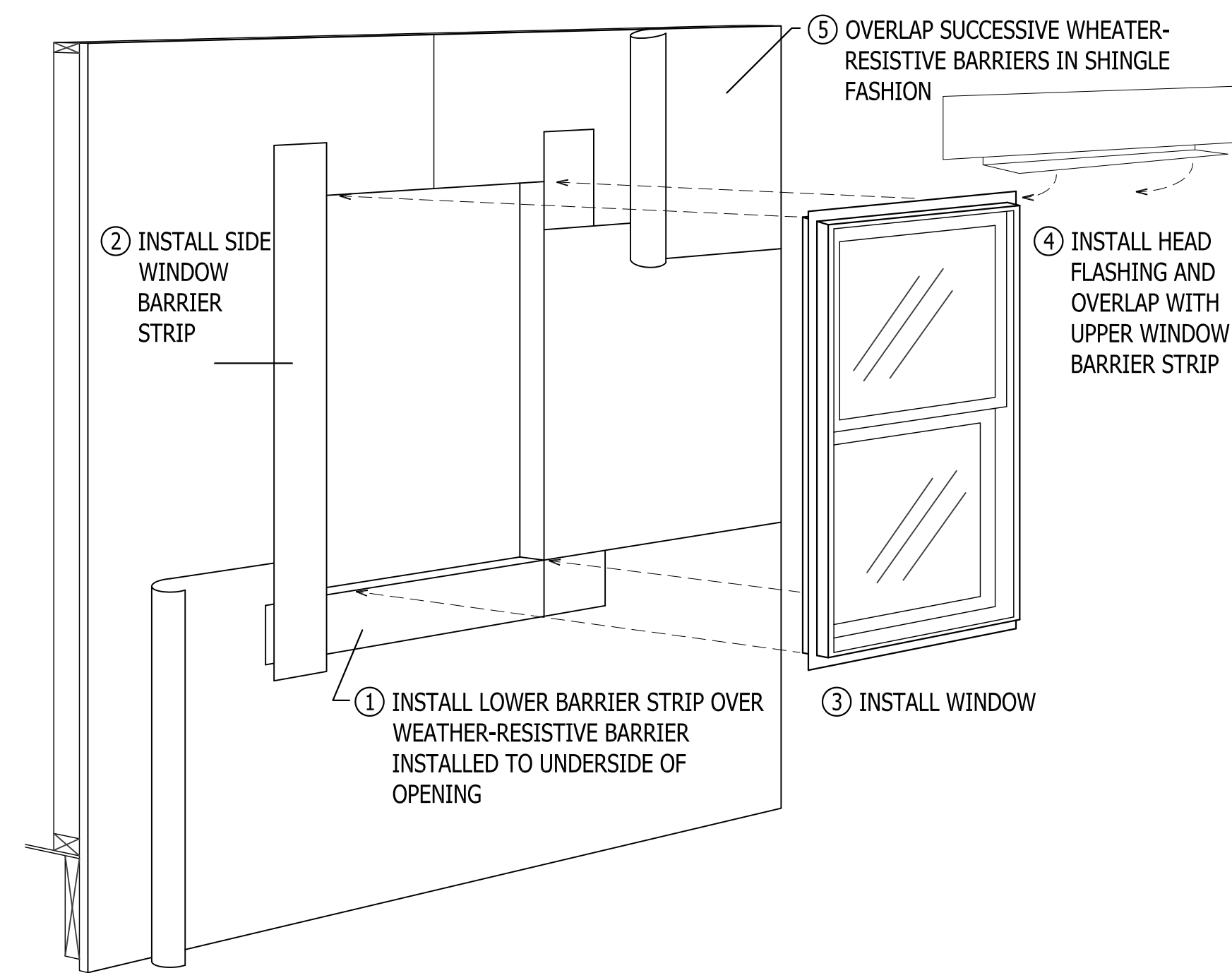
1 WINDOW JAMB FLASHING DETAIL SCALE: N.T.S.



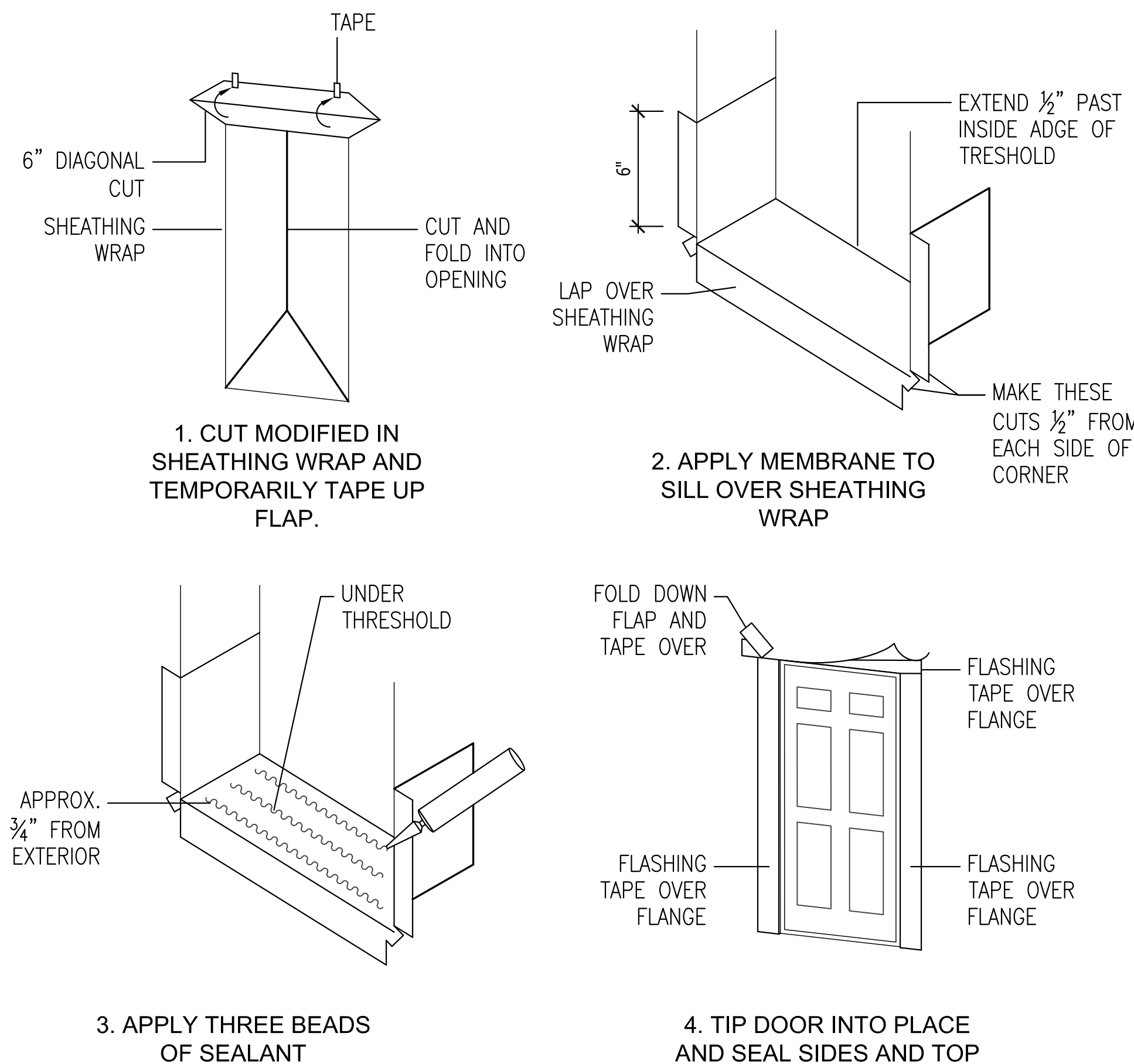
2 WINDOW HEAD FLASHING DETAILS SCALE: N.T.S.



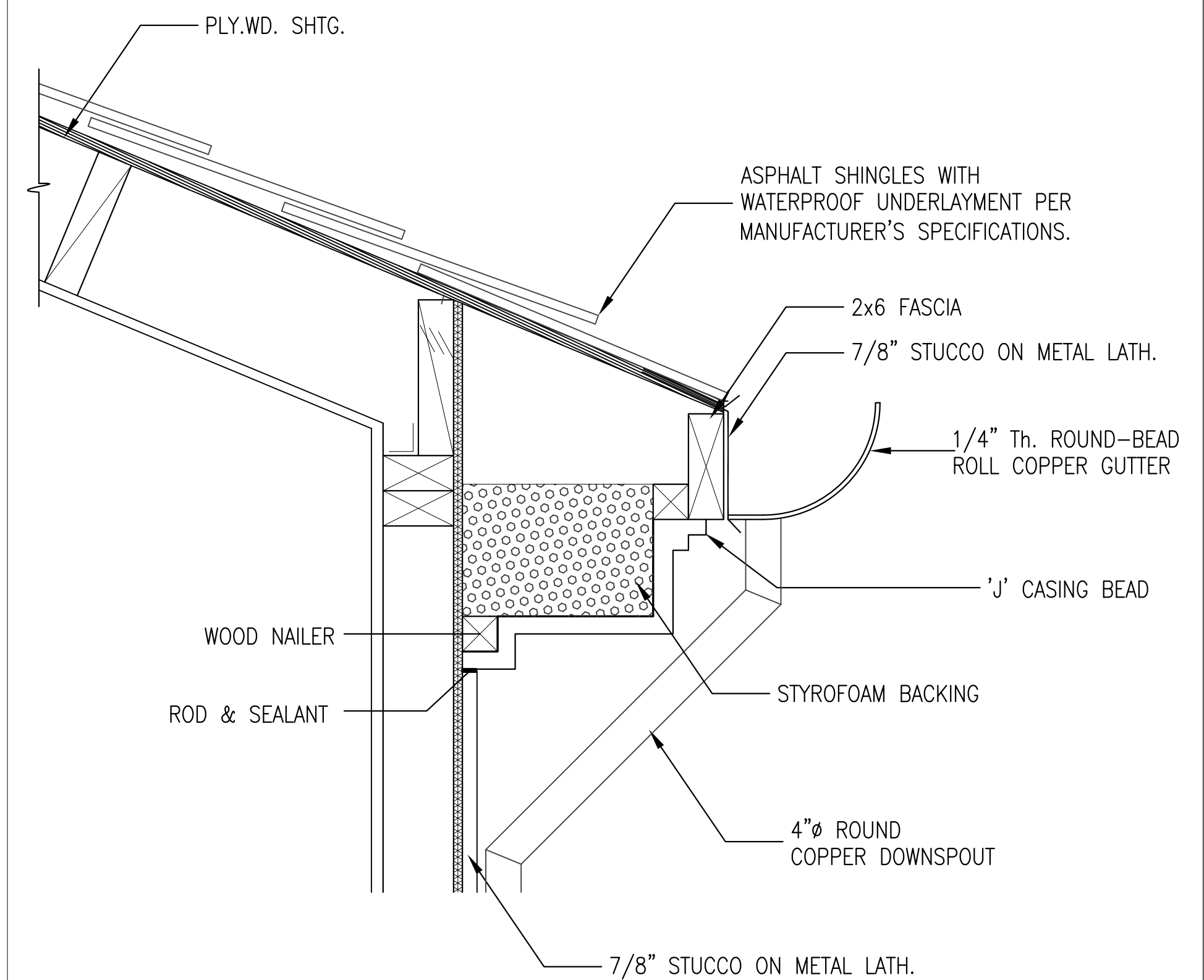
3 WINDOW SILL FLASHING DETAIL SCALE: N.T.S.



4 FACE FLASHING DETAIL SCALE: N.T.S.

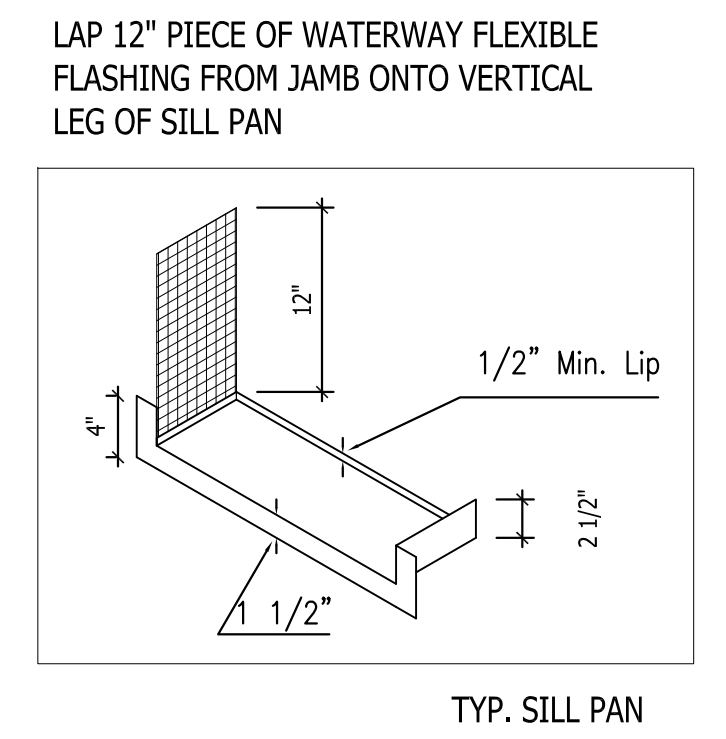


5 DOOR FLASHING DETAIL SCALE: N.T.S.



6 ROOF DRANGE DETAIL SCALE: N.T.S.

WHETHER TO USE A CUSTOM METAL PAN, AN ADJUSTABLE PLASTIC PAN, OR A PEEL-AND-STICK MEMBRANE, AS SHOWN, IS A MATTER OF PERSONAL PREFERENCE. ALL PANS SHOULD HAVE A DAM ON THE ENDS AND ALONG THE INTERIOR EDGE. IF USING A FLASHING MEMBRANE, CARRY IT UP THE SIDE JAMBS AT LEAST SIX INCHES. FOR WIDE THRESHOLDS, TWO STRIPS OF MEMBRANE CAN BE USED WITH AT LEAST A ONE INCH OVERLAP.



REVISIONS:

PROPOSED A.D.U. & CAR PORT
 1810 S. WESTMORELAND BLVD. LOS ANGELES, CA 90006

DWG NO. _____
 SUBMITTAL: _____
 DATE: FEB. 2022
 DRAWN: _____
 SCALE: AS SHOWN
 SHEET TITLE: FLASHING DETAILS
 SHEET NUMBER: _____