



RELIANCE HOME INSPECTION SAN DIEGO

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RESIDENTIAL REPORT

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09/10/2026



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Thank you for choosing Reliance Home Inspection San Diego. I really appreciate your business and want you to have peace of mind in knowing that you are getting the most out of your inspection and report. This is a very important investment I would like to ensure you that a lot of time and care have been taken with you in mind in preparing this report. Once you have thoroughly read your entire inspection report, please don't hesitate to call with any questions or concerns pertaining to the inspection and or report.

You have contacted Reliance Home Inspection San Diego to conduct a property inspection. A property inspection is a non-invasive visual examination of accessible areas of the property designed to identify areas of concern within specific systems or components to defined by InterNACHI standards of practice, that are both observed and deemed material by the inspector at the time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractor within the client's inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimate on the cost of set repairs and also because these evaluations could uncover more potential issues than our general inspection does not cover or cannot see with the naked eye. Please note that as an inspector we go above and beyond to find as much as possible to best educate you as our client on the property you want us to inspect but a general home inspection generally last about 2 hours and this is just a visual inspection and will not reveal every concern or issues that exist, but only those material defects that were observed on the day of inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change from the moment the inspector leaves the property.

This home inspection is not a home warranty or guarantee of any kind. Systems and components of this home may and probably will fail anytime after the inspection.

We HIGHLY recommend that you purchase and maintain a comprehensive home warranty, including coverage for your home, swimming pool, roofing, heating and air conditioning, plumbing, and electrical systems and renew it each year you own this house.

Copyright Protection: This report is the exclusive property and product of Reliance Home Inspection San Diego and the clients listed above and is not transferable to any third parties or subsequent buyer(s). Our inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Any unauthorized recipients are there for advised not to rely on this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified as the buyer or client of this report.

Very Important Next Steps:

Step 1: **Read the entire inspection report!**

Step 2: Call your inspector immediately at 619-410-5639, if you have any questions,

concerns, or need changes made to the inspection report.

Step 3: Make a list of all Discovery Items marked **Observation Items**, **Attention Items**, and **Safety Concerns** identified in this report as needing repair or further evaluation.

Step 4: Contact licensed contractors, specialist, and/or qualified professionals and have the Systems marked **Observation Items**, **Attention Items**, and **Safety Concerns** further evaluated or repaired **BEFORE THE END OF YOUR CONTINGENCY PERIOD**.

***** VERY IMPORTANT*****

We feel that everything in this inspection report is significant. Especially the Discovery items marked **Observation Items**, **Attention Items** and **Potential Safety Concern**. We cannot assume liability for an item, system, or component the client did not feel was significant at time of inspection, but later feels is. For this reason, we are informing you that when as little as one Component is called out as **Observation Items**, **Attention Items**, or **Potential Safety Concern** in any System of this home inspection report, you must have that entire system further evaluated by a licensed specialist in that field before the end of your contingency period. These licensed specialist may identify additional components within that system that need to be repaired/replaced or recommend some upgrades that could affect your evaluation of the property.

Inspected (IN) = I visually observed the item, component or unit and it appeared to be functioning as intended.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended.

Not Present (NP) = This item, component or unit is not in this home or building.

Discovery (D) = One of the following conditions exists: **Observation Items**, **Attention Item**, or **Potential Safety Concern**.

Discovery Items Defined

Observation and or Recommendations Items = May include one or more of the following conditions:

1. Items that may not be affecting the function or usability of a system or component. However, if not corrected, it may at some point in the future.
2. Items that may require repair due to age and/or normal wear and tear.
3. The items should be monitored; repair or replacement should be considered.

Attention or in need of service Items = May include any one or more of the following conditions:

1. The item is not functioning as intended.
2. The item and its entire system need to be further evaluated by a licensed contractor in that field (Plumbing = Plumber, Electrical = Electrician, etc.). The item and/or other items within the system (not identified in this report) may need to be repaired or replaced.
3. Areas, systems, or components that were not accessible by our company.

Defective or Potential Safety Concern = May include the following conditions:

1. Items or systems in which the current state poses a potential safety hazard to the

occupants or structure (in the inspector's opinion). This item should be immediately further evaluated and repaired by a qualified technician/contractor to ensure safety.

Mold:

If you or a family member has health problems, or you are concerned about mold, it is YOUR responsibility to get an air quality or mold inspection completed, regardless of the findings in this report. Reliance Home Inspection San Diego gives a free visual mold assessment with every general home inspection we perform. However, latent or hidden defects are outside the scope of this visual assessment. Also, please be advised that only surface and air samples can determine if mold is present.

Environmental Hazards:

Our company is not licensed or trained to inspect for or test for environmental hazards.

If you or anyone occupying or visiting this property are concerned about environmental hazards like; lead, radon, PCBs, mildew, urea- formaldehyde, asbestos, sulfur, contaminated drywall, Chinese drywall, or other toxins in the building, ground, water or air, you need to contact a licensed environmental hygienist to have them visit the property and test for these issues.

Please note that any verbal statement and or opinion that was given at the time and or after the inspection is NOT officially a part of the inspection report. Only statements in the Reliance Home Inspection San Diego report are official and should be further evaluated by a qualified specialist in the categorized field of expertise.



RECOMMENDATION AND
OR OBSERVATION ITEM



ATTENTION AND OR ITEM IN
NEED OF SERVICE



DEFECT ITEM AND OR
POTENTIAL SAFETY
CONCERN

- ⊖ 2.2.1 Kitchen - Dishwasher: Dishwasher- Air Gap- Loose/Damaged
- ⊖ 2.2.2 Kitchen - Dishwasher: Dishwasher- Poor Installation
- ⊖ 2.4.1 Kitchen - Plumbing & Fixtures: Corroded Angle Stop(s)/Plumbing Connections
- ⚠ 2.4.2 Kitchen - Plumbing & Fixtures: Hot/Cold Reversed - Sink
- ⊖ 2.4.3 Kitchen - Plumbing & Fixtures: Faucet - Corrosion
- ⊖ 2.4.4 Kitchen - Plumbing & Fixtures: Unconventional Pumping Methods
- ⊖ 2.6.1 Kitchen - Range/Oven/Cooktop: Ignitor Not Operating As Intended
- ⊖ 2.7.1 Kitchen - Exhaust Fan/Range Hood/Downdraft: Unconventional Hood Range Exhaust
- ⚠ 2.8.1 Kitchen - Electrical Components: Loose Receptacle(s)/Switch(es)
- ⚠ 2.8.2 Kitchen - Electrical Components: No GFCI Protection
- ⊖ 2.8.3 Kitchen - Electrical Components: Garbage Disposal Receptacle Wired Incorrectly
- ⊖ 2.9.1 Kitchen - Countertops & Cabinets: Previous Repairs
- ⊖ 2.9.2 Kitchen - Countertops & Cabinets: Hole/Gaps At Walls- Kitchen
- ⊖ 3.1.1 Bathrooms - Doors: Loose Hardware/Missing
- ⊖ 3.2.1 Bathrooms - Countertops: Poor/Missing Caulk
- ⊖ 3.2.2 Bathrooms - Countertops: Loose Cabinet Hinges
- ⊖ 3.3.1 Bathrooms - Walls and Ceilings: Paint Cracking/Peeling/Bubbling
- 🔧 3.3.2 Bathrooms - Walls and Ceilings: Previous Repairs.
- ⊖ 3.3.3 Bathrooms - Walls and Ceilings: Walls/Ceilings- Loose/Soft
- ⊖ 3.4.1 Bathrooms - Floors: Cracked/Chipped Tiles
- ⊖ 3.4.2 Bathrooms - Floors: Seal Tub/Shower To Floor
- ⊖ 3.5.1 Bathrooms - Plumbing & Fixtures : Corroded Angle Stop(s)
- ⊖ 3.5.2 Bathrooms - Plumbing & Fixtures : Angle Stop/Supply Pipe(s) Loose
- ⊖ 3.5.3 Bathrooms - Plumbing & Fixtures : Faucet - Corrosion
- 🔧 3.6.1 Bathrooms - Tub & Shower Fixtures : Drain Overflow - Information
- ⊖ 3.6.2 Bathrooms - Tub & Shower Fixtures : Control Valve - Leaks While in Use
- ⊖ 3.7.1 Bathrooms - Tub/Shower Enclosures : Missing/Deteriorating Grout
- ⊖ 3.10.1 Bathrooms - Ventilation: Vent Fan Requires Cleaning
- ⊖ 4.1.1 Interior Areas - Interior General: Rodent Odor

- ⊖ 4.2.1 Interior Areas - Doors: Door Doesn't Latch
- ⊖ 4.2.2 Interior Areas - Doors: Loose/Missing Door Knob(s)/ Handle
- 🔧 4.3.1 Interior Areas - Windows: Damaged/Weathered/Missing Screen(s)
- ⊖ 4.3.2 Interior Areas - Windows: Possible Failed Seal
- ⊖ 4.4.1 Interior Areas - Walls and Ceilings: Possible Past Moisture Stain
- ⚠ 4.4.2 Interior Areas - Walls and Ceilings: Moisture Damage
- ⊖ 4.4.3 Interior Areas - Walls and Ceilings: Hole/Gap at Wall(s)/Ceilings
- ⚠ 4.4.4 Interior Areas - Walls and Ceilings: Moisture Detected
- ⊖ 4.5.1 Interior Areas - Floors: Floors Not Level
- ⊖ 4.5.2 Interior Areas - Floors: Flooring- Poor Installation
- ⚠ 4.6.1 Interior Areas - Electrical Components: Loose Receptacle/Light Switch
- ⊖ 4.6.2 Interior Areas - Electrical Components: Inoperable Receptacle/Switch
- ⊖ 4.6.3 Interior Areas - Electrical Components: Light fixture Inoperable
- ⚠ 4.6.4 Interior Areas - Electrical Components: Reverse Polarity
- ⚠ 4.10.1 Interior Areas - Fireplace: Missing Damper Clamp
- ⊖ 4.10.2 Interior Areas - Fireplace: Gap at Gas Pipe
- ⊖ 4.10.3 Interior Areas - Fireplace: Fire Brick/Panle Cracked/Gaps
- ⊖ 4.10.4 Interior Areas - Fireplace: Cracked & Or Missing Chimney Cap
- ⊖ 4.10.5 Interior Areas - Fireplace: Loose Birck/Components
- ⊖ 5.2.1 Laundry Area/Room - Washer/Dryer: Disconnected/Not Installed Properly
- ⚠ 5.3.1 Laundry Area/Room - Electrical Components: Not GFCI Protected
- ⊖ 6.1.1 Attic, Insulation & Ventilation - Attic Insulation: Displaced Insulation
- ⊖ 6.1.2 Attic, Insulation & Ventilation - Attic Insulation: Possible Pest
- ⊖ 6.1.3 Attic, Insulation & Ventilation - Attic Insulation: Insulation settled
- ⊖ 6.2.1 Attic, Insulation & Ventilation - Roof Structure And Attic: Separated Roof Rafter/Structural Member
- ⊖ 6.2.2 Attic, Insulation & Ventilation - Roof Structure And Attic: Rafter(s)/Structural Members Sagging
- ⊖ 6.2.3 Attic, Insulation & Ventilation - Roof Structure And Attic: Evidence Of Wood Destroying Organisms
- ⊖ 6.3.1 Attic, Insulation & Ventilation - Roof Sheathing Observed From Attic: Stains at Sheathing/Framing
- ⊖ 6.3.2 Attic, Insulation & Ventilation - Roof Sheathing Observed From Attic: Daylight Visible
- ⊖ 6.5.1 Attic, Insulation & Ventilation - Exhaust Systems: Bathroom Vents Into Attic
- ⊖ 6.5.2 Attic, Insulation & Ventilation - Exhaust Systems: Laundry Vent Vents Into Attic
- ⚠ 7.5.1 Garage - Garage Electrical: GFCI Upgrade Recommended
- 🔧 7.7.1 Garage - Garage Floor: Cracks at Floor
- ⊖ 7.7.2 Garage - Garage Floor: Epoxy Coating Failing
- ⊖ 7.7.3 Garage - Garage Floor: Crack At Garage Stem-Wall
- ⊖ 8.2.1 Heating and Cooling Systems - Heating Equipment: Heating- Operational At The Time Of Inspection
- ⊖ 8.2.2 Heating and Cooling Systems - Heating Equipment: Furnace- Missing Sediment Trap
- ⊖ 8.2.3 Heating and Cooling Systems - Heating Equipment: FAU- Installed On Combustibles
- ⊖ 8.5.1 Heating and Cooling Systems - Distribution Systems: Air Filter - Dirty/Missing
- ⊖ 8.5.2 Heating and Cooling Systems - Distribution Systems: Duct - Damaged/Missing Insulation
- ⊖ 8.6.1 Heating and Cooling Systems - Cooling Equipment: A/C- Produced Cold Air

- ⊖ 8.6.2 Heating and Cooling Systems - Cooling Equipment: Loose/Unsecured Refrigerant Lines
- 🔧 9.3.1 Plumbing System - Main Water Shut-Off Location: No Automatic Shut Off Valve
- 🔧 9.6.1 Plumbing System - Plumbing Drainage System (Waste And Ventilation) : Drain Lines - Scope Recommended
- ⊖ 9.6.2 Plumbing System - Plumbing Drainage System (Waste And Ventilation) : Loose/Unsecure Drain Line
- 🔧 9.7.1 Plumbing System - Water Heating System (Flues And Ventilation): Tankless Water Heater Information
- ⚠️ 9.7.2 Plumbing System - Water Heating System (Flues And Ventilation): Flue - Possible Asbestos
- ⊖ 9.7.3 Plumbing System - Water Heating System (Flues And Ventilation): Expansion Tank Missing
- ⊖ 9.10.1 Plumbing System - Pressure Regulator: High Water Pressure
- ⚠️ 10.8.1 Electrical - Branch Circuit Wiring: Open Junction Box
- ⚠️ 10.8.2 Electrical - Branch Circuit Wiring: Unsecured Junction Box
- ⚠️ 10.8.3 Electrical - Branch Circuit Wiring: Unsecured Wire - Attic
- ⊖ 10.12.1 Electrical - Operation Of AFCI (Arc Fault Circuit Interrupters): None or Not Enough AFCI's
- ⊖ 10.13.1 Electrical - Cable And Telephone Entrance: Missing/Loose Phone/TV Covers/Junction Box
- 🔧 11.3.1 Exterior - Siding, Flashing & Trim: Siding(s) Cracking
- ⊖ 11.3.2 Exterior - Siding, Flashing & Trim: Deteriorated Siding/Trim
- ⊖ 11.3.3 Exterior - Siding, Flashing & Trim: Rusted Weep Screed/Flashing
- ⊖ 11.3.4 Exterior - Siding, Flashing & Trim: Vegetation In Siding's
- ⊖ 11.5.1 Exterior - Eaves, Soffits & Fascia: Wood Destroying Organism Activity.
- ⊖ 11.5.2 Exterior - Eaves, Soffits & Fascia: Paint/Finish Failing
- ⊖ 11.5.3 Exterior - Eaves, Soffits & Fascia: Exposed Wood Surfaces
- ⊖ 11.6.1 Exterior - Walkways, Patios & Driveways: Walkway/Stairs And Or Patio Settlement
- ⊖ 11.6.2 Exterior - Walkways, Patios & Driveways: Cracked Tile(s)
- ⊖ 11.8.1 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Grading -Low Areas - Poor Drainage
- ⊖ 11.8.2 Exterior - Vegetation, Grading, Drainage & Retaining Walls: Retaining Wall Cracks
- ⚠️ 11.9.1 Exterior - Exterior Electrical Components : Receptacles/Light Switches Loose
- ⊖ 11.9.2 Exterior - Exterior Electrical Components : Gap at Fixture and Siding
- 🔧 11.10.1 Exterior - Plumbing & Fixtures: Missing Anti-Siphon Valves
- ⊖ 11.11.1 Exterior - Gate(s) And Fencing: Leaning Fencing/Wall
- ⊖ 12.2.1 Roof - Roof Coverings: Cracked And Or Chipped Tile(s)
- ⊖ 12.2.2 Roof - Roof Coverings: Slipped Tiles
- ⊖ 12.4.1 Roof - Roof Drainage Systems: Downspouts Drain Near House
- ⊖ 13.3.1 Foundation, Structure & Crawl Space - Foundation, Crawl Space(s) And Basement(s) : Efflorescence

1: INSPECTION DETAILS

Information

Present At Time Of Inspection: In Attendance

Home Inspector, Staging
Company

Occupancy: Occupancy
Vacant

Property : Property Type
Single Family

Homes Near 40 Years Of Age Or Older

This home is near or older than 40 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawl spaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Also, please be aware that due to the age of a home there may be harmful construction materials that were used during the period of the build year, a few examples would be asbestos material and lead paint. Please know that it is beyond the scope of a standard home inspection to test for any harmful materials that may be present in the home. Older homes are known very poorly insulated if any insulation was added and may not be energy efficient. Always consider hiring the appropriate expert for any repairs or further inspection. Furthermore, with each deficiency that is found I strongly recommend that the entire system be reevaluated by a licensed professional in each of their prospective fields and categories, for example, If there are any electrical deficiencies found at the time of inspection, a licensed electrical contractor should reevaluate the entire homes electrical system.

Vacant Home

This home was vacant at time of inspection. Vacant houses can develop problems that may not occur if the house was being lived in. Many systems in a house depend on regular use. Without regular use, adverse conditions can occur including, but not limited to: Sludge in waste lines can dry out creating blockage that would otherwise not occur if the plumbing system was being used regularly. Water can evaporate from the dishwasher leaving hard calcium, which can ruin the motor. Air conditioner compressor seals can dry out causing refrigerant leaks. Sediment and scale can accumulate in plumbing lines which would otherwise be flushed out. This debris can become dislodged when the plumbing is used causing valves to become clogged. You should be aware of these issues when buying a home that has been vacant for an extended period of time.

Pre-listing Home Inspection

This inspection is a pre-listing inspection or and inspection for informational purposes. Please be advised, the home Inspector does his absolute best to provide you with the most information as possible. Please be advised, no two home inspectors are alike therefore two different home inspector's will provide two different reports. This inspection was inspected according to the InterNACHI standards and practices. The comments made in this report were based on the condition of the home at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the home again. The proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. My inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

It is a pleasure serving you.

Pest Control

Please be advised that as a home inspector, we do our best to identify with our trained eye any type of pest whether it's rodents termites or but not limited to insects around the home. Please know that it is your responsibility to have a pest control professional evaluate the home to determine whether there are any types of pest that need to be treated and or removed from the home. I advise that You contact a pest control company to conduct a thorough pest inspection of the home before closing of contingencies.

Property : Property Style

Slab on Grade

The style of the home is used by the inspector as a means to help the client understand the features of the home that are typical for the design.

Weather: Temperature

90 Fahrenheit (F)

The temperature at the time of the inspection is obtained from the weather channel. The temperature is helpful to the inspector to determine items observed as common or defective. In our climate region, a home may experience expansion and contraction due to changes in temperature.

Weather: Weather Conditions

Clear

The weather conditions at the time of the inspection are used to help anyone reading the report understand the conditions at the time of the inspection. Weather conditions are important as the conditions may limit the inspection of certain components of the home. During the winter it is not uncommon for a roof to be covered with snow for prolonged periods of time. If any area of the inspection is limited due to the weather conditions the client should have these areas reevaluated prior to closing on the home.

2: KITCHEN

		IN	NI	NP	D
2.1	Styles And Materials	X			
2.2	Dishwasher				X
2.3	Garbage Disposal	X			
2.4	Plumbing & Fixtures				X
2.5	Built-in Microwave	X			
2.6	Range/Oven/Cooktop				X
2.7	Exhaust Fan/Range Hood/Downdraft				X
2.8	Electrical Components				X
2.9	Countertops & Cabinets				X
2.10	Refrigerator		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials : Dishwasher

Bosch

Styles And Materials : Stove Range

Gas, Whirlpool

Styles And Materials : Countertops

Quartz

Styles And Materials : Garbage Disposal

In Sink Erator

Styles And Materials : Oven

Electric, Kitchen Aid

Styles And Materials : Cabinets

Wood

Styles And Materials : Built-in Microwave

Kitchenaid

Styles And Materials : Hood Range/Exhaust

Vented

Garbage Disposal: Operational

Yes

Kitchen Appliances Overview

The home inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher (through its normal cycle), range, cooktop, and permanently installed oven, trash compactor, garbage disposal, ventilation equipment or range hood and permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function or thermostats for calibration or automatic operation; Non built-in appliances like clothes washing and drying machines or refrigeration units. The home inspector is not required to operate: Appliances in use; or any appliance that is shut down or otherwise inoperable

Dishwasher: Dishwasher Tested

The dishwasher turned on and appeared to complete a wash cycle at the time of the inspection. However, this is not a guarantee that this unit will not leak at some time in the future. We recommend purchasing a home warranty to cover the unit and any possible damages that may result from a leak.

Built-in Microwave: Photo/Video Of Microwave Operating

The microwave was tested using a microwave tester. The microwave unit appeared to be in operational condition at the time of inspection. This is not a guarantee that the microwave will continue to function properly in the future.



Range/Oven/Cooktop: Photo Of Range Working



Range/Oven/Cooktop: Photo of Oven Working



Refrigerator: Thermal Image Of Fridge Working



Limitations

General

APPLIANCES- NOT MOVED

Our company cannot inspect behind or beneath built-in appliances. We cannot move them to see behind or beneath them. We cannot see through any appliance or building materials. Damage that may include, but is not limited to; plumbing and or electrical issues, moisture damage, wood destroying organism damage, mold or other environmental hazards to the floor and/or wall behind the built-in appliances can be present and not reported on because of this limitation. You may wish to ask the sellers to disclose any known defects that may exist behind or below the built-in appliances in this home. You may also wish to have them moved to view these areas for yourself before the removal of contingencies.

General

BUILT-IN APPLIANCES

Appliances are inspected for function only, Quality or extent of operation is not within the scope of the Standards of Practice. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors or qualified professionals be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Dishwasher

DISHWASHER LIMITED REVIEW

We test the dishwasher to introduce a load on the plumbing drain and waste system. We do not use soap. It is not intended to determine how well the dishwasher will clean and dry dishes. Please note: We cannot see behind or below the dishwasher. Past and/or current leaks can occur behind or below the dishwasher that would not be visible without removing the dishwasher which is outside the scope of this inspection.

Dishwasher

DISHWASHER HEATING ELEMENT

Determining if the heating element inside the dishwasher is functioning is outside the scope of this inspection. We strongly recommend that you confirm that this important component of the dishwasher is functional before the removal of contingencies by a qualified appliance repair professional.

Plumbing & Fixtures

LOW FLOW AT FIXTURES - NOT DETERMINED

Please be advised that determining if a plumbing fixtures flow is low/adequate is outside the scope of this standard home inspection. We recommend consulting with a licensed plumbing contractor or the property owner to determine if any plumbing fixtures you are concerned with are low flow.

Refrigerator

REFRIGERATOR NOT INSPECTED

Refrigerator's are not inspected as they are outside the scope of standard home inspection. Refrigerator's are not moved because this may damage plumbing lines or electrical components.

Refrigerator

REFRIGERATOR NOT MOVED

Refrigerators are not moved as part of this inspection. Doing so can damage the flooring or adjacent cabinets and wall finishes. Refrigerator's are not moved because this may damage plumbing lines or electrical components. Please note: Damage can exist behind or below the refrigerator that is not visible because of this limitation. Recommend asking the seller to move the refrigerator to allow you to view the space behind and below the refrigerator before the removal of contingencies. Recommend further evaluation by a qualified professional to determine if any latent defects exist and repairs are necessary at this time before the close of contingencies.

**Observations**

2.2.1 Dishwasher

 Attention and or Item In Need Of Service**DISHWASHER- AIR GAP- LOOSE/DAMAGED**

The air gap device was loose and or damaged at the time of inspection. Recommend further evaluation by a qualified professional to determine if repairs are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.2.2 Dishwasher



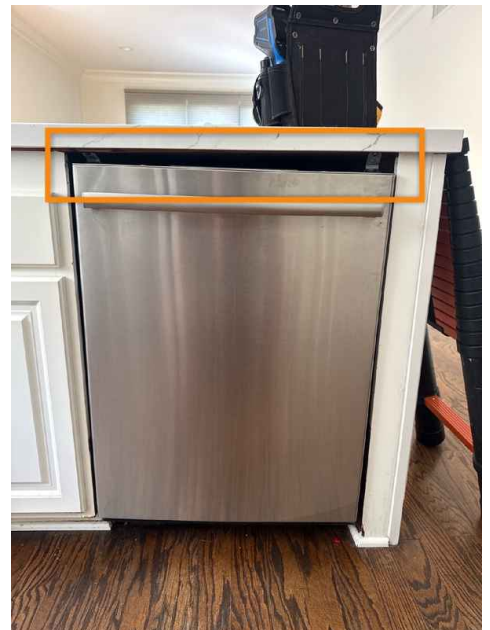
Attention and or Item In Need Of Service

DISHWASHER- POOR INSTALLATION

The dishwasher appeared to be poorly installed during the time of inspection. Recommend further evaluation by a license appliance contractor to determine if corrections are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.4.1 Plumbing & Fixtures



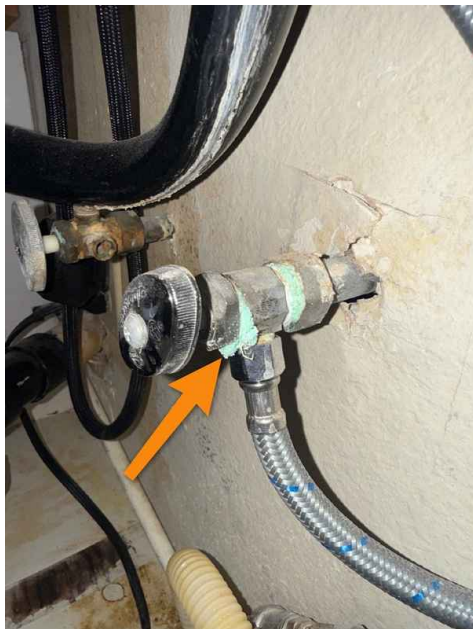
Attention and or Item In Need Of Service

CORRODED ANGLE STOP(S)/PLUMBING CONNECTIONS

Some of the angle stops, shut off valves and/or supply lines under the sinks appeared to be corroding, have mineral deposits or are rusted. This is indicative of previous leaks that have self sealed. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs possible at this time to prevent further leaks.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Kitchen

2.4.2 Plumbing & Fixtures

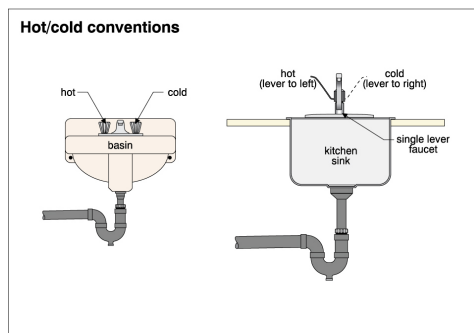
HOT/COLD REVERSED - SINK

**Defect Item and or Potential Safety Concern**

The hot and cold water supply is reversed at the sink. This is considered a scalding hazard. Recommend further evaluation by a licensed plumbing contractor and repair as necessary at this time for safety.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Kitchen

2.4.3 Plumbing & Fixtures

FAUCET - CORROSION

**Attention and or Item In Need Of Service**

Rust, corrosion or calcification noted at one or more faucet(s). Recommend repair or replacement as necessary by a licensed plumbing contractor to prevent leaks from developing. Until then, these fixtures should be closely monitored.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Kitchen

2.4.4 Plumbing & Fixtures

UNCONVENTIONAL PUMBING METHODS



Attention and or Item In Need Of Service

There appeared to be unconventional plumbing methods in use. Recommend further evaluation by a licensed plumbing contractor and repair if necessary to comply with todays plumbing standards.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen



Example Noted At Kitchen



Example Noted At Kitchen

2.6.1 Range/Oven/Cooktop



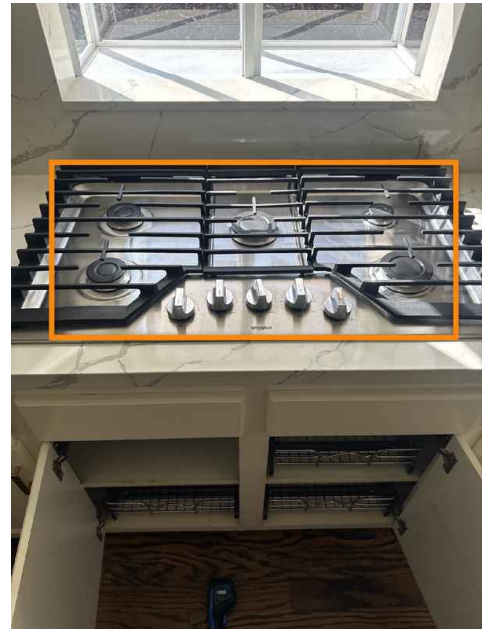
Attention and or Item In Need Of Service

IGNITOR NOT OPERATING AS INTENDED

The igniter for the stove range was not operating as intended during the time of inspection. Recommend further evaluation by a licensed appliance technician to determine corrections necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.7.1 Exhaust Fan/Range Hood/Downdraft



Attention and or Item In Need Of Service

UNCONVENTIONAL HOOD RANGE EXHAUST

The stove hood range was noted to be an unconventional hood range style, and may not be adequate for stove range cooking needs. Recommend further evaluation by a license appliance contractor to determine if corrections are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.8.1 Electrical Components



Defect Item and or Potential Safety Concern

LOOSE RECEPTACLE(S)/SWITCH(ES)

Loose and or possibly damaged receptacle(s) and or light switches noted in one or more areas at the time of the inspection. This condition can put stress on the circuit wires which should not be moved. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine corrections necessary at this time to ensure proper function and safety

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.8.2 Electrical Components

**Defect Item and or Potential Safety Concern**

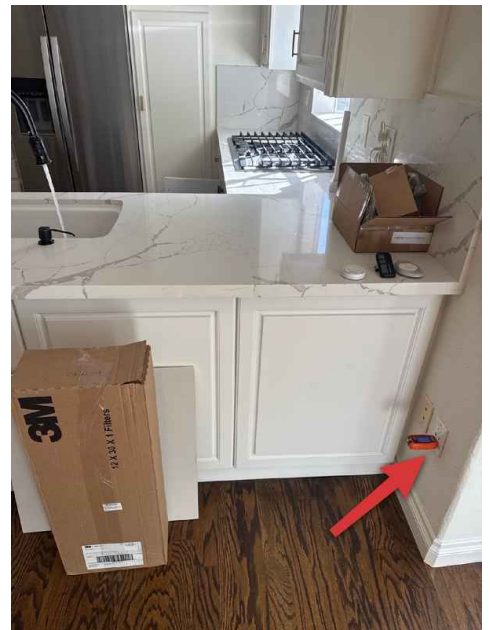
NO GFCI PROTECTION

One or more kitchen receptacles were not GFCI (Ground Fault Circuit Interrupter) protected. Every receptacle within 6 feet of a water source on the interior of the home to today's current codes and standards are required to be GFCI protected for safety reasons. Recommend further evaluation and correction as needed by a qualified licensed electrical contractor.

[Here is a link](#) to read about how GFCI protected receptacles keep you safe.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Kitchen

2.8.3 Electrical Components

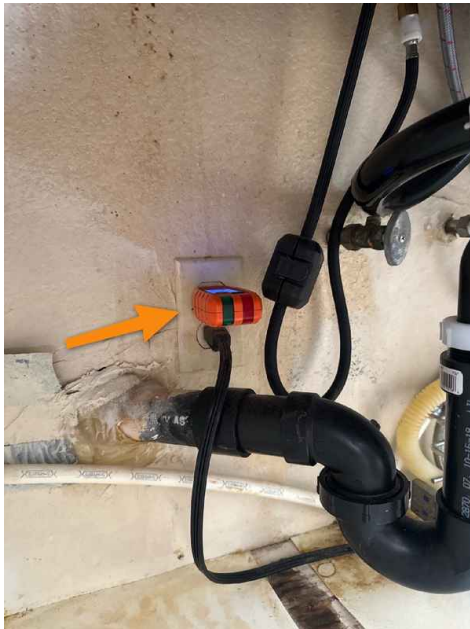
**Attention and or Item In Need Of Service**

GARBAGE DISPOSAL RECEPTACLE WIRED INCORRECTLY

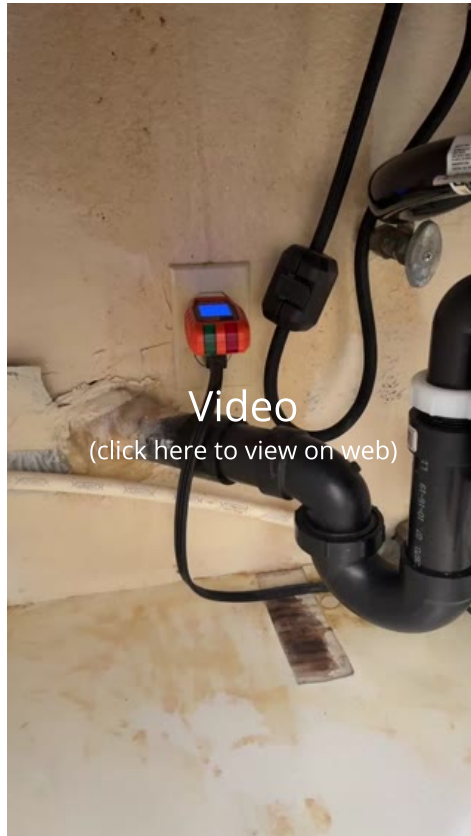
The designated garbage disposal switch was wired incorrectly to the receptacle underneath the kitchen sink. The switch is only supposed to supply power to one of the receptacles but is supplying power to both receptacles and both receptacles are only operable if the switch is engaged, this is incorrect. Recommend further evaluation and correction as needed by qualified electrical contractor.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Kitchen



2.9.1 Countertops & Cabinets

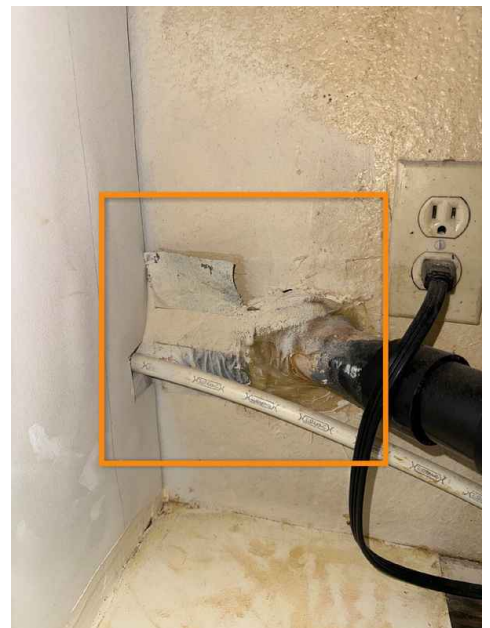
— Attention and or Item In Need Of Service

PREVIOUS REPAIRS

There was previous repairs noted in one or more areas in the kitchen , countertops or cabinets and or walls at the time of inspection. Please note that determining if these repairs are adequate is beyond the scope of a standard home inspection. Recommend further evaluation to determine if repairs are needed at this time by a license professional contractor.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

2.9.2 Countertops & Cabinets

— Attention and or Item In Need Of Service

HOLE/GAPS AT WALLS- KITCHEN

There was a hole and or gaps noted under the kitchen sink and or at plumbing/electrical fixtures at walls during the time of inspection. Recommend sealing up hole because this maybe a points of entry for small insects or rodents. Recommend further evaluation and evaluation and correction as needed by qualified professional.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen



Example Noted At Kitchen

3: BATHROOMS

		IN	NI	NP	D
3.1	Doors				X
3.2	Countertops				X
3.3	Walls and Ceilings				X
3.4	Floors				X
3.5	Plumbing & Fixtures				X
3.6	Tub & Shower Fixtures				X
3.7	Tub/Shower Enclosures				X
3.8	Plumbing Drainage System	X			
3.9	Electrical Components	X			
3.10	Ventilation				X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Doors: Door Type/Material

Hollow core, Wood

Walls and Ceilings: Wall Material

Drywall

Walls and Ceilings: Ceiling Material

Drywall

Floors: Floor Coverings

Tile

Electrical Components: GFCI/AFCI Protected Receptacles

Present, Tripped when tested

Ventilation: Bathroom Ventilation

Ventilation fan, Window(s)

Plumbing Drainage System: General Drain/Waste Pipes

We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the removal of contingencies. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

Limitations

Plumbing & Fixtures

LOW FLOW AT FIXTURES - NOT DETERMINED

Please be advised that determining if a plumbing fixtures flow is low/adequate is outside the scope of this standard home inspection. We recommend consulting with a licensed plumbing contractor or the property owner to determine if any plumbing fixtures you are concerned with are low flow.

Observations

3.1.1 Doors

**LOOSE
HARDWARE/MISSING**

There was one or more doors to the bathrooms that had loose and or missing hardware. Recommend correction as needed by a qualified professional.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Hallway Bathroom

3.2.1 Countertops

**POOR/MISSING
CAULK**

There was one or more bathroom countertop's that was missing sufficient caulk/sealant at one or more areas. This can lead to water intrusion and or damage. Recommend adding sealant at sides and corners where counters touch walls.

[Here is a helpful DIY video on caulking gaps.](#)

Recommendation

Recommended DIY Project



Attention and or Item In Need Of Service



Example Noted At Primary Bathroom

3.2.2 Countertops

**LOOSE CABINET
HINGES**

There was one or more bathroom cabinet door hinges that were loose at the time of inspection. Recommend all cabinets being further evaluated by a qualified, professional and repaired as needed.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Hallway Bathroom

3.3.1 Walls and Ceilings



Attention and or Item In Need Of Service

PAINT

CRACKING/PEELING/BUBBLING

Wall paint was cracking/peeling and or bubbling in one or more bathrooms to the home. Recommend further evaluation by a Licensed contractor to determine repairs necessary at this time.

Here is a DIY article on [treating cracking paint](#).

Recommendation

Contact a qualified painting contractor.



Example Noted At Primary Bathroom

3.3.2 Walls and Ceilings



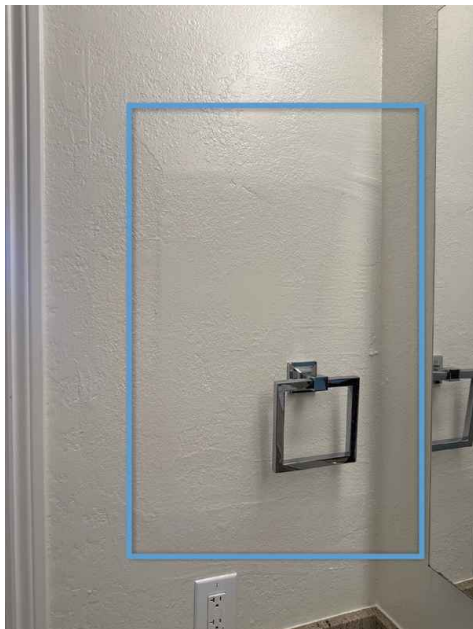
Recommendation and or Observation Item

PREVIOUS REPAIRS.

There appeared to be patching and/or evidence of repair noted on the ceiling(s)/wall(s). The Inspector is unable to determine the exact cause. Recommend consulting the seller about this and/or have further evaluated by a licensed contractor. Please note: Determining if damage exists behind any surface is beyond the scope of this standard home inspection.

Recommendation

Contact a qualified professional.



Example Noted At Primary Bathroom



Example Noted At Primary Bathroom

3.3.3 Walls and Ceilings

WALLS/CEILINGS- LOOSE/SOFT



Attention and or Item In Need Of Service

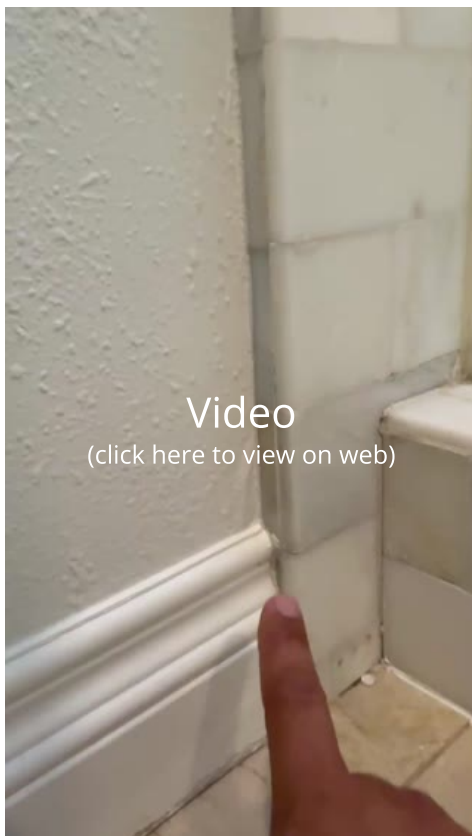
There was walls and or ceilings noted to be loose and or soft at one or more bathrooms to the home. recommend further evaluation by a licensed contractor to determine if repairs are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Primary Bathroom



3.4.1 Floors

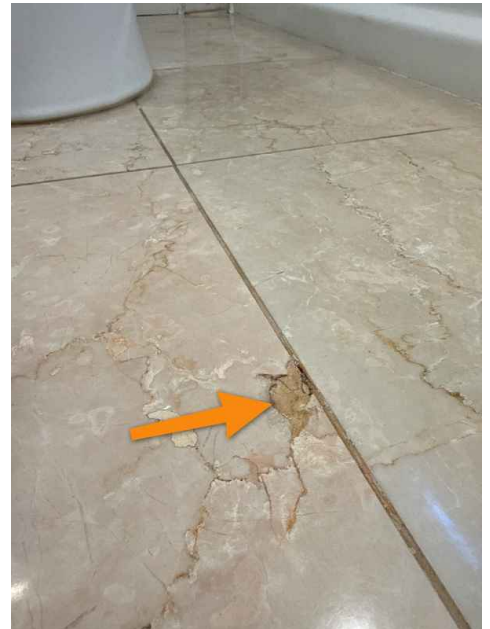
**CRACKED/CHIPPED
TILES**

Attention and or Item In Need Of Service

One or more floor tiles were cracked and or chipped at the time of inspection. Recommend further evaluation and correction as needed by a qualified contractor.

Recommendation

Contact a qualified flooring contractor



Example Noted At Hallway Bathroom

3.4.2 Floors

**SEAL TUB/SHOWER
TO FLOOR**

Attention and or Item In Need Of Service

There was one or more areas to the home's bathrooms that requires sealant at the floor to tub and or shower areas to prevent water intrusion. Recommend further evaluation and correction as needed by a qualified professional.

Recommendation

Contact a qualified professional.



Example Noted At Hallway Bathroom

3.5.1 Plumbing & Fixtures

CORRODED ANGLE STOP(S)

Attention and or Item In Need Of Service

Some of the angle stops, shut off valves and/or supply lines under the sinks and/or behind the toilets appeared to be corroding, have mineral deposits or are rusted. This is indicative of previous leaks that have self sealed. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs possible at this time to prevent further leaks.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Hallway Bathroom



Example Noted At Primary Bathroom

3.5.2 Plumbing & Fixtures

ANGLE STOP/SUPPLY PIPE(S) LOOSE

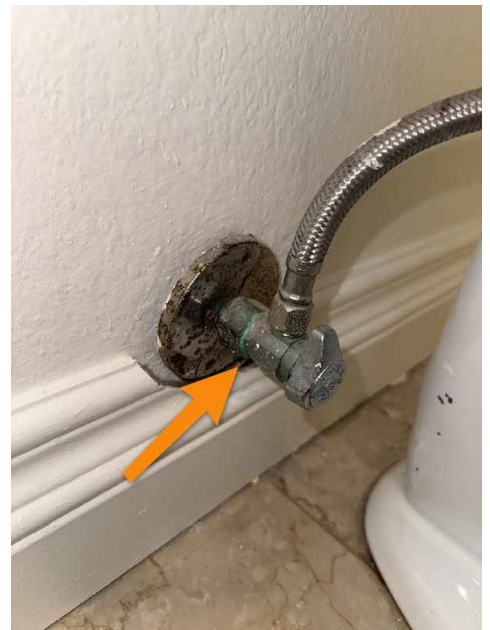


Attention and or Item In Need Of Service

One or more angle stop valve handle(s) and or plumbing supply line was to be loose at the time of inspection. This condition can create stress on the supply lines and could potentially compromise the line. Recommend further evaluation by a licensed plumbing contractor and repair as necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Primary Bathroom

3.5.3 Plumbing & Fixtures

FAUCET - CORROSION



Attention and or Item In Need Of Service

Rust, corrosion or calcification noted at one or more faucet(s). Recommend repair or replacement as necessary by a licensed plumbing contractor to prevent leaks from developing. Until then, these fixtures should be closely monitored.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Hallway Bathroom

3.6.1 Tub & Shower

Fixtures



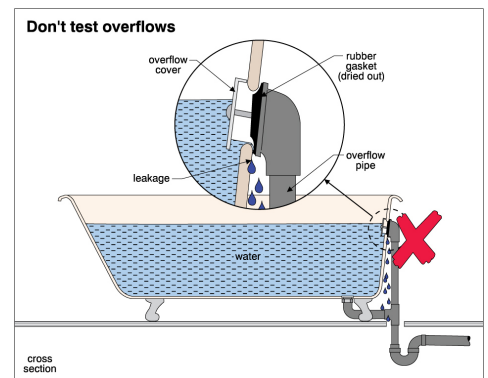
Recommendation and or Observation Item

DRAIN OVERFLOW - INFORMATION

The drain overflow cover appeared to be installed properly at the bathtub(s). However, determining if the drain line is properly connected behind these covers is beyond the scope of this inspection. To ensure that this line is properly attached to the back of the bathtub, we recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine if latent defects exist.

Recommendation

Contact a qualified plumbing contractor.



3.6.2 Tub & Shower Fixtures

CONTROL VALVE - LEAKS WHILE IN USE



Attention and or Item In Need Of Service

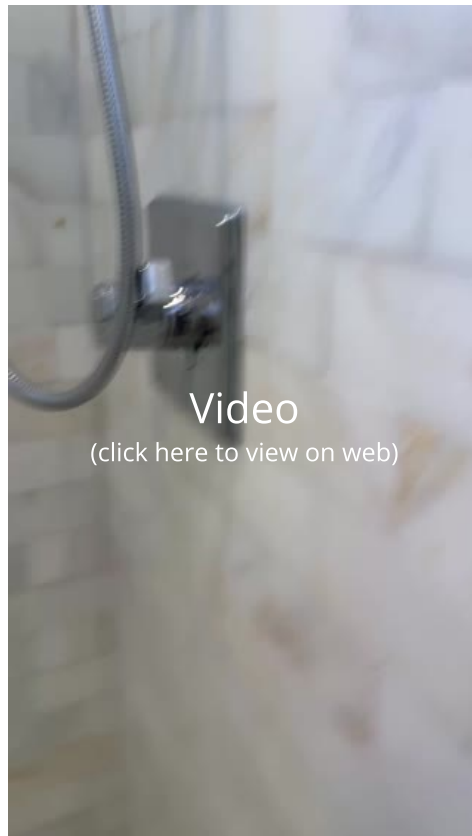
The shower/tub faucet control valve was noted leaking from the handle during operation. Recommend further evaluation by a licensed plumbing contractor and repair as necessary at this time to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Primary Bathroom



3.7.1 Tub/Shower Enclosures



Attention and or Item In Need Of Service

MISSING/DETERIORATING GROUT

There was one or more areas to the shower and or tub where grout lines were missing or severely deteriorated. Recommend further evaluation and corrections as needed by a qualified contractor.

Recommendation

Contact a qualified professional.



Example Noted At Primary Bedroom

3.10.1 Ventilation



Attention and or Item In Need Of Service

VENT FAN REQUIRES CLEANING

One or more bathroom vent fans were observed to be dirty and required cleaning for proper ventilation purposes. Recommend cleaning as needed.

Recommendation

Contact a qualified professional.



Example Noted At Hallway Bathroom



Example Noted At Primary Bathroom

4: INTERIOR AREAS

		IN	NI	NP	D
4.1	Interior General				X
4.2	Doors	X			
4.3	Windows				X
4.4	Walls and Ceilings				X
4.5	Floors				X
4.6	Electrical Components				X
4.7	Steps, Stairways & Railings			X	
4.8	Smoke Detectors	X			
4.9	Carbon Monoxide Detectors (Describe number and location)	X			
4.10	Fireplace				X
4.11	Additions/Modifications And Or Remodel	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Doors: Door Type/Material

Hollow core, Wood

Windows: Window Type

Sliders, Double Pane

Windows: Window Material

Vinyl

Walls and Ceilings: Wall Material

Drywall

Walls and Ceilings: Ceiling Material

Drywall

Floors: Floor Coverings

Carpet, Hardwood, Tile

Electrical Components: Ceiling Fan

None

Electrical Components: Receptacles

Operational

Electrical Components: Switches

Operational

Fireplace: Type of Fireplace

Vented, Wood Burning, Gas

Interior General: Interior General

The home inspector shall observe the visually accessible areas of the: walls, ceilings, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: operate a representative number of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Smoke Detectors: Smoke Detector General Information

We recommend replacing all smoke detectors upon moving into the home. Smoke detectors that are 10 years old or older may have a failure rate as high as 30%, and smoke detectors that are 15 years old or older may have a failure rate as high as 50% according to the National Fire Protection Association www.nfpa.org. We also recommend that a smoke alarm be installed in each bedroom, and at least one on each level outside of bedrooms.

Fireplace: Fireplace Location(s)

Living Room



Limitations

Interior General

INTERIOR LIMITATIONS

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Please note: Determining if damage, the presence of organic growths, moisture or wood rot behind walls, floors and ceiling coverings is beyond the scope of this inspection. If you are concerned or believe that these conditions may exist in a non-visible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist.

Interior General

RODENT ODOR

Windows

DOUBLE PANE WINDOW INSPECTION LIMITATION

Please Note: Failed seals in insulated glass (double-pane) windows are not always detectable. In some instances the inspector may not be able to disclose the exact condition of every window, depending on the ambient conditions (weather), lighting or if the windows are dirty at time of inspection. Moisture between panes of glass in a double-pane window with a failed seal may or may not be observable depending on variations in ambient conditions such as temperature and humidity. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns regarding the integrity of thermal pane seals, it is strongly suggested that you consult with a licensed window contractor for further evaluation. This inspection is not a warranty or guarantee of any kind regarding the integrity of the windows.

Windows

RETROFIT WINDOW INSPECTION LIMITATION

Many of the windows have been upgraded/replaced. We cannot guarantee that they will not leak. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns regarding the integrity of weatherproofing ability of the windows installed, it is strongly suggested that you consult with a licensed window contractor for further evaluation. This inspection is not a warranty or guarantee of any kind regarding the integrity of the windows.

Fireplace

CHIMNEY LINER - NOT INSPECTED

The liner was not fully inspected by our company. It is recommended to have a licensed chimney sweep clean and inspect for safety.

Fireplace

FIREPLACE DRAW - NOT INSPECTED

We do not inspect the shape of the fireplace(s) or the design to determine if the fireplace(s) has a proper air-draw.

Additions/Modifications And Or Remodel

ADDITIONS OR MODIFICATIONS

Evidence of major renovations, remodeling and/or additions noted to the original structure of the home. Please note: It is beyond the scope of a standard home inspection to verify the existence of permits. We recommend checking city records to verify the existence of permits before the removal of contingencies.

Observations

4.1.1 Interior General

RODENT ODOR**Attention and or Item In Need Of Service**

There Was what appeared to be Rodent odor at Warner more areas of the home. Recommend further evaluation by a licensed pest control contractor to determine if corrections are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

4.2.1 Doors

DOOR DOESN'T LATCH

Door doesn't latch properly. Recommend handyman repair latch and/or strike plate.

Recommendation

Contact a qualified handyman.



Attention and or Item In Need Of Service



Example Noted At Bedroom 2

4.2.2 Doors

LOOSE/MISSING DOOR KNOB(S)/ HANDLE

There was one or more loose and or missing door knobs and or handles in the home at the time of inspection. This could be due to age and or hardware failure. Recommend further evaluation and correction as needed by a qualified professional.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Bedroom 2

4.3.1 Windows

DAMAGED/WEATHERED/MISSING SCREEN(S)

One or more window screens were missing, weathered or damaged at the time of inspection. Recommend further evaluation by a qualified window contractor.

Recommendation

Contact a qualified window repair/installation contractor.



Recommendation and or Observation Item



Example Noted At Bedroom 2

4.3.2 Windows

POSSIBLE FAILED SEAL

One or more windows appeared to be fogged and or is showing signs of condensation between the window panes, which indicative a failed seal. Recommend further evaluation of all windows to home and repairs as needed

Recommendation

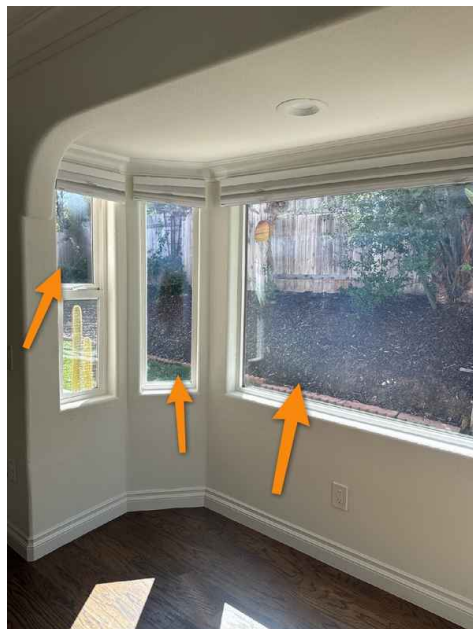
Contact a qualified window repair/installation contractor.



Attention and or Item In Need Of Service



Example Noted At Bedroom 2



Example Noted At Dining Room

4.4.1 Walls and Ceilings

POSSIBLE PAST MOISTURE STAIN

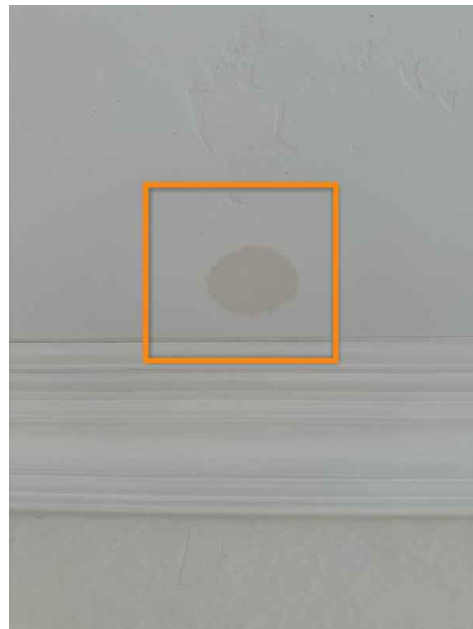


Attention and or Item In Need Of Service

There was possible past stains noted to one or more areas of the home. The stain appears to be old and was not actively leaking at the time of the inspection. The stains were tested for moisture and no moisture was found at the time of inspection. Recommend further evaluation and repairs as needed if needed by a qualified professional.

Recommendation

Contact a qualified professional.



Example Noted At Bedroom 2

4.4.2 Walls and Ceilings



Defect Item and or Potential Safety Concern

MOISTURE DAMAGE

Moisture related damage was observed in one or more areas of the home. The area was tested for moisture, but dry during the time of inspection. Recommend further evaluation and corrections as needed by a qualified professional..

Recommendation

Contact a qualified drywall contractor.



Example Noted At Dining Room

4.4.3 Walls and Ceilings



Attention and or Item In Need Of Service

HOLE/GAP AT WALL(S)/CEILINGS

There was a hole and or gaps noted in one or more areas of the home at walls and or ceiling's during the time of inspection. Recommend sealing up hole because this maybe a points of entry for small insects or rodents.. Recommend further evaluation and evaluation and correction as needed by qualified professional.

Recommendation

Contact a qualified professional.



Example Noted At Living Room

4.4.4 Walls and Ceilings

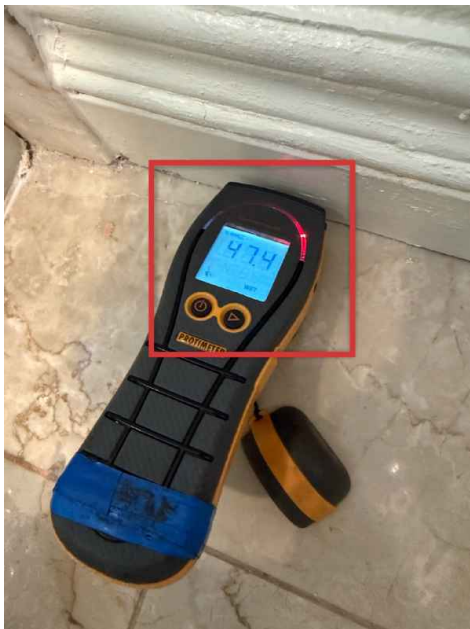
MOISTURE DETECTED

**Defect Item and or Potential Safety Concern**

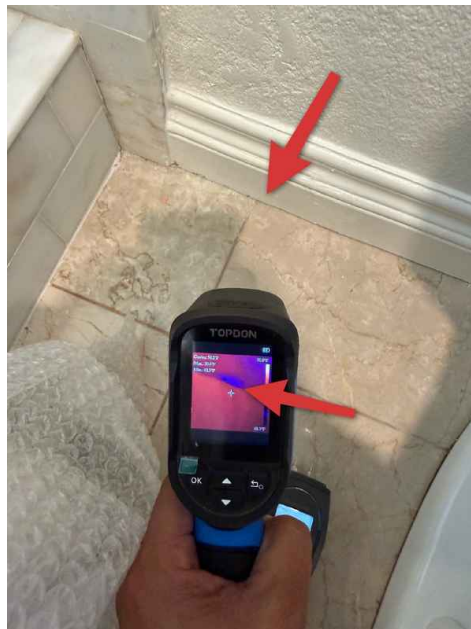
Moisture was detected at one or more interior walls at the time of inspection. Recommend further evaluation by a licensed contractor and repairs as needed.

Recommendation

Contact a qualified professional.



Example Noted At Primary Bathroom



Example Noted At Primary Bathroom



Example Noted At Primary Bathroom

4.5.1 Floors

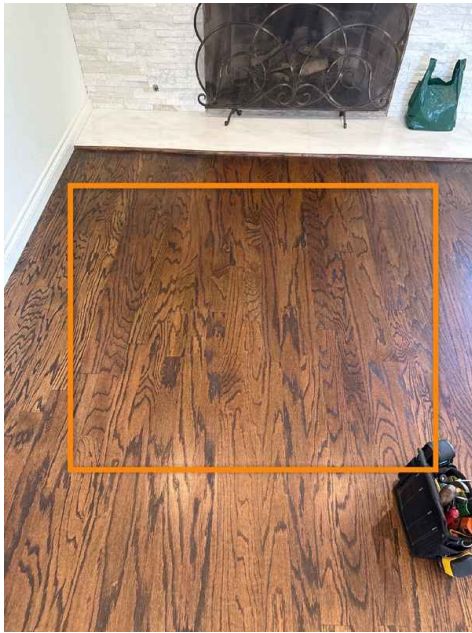
FLOORS NOT LEVEL

**Attention and or Item In Need Of Service**

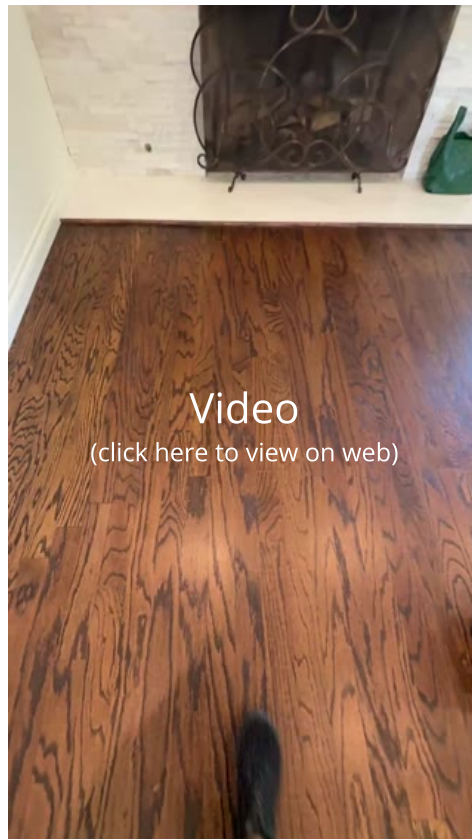
The floors in one or more areas of home appeared to be not level or uneven during the time of inspection. Recommend further evaluation and correction as needed by a licensed contractor.

Recommendation

Contact a qualified flooring contractor



Example Noted At Living Room



Example Noted At Dining Room

4.5.2 Floors

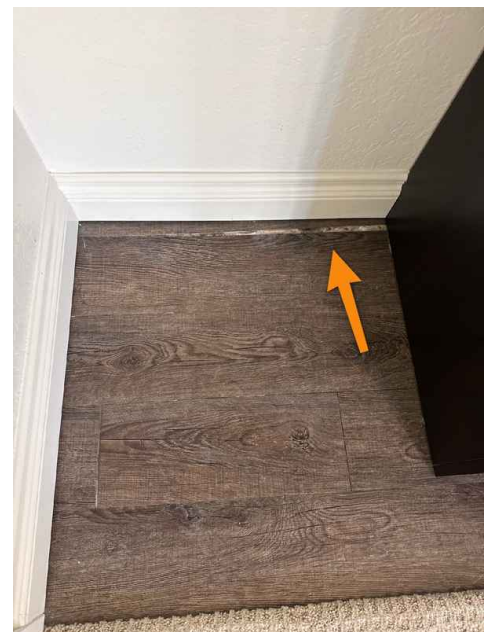
FLOORING- POOR INSTALLATION

— Attention and or Item In Need Of Service

There was one or more areas to the home that had poor and or subpar installation at the time of inspection. Recommend further evaluation and corrections as needed by a qualified flooring contractor.

Recommendation

Contact a qualified professional.



Example Noted At Primary Bedroom Closet

4.6.1 Electrical Components

LOOSE RECEPTACLE/LIGHT SWITCH

⚠ Defect Item and or Potential Safety Concern

Loose receptacle(s) and or light switches noted in one or more areas at the time of the inspection. This condition can put stress on the circuit wires which should not be moved. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine corrections necessary at this time to ensure proper function and safety

Recommendation

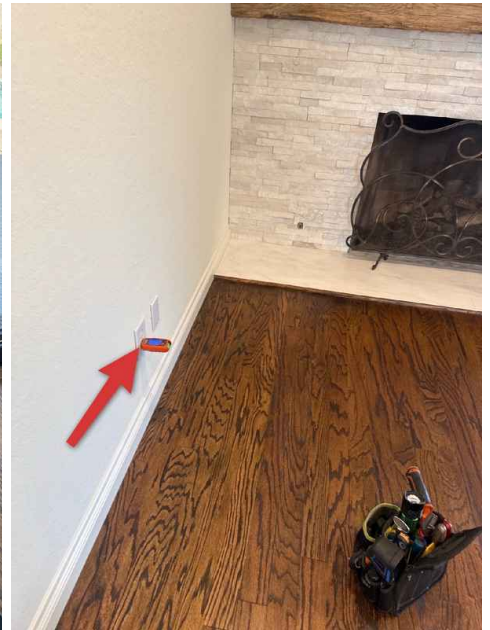
Contact a qualified professional.



Example Noted At Bedroom 2



Example Noted At Living Room



Example Noted At Living Room

4.6.2 Electrical Components

INOPERABLE RECEPTACLE/SWITCH



Attention and or Item In Need Of Service

There was one or more receptacles and or switches that appeared to be inoperable when tested at the time of inspection. Recommend further evaluation by a licensed electrical contractor to determine the cause and make the proper repairs as needed.

Recommendation

Contact a qualified professional.



Example Noted At Living Room



Example Noted At Living Room

4.6.3 Electrical Components



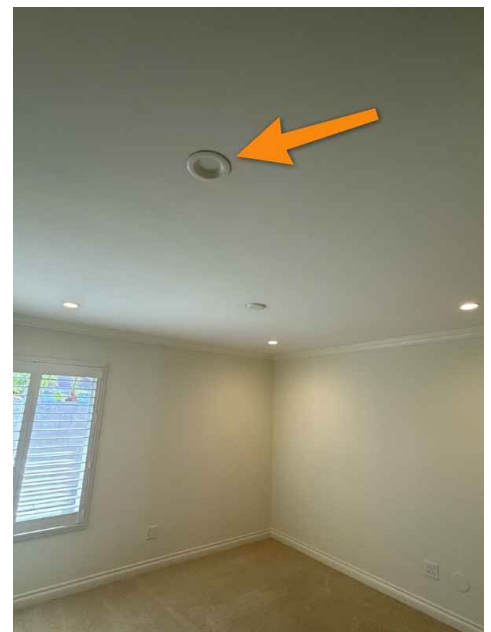
Attention and or Item In Need Of Service

LIGHT FIXTURE INOPERABLE

Light fixture not operational at time of inspection. Recommend licensed electrician further evaluate and repair as needed. Possible light bulb is dead.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Bedroom 3

4.6.4 Electrical Components



Defect Item and or Potential Safety Concern

REVERSE POLARITY

Reversed polarity noted at one or more electrical receptacles. This condition can be a safety hazard, promote damage to connected devices and prevent proper operation of the receptacle(s). Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine repairs necessary at this time to ensure proper function and safety.

Recommendation

Contact a qualified professional.



4.10.1 Fireplace

MISSING DAMPER CLAMP

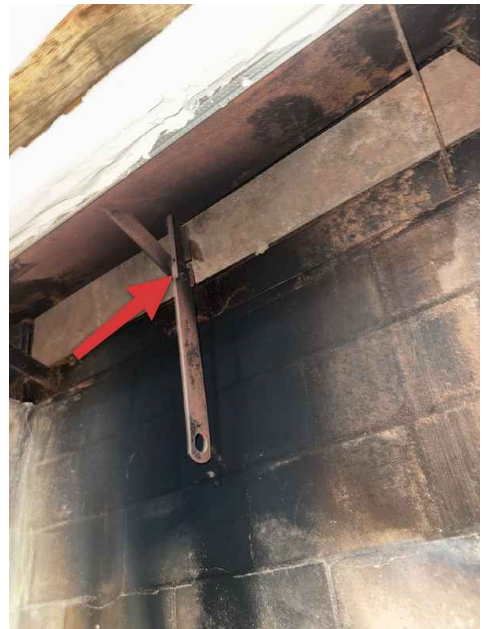


Defect Item and or Potential Safety Concern

The fireplace damper was missing a damper clamp that prevents the chimney damper from completely closing. Recommend further evaluation by a qualified chimney contractor and corrections as needed.

Recommendation

Contact a qualified fireplace contractor.



Example Noted At Living Room

4.10.2 Fireplace

GAP AT GAS PIPE



Attention and or Item In Need Of Service

Gap noted at the fireplace wall at the gas pipe penetration. Recommend sealing as necessary by a licensed fireplace contractor to prevent flame intrusion beyond the fireplace wall.

Recommendation

Contact a qualified fireplace contractor.



Example Noted At Living Room

4.10.3 Fireplace

**FIRE BRICK/PANLE
CRACKED/GAPS**

Attention and or Item In Need Of Service

The brick and or lining of the fireplace was cracked in one or more places, which could lead to chimney damage or toxic fumes entering the home. Recommend a qualified fireplace contractor evaluate and repair.

Recommendation

Contact a qualified fireplace contractor.



Example Noted At Living Room

4.10.4 Fireplace

**CRACKED & OR
MISSING CHIMNEY CAP**

Attention and or Item In Need Of Service

The chimney cap was cracked and or deteriorating/missing at the time of inspection. This can allow water intrusion and could possibly cause water damage. Recommend further evaluation and correction as needed by a qualified contractor.

Recommendation

Contact a qualified professional.



Example Noted At Roof

4.10.5 Fireplace



Attention and or Item In Need Of Service

**LOOSE
BRICK/COMPONENTS**

There was one or more fireplaces that had loose brick, and or components at the time of inspection. Recommend further evaluation by a licensed chimney, sweep contractor and repairs as needed.

Recommendation

Contact a qualified professional.



Example Noted At Rear Side Of Home

5: LAUNDRY AREA/ROOM

		IN	NI	NP	D
5.1	Laundry Sink			X	
5.2	Washer/Dryer				X
5.3	Electrical Components				

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency/Potential Safety Concern

Information

Laundry Area Location

Hallway

Laundry area ventilation

Vent Fan

Laundry Sink: Laundry Sink

No



Washer/Dryer: Dryer Vent Material

Metal

Washer/Dryer: Dryer Vent location

Wall

Electrical Components: GFCI/AFCI Protected Receptacles

Not Present, Recommend
Upgrade To GFCI Protection

Washer/Dryer: Dryer Power Source

220 Electric

Washer and Dryer are not operated as part of a standard home inspection. There are too many variables for proper operation as well as length of time a complete cycle takes to operate these appliances.

Limitations

Washer/Dryer

WASHER & DRYER NOT TESTED

Washers and dryers are not tested because they are outside of a standard residential home inspection. If the homeowner is leaving them, then I would recommend having them tested for operation and functionality before closing of contingencies.

Washer/Dryer

UNABLE TO CONFIRM FLOOR DRAIN

I was unable to determine whether there is a floor drain in the laundry room in the event that the washer unit was to start leaking.

Observations

5.2.1 Washer/Dryer



Attention and or Item In Need Of Service

DISCONNECTED/NOT INSTALLED PROPERLY

The dryer vent is disconnected and or was not installed properly at the time of inspection. Recommend further evaluation and correction as needed by a licensed professional.

Recommendation

Contact a qualified professional.



Example Noted At Laundry Room

5.3.1 Electrical

Components



Defect Item and or Potential Safety Concern

NOT GFCI PROTECTED

One or more receptacles do not appear to be GFCI protected. Any receptacle within 6 feet of a water source should be GFCI protected. This is a possible safety concern. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine repairs or upgrades possible at this time for safety.

Recommendation

Contact a qualified professional.



Example Noted At Laundry Room

6: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	D
6.1	Attic Insulation				X
6.2	Roof Structure And Attic				X
6.3	Roof Sheathing Observed From Attic				X
6.4	Ventilation	X			
6.5	Exhaust Systems				X

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency/Potential Safety Concern

Information

Inspection Method

In Attic

Attic Insulation: Insulation In Attic

Batt, Fiberglass

Ventilation: Ventilation Type

Gable Vents, Soffit Vents

Exhaust Systems: Exhaust Fans

Locations

Bathroom(s), Laundry Room

Attic Access Location and Type of Access

Pull Down, Overhead Hatch, In Hallway, In Garage



General Attic Photos



















Observations

6.1.1 Attic Insulation

DISPLACED INSULATION

Attic insulation was displaced and or missing in sections of the attic. Recommend licensed contractor to repair for proper insulation efficiency.

Recommendation

Contact a qualified insulation contractor.



Attention and or Item In Need Of Service



Example Noted At Attic

6.1.2 Attic Insulation

POSSIBLE PEST

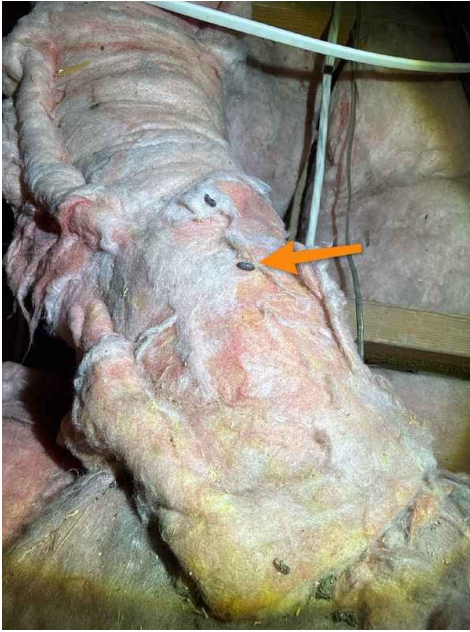
Evidence of pest and or rodent nesting was observed in attic area, recommend licensed pest control contractor to evaluate and repair as needed.

Recommendation

Contact a qualified pest control specialist.



Attention and or Item In Need Of Service



Example Noted At Attic



Example Noted At Attic

6.1.3 Attic Insulation

INSULATION SETTLED

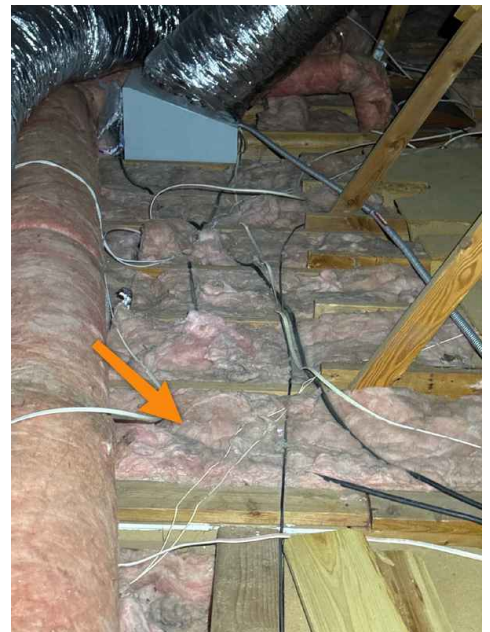
Blown in cellulose insulation has settled or compressed in some areas. Recommend builder to have insulation contractor to reapply insulation in low areas.

Recommendation

Contact a qualified insulation contractor.



Attention and or Item In Need Of Service



Example Noted At Attic

6.2.1 Roof Structure And Attic

SEPARATED ROOF RAFTER/STRUCTURAL MEMBER

One or more rafters and or structural members appeared to be separating from the ridge board. This could be indicative of structural movement. Recommend further evaluation by a licensed structural engineer before the end of your contingency period to determine if repairs are necessary at this time.

Recommendation

Contact a qualified structural engineer.



Attention and or Item In Need Of Service



Example Noted At Garage Attic



Example Noted At Garage Attic



Example Noted At Attic

6.2.2 Roof Structure And Attic



Attention and or Item In Need Of Service

RAFTER(S)/STRUCTURAL MEMBERS SAGGING

There was one or more areas in the attic that was noted to have rafters and or structural members that were sagging or appear not to have proper structural support. Recommend further evaluation and corrections as needed if needed by a qualified structural engineer contractor.

Recommendation

Contact a qualified professional.



Example Noted At Garage Attic

6.2.3 Roof Structure And Attic



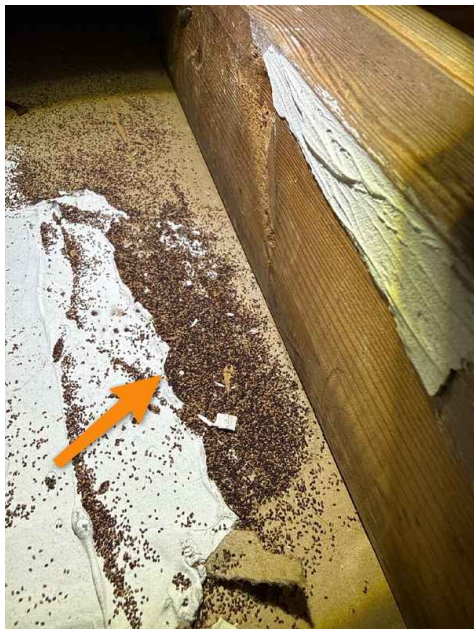
Attention and or Item In Need Of Service

EVIDENCE OF WOOD DESTROYING ORGANISMS

There was one or more areas to the home in the attic that showed possible signs of wood destroying organism activity.. Recommend further evaluation and correction has needed by a qualified professional.

Recommendation

Contact a qualified pest control specialist.



Example Noted At Garage Attic



Example Noted At Attic

6.3.1 Roof Sheathing Observed From Attic

STAINS AT SHEATHING/FRAMING



Attention and or Item In Need Of Service

Stain(s) noted at the roof sheathing and/or framing structure in one or more locations. Determining if these stains are due to an active or past leak is outside the scope of this standard home inspection. Recommend asking the seller if repairs have been performed, and/or further evaluation by a licensed roofing contractor prior to the removal of contingencies to determine if repairs are necessary at this time.

Recommendation

Contact a qualified roofing professional.



Example Noted At Attic



Example Noted At Attic

6.3.2 Roof Sheathing

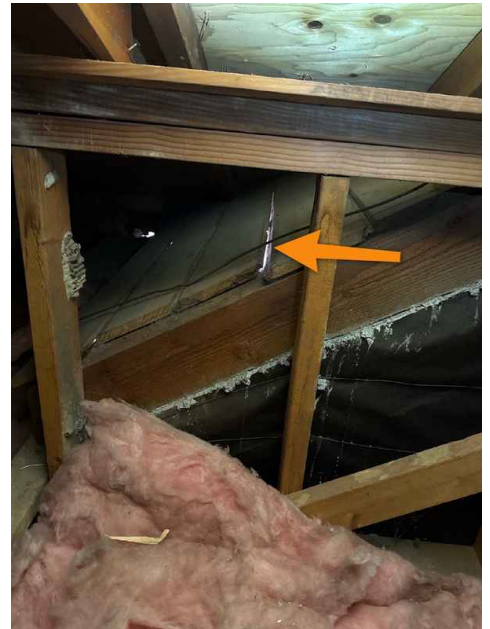
Observed From Attic

DAYLIGHT VISIBLE

Daylight noted entering the attic at the roof penetrations/sheathing and or sidings in one or more areas. This condition can allow moisture intrusion and or pest/rodent intrusion. Recommend further evaluation by a licensed roofing contractor prior to the removal of contingencies to determine any repairs necessary at this time.

Recommendation

Contact a qualified roofing professional.

 Attention and or Item In Need Of Service

Example Noted At Attic

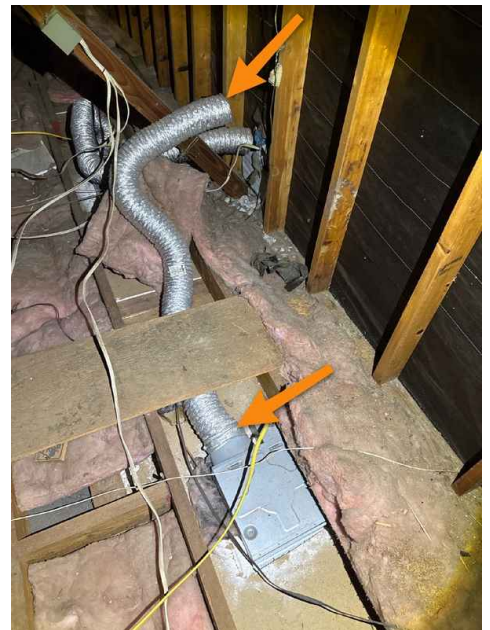
6.5.1 Exhaust Systems

BATHROOM VENTS INTO ATTIC

The bathroom fan vents into the attic, which can cause moisture and allow the perfect conditions for microbial growth to grow. The exhaust fans should be vented to the exterior. I recommend a qualified contractor to properly duct the exhaust to the exterior.

Recommendation

Contact a qualified general contractor.

 Attention and or Item In Need Of Service

Example Noted At Attic

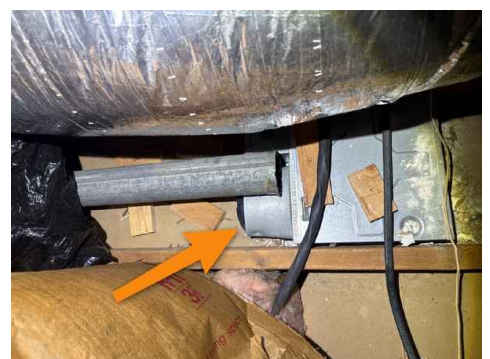
6.5.2 Exhaust Systems

LAUNDRY VENT VENTS INTO ATTIC

The laundry vent Plumbed And terminates into the attic spaces at the time of inspection. Recommend further evaluation and corrections as needed by a licensed appliance contractor.

Recommendation

Contact a qualified professional.

 Attention and or Item In Need Of Service

Example Noted At Attic

7: GARAGE

		IN	NI	NP	D
7.1	Styles And Materials	X			
7.2	Garage General	X			
7.3	Occupant Door From Garage To Inside Home	X			
7.4	Garage Ceilings/Roof Framing				
7.5	Garage Electrical				X
7.6	Garage Walls (Including Firewall Separation)	X			
7.7	Garage Floor				X
7.8	Garage Overhead Door Operator(s)	X			
7.9	Garage Vehicle Door	X			
7.10	Garage Vent	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials: Garage Type

Attached



Styles And Materials: Garage Door Type

One automatic

Styles And Materials: Garage Door Material

Metal, Insulated

Styles And Materials: Auto-Opener Manufacturer

CHAMBERLAIN, Battery Backup

Garage Electrical: Electrical components present

Functional

Garage Electrical: Handyman/Extension cord wiring

None Visible

Garage Electrical: Receptacles Open Ground/Reverse Polarity

No

Garage Floor: Floor Material

Concrete, Epoxy Coat

Garage Electrical: GFCI Protected receptacles

Not All Recepticals Are GFCI Protected

GFCI protection has evolved over the years as electrical codes change. GFCI protection may not have been required at the time of original construction. Updating to current codes may not be required, but is recommended at minimum to increase safety.

Garage Vent: Garage Ventilation Information

Although, garage vents are not technically required to building code, this can prove to be a possible safety concern when gas, burning appliances, and or vehicles are running in the garage.

Limitations

Garage Floor

GARAGE FLOOR NOT VISIBLE

Due to occupants personal items/property, not all areas were visible. I was unable to view all the wall and floor surfaces. Damage can exist in these areas that were not visible. Because of this, we recommend a careful evaluation during final walk-through. If issues are discovered during your final walk-through, please contact our company immediately to arrange a re-inspection of these areas so that the inspection report can be updated.

Observations

7.5.1 Garage Electrical



Defect Item and or Potential Safety Concern

GFCI UPGRADE RECOMMENDED

This home was built prior to the requirement for the installation of GFCI receptacles in certain locations in the home. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, laundry, all kitchen counter top outlets, and at exterior, to GFCI protected receptacles. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at [GFCI Requirements](#)

Recommendation

Contact a qualified electrical contractor.



Example Noted At Garage

7.7.1 Garage Floor

CRACKS AT FLOOR



Recommendation and or Observation Item

Settlement cracks noted at the garage floor in one or more locations. This can be an indication of possible structural settlement/movement in the structure and or just typical concrete cracks. Recommend further evaluation by a licensed foundation contractor and monitor or repair as necessary at this time.

Recommendation

Contact a foundation contractor.



Example Noted At Garage



Example Noted At Garage

7.7.2 Garage Floor

EPOXY COATING FAILING

The epoxy coating at the garage floor was noted failing, chipping and/or cracking in various locations. You may wish to view this condition for yourself and have further evaluated by a qualified professional and repaired as necessary.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Garage

7.7.3 Garage Floor

CRACK AT GARAGE STEM-WALL

Hairline settlement crack(s) noted at the garage stem wall at one or more locations. This did not appear to be affecting the overall performance of the home. However, we recommend further review by a licensed foundation contractor.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Garage

8: HEATING AND COOLING SYSTEMS

		IN	NI	NP	D
8.1	Normal H-vac Operation Controls	X			
8.2	Heating Equipment				X
8.3	Vents & Flues	X			
8.4	Heating Safety Controls	X			
8.5	Distribution Systems				X
8.6	Cooling Equipment				X

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency/Potential Safety Concern

Information

Normal H-vac Operation

Controls: Type

Thermostat

Normal H-vac Operation

Controls: Thermostat Location(s)

Hallway

Thermostat Location(s).

Normal H-vac Operation

Controls: ThermoStat Controls

Operable

Heating Equipment: Brand

Lennox

Heating Equipment: Energy

Source

Natural Gas

Heating Equipment: Filter

Type/Location

Disposable, In Hallway

Heating Equipment: Heat Type

Forced Air

Heating Equipment: Approximate

Age

Unknown

Vents & Flues : Flue Type

Double Wall B-Vent

Heating Safety Controls: Heating

Safety Control Type

Safety Switch

Cooling Equipment: Cooling

Equipment Manufacturer

LENNOX

Cooling Equipment: Energy

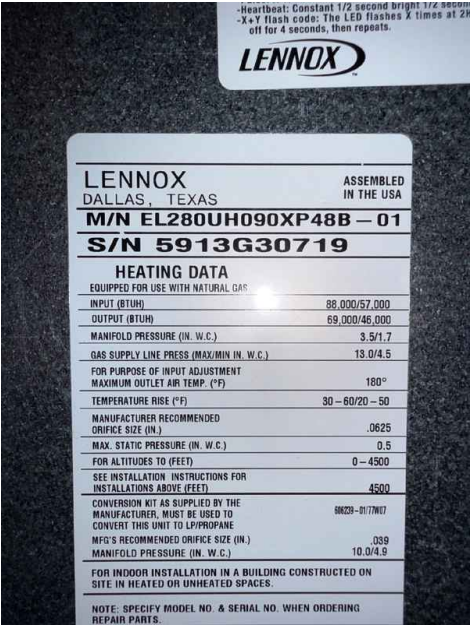
Source/Type

Electric

Heating And Cooling System General

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating and cooling systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

Heating Equipment: Photo Of FAU



Distribution Systems: Forced Air Ductwork

Insulated

Please note that it is beyond the scope of a standard home inspection to comment on the interior of deducting system. With that being said, it is always a good idea to have the distribution ducting system further evaluated by a licensed HVAC technician. Deducating system can get very dirty and also is known to have microbial growth on the interior of deducting system.

Cooling Equipment: Photo And Location of A/C Condenser

Left Side Of Home



Observations

8.2.1 Heating Equipment

Attention and or Item In Need Of Service

HEATING- OPERATIONAL AT THE TIME OF INSPECTION

The Heating system appeared to turn on and produce heat at the time of inspection. For your reference, we have attached a thermal image to confirm operation. However, due to the many components that are not visible (like the heat exchanger and the entire length of the flue pipe), our inspection of the system(s) is limited. Because of this, we recommend further evaluation/safety check be performed by a licensed HVAC contractor or the local gas company before the removal of contingencies.

Recommendation

Contact a qualified professional.



Example Noted At Kitchen

8.2.2 Heating Equipment

FURNACE- MISSING SEDIMENT TRAP

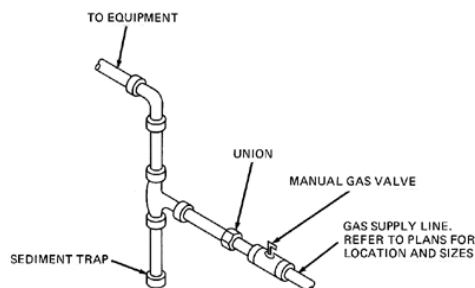


Attention and or Item In Need Of Service

The furnace gas piping is not equipped with a sediment trap. Recommend installation by a licensed HVAC contractor or licensed plumbing contractor to comply with today's HVAC safety standards.

Recommendation

Contact a qualified professional.



Example Noted At FAU

8.2.3 Heating Equipment

FAU- INSTALLED ON COMBUSTIBLES

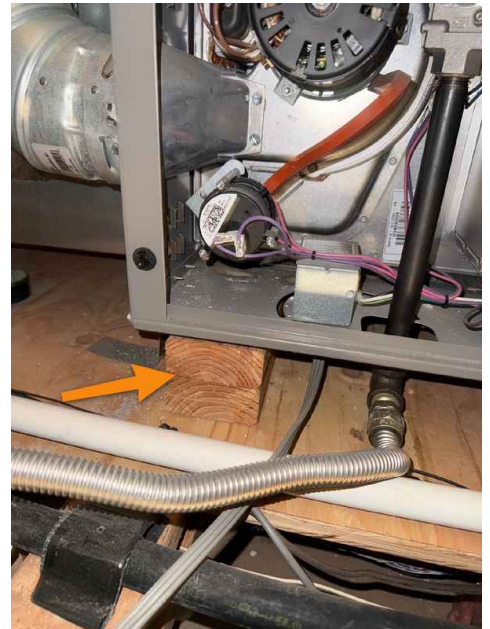


Attention and or Item In Need Of Service

FAU noted installed on combustible blocking. This does not appear to be in compliance with the manufacturers specifications and is considered a fire hazard. Recommend further evaluation by a licensed HVAC contractor to determine any corrections necessary at this time for safety.

Recommendation

Contact a qualified professional.



Example Noted At FAU

8.5.1 Distribution Systems



Attention and or Item In Need Of Service

AIR FILTER - DIRTY/MISSING

The air filter(s) is dirty/missing and should be cleaned or replaced as necessary.

Recommendation

Contact a qualified professional.



Example Noted At Hallway

8.5.2 Distribution Systems



Attention and or Item In Need Of Service

DUCT - DAMAGED/MISSING INSULATION

Damaged, missing and/or loose insulation noted at the ducting in areas. This condition can lead to energy loss. It can also allow condensation to form on the ducting which may lead to moisture related issues, like the attraction of wood destroying organisms, rust and organic growths. Recommend further evaluation by a licensed HVAC contractor to determine any repairs necessary at this time.

Recommendation

Contact a qualified heating and cooling contractor



Example Noted At Attic

8.6.1 Cooling Equipment



Attention and or Item In Need Of Service

**A/C- PRODUCED
COLD AIR**

During the test of this homes air conditioning system a minimum split of 14 degrees was achieved between the ambient air temperature and the temperature of the air blowing out of the registers. Because of this, the unit(s) appeared to be functional at the time of inspection. For your reference, we have attached a thermal image to confirm operation. However, this is a limited review. You should consider having the unit(s) further explored by a licensed HVAC contractor to determine if latent defects exist.

Recommendation

Contact a qualified professional.



Example Noted At Living Room

8.6.2 Cooling Equipment



Attention and or Item In Need Of Service

**LOOSE/UNSECURED
REFRIGERANT LINES**

The refrigerant lines to the AC unit were loose and or unsecured during the time of inspection. Recommend further evaluation by a licensed HVAC technician to make corrections as needed.

Recommendation

Contact a qualified professional.



Example Noted At Garage

9: PLUMBING SYSTEM

		IN	NI	NP	D
9.1	Styles And Materials	X			
9.2	Plumbing General	X			
9.3	Main Water Shut-Off Location				X
9.4	Main Gas Shut-Off Valve Location	X			
9.5	Water Plumbing System (Supply And Distribution)	X			
9.6	Plumbing Drainage System (Waste And Ventilation)				X
9.7	Water Heating System (Flues And Ventilation)				X
9.8	Temperature Pressure Relief Valve (TPR Valve)	X			
9.9	Water Heater Seismic Straps/Bracing	X			
9.10	Pressure Regulator				X
9.11	Gas Distribution System	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials: Water Source

Public

Styles And Materials: Water Pressure

85-90 psi, Too High



Styles And Materials: Plumbing Supply

Copper

Styles And Materials: Washer Drain Size

2 Inches

Styles And Materials: Plumbing Distribution

Copper, PEX

Styles And Materials: Plumbing Waste

Partially Visible, ABS

Styles And Materials: Water Heater Fuel Source

Natural Gas

Styles And Materials: Water Heater Flue Pipe Material

Plastic (PVC/ABS)

Styles And Materials: Manufacturer

Navien

Styles And Materials: Capacity

Tankless

Styles And Materials: Year Water Heater Was Made

Age of Tankless Unknown/Not Visible

Styles And Materials: Water Filters

NOT INSPECTED

Styles And Materials: Gas

Distribution Piping

Rigid Iron Pipe, CSST, Flex

Plumbing General: Plumbing Overview

Waste pipes are equally varied and are comprised of older ones, such as those made of clay, or others that are made of a material like cardboard coated with tar, and modern plastic ones referred to as ABS. Typically, the condition of these pipes is directly related to their age. ABS pipes, for instance, are virtually impervious to deterioration. However, some ABS pipes are alleged to have manufacturing defects. Regardless, inasmuch as most drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur at some point in the life of any system, but blockages in the waste lines, and particularly in a main sewer line, can be costly, and it would be prudent to have the main sewer line video scanned. This would also confirm that the house is connected to the public sewer system, which is important because such systems should be evaluated by a specialist before the removal of contingencies.

Plumbing General: Completed House - Plumbing Concealed

A majority of the plumbing supply, distribution, drain, waste, and vent systems were concealed behind the wall and floor coverings, buried in the slab, routed through the attic below the insulation or in inaccessible sections of the attic or crawl space and were not visible at the time of the inspection. Our inspection of the plumbing system is non-intrusive and non-destructive and only included the visibly accessible components of the plumbing system. Please be advised: **THIS INSPECTION OF THE PLUMBING SYSTEM IS NOT A WARRANTY OR GUARANTEE THAT LEAKS OR BLOCKAGES WILL NOT OCCUR ANYWHERE IN THE PLUMBING SYSTEM AT ANY POINT IN TIME AFTER THIS HOME INSPECTION HAS BEEN COMPLETED.** We are informing you now that you should purchase a homeowner insurance policy and home warranty that covers the plumbing system in the event problems develop in this system. **Reliance Home Inspection is not and will not be responsible for concealed defects and will be held harmless should any develop in this home.**

Main Water Shut-Off Location: Main Water Shut-Off Location

Front of the Building

Please note that shut offs are not tested for functionality, Operating valves to the home is beyond the scope of a standard home inspection. It is recommended that a licensed plumbing contractor inspect and operate all Plumbing valves to ensure proper functionality.



Main Gas Shut-Off Valve Location: Main Gas Shut-Off Location

Left side of building

Please note that it is beyond the scope of a standard home inspection to operate any gas valves to the home. Recommend further evaluation by a licensed plumbing contractor to inspect and operate all gas valves to ensure proper functionality.

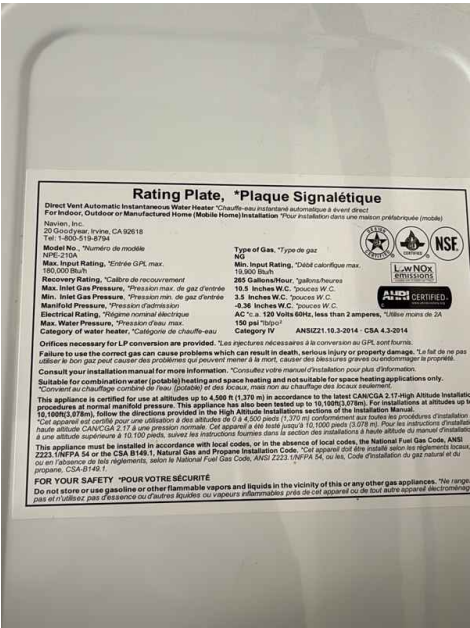


Plumbing Drainage System (Waste And Ventilation) : General Drain/Waste Pipes

We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the removal of contingencies. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

Water Heating System (Flues And Ventilation): Picture of Water Heater

Picture of water heater(s).



Water Heating System (Flues And Ventilation): Thermal Image of Hot Water

Thermal image(s) showing the water heater(s) producing hot water at the time of the inspection.



Limitations

Plumbing General

PLUMBING INSPECTION LIMITATIONS

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines for example cannot be checked for leaks or the ability to handle the volume during a drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or for repair issues as it relates to the comments in this inspection report.

Water Plumbing System (Supply And Distribution)

GENERAL PLUMBING LIMITATIONS

Please note: Due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire water supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the water supply and distribution system further explored by a licensed plumbing contractor before the removal of contingencies to determine if any latent defects exist.

Gas Distribution System

GENERAL GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines and/or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumbing contractor before the removal of contingencies to determine if any latent defects exist.

Observations

9.3.1 Main Water Shut-Off Location



Recommendation and or Observation Item

NO AUTOMATIC SHUT OFF VALVE

The main water entry supply did not have an auto The main water entry supply did not have an automatic pressure shut off valve in the event that a home supply line was to start leaking. Most home insurance companies will not insure a home due to insurance policy changes. recommend further evaluation by licensed plumbing contractor to determine if repairs are necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Front Of Home

9.6.1 Plumbing Drainage System (Waste And Ventilation)



Recommendation and or Observation Item

DRAIN LINES - SCOPE RECOMMENDED

Our inspection of the drain waste lines is limited to running water down each sink, tub, and shower drain to look for slow or clogged drains. This test is very limited and does not ensure that the main drain line is not blocked or clogged and is truly functioning correctly. Only a sewer line video camera scope can provide an accurate and detailed inspection of the main sewer line. Problems with the main sewer line can be very expensive to repair and should be identified during your contingency period. If you have not already ordered a sewer scope I highly recommend having a sewer line video inspection performed which can be done by Reliance Home Inspection San Diego and or a professional plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.

9.6.2 Plumbing Drainage System (Waste And Ventilation)



Attention and or Item In Need Of Service

LOOSE/UNSECURE DRAIN LINE

There was one or more drain lines that were loose and or unsecured during the time of inspection. The drain system is an ABS plastic, which could be susceptible to damage in the manner that it is installed. Recommend further evaluation by a licensed plumbing contractor to determine if repairs are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Attic

9.7.1 Water Heating
System (Flues And
Ventilation)



Recommendation and or Observation Item

TANKLESS WATER HEATER INFORMATION

Tankless water heaters require routine maintenance which typically involves flushing the water heater to reduce hard-water build up. We recommend asking the seller if this unit has been recently serviced (within the last 12-18 months). If not, we recommend the unit be serviced by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Water Heater

9.7.2 Water Heating
System (Flues And
Ventilation)



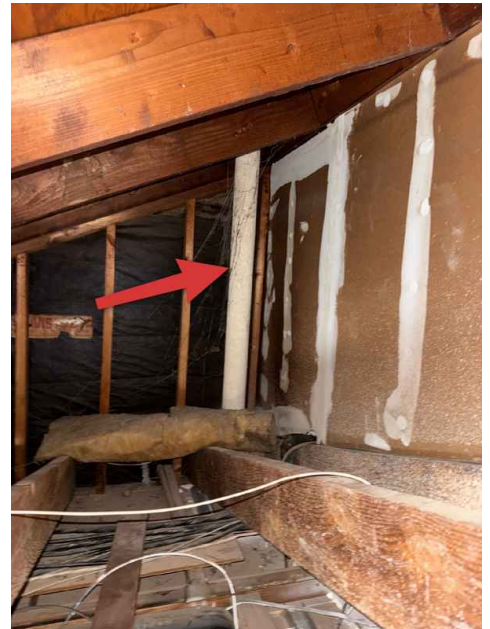
Defect Item and or Potential Safety Concern

FLUE - POSSIBLE ASBESTOS

The flue for the water heater may contain asbestos. Testing for asbestos is beyond the scope of a home inspection. These flues are typically considered safe if left undisturbed. However, if you have any concerns this should be further evaluated by a licensed environmental contractor or qualified asbestos abatement professional. Also, if the flue contains asbestos, there may be additional costs to remove and upgrade the flue to metal.

Recommendation

Contact a qualified environmental contractor



Example Noted At Garage Attic

9.7.3 Water Heating System (Flues And Ventilation)

EXPANSION TANK MISSING

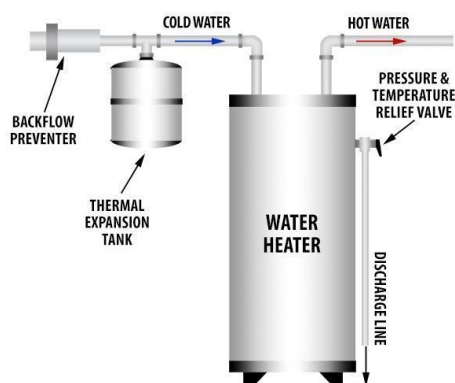
An expansion tank is not installed at the water heater. Most water heater manufacturers recommend an expansion tank be installed whenever the water system is a "closed" system, such as this home. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs/upgrades necessary at this time to comply with today's standards.

Recommendation

Contact a qualified plumbing contractor.



Attention and or Item In Need Of Service

TYPICAL RESIDENTIAL INSTALLATION

Example Noted At Water Heater

9.10.1 Pressure Regulator

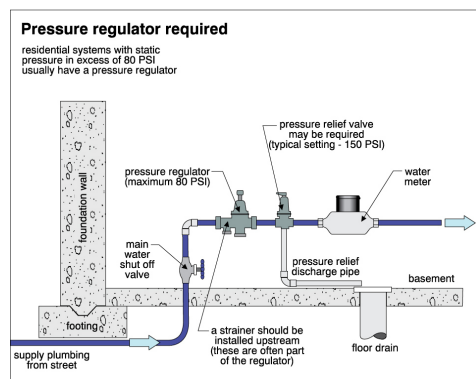
HIGH WATER PRESSURE

Attention and or Item In Need Of Service

High water pressure noted. This can cause water lines, faucets and water supplied appliances to fail and leak. We recommend adjusting the pressure regulator, or installing a new pressure regulator, to allow for a PSI range of 50-70. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs necessary at this time to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Example Noted At Front Of Home

10: ELECTRICAL

		IN	NI	NP	D
10.1	Styles And Materials	X			
10.2	Electrical General	X			
10.3	Main And Distribution Panel Location(s)				
10.4	Main And Distribution Panel(s)	X			
10.5	Service Entrance	X			
10.6	Grounding System	X			
10.7	Over-current Devices (Circuit Breakers, Fuses)	X			
10.8	Branch Circuit Wiring				X
10.9	Fixtures And Connected Devices (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls)	X			
10.10	Polarity And Ground Of Receptacles	X			
10.11	Operation Of GFCI (Ground Fault Circuit Interrupter(s)) Receptacle(s)	X			
10.12	Operation Of AFCI (Arc Fault Circuit Interrupters)				X
10.13	Cable And Telephone Entrance				X
10.14	SOLAR		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials: Panel Manufacturer

BRYANT

Styles And Materials: Panel Type Circuit Breakers

Styles And Materials: Panel Capacity

125 AMP

Styles And Materials: Service Conductors

Below Ground

Styles And Materials: Branch Wire 15 and 20 Amp

Copper

Styles And Materials: Wiring Methods

Romex, Partially Visible

Styles And Materials: Exterior Lighting Control

Standard Switched

Main And Distribution Panel**Location(s): Main Panel Location**

Left Side of the Building

**Main And Distribution Panel****Location(s): Sub Panel Location**

Garage

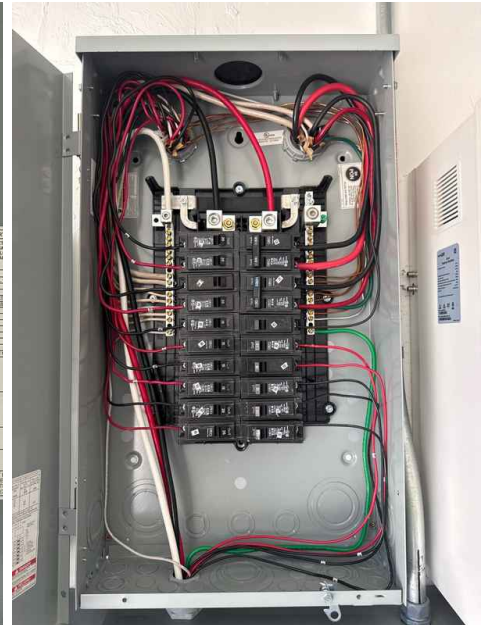
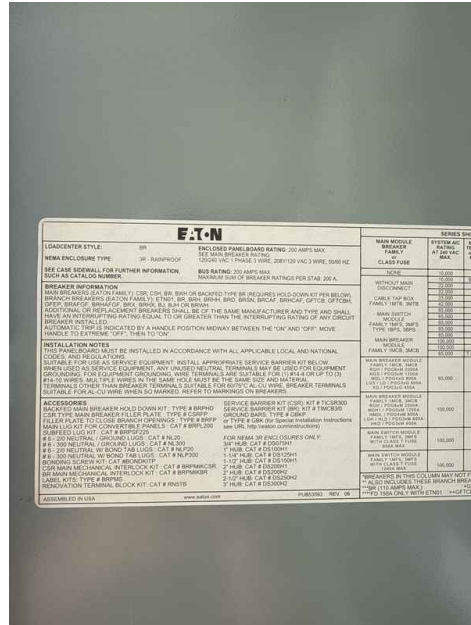
**Electrical General: Electrical General**

The home inspector shall observe: Service entrance conductors; service equipment, grounding equipment, main over-current device, main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over-current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

Main and Sub Panel(s)



SOLAR: Solar System - Not Inspected

This home is equipped with solar panels. Inspecting solar systems is outside the scope of a standard home inspection. We advise inquiry with sellers about this system, including but not limited to: If leased/owned, manufacturer/installer warranties, etc. **Please note:** Solar equipment is known to promote moisture intrusion issues when mounted on the roof structure. Unable to verify the condition of the solar mounts or the roofing below the solar panel areas. You may wish to have this portion of the roof further evaluated by a licensed roofing contractor to determine if latent defects exist.



Limitations

Electrical General

ELECTRICAL INSPECTION LIMITATIONS

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair and further evaluation recommendation items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Branch Circuit Wiring

ADDITIONAL ELECTRICAL INSPECTION LIMITATIONS

Please note: Due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the removal of contingencies to determine if any latent defects exist.

Observations

10.8.1 Branch Circuit Wiring

OPEN JUNCTION BOX

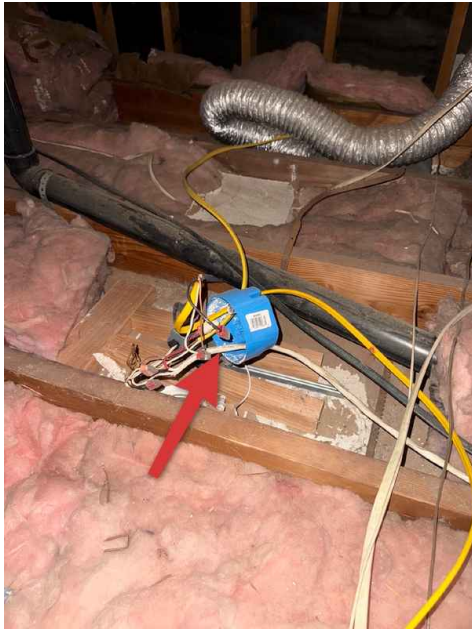


Defect Item and or Potential Safety Concern

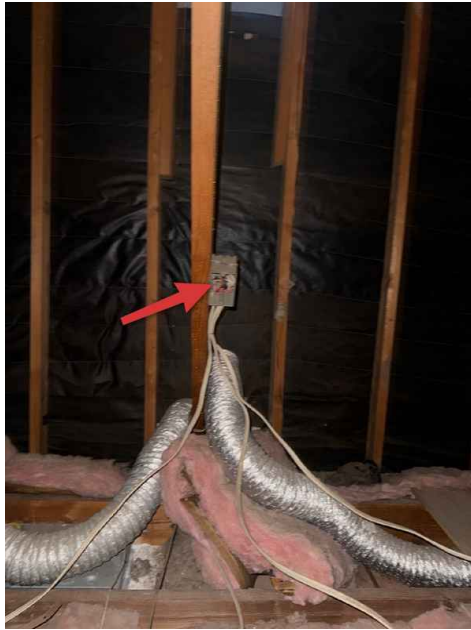
Open junction box(es) noted in one or more locations. Whenever wires are joined together, the junction box must have a cover for safety. We recommend installing an approved cover plate by a licensed electrical contractor as necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Attic



Example Noted At Attic

10.8.2 Branch Circuit Wiring



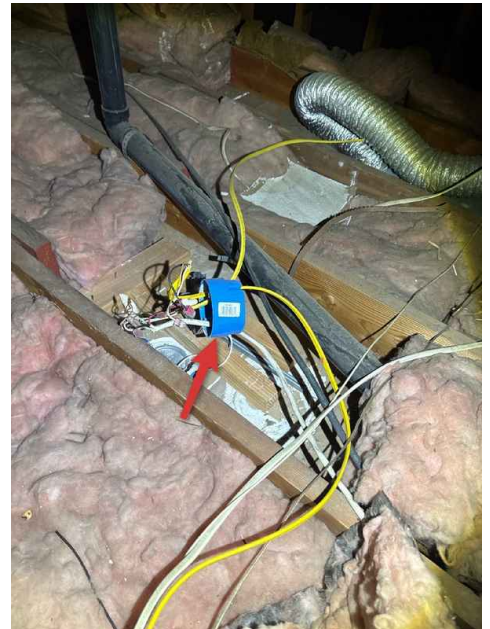
Defect Item and or Potential Safety Concern

UNSECURED JUNCTION BOX

Unsecured junction box(es) noted. This is not in keeping with good electrical standards. Recommend further evaluation and repair by a licensed electrical contractor as necessary at this time.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Attic

10.8.3 Branch Circuit Wiring



Defect Item and or Potential Safety Concern

UNSECURED WIRE - ATTIC

Sections of the wiring in the attic were noted unsecured. This is not in keeping with good electrical safety standards. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine repairs possible at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Garage Attic



Example Noted At Attic

10.12.1 Operation Of AFCI (Arc Fault Circuit Interrupters)



Attention and or Item In Need Of Service

NONE OR NOT ENOUGH AFCI'S

The home did not appear to be equipped with AFCI protection in all areas required by today's electrical standards. The current installation may have been acceptable when the home was originally built. However, we recommend further evaluation by a licensed electrical contractor to determine repairs or upgrades necessary at this time for safety and to comply with today's standards. An AFCI is a breaker, usually installed in the main panel, for detecting electrical arcs. Please watch this [What is an AFCI Video](#) to learn more about what an AFCI is.

Recommendation

Contact a qualified electrical contractor.



Example Noted At Sub Panel

10.13.1 Cable And Telephone Entrance



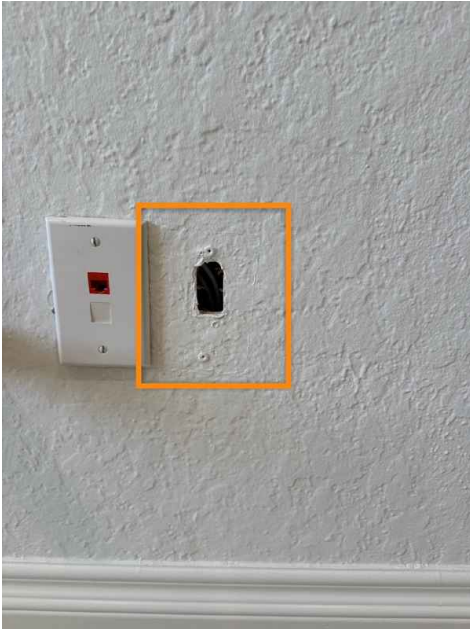
Attention and or Item In Need Of Service

MISSING/LOOSE PHONE/TV COVERS/JUNCTION BOX

The cover(s) and or junction box for the phone/TV service entrance boxes are missing, loose, or damaged. This can allow water and pest intrusion. Recommend replacement as necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Bedroom 2

11: EXTERIOR

		IN	NI	NP	D
11.1	Exterior General	X			
11.2	Styles And Materials	X			
11.3	Siding, Flashing & Trim				X
11.4	Exterior Doors	X			
11.5	Eaves, Soffits & Fascia				X
11.6	Walkways, Patios & Driveways				X
11.7	Decks, Balconies, Porches & Steps	X			
11.8	Vegetation, Grading, Drainage & Retaining Walls				X
11.9	Exterior Electrical Components				X
11.10	Plumbing & Fixtures				X
11.11	Gate(s) And Fencing				X

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials: Exterior Entry Door

Glass, Wood

Styles And Materials: Appurtenance

Entry Way, Porch, Steps, Sidewalks, Patio

Eaves, Soffits & Fascia: Fascia Material

Wood

Walkways, Patios & Driveways: Driveway Material

Concrete

Styles And Materials: Siding Material

Stucco

Exterior Doors: Patio door

Sliding door

Eaves, Soffits & Fascia: Eaves Material

Wood

Walkways, Patios & Driveways: Patio Material

Concrete

Styles And Materials: Trim Material

Wood

Eaves, Soffits & Fascia: Soffit Material

Wood

Walkways, Patios & Driveways: Walkway Material

Concrete

Exterior General: Exterior General

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse when photo eye sensors are tripped; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Vegetation, Grading, Drainage & Retaining Walls: Grounds condition

Dry

Seasonally there may be conditions that limit a full visible inspection of this area. While these conditions may limit our capability we will include photographs to document the condition at the time of inspection. The home inspector tried everything within reason, however, a limitation prevents the further inspection of this area.

Limitations

Exterior General

EXTERIOR LIMITATIONS

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues, as it relates to the comments in this inspection report.

Exterior Electrical Components

SENSOR LIGHTS - NOT TESTED

Testing sensor lights is beyond the scope of this standard home inspection. Recommend asking the seller to demonstrate operation/function and/or have further evaluated by a qualified professional, if necessary at this time, to ensure proper function.

Observations

11.3.1 Siding, Flashing & Trim

SIDING(S) CRACKING



Recommendation and or Observation Item

The siding material was observed to have some typical cracking, this appears to be from minor heat, expansion and contraction, and does not appear to be structural in nature. If you have further concerns on the stucco, I recommend hiring A qualified professional to further evaluate your concerns.

Recommendation

Contact a qualified professional.



Example Noted At Front Of Home



Example Noted At Front Of Home

11.3.2 Siding, Flashing & Trim

DETERIORATED SIDING/TRIM

There were one or more areas to the homes exterior siding and or trim that was noted to be deteriorating at the time of inspection. Recommend further evaluation and corrections as needed by a qualified stucco contractor.

Recommendation

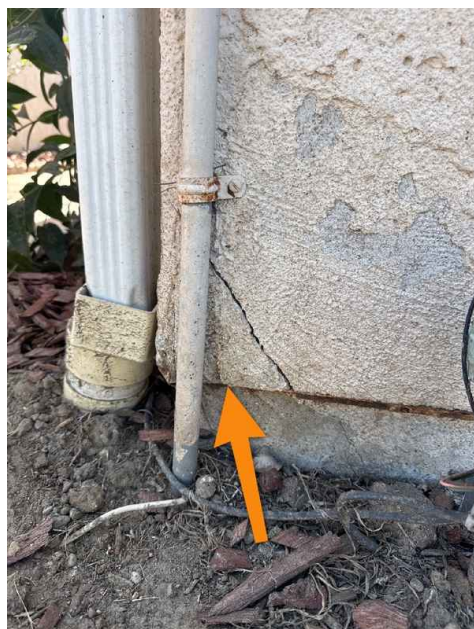
Contact a qualified siding specialist.



Attention and or Item In Need Of Service



Example Noted At Front Of Home



Example Noted At Front Of Home



Example Noted At Right Side Of Home



Example Noted At Rear Side Of Home

11.3.3 Siding, Flashing & Trim

RUSTED WEEP SCREED/FLASHING

The weep screed and or wall flashing in one or more areas to the home was rusting at the time of inspection. Recommend recommend further evaluation by a qualified professional to determine if repairs are necessary at this time.

Recommendation

Contact a qualified professional.



Attention and or Item In Need Of Service



Example Noted At Front Of Home



Example Noted At Front Of Home

11.3.4 Siding, Flashing & Trim

VEGETATION IN SIDING'S



Attention and or Item In Need Of Service

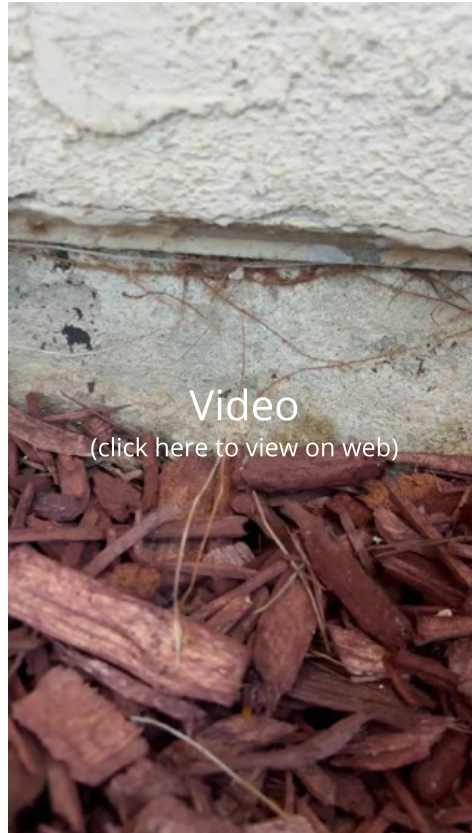
There was one or more areas to the home exterior, where there was evidence that vegetation had been growing into the siding. Recommend further evaluation by a qualified, licensed contractor to determine if corrections are necessary at this time.

Recommendation

Contact a qualified professional.



Example Noted At Front Of Home



11.5.1 Eaves, Soffits & Fascia

WOOD DESTROYING ORGANISM ACTIVITY.



Attention and or Item In Need Of Service

One or more areas to the homes Eve/ Fascia and/or raftertails was noted to have would destroying organism activity at the time of inspection. Recommend further evaluation and correction as needed by a qualified professional.

Recommendation

Contact a qualified roofing professional.



Example Noted At Front Of Home



Example Noted At Front Of Home

11.5.2 Eaves, Soffits & Fascia



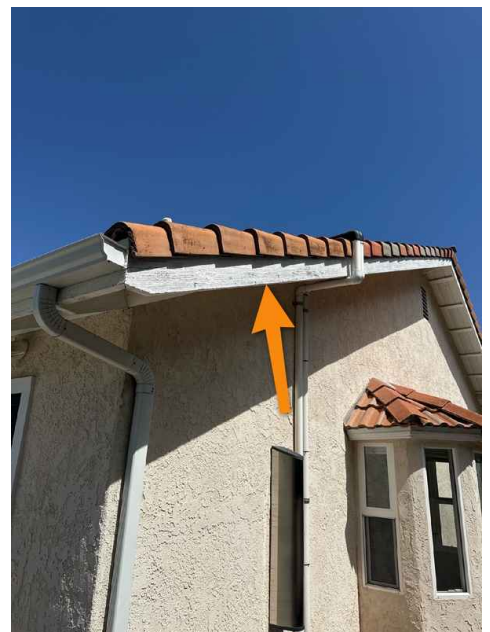
Attention and or Item In Need Of Service

PAINT/FINISH FAILING

The paint or finish is failing. This can lead to deterioration of the material. It is recommend that the areas be properly painted / finished.

Recommendation

Contact a qualified painting contractor.



Example Noted At Rear Side Of Home

11.5.3 Eaves, Soffits & Fascia



Attention and or Item In Need Of Service

EXPOSED WOOD SURFACES

Many areas of soffit, facia or eves are exposed bare wood. Recommend these areas to be sealed to prevent moisture damage.

Recommendation

Contact a qualified professional.



Example Noted At Front Of Home

11.6.1 Walkways, Patios & Driveways



Attention and or Item In Need Of Service

WALKWAY/STAIRS AND OR PATIO SETTLEMENT

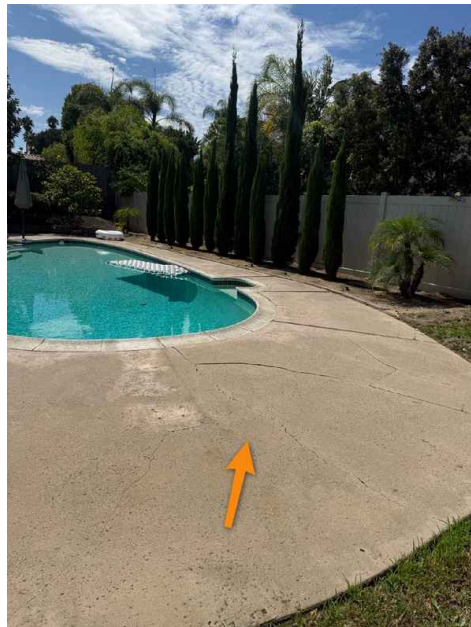
Exterior stairs, and or walkways are showing signs of settlement to the concrete in one or more areas around the home. In some cases, the settlement is typical and in some cases, the settlement may be A-typical. Recommend further evaluation by a qualified structural engineer to determine if repairs are necessary.

Recommendation

Contact a qualified concrete contractor.



Example Noted At Rear Side Of Home



Example Noted At Rear Side Of Home

11.6.2 Walkways, Patios & Driveways



Attention and or Item In Need Of Service

CRACKED TILE(S)

There was one or more exterior floor tiles that were damaged or cracked at the time of inspection. Recommend further evaluation and correction as needed by a qualified professional.

Recommendation

Contact a qualified professional.



Example Noted At Front Of Home

11.8.1 Vegetation, Grading, Drainage & Retaining Walls

GRADING -LOW AREAS - POOR DRAINAGE

Low/neutral areas noted at the grading which may cause water to pond during rain or extended irrigation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. This can be accomplished by properly sloping the ground away from the house, or adding yard drains (if necessary) to carry water away from low lying areas. Rain gutters should also be installed (if not present) and drained away from the house. Recommend further evaluation by a licensed grading contractor to determine any corrections necessary at this time to ensure proper drainage occurs.

Recommendation

Contact a qualified grading contractor.



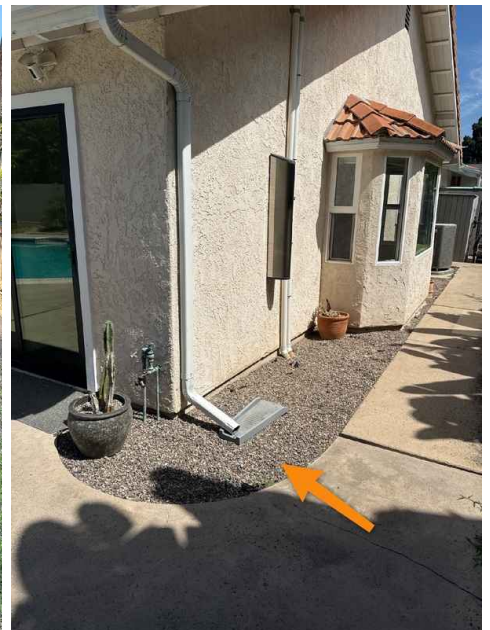
Attention and or Item In Need Of Service



Example Noted At Front Of Home



Example Noted At Right Side Of Home



Example Noted At Rear Side Of Home

11.8.2 Vegetation, Grading,
Drainage & Retaining Walls



Attention and or Item In Need Of Service

RETAINING WALL CRACKS

The retaining wall was observed to have deterioration. The cracks observed may not affect the function of the retaining wall. I recommend consulting with a licensed contractor as to the condition of the retaining wall.

Recommendation

Contact a qualified professional.



Example Noted At Rear Side Of Home

11.9.1 Exterior Electrical
Components



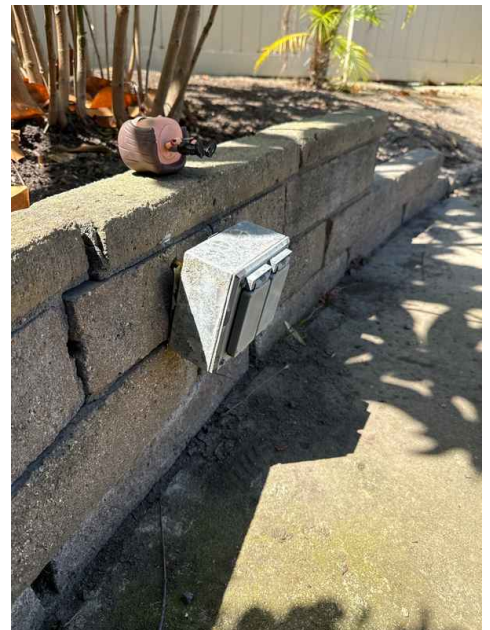
Defect Item and or Potential Safety Concern

RECEPTACLES/LIGHT SWITCHES LOOSE

Loose receptacle(s) and or Light switch(s) noted in one or more areas at the time of the inspection. This condition can put stress on the circuit wires which should not be moved. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine corrections necessary at this time to ensure proper function and safety.

Recommendation

Contact a qualified electrical contractor.



11.9.2 Exterior Electrical
Components



Attention and or Item In Need Of Service

GAP AT FIXTURE AND SIDING

Gap(s) noted between exterior electrical fixture(s) and the exterior siding. This condition can allow moisture intrusion to occur and prove to be an electrical safety concern. Recommend properly sealing of all exterior light fixtures to the exterior siding to forestall moisture intrusion and to ensure safety.

Recommendation

Contact a qualified professional.



Example Noted At Front Of Home

11.10.1 Plumbing & Fixtures

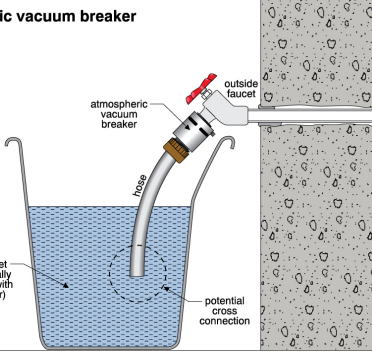
MISSING ANTI-SIPHON VALVES

 Recommendation and or Observation Item

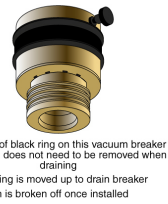
One or more hose bib(s) appeared to be missing its anti-siphon device. This condition can allow cross contamination of your home's potable water supply which can prove to be a health safety concern. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine corrections necessary at this time.

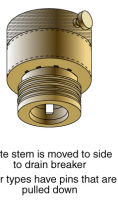
Recommendation
Contact a qualified plumbing contractor.

Atmospheric vacuum breaker



Hose bibb vacuum breakers (draining required)







Example Noted At Front Of Home

11.11.1 Gate(s) And Fencing



Attention and or Item In Need Of Service

LEANING FENCING/WALL

Sections of the fencing and or yard wall noted to be leaning at the time of inspection. The fencing/wall is likely in need of repair or possible replacement. Recommend consulting a licensed fence contractor for any repairs necessary at this time.

Recommendation

Contact a qualified fencing contractor



Example Noted At Right Side Of Home

12: ROOF

		IN	NI	NP	D
12.1	Styles And Materials	X			
12.2	Roof Coverings				X
12.3	Flashing and Roof Penetrations	X			
12.4	Roof Drainage Systems				X

IN = Inspected

NI = Not Inspected

NP = Not Present

D = Deficiency/Potential Safety Concern

Information

Approximate Age Of Roof

Unknown

Styles And Materials: Roof Pitch

Steep Slope

Styles And Materials: Roof Type/Style

Gable, Valley

Styles And Materials: Roof Structure

Plywood, 2 X 8 Rafters, Lateral Bracing

Roof Drainage Systems: Gutter Material

Aluminum

Roofing System Overview

The home inspector shall observe: Roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or observe attached accessories including, but not limited to; solar systems, antennae, and lightning arrestors.

If this home is identified as having a tile roof covering, it was inspected from the ground and attic to avoid damaging the roof covering, and possibly voiding the warranty. This is in accordance with the CREIA and ASHI standards of practice.

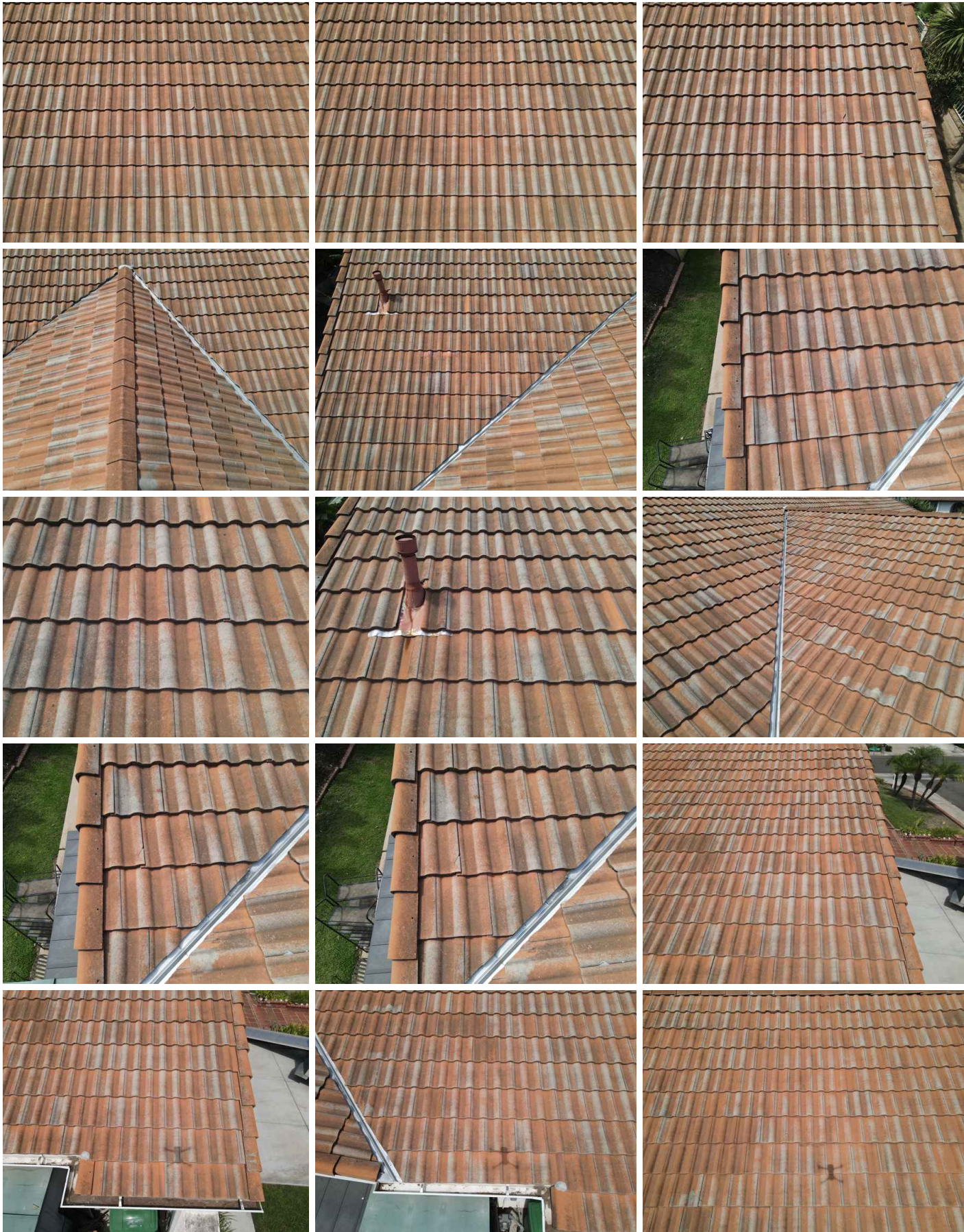
The entire roof was not visible and we cannot guarantee that all of the tiles are in good condition. We recommend that you have the roof inspected by a licensed roofing contractor if you are concerned that there may be tiles that are broken or have slipped out of position.

We recommend that you include "roof" coverage on a home warranty. To guarantee this roof will not leak, you would need to have a roofing company perform a water test and issue a roof certification, which is beyond the scope of a home inspection. However, the sellers or the occupants will generally have the most intimate knowledge of the roof, and you should ask them about its history and then schedule a regular maintenance service.

Please note that a home inspection is neither a guarantee of any kind against leaking, nor a warranty of the longevity of the roof. It is a visual evaluation of the roof and the attic below. We strongly recommend that you purchase and maintain a roof rider with your home warranty.

General Photo's Of Roof

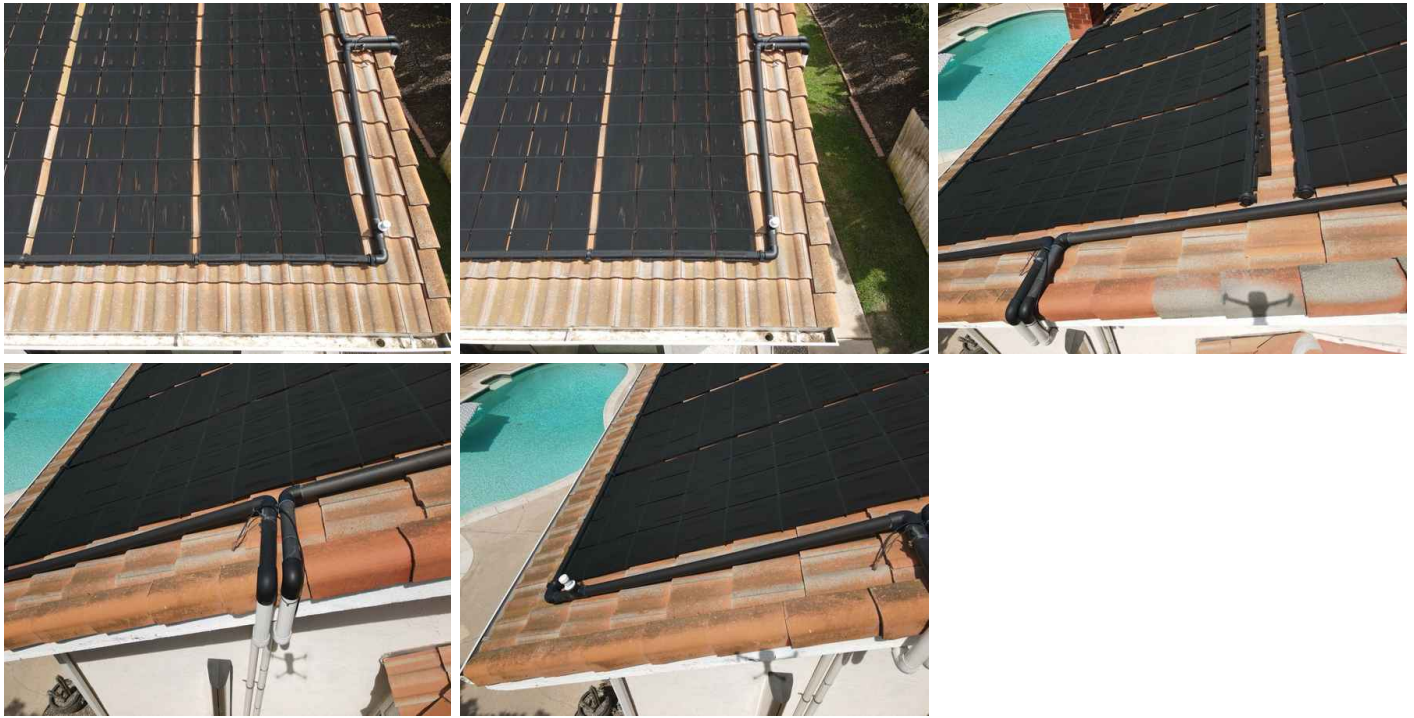












Styles And Materials: Inspection Method

Drone

It is not required for a home inspector to climb a roof if the task is deemed unsafe by the inspector. Conditions at the time of the inspection may prevent inspection from the roof surface. If the conditions prevent an inspection from the roof surface a drone may be used. The use of a drone is not always an option due to FAA regulations. The inspector will attempt all available options to provide as much detail as possible given the conditions.

Styles And Materials: Material Type

Tile, Concrete

General Roofing Material Information

Roofing materials have varying lifespans. Materials listed have the following average life expectancy based on manufacturer data.

Roll Asphalt 5-15

3-Tab Asphalt 20-25 years

Architectural asphalt 25-30 years

Slate 125 years

Wood 20-60 years

EPDM 22-35 years

Modified BITUMEN 20 years

Cement/Clay tile 50-100 years

Metal 40-70 years

Limitations

General

ROOFING LIMITATIONS

The roof of the home was inspected and reported on with the below information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during the inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes can not. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General

ROOF UNDERLAYMENT

Due to lack of visibility as a result of the installed roof coverings, we are not able to inspect, evaluate or comment on the condition or installation of the roof underlayment system. Deficiencies with the underlayment can include, but are not limited to: Premature failure, shrinkage, not installed, improper installation or physical damage. As a result of these limitations, we recommend further evaluation by a licensed roofing contractor to determine if latent defects exist.

Flashing and Roof Penetrations

ROOF PENETRATIONS - LIMITED INSPECTION

My inspection of the roof penetrations/flashings was limited to what could be seen from our vantage points. We cannot guarantee that all the roof penetrations/flashings are in good condition. We highly recommend contacting a licensed roofing contractor or qualified professional for further evaluation.

Flashing and Roof Penetrations

WATER TEST NOT PERFORMED

Performing a water test on a roof (spraying water onto the roof for a period of time to determine if it leaks) is outside the scope of this standard home inspection. The inspector inspects the roof in accordance with the Standards of Practice set forth by the Inter-National Association of Certified Home Inspectors (InterNACHI). Because of this limitation, we strongly urge you to consult a licensed roofing contractor before the removal of contingencies to determine if latent defects exist.

Observations

12.2.1 Roof Coverings

CRACKED AND OR CHIPPED TILE(S)



Attention and or Item In Need Of Service

There was cracked and or chipped tile(s) noted at one or more areas of the roof. The roof covering was inspected from the ground and attic to avoid damaging the roof covering, and possibly voiding the warranty. This is in accordance with the InterNACHI standards of practice. The entire roof was not visible, and there may be additional defects. We recommend further evaluation of the entire roof before the removal of contingencies by a licensed roofing contractor and repair as necessary to ensure proper function.

Recommendation

Contact a qualified roofing professional.



Example Noted At Roof



Example Noted At Roof



Example Noted At Roof



Example Noted At Roof



Example Noted At Roof

12.2.2 Roof Coverings



Attention and or Item In Need Of Service

SLIPPED TILES

Slipped tiles noted at one or more areas on the roof. This condition exposes the underlayment to direct sunlight which can cause UV damage and allow roof leaks to develop. Recommend further evaluation of the entire roof surface by a licensed roofing contractor before the removal of contingencies to determine repairs necessary at this time to ensure proper function.

Recommendation

Contact a qualified roofing professional.



Example Noted At Roof

12.4.1 Roof Drainage Systems

⚠ Attention and or Item In Need Of Service

DOWNSPOUTS DRAIN NEAR HOUSE

One or more downspouts drain too close to the home's foundation. This can result in excessive moisture in the soil at the foundation, which can lead to foundation/structural movement. Recommend a qualified contractor adjust downspout extensions to drain 3-5 feet from the foundation.

[Here is a helpful DIY link](#) and video on draining water flow away from your house.

Recommendation

Contact a qualified gutter contractor



Example Noted At Rear Side Of Home

13: FOUNDATION, STRUCTURE & CRAWLSPACE

		IN	NI	NP	D
13.1	Structural-General Information	X			
13.2	Styles And Materials	X			
13.3	Foundation, Crawl Space(s) And Basement(s)				X
13.4	Walls (Structural)	X			
13.5	Foundation Posts, Piers And Columns			X	
13.6	Structural Flooring	X			
13.7	Structural Ceilings	X			
13.8	Presence Of Foundation Bolts	X			

IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Information

Styles And Materials: Method Used to Observe Crawl Space

No Crawl Space

Styles And Materials: Foundation Slab On Grade

Slab On Grade

Styles And Materials: Columns or Piers

None

Styles And Materials: Wall Structure

Wood, Not Visible

Styles And Materials: Floor Structure

Slab, Partially Visual From Exterior
Perimeter

Styles And Materials: Ceiling Structure

Partially Visible, 2X4, Ceiling Joist

Foundation, Crawl Space(s) And Basement(s) : Location Of Crawlspace Access

No Crawlspace

Structural-General Information: Structural General Information

The Home Inspector shall observe structural components including foundations, floors, walls, columns and piers, ceilings and roof. The home inspector shall describe the type of foundation, floor structure, wall structure, columns and piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to, or adversely effect the health of the home inspector or other persons.

Limitations

Structural-General Information

STRUCTURAL INSPECTION LIMITATIONS

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Foundation, Crawl Space(s) And Basement(s)

LIMITED INSPECTION - VEGETATION OR OBSTRUCTIONS

Due to floor coverings, vegetation, siding and/or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Walls (Structural)

STRUCTURAL WALLS NOT VISIBLE

Due to the construction of the home, the structure of the walls and framing are not visible during the time of inspection. Please note that as a home inspector, we do our best to identify any type of structural defects during the time of inspection. Recommend further evaluation by a licensed structural engineer to determine if any repairs are necessary at this time.

Structural Flooring

FLOOR/FOUNDATION INSPECTION LIMITATIONS

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Structural Ceilings

CEILING INSPECTION LIMITATIONS

Most or all of the walls and ceilings are covered and structural members are not visible. I could not see behind these coverings. No obvious problems discovered at the time of the inspection.

Presence Of Foundation Bolts

HOME LIKELY BOLTED - NOT VISIBLE

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be seen because of this. We recommend further evaluation by a licensed foundation contractor to confirm the presence of foundation bolts.

Observations

13.3.1 Foundation, Crawl Space(s) And Basement(s)

 Attention and or Item In Need Of Service

EFFLORESCENCE

White efflorescence (powder substance) on concrete walls and or foundation slab indicates moisture is in contact with the masonry. This does not necessarily indicate that intrusion will occur, (efflorescence is found on many homes without water intrusion occurring inside the home) however, it should alert you to the possibility that future steps may be necessary. This is typically a result of over-watering, poor downspout termination points or improper site drainage. Recommend further evaluation by a licensed foundation contractor, waterproofing contractor and/or grading and drainage contractor to determine repairs necessary at this time. We also recommend installing gutters if this home is not currently equipped with them.

Recommendation

Contact a foundation contractor.



Example Noted At Primary Bedroom Closet

14: POOL / SPA EQUIPMENT NOT INSPECTED

		IN	NI	NP	D
14.1	OPERATIONAL CONDITION OF POOL		X		
14.2	SAFETY/ FENCING AND/OR COVER		X		

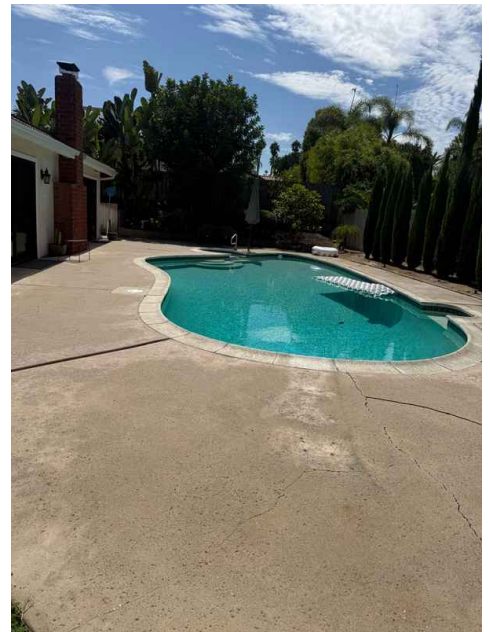
IN = Inspected NI = Not Inspected NP = Not Present D = Deficiency/Potential Safety Concern

Limitations

OPERATIONAL CONDITION OF POOL

POOL/SPA - NOT INSPECTED

We do not evaluate pools or spas as part of this standard home inspection service. It is advised that the pool and/or spa and all related equipment be further evaluated by a licensed pool contractor prior to the removal of contingencies to determine the scope of repairs and maintenance necessary at this time.



15: COMPLIMENTARY PHOTO'S

		IN	NI	NP	D
15.1	Interior Photos	X			

IN = InspectedNI = Not InspectedNP = Not PresentD = Deficiency/Potential Safety Concern

Information

Interior Photos: Dining Room



Interior Photos: Kitchen



Interior Photos: Living Room



Interior Photos: Hall Bathroom



Interior Photos: Primary Bedroom



Interior Photos: Bedroom 2



Interior Photos: Bedroom 3



General Photos

The photographs in this section of this inspection report are not intended to point out defects. These photographs have been provided to you as a complimentary service and are for your information. Only a limited representative number of rooms or locations are included in this Complimentary Photographs section.

STANDARDS OF PRACTICE

Inspection Details

Bathrooms

Section 197-5.8 Plumbing System

- (a) Home inspectors shall observe and report on the following visibly and readily accessible components, systems and conditions:
1. Interior water supply and distribution systems including fixtures and faucets;
 2. Drain, waste and vent systems;
 3. Water heating equipment and vents and pipes;
 4. Fuel storage and fuel distribution systems and components;
 5. Drainage sumps, sump pumps, ejector pumps and related piping;
 6. Active leaks.
- (b) In inspecting plumbing systems and components, home inspectors shall operate all readily accessible:
1. Fixtures and faucets;
 2. Domestic hot water systems;
 3. Drain pumps and waste ejectors pumps;
 4. The water supply at random locations for functional flow;
 5. Waste lines from random sinks, tubs and showers for functional drainage;
- (c) Home inspectors are not required to:
1. Operate any main, branch or fixture valve, except faucets, or to determine water temperature;
 2. Observe and report on any system that is shut down or secured;
 3. Observe and report on any plumbing component that is not readily accessible;
 4. Observe and report on any exterior plumbing component or system or any underground drainage system;
 5. Observe and report on fire sprinkler systems;
 6. Evaluate the potability of any water supply;
 7. Observe and report on water conditioning equipment including softener and filter systems;
 8. Operate freestanding or built in appliances;
 9. Observe and report on private water supply systems;
 10. Test shower pans, tub and shower surrounds or enclosures for leakage;
 11. Observe and report on gas supply system for materials, installation or leakage;
 12. Evaluate the condition and operation of water wells and related pressure tanks and pumps; the quality or quantity of water from on-site water supplies or the condition and operation of on-site sewage disposal systems such as cesspools, septic tanks, drain fields, related underground piping, conduit, cisterns and equipment;
 13. Observe, operate and report on fixtures and faucets if the flow end of the faucet is connected to an appliance;
 14. Record the location of any visible fuel tank on the inspected property that is not within or directly adjacent to the structure;
 15. Observe and report on any spas, saunas, hot-tubs or jetted tubs;
 16. Observe and report on any solar water heating systems.
- (d) Home inspections shall describe the water supply, drain, waste and vent piping materials; the water heating equipment including capacity, and the energy source and the location of the main water and main fuel shut-off valves. In preparing a report, home inspectors shall state whether the water supply and waste disposal systems are a public, private or unknown.

Interior Areas

Section 197-5.12 Interior

- (a) Home inspectors shall:
1. Observe and report on the material and general condition of walls, ceilings and floors;
 2. Observe and report on steps, stairways and railings;
 3. Observe, operate and report on garage doors, garage door safety devices and garage door operators;
 4. Where visible and readily accessible, observe and report on the bath and/or kitchen vent fan ducting to determine if it exhausts to the exterior of the residential building;
 5. Observe, operate and report on a representative number of primary windows and interior doors;
 6. Observe and report on visible signs of water penetration.
- (b) Home inspectors are not required to:
1. Ignite fires in a fireplace or stove to determine the adequacy of draft, perform a chimney smoke test or observe any solid fuel device in use;
 2. Evaluate the installation or adequacy of inserts, wood burning stoves or other modifications to a fireplace, stove or chimney;
 3. Determine clearance to combustibles in concealed areas;

4. Observe and report on paint, wallpaper or other finish treatments;
5. Observe and report on window treatments;
6. Observe and report on central vacuum systems;
7. Observe and report on household appliances;
8. Observe and report on recreational facilities;
9. Observe and report on lifts, elevators, dumbwaiters or similar devices.

Attic, Insulation & Ventilation

Section 197-5.15 Attics (a).

Home inspectors shall observe and report on any safe and readily accessible attic space describing:

1. The method of observation used; and
2. Conditions observed. (b).

Home inspectors are not required to enter any attic where no walkable floor is present or where entry would, in the opinion of the home inspector, be unsafe.

Section 197-5.13

Insulation and Ventilation (a). Home inspectors shall:

1. Observe, describe and report on insulation in accessible, visible unfinished spaces;
2. Observe, describe and report on ventilation of accessible attics and foundation areas;
3. Observe and report on mechanical ventilation systems in visible accessible areas.

(b). Home inspectors are not required to:

1. Disturb insulation;
2. Operate mechanical ventilation systems when weather or other conditions are not conducive to safe operation or may damage the equipment.

Heating and Cooling Systems

Section 197-5.10 Heating System

(a). Home inspectors shall:

1. Describe the type of fuel, heating equipment and heating distribution system;
2. Operate the systems using thermostats;
3. Open readily accessible and operable access panels provided by the manufacturer or installer for routine homeowner maintenance;
4. Observe and report on the condition of normally operated controls and components of the systems;
5. Observe and report on visible flue pipes, dampers and related components for functional operation;
6. Observe and report on the presence of and the condition of a representative number of heat sources in each habitable space of the residential building;
7. Observe and report on the operation of fixed supplementary heat units;
8. Observe and report on visible components of vent systems, flues and chimneys;

(b). Home inspectors are not required to:

1. Activate or operate the heating systems that do not respond to the thermostats or have been shut down;
2. Observe, evaluate and report on heat exchangers;
3. Observe and report on equipment or remove covers or panels that are not readily accessible;
4. Dismantle any equipment, controls or gauges;
5. Observe and report on the interior of chimney flues;
6. Observe and report on heating system accessories, such as humidifiers, air purifiers, motorized dampers and heat reclaimers;
7. Activate heating, heat pump systems or any other system when ambient temperatures or other circumstances are not conducive to safe operation or may damage the equipment;
8. Evaluate the type of material contained in insulation and/or wrapping of pipes, ducts, jackets and boilers;
9. Evaluate the capacity, adequacy or efficiency of a heating or cooling system;
10. Test or operate gas logs, built-in gas burning appliances, grills, stoves, space heaters or solar heating devices or systems;
11. Determine clearance to combustibles or adequacy of combustion air;
12. Test for gas leaks or carbon monoxide;
13. Observe and report on in-floor and in-ceiling radiant heating systems.

Section 197-5.11 Air Conditioning Systems

(a). Home inspectors shall:

1. Observe, describe and report on the type of air conditioning equipment and air conditioning distribution system;
2. Operate the system using the thermostat;
3. Open a representative number of readily accessible and operable access panels provided by the manufacturer for routine homeowner maintenance;

4. Observe and report on the condition of normally operated controls and components of the system.
- (b). Home inspectors are not required to:
 1. Activate or operate air conditioning systems that have been shut down;
 2. Observe and report on gas-fired refrigeration systems, evaporative coolers, or wall or window-mounted air conditioning units;
 3. Check the pressure of the system coolant or determine the presence of leakage;
 4. Evaluate the capacity, efficiency or adequacy of the system;
 5. Operate equipment or systems if exterior temperature is below 65 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage equipment;
 6. Remove covers or panels that are not readily accessible or that are not part of routine homeowner maintenance;
 7. Dismantle any equipment, controls or gauges;
 8. Check the electrical current drawn by the unit;
 9. Observe and report on electronic air filters.

Exterior

Section 197-5.6 Exterior:

- (a) Home inspectors shall observe and report on:
 1. All exterior walls and coverings, flashing and trim;
 2. All exterior doors including garage doors and operators;
 3. All attached or adjacent decks, balconies, stoops, steps, porches and railings;
 4. All eaves, soffits and fascias where accessible from the ground level;
 5. All adjacent walkways, patios and driveways on the subject property;
 6. The condition of a representative number of windows.
- (b) Home inspectors are not required to observe and report on the following:
 1. Screening, shutters, awnings and other seasonal accessories;
 2. Fences;
 3. Geological and/or soil conditions;
 4. Recreational facilities;
 5. Out-buildings other than garages and carports;
 6. Tennis courts, jetted tubs, hot tubs, swimming pools, saunas and similar structures that would require specialized knowledge or test equipment;
 7. Erosion control and earth stabilization measures;
 8. The operation of security locks, devices or systems;
 9. The presence of safety-type glass or the integrity of thermal window seals or damaged glass.

Roof

I. The inspector shall inspect from ground level or the eaves: A. the roof-covering materials; B. the gutters; C. the downspouts; D. the vents, flashing, skylights, chimney, and other roof penetrations; and E. the general structure of the roof from the readily accessible panels, doors or stairs. II. The inspector shall describe: A. the type of roof-covering materials. III. The inspector shall report as in need of correction: A. observed indications of active roof leaks. IV. The inspector is not required to: A. walk on any roof surface. B. predict the service life expectancy. C. inspect underground downspout diverter drainage pipes. D. remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces. E. move insulation. F. inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. G. walk on any roof areas that appear, in the inspectors opinion, to be unsafe. H. walk on any roof areas if doing so might, in the inspector's opinion, cause damage. I. perform a water test. J. warrant or certify the roof. K. confirm proper fastening or installation of any roof-covering material.