



ACI

Building Your Wealth Through
Apartment Investments

5442 LAURETTA MARKETING PKG.

6 Units in Morena Within Blocks to USD 5442 Laretta St, San Diego 92110

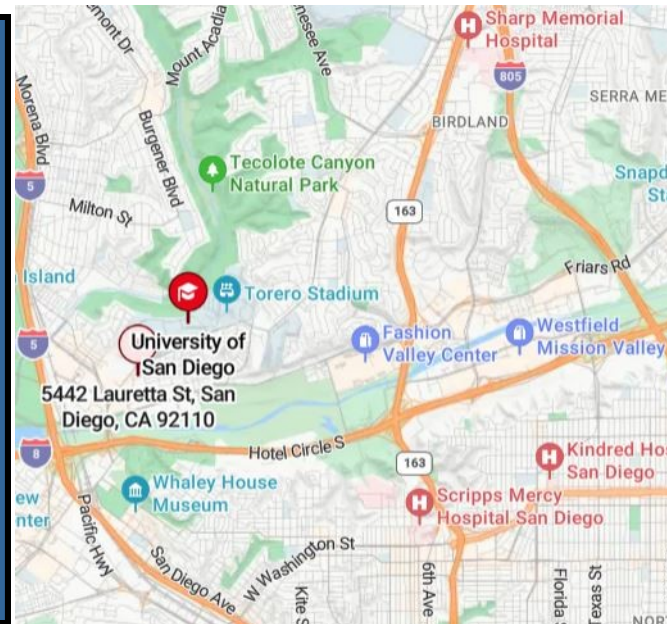
\$2,649,000



- *Just a few blocks to USD.*
- *Brand new exterior paint.*
- *All easy to rent 2 bed/1 bath units.*
- *Off-street parking.*
- *Close to beaches, shopping, restaurants and major freeways.*

Video Tour:

<https://www.soldbyair.com/list/Terry-Moore-CCIM-5442-Lauretta-St-San-Diego-CA-92110-Branded>



Exclusively Listed By:

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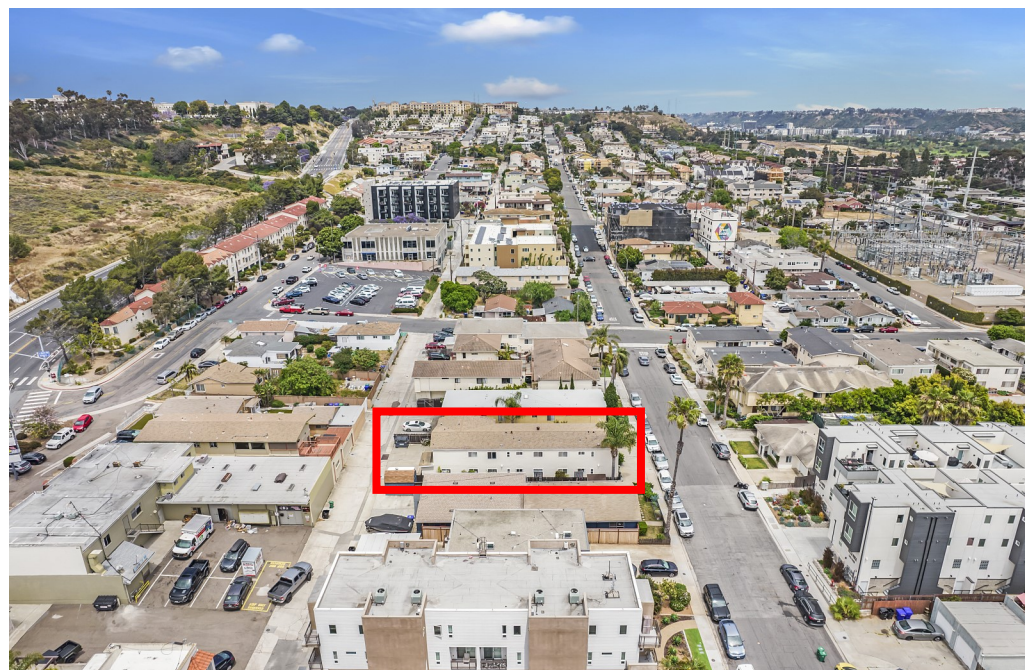


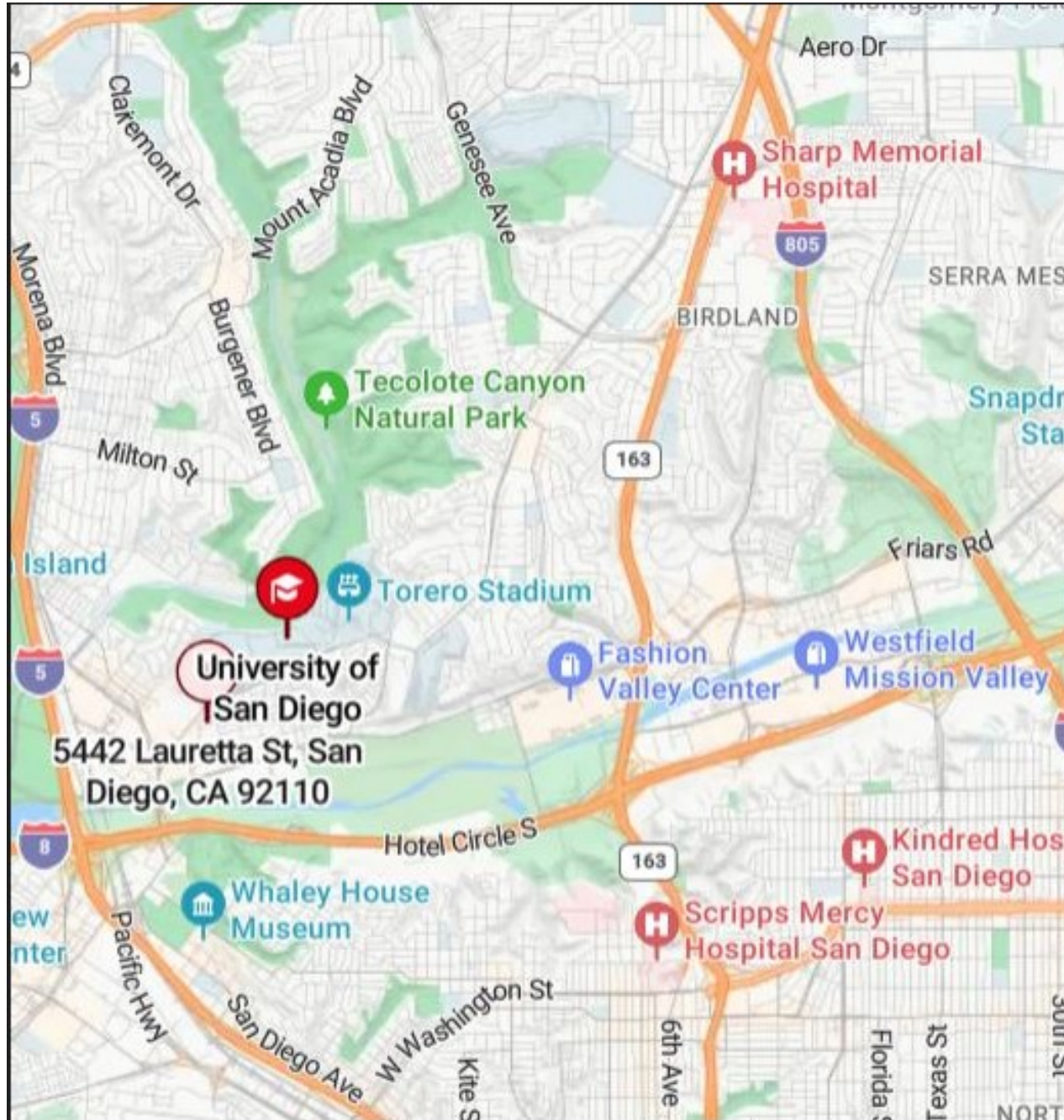


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APARTMENT INVESTMENT INFORMATION

# Units	Address	City	State	Zip	Yr Built (Aprx.)	Gross Sq. Ft.	Parcel Size	Acres	APN
6	5442 Lauretta St	San Diego	CA	92110	1959	4,232	5,142	0.12	436-361-14-00

GRM			CAP Rate %			Rentable			
Price	Current	Potential	Current	Potential	\$ / Unit	\$ / Sq Ft	Sq Ft		
\$2,649,000	17.2	15.0	3.4%	4.2%	\$441,500	\$626	4,232		

Estimated Average Monthly Income Analysis							Estimated Annual Operating Expenses			
Units	Bed	Bath	Current Rent	Total	Potential Rent	Total	Advertising	Mgt-Off Site		
1	2	1.0	\$2,400	\$2,400	\$2,640	\$2,640	\$0		\$7,402	
2	2	1.0	* \$2,200	\$4,400	\$2,505	\$5,010			\$0	
1	2	1.0	\$1,975	\$1,975	\$2,250	\$2,250				
1	2	1.0	\$1,875	\$1,875	\$2,135	\$2,135			\$0	
1	2	1.0	** \$2,200	\$2,200	\$2,640	\$2,640				
* Owners unit							Gardener	\$1,500	Repairs / Replacements	\$6,600
** Currently vacant							Gas & Electric	\$1,920	Salaries	\$0
0	Garage Spaces - Income		\$0	\$0	\$0	\$0	Insurance	\$3,000	Taxes*	\$32,450
no	Laundry Income		\$0	\$0	\$0	\$0	Legal / Accounting	\$0	*Based upon sale price	\$1,500
no	RUBS		\$0	\$0	\$0	\$0	Mgt-On Site	\$0	Trash Collection	\$4,080
no	Other Income		\$0	\$0	\$0	\$0			Water & Sewer	\$4,080
Total Rental & Other Income			\$12,850	\$12,850	\$14,675	\$14,675			Total Annual Expenses	\$58,452
4 Total Parking Spaces									Expenses per: Est Sq Ft:	\$13.81
0 Garage									Unit:	\$9,742
4 Open									GSI:	37.91%

Annual Operating Proforma					Financing Information					
			Actual	Potential	Down Payment	Interest Rate	# of Years Amortized Over	Proposed Financing	Existing Financing	Debt Coverage Ratio
Gross Rental Income			\$154,200	\$176,100	63%	6.50%	30	37%	0	Current 1.21
Plus Other Income			\$0	\$0	Amount			Amount		
Gross Scheduled Income			\$154,200	\$176,100						
Less: Vacancy Factor	4%		\$6,168	\$7,044						
Gross Operating Income			\$148,032	\$169,056						
Less: Operating Expenses	37.9%		\$58,452	\$58,452						
Net Operating Income			\$89,580	\$110,604						
Less: First TD Payments			\$74,140	\$74,140						
Pre-Tax Cash Flow			\$15,440	\$36,464						

Fantastic location just two blocks from USD. All units have hard surface flooring throughout.

Exterior was just repainted in early June, 2024.

Laundry room is currently used as storage. New owner might consider putting laundry equipment in that space.








* One unit is the owners unit, which will be vacant at close of escrow. ** The currently vacant unit can be rented for \$2200 before close of escrow.

The two apartments with the lowest rents could be raised within 90 days of close of escrow.

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COMPARABLE SALES

#	Property Address City, Zip	Sale Price	# of Units	\$/Unit	\$/SqFt	GRM	CAP	Garages	Year Built	Down Payment	Close of Escrow	Unit Mix			
												Studio	1BR	2BR	3BR
1)	3738-46 Florida St, SD 92104 	\$2,850,000	7	\$407,143	\$564	18.7	3.2%	7	1929	100%	Aug-23			7	
2)	3373-3379 Herman Ave, SD 92104 	\$2,425,000	5	\$485,000	\$563	17.6	3.7%	2	1912	21%	Apr-24		2	3	
3)	3981 Oregon St, SD 92104 	\$4,535,000	9	\$503,889	\$817	N/A	N/A	0	1966	100%	Apr-24		6	3	
4)	4067-79 Normal St, SD 92103 	\$4,950,000	12	\$412,500	\$645	N/M	N/M	8	1951	17%	Oct-23		4	8	
5)	4218 34th St, SD 92104 	\$1,565,000	5	\$313,000	\$413	N/A	N/A	0	1945	100%	May-24		1	4	
6)	4818-24 Muir Ave, SD 92107 	\$2,150,000	5	\$430,000	\$676	16.1	4.1%	0	1966	19%	Oct-23		2	3	
7)	3104 Meade Ave, SD 92116 	\$3,150,000	9	\$350,000	\$490	18.8	3.1%	7	1987	100%	Jan-24		2	7	



COMPARABLE SALES MAP



- | | |
|-----------------------------------|-------------------------------|
| 1) 3738-46 Florida St, SD 92104 | 6) 4818-24 Muir Ave, SD 92107 |
| 2) 3373-3379 Herman Ave, SD 92104 | 7) 3104 Meade Ave, SD 92116 |
| 3) 3981 Oregon St, SD 92104 | |
| 4) 4067-79 Normal St, SD 92103 | |
| 5) 4218 34th St, SD 92104 | |



RENT SURVEY - 5442 Laretta St 92110

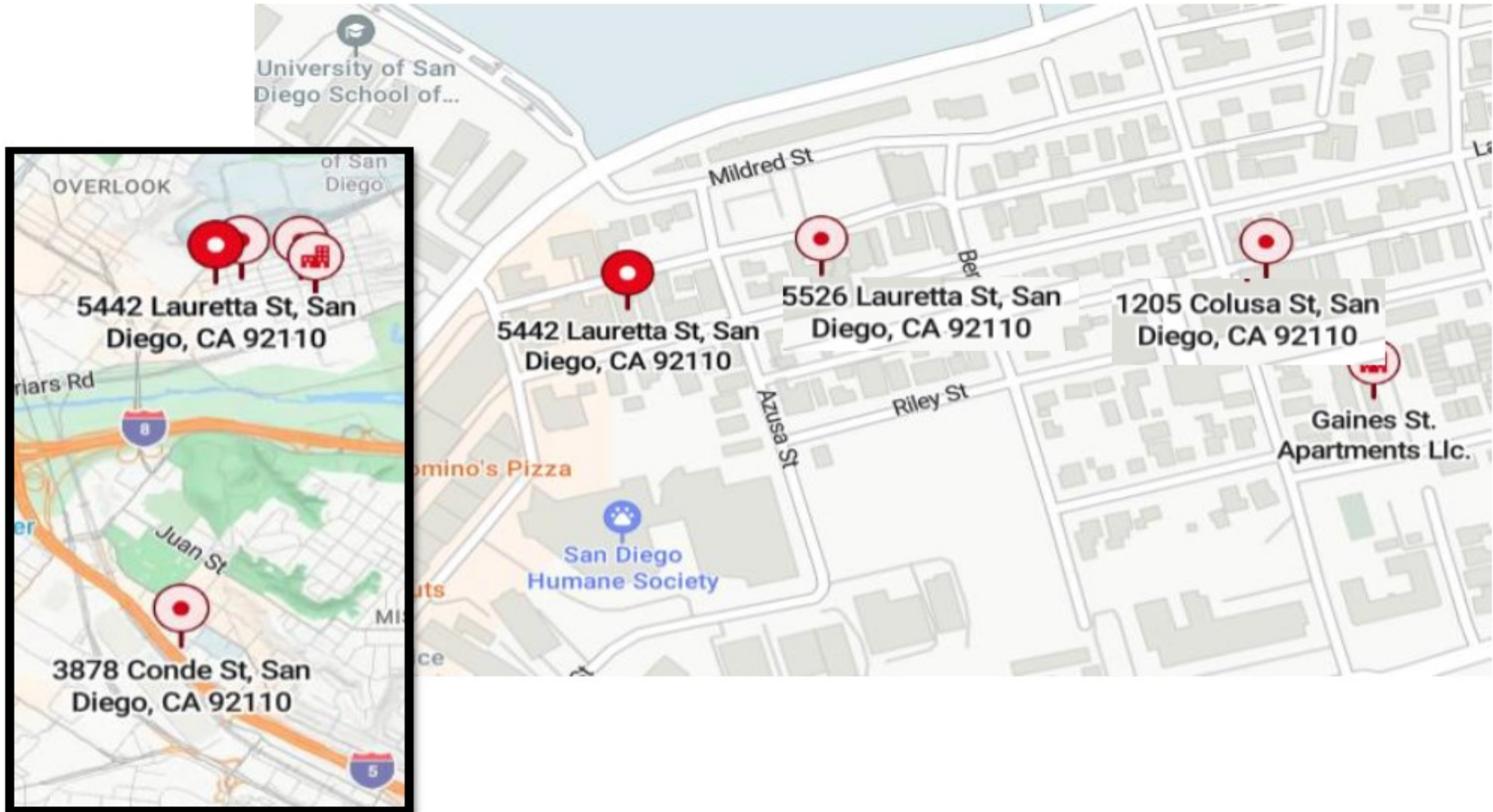


#	Photo	Building	Year Built	Total Units	Unit Type	Rents	Comments
1		1205 Colusa St San Diego 92110	1985	22	Studio 1Br/1Ba 2Br/1Ba 2Br/2Ba 3Br/2Ba	\$2,850	Updated unit. In-unit washer/dryer One covered and one open parking spot.
2		3878 Conde St San Diego 92110	1948	5	Studio 1Br/1Ba 2Br/1Ba 2Br/2Ba 3Br/2Ba	\$2,395	Updated unit. Off street parking.
3		5720 Gaines St San Diego 92110	1969	35	Studio 1Br/1Ba 2Br/1Ba 2Br/2Ba 3Br/2Ba	\$2,500	Upgraded unit. Patio. Off-street parking.
4		5526 Laretta St San Diego 92110	2021	30	Studio 1Br/1Ba 2Br/1Ba 2Br/2Ba 3Br/2Ba	\$2,935	New modern units. In-unit washer/dryer. Covered parking.

Rental Averages		Year Built	Units	Studio	
		1981	23	1Br/1Ba	
				2Br/1Ba	\$2,670
				2Br/2Ba	
				3Br/2Ba	



Rental Survey Map



- 1) 1205 Colusa St, SD 92110
- 2) 3878 Conde St, SD 92110
- 3) 5720 Gaines St, SD 92110
- 4) 5526 Laurretta St, SD 92110