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PROPERTY INSPECTION REPORT

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06/02/2025



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1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview

A home inspection is a non invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the InterNACHI Standards of Practice, that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. This inspection will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

General: Notes

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Note: Read the [Standards of Practice](#) set forth by the [InterNational Association of Certified Home Inspectors](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended.

It is HIGHLY recommended that you purchase and maintain a comprehensive home warranty, including coverage for your roofing, heating and air conditioning, plumbing, and electrical systems and renew it each year you own this house.

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Note: [For the purpose of this report, all directional references \(left, right, rear, front\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: [The client is advised that a mold inspection / testing be performed by a qualified specialist if any evidence of past or current water leaks \(plumbing, roof, intrusion or otherwise\) are reported by the inspector.](#)

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Safety / Major**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Minor = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Moderate = The item, component, or system while perhaps functioning as intended is in need of **moderate** repair, service; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or a qualified contractor** and are not considered routine maintenance or DIY items.

Safety / Major = The item, component or system poses a safety concern to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk.

The item, component or system is **Not** functioning as intended, or needs further evaluation by a specialized qualified licensed contractor or can cause damage to the structure. Items, components or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: Building Type

Triplex

General: Occupancy

Occupied

General: Utilities

All Utilities On

General: Temperature

70-80 F

General: Weather Conditions

Sunny, Dry

General: In Attendance

Client, Buyers Agent

It is preferred and recommended that the client be present during the inspection process. This is advised so that concerns can be discussed and addressed at the time of the inspection. It is encouraged that the client inquire about any information that is not understood or questions that arise during the inspection process or after completion of the inspection report.

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Note: Many areas and items at this property were obscured by furniture and/or stored items. This often includes but is not limited to walls, floors, windows, inside and under cabinets, under sinks, on counter tops, in closets, behind window coverings, under rugs or carpets, and under or behind furniture. Areas around the exterior, under the structure, in the garage and in the attic may also be obscured by stored items. The inspector in general does not move personal belongings, furnishings, carpets or appliances. When furnishings, stored items or debris are present, all areas or items that are obscured, concealed or not readily accessible are excluded from the inspection. The client should be aware that when furnishings, stored items or debris are eventually moved, damage or problems that were not noted during the inspection may be found.

Findings

3.1.1 Misc. Concerns / Comments

EVIDENCE OF BIRDS NESTING



Evidence of birds nesting at one or more locations. Recommend a qualified person remove nests and clean area as necessary.

Recommendation

Contact a qualified pest control specialist.



4: ROOF

Information

| General: Inspection Method | General: Roofing Material | General: Flashing Material |
|----------------------------|---------------------------|----------------------------|
| Drone | Composition | Metal |

General: Drone

An aerial drone was used for the roof evaluation. It is understood that this method of inspection is not as thorough as if I was actually able to walk the roof surface, and is considered a limited inspection. Any comments made in this report relating to the roof covering, roof protrusions, gutters, chimneys, etc. are limited to the visible perspective of the drone. If a more thorough inspection is desired I recommend consulting a roofing contractor.



Mavic Air 2

General: Roof Underlayment Inspection Limited

Due to lack of visibility as a result of the installed roof coverings, we are not able to inspect, evaluate or comment on the condition or installation of the roof underlayment system. Deciciencies with the underlayment can include but not limited to: premature failure, shrinkage, not installed, improper installation or physical damage. As a result of these limitations, we recommend further evaluation by a licensed roof contractor to determine if latent defects exist.

General: Shingles Stage of Life Information

I will do my best to estimate the stage of life that the shingles appeared to be in at the time of inspection.

3-tab asphalt composition shingles typically have a 12-15 year life span. This would equate to:

- First Third of Life: 1-5 years in age
- Second Third of Life: 5-10 years in age
- Last Third of Life: 10-15 years in age

Architectural Composition shingles typically have a 21-24 year life span. This would equate to:

- First Third of Life: 1-8 years in age
- Second Third of Life: 8-16 years in age
- Last Third of Life: 16-24 years in age

General: Architectural/Laminated Shingles

The roof covering was comprised of architectural composition shingles. Architectural shingles, also called dimensional shingles, are thicker and heavier (often 50% more) than traditional 3-tab shingles. These "premium" shingles are manufactured by starting with a fiberglass reinforcement mat, multiple layers of asphalt are added over the mat, and lastly granules coated with ceramic are added over the upper layer of asphalt for protection against the elements (wind, rain, and UV rays from the sun). Architectural shingles typically have higher wind resistance numbers, resist leaks better, and have a longer warranty than their 3-tab counterparts

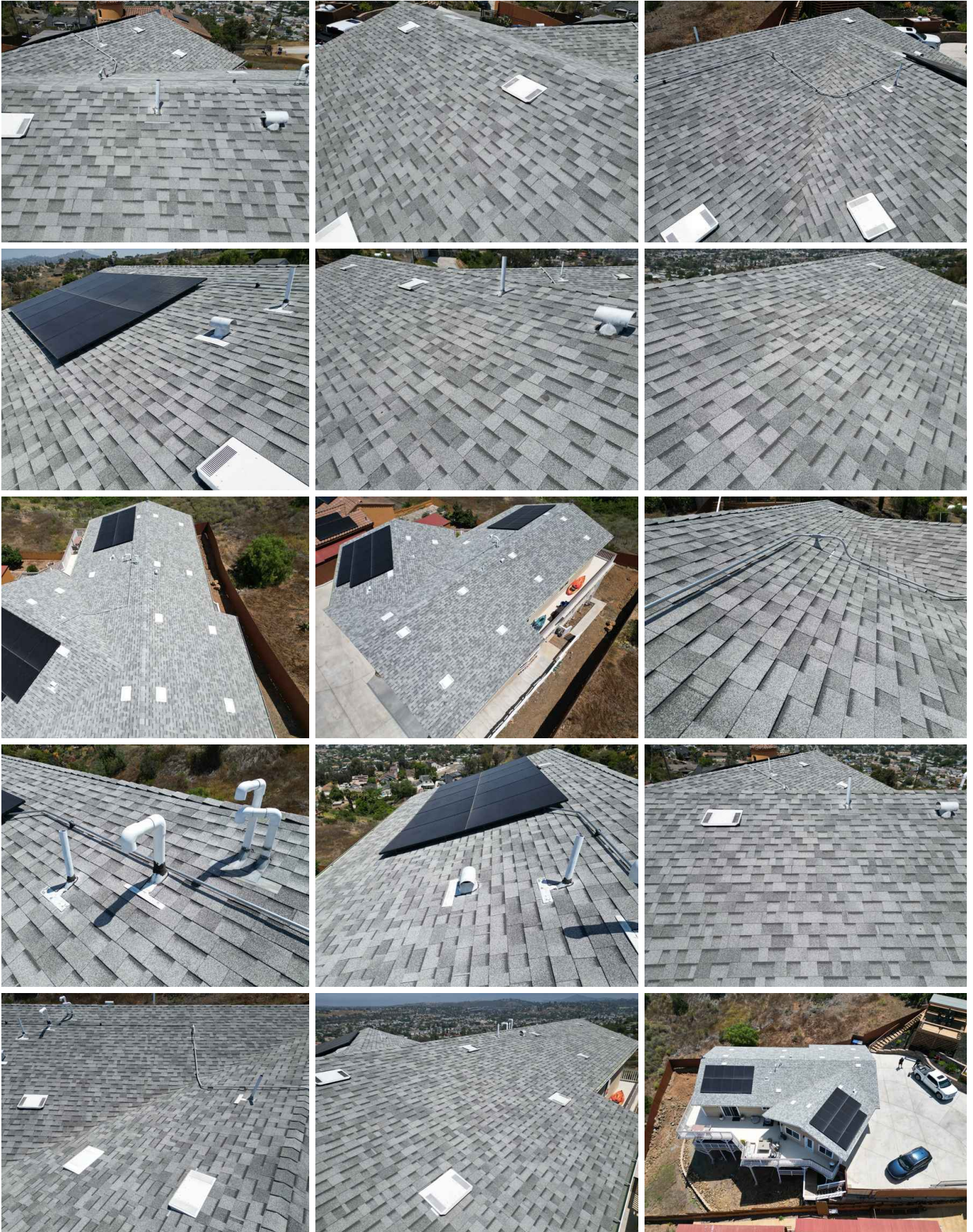
Due to the many variables which affect the lifespan of roof covering materials, remaining service life of any roof coverings are not estimated. This is in accordance with all industry inspection Standards of Practice. The following factors can affect the lifespan of roof covering materials:

- Roofing material quality: Higher quality materials, will of course, last longer.
- Number of layers: Shingles installed over existing shingles will have a shorter lifespan.
- Structure orientation: Southern facing roofs will have shorter lifespans.
- Pitch of the roof: Shingles will age faster on a lower pitched roof in comparison with higher pitches.
- Climate: Wind, rain, and snow will impact the lifespan of the roof.
- Color: Shingles that are darker in color will have a shorter lifespan, than lighter colored shingles.
- Attic Ventilation: Poorly vented attic spaces will decrease shingle life due to heat.
- Vegetation Conditions: Overhanging trees, branches, contacting the roof, or leaf cover drastically shorten lifespan.

Asphalt shingles must be installed to manufacturers' recommendations for the warranty coverage to be upheld. These installation requirements vary widely from manufacturer to manufacturer, and across the multitude of different shingle styles manufactured. An inspection of the roof will be conducted to the best of our ability, **but confirming proper fastening, use and adequacy of underlayment, and adequacy of flashing is impossible as these items are not visible**, Damaging and invasive means would have to be carried out to confirm proper installation. Therefore, the inspection of the roof is limited to visual portions only.

Coverings: Roof Views

Roof covering requires periodic repairs and sealant, especially around roof penetrations. Suggest periodic evaluation and repairs as needed to aide in preventing water penetration into structure. Roof covering are subject to unpredictable change. i.e. leaks may develop with out warning.



Flashings: Flashing Information

Visible portions of the flashings were inspected looking for significant deficiencies (drip edge, sidewall, headwall, counter, etc - if applicable). Typically most areas of flashings are not visible as they are covered by the roof covering material and/or the wall cladding (as applicable), and therefore functionality has to be determined by looking for moisture intrusion on ceilings where the flashing was presumed to be in place, or on the roof decking from within the attic (as accessible). No reportable conditions were observed at visible portions, at the time of inspection, unless otherwise noted in this report.

Skylights, Chimneys & Other Roof Penetrations: Roof Penetrations Information

The roof protrusions were viewed from ground level, a ladder, or by a drone and no deficiencies were observed at visible portions at the time of inspection unless otherwise noted in this report. The protrusions are also looked at from the attic (if accessible), to look for signs of leaks, etc.

Skylights, Chimneys & Other Roof Penetrations: Chimney Information

The chimney(s) were inspected looking for an adequate and functioning chimney crown, the condition of the masonry and flashings, the condition of visible portions of the flue liner(s), etc. No deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Limitations

General

ROOF LIMITATIONS

Findings

4.1.1 General

ROOF PARTIALLY OR FULLY OBSCURED BY

Solar Panels

The roof was not fully visible due to the solar system. Recommend that you have this area inspected by a licensed roof contractor if you are concerned about the condition of the roof beneath the system.

 Maintenance Item



4.2.1 Coverings

WOVEN VALLEY

A woven "closed" valley was noted present at the roof covering in one or more location. This may have been acceptable at the time of installation, but is known to promote moisture intrusion issues and is typically not in accordance with the manufacturers specifications. It is recommended that these areas be further evaluated by a licensed roofing contractor to determine if further action is needed at this time.

Recommendation

Contact a qualified roofing professional.

 Maintenance Item



4.3.1 Flashings



Recommendation

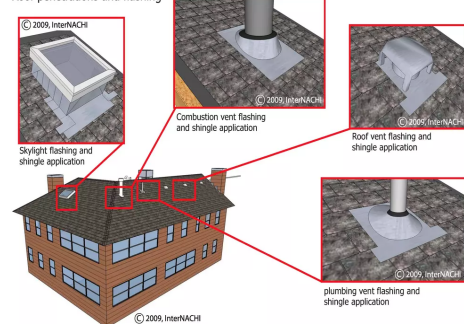
ROOF PROTRUSION - NO FLASHING

There were roof protrusion(s) present that were relying on sealant to prevent leaks into the structure, instead of using proper flashing boots. The installation of proper flashing is recommended to be performed by a roofing contractor.

Recommendation

Contact a qualified roofing professional.

Roof penetrations and flashing



4.4.1 Skylights, Chimneys & Other Roof Penetrations



Recommendation

PENETRATION(S) - SEALING NEEDED

One or more penetrations in need of tar maintenance at pipes and/or other penetrations. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor seal roof jack flashing where necessary.

Recommendation

Contact a qualified roofing professional.



4.5.1 Roof Drainage Systems



Recommendation

GUTTER INSTALLATION RECOMMENDED

No roof drainage system was installed. Rainwater may come in contact with the building exterior or accumulate around the building foundation as a result. This can be a conducive condition for wood-destroying organisms. Recommend that a qualified contractor install roof drainage components where missing per standard building practices.

Recommendation

Contact a qualified gutter contractor

5: GROUNDS

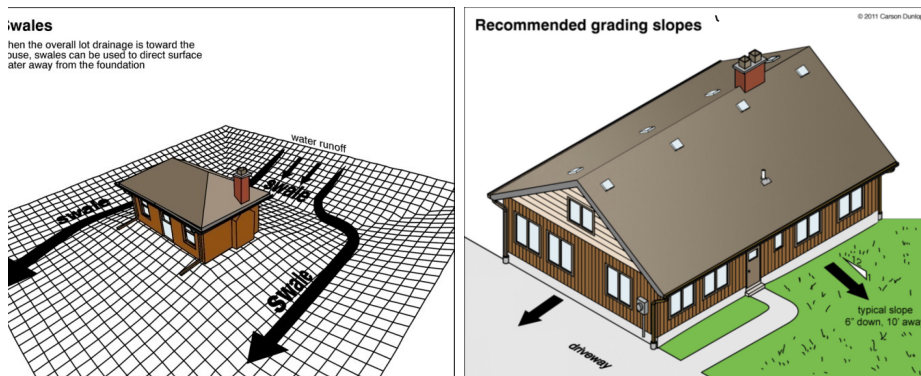
Information

Grading: Grading Limitations

The performance of the grading and lot drainage is limited to the conditions existing at the time of the inspection only. I cannot guarantee this performance as conditions constantly change. Heavy rain or other weather conditions may reveal issues that were not visible or foreseen at the time of inspection. Furthermore, items such as leakage in downspouts and gutter systems are impossible to detect during dry weather and can add moisture to the soil in the area around the foundation. The inspection of the grading and drainage performance in relation to moisture infiltration through foundation walls or under slabs, therefore, is limited to the visible conditions at the time of inspection, and evidence of past problems. I recommend consulting with the sellers as to any previous moisture intrusion that may have occurred in the past.

Grading: Grading / Drainage Overview

The grounds in contact with the home were inspected to determine that they were graded in a manner to allow rainwater to adequately drain away from the structure. The soil is recommended to slope away from the home, with a 6 inch drop in elevation, in the first 10 feet away from the structure (5% grade). When the 5% grade can not be achieved, swales or drains should be used as needed to properly divert rainwater runoff. Any flat or low areas around the home should be backfilled and sloped away from the foundation, to prevent potential moisture infiltration into areas below grade (if applicable). No significant grading deficiencies were observed at the time of inspection unless otherwise noted in this report.



Vegetation: Vegetation Information

Vegetation was inspected around the home to ensure that it had adequate clearance from the structure, and was not impacting the structure. No deficiencies were observed unless otherwise noted in this report.

Driveways, Sidewalks, Patios: Grounds Informations

The patio/sidewalk/driveway area was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.



Porches / Steps / Stoops: Stairs Information

The stairs were inspected by looking at their construction, attachment, risers and treads, applicable railings, etc. No significant deficiencies were observed at visible portions at the time of inspection, unless otherwise noted in this report.

Patio / Porch Covers: Patio Information

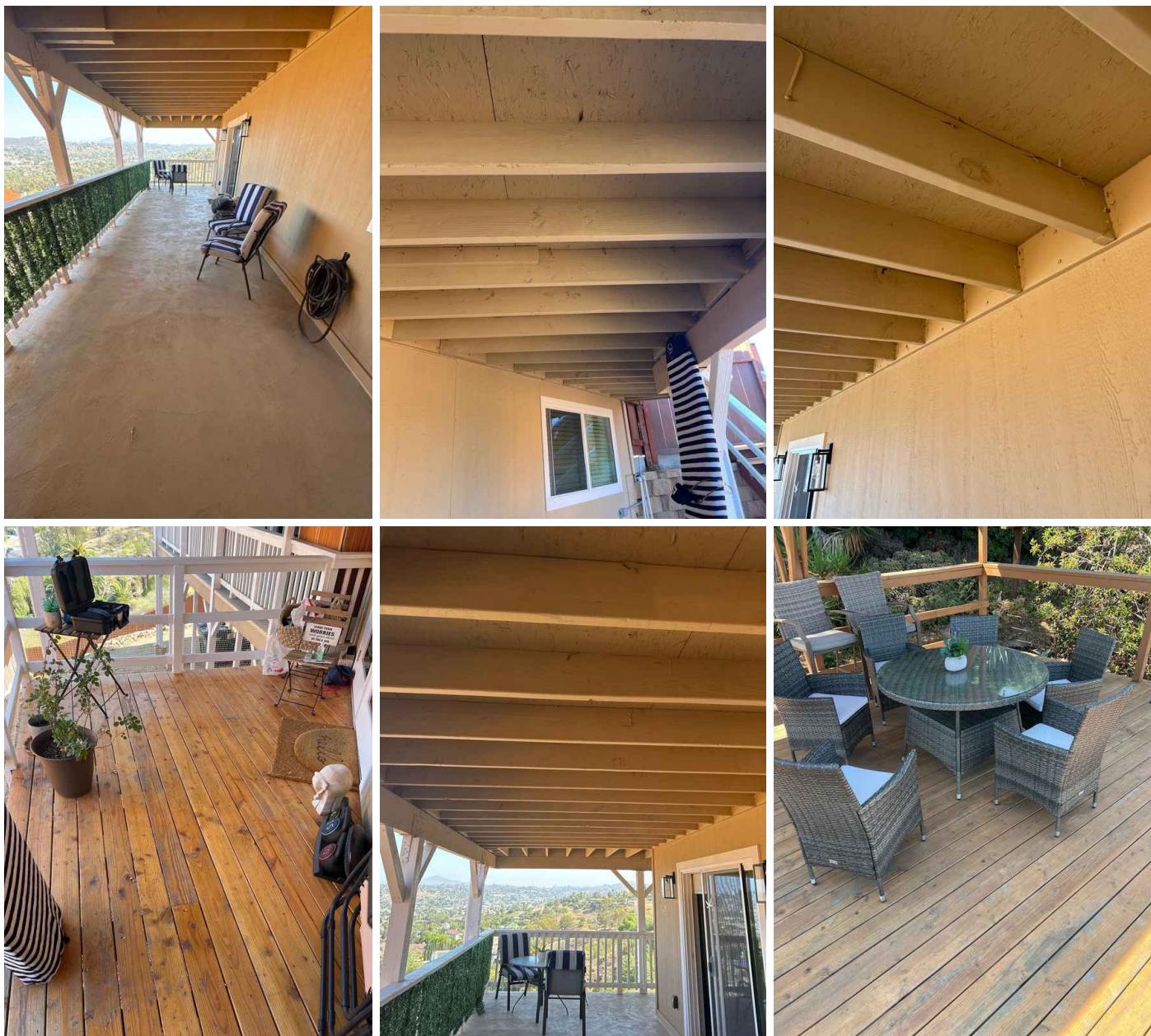
The patio area was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.

Decks/Stairs: Deck / Stairs Information

The guardrails, decks, stair rails, and handrails were inspected for their presence, proper sizing and spacing, looking for damage and securement, and other significant deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

- Primarily, most decks are built by laborers during the construction of the home. While they can build a "functional" deck, multiple important details are typically missed due to the lack of knowledge about building standards that were in place at the time of construction.
- Secondly, building standards may have changed since the deck was constructed, so while the deck may have met the standards at the time of construction, it would not now.

Building standards are changed to improve safety for the occupants of the home. So if a deck collapses, the standards are changed to make deck construction safer. That is why all decks will be evaluated by today's standards, as safety can not be compromised, and safety is what I inspect for. While multiple deficiencies may be listed, a competent deck contractor may find more as a home inspection is not technically exhaustive or quantifiable.





Retaining Walls: Retaining Walls Information

Retaining walls are inspected in respect to their effect on the structure of the home. The structural integrity or load bearing capacities of retaining walls are beyond the scope of a home inspection. No deficiencies were observed in the walls relation to the home unless otherwise noted in this report.

Fences/Gates: Automatic Gate

The automatic gate was not tested as part of the inspection process. The equipment appears to be in serviceable condition. Recommend asking the seller to demonstrate operation.



Fences/Gates: Fence Information

The fence was inspected looking for significant defects. No significant deficiencies were present at the time of inspection unless otherwise noted in this report.

Limitations

Grading

GROUPS LIMITATIONS

Findings

5.1.1 Grading

GROUND DRAINS



Maintenance Item

Ground drain lines were visible at the property at several areas. These drains are not tested for functional flow or adequacy. It is important to maintain these drains and prevent debris from entering. Recommend having all ground drain lines inspected and cleaned after moving into the property and on a periodic basis by a qualified Person.

Recommendation

Contact a qualified professional.



5.1.2 Grading

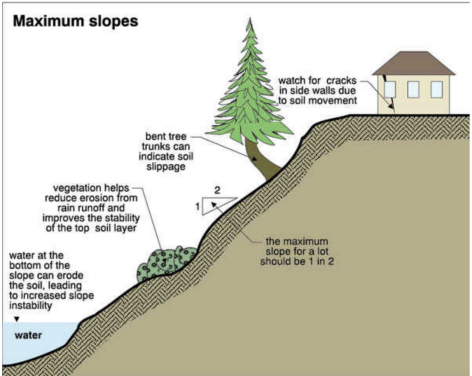
HILLSIDE SETTING

Maintenance Item

This house is located within a hill setting. Geological or structural evaluations relating to and including the potential for earth movement, types of soil (expansive, clay, etc), and effectiveness of grading and soil preparation, are beyond the scope of our inspection. Home inspectors are generalists and not structural or geotechnical engineers. We advise consulting with a structural and/or geotechnical engineer if you are concerned by conditions about which you are aware, or if you would like additional information before the close of escrow.

Recommendation

Contact a qualified structural engineer.



5.1.3 Grading

GROUND DRAINS - DRIVEWAY

Maintenance Item

The concrete surface has a negative slope and drains towards the structure. The drain will need to be kept clean and in good repair to prevent water entry into the garage.



5.4.1 Porches / Steps / Stoops

HANDRAILS MISSING MORE THAN 3 STEPS



Safety Hazard

Handrails at one or more flights of stairs were missing. This is a potential fall hazard. Handrails should be installed at stairs with four or more risers or where stairs are greater than 30 inches high. Recommend that a qualified contractor install handrails where missing and per standard building practices.

Recommendation

Contact a qualified professional.



5.6.1 Decks/Stairs

LEDGER BOARD MISSING FLASHING

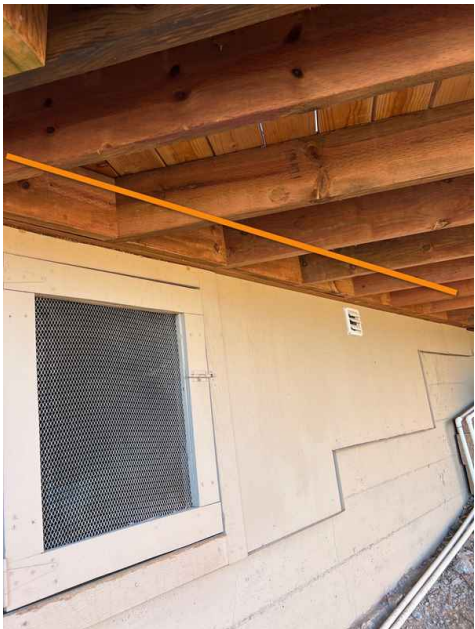
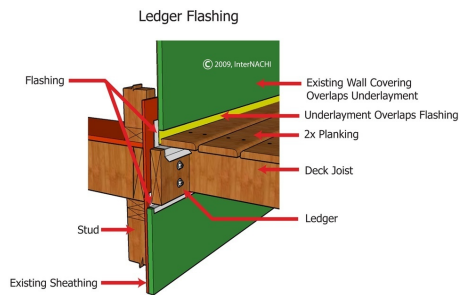


Recommendation

Flashing appeared to be missing from above one or more deck or porch ledger boards, or could not be verified. Although an allowed building practice in older structures, missing flashing at this location can cause moisture to accumulate between the ledger boards and the building. Fungal rot may occur in this area and cause the ledger board fasteners to fail. The deck may separate from the building in this event. This is a potential safety hazard. Recommend that a qualified contractor install flashing above ledger boards per standard building practices.

Recommendation

Contact a qualified professional.



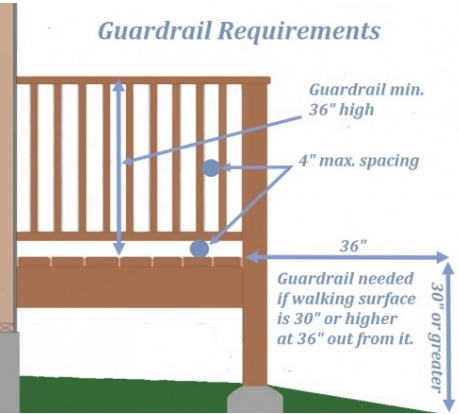
5.6.2 Decks/Stairs

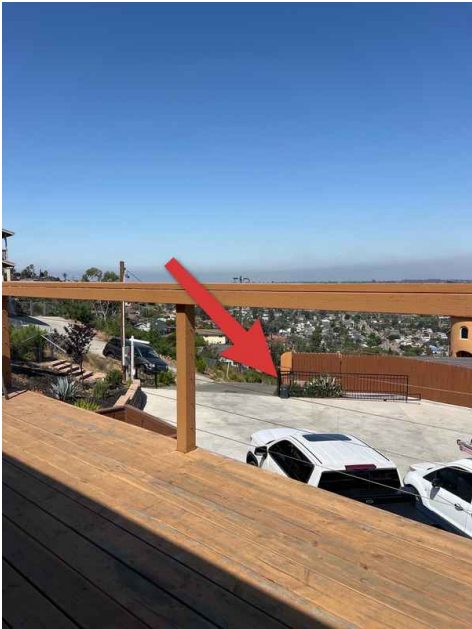
GUARDRAILS GAPS OVER 4" WIDE

 Safety Hazard

Guardrails at one or more locations with drop-offs higher than 30 inches had gaps that were too large. Although an allowed building practice in older structures, this poses a safety hazard for children (e.g. falling, getting stuck in railing). Guardrails should not have gaps or voids that allow passage of a sphere equal to or greater than 4 inches in diameter, or 6 inches in diameter at triangular spaces between stair edges and guardrails and should not be climbable. Recommend that a qualified contractor repair or replace guardrails per standard building practices.

Recommendation
Contact a qualified professional.





5.6.3 Decks/Stairs

 Safety Hazard

HANDRAILS NOT GRASPABLE

Handrails at one or more flights of stairs were not graspable and posed a fall hazard. Although an allowed building practice in older structures, handrails should be 1 1/4 - 2 inches in diameter if round, or 2 5/8 inches or less in width if flat. Recommend that a qualified person install graspable handrails or modify existing handrails per standard building practices.

Recommendation

Contact a qualified professional.

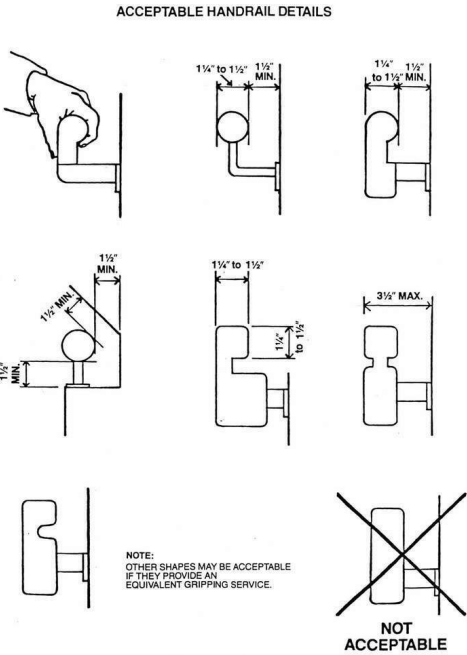


EXHIBIT C

5.6.4 Decks/Stairs

DECK FLOORING MEMBRANE - COMPROMISED

Recommendation

The deck flooring membrane shows signs of compromise, with visible damage that may lead to water infiltration and potential structural issues if left unaddressed. Immediate attention and repair are recommended to prevent further deterioration and protect the underlying decking structure.

Recommendation

Contact a qualified professional.



5.6.5 Decks/Stairs

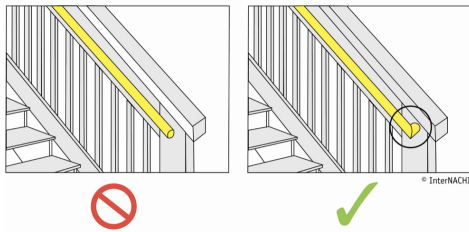
NO RETURNS

Safety Hazard

One or more handrails had no returns installed, where ends of handrails turn and connect to adjacent walls so objects or clothing will not catch on the open ends. This is a safety hazard. Recommend that a qualified person install returns per standard building practices.

Recommendation

Contact a qualified professional.



5.6.6 Decks/Stairs

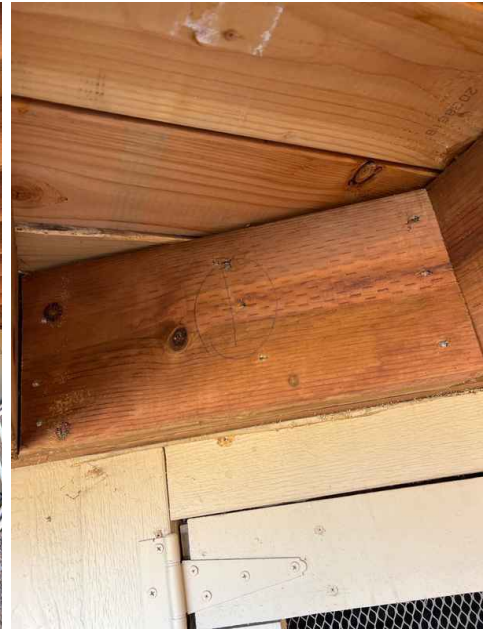
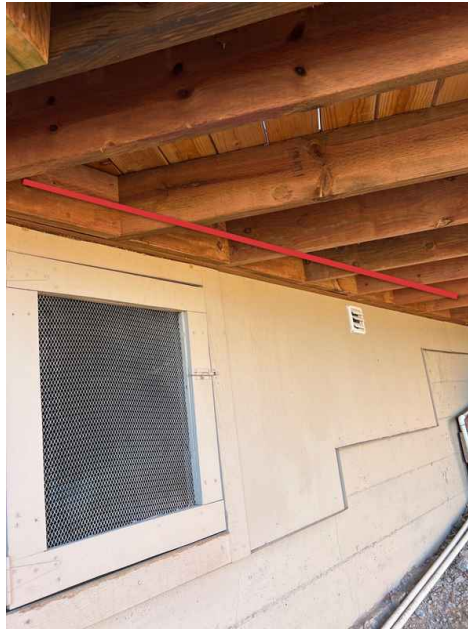
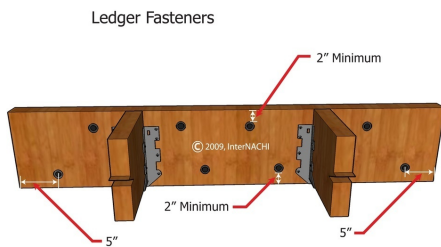
DECK LEDGER ATTACHMENT

Safety Hazard

The ledger board for the deck was not properly attached to the structure. The ledger board is the most crucial structural member of a deck's construction, as the rim joists and deck joists tie into this framing member. The ledger board is recommended to be attached to the structure's rim joist with 1/2" lag screws or through bolts with proper washers staggered in two rows, spaced in accordance with the span of the joists. Proper attachment of the ledger board to the structure is recommended to be performed by a qualified deck contractor.

Recommendation

Contact a qualified professional.



5.6.7 Decks/Stairs

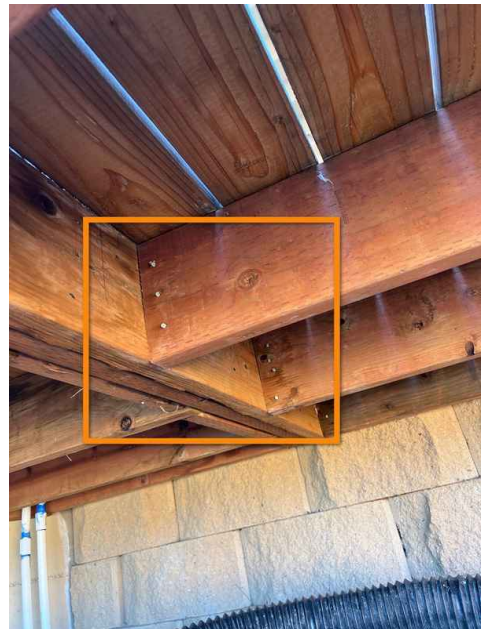
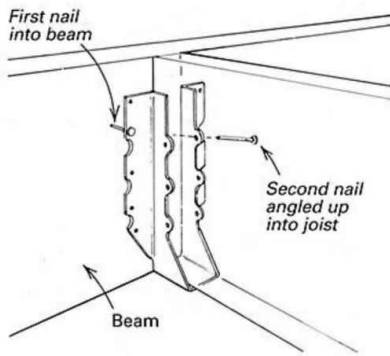
JOIST HANGERS - MISSING



Joist hangers were not present on all joist connections for the deck. Joist ends are required to bear on joist hangers for proper support. An improper bearing can allow for the joists' vertical and/or horizontal displacement. The installation of joist hangers is recommended to be conducted by a contractor or other qualified person at any areas in need.

Recommendation

Contact a qualified professional.



5.7.1 Retaining Walls



Maintenance Item

RETAINING WALL CRACKS

Minor cracks were found in one or more retaining walls. The retaining walls appeared to be serviceable, but recommend monitoring them in the future. Further deterioration may occur and retaining walls may need significant repairs or replacement at some point. Note that such repairs are often expensive.

Recommendation

Contact a qualified professional.



5.7.2 Retaining Walls



Maintenance Item

STACK BLOCK

A stack block retaining walls are present. These retaining walls appear to be in good condition. However, I could not observe the footings and I am unable to determine if the walls are properly constructed or permitted. If concerned about the construction of the retaining walls recommend further evaluation by a qualified licensed contractor prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



6: EXTERIOR

Information

| | |
|-------------------------------|------------------------------------|
| Exterior Walls / Trim: | Exterior Walls / Trim: Wall |
| Construction Material | Covering Material |
| Wood Frame | Engineered wood |

Exterior Walls / Trim: Wall and Cladding Information

The walls and wall cladding were inspected looking for significant damage, presence of proper flashings, and potential water entry points, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Exterior Walls / Trim: Windows Information

The exterior components of the windows (trim, flashing, etc.) were inspected looking for damage, lack of proper flashing, clearance from grade, etc. No reportable deficiencies were visibly present at the time of inspection unless otherwise noted in this report.

Exterior Walls / Trim: Exterior Doors Information

All exterior doors were inspected by looking for damage, lack of proper flashing, deficiencies with their operation, etc. No reportable deficiencies were present at the time of inspection unless otherwise noted in this report.

Eaves / Soffits: Soffit / Fascia Information

The soffit and fascia was inspected at visible portions looking for any water damage or other significant defects. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Walls / Trim

EXTERIOR LIMITATIONS

The inspector performs a visual inspection of accessible components or systems at the exterior. Items excluded from this inspection include exterior surfaces or components obscured by vegetation, stored items or debris; wall structures obscured by coverings such as siding or trim. Some items such as siding, trim, soffits, vents and windows are often high off the ground, and may be viewed using binoculars from the ground or from a ladder. This may limit a full evaluation.

Findings

6.1.1 Exterior Walls / Trim

OPEN SIDING PENETRATION



Open penetration through the siding that is not sealed. Potential area for water intrusion. Recommend sealing and patching siding to match existing surface.

Recommendation

Contact a qualified professional.



7: UNIT 1

Information

Windows: Type

Multi-pane, Sliding, Vinyl

Interior Doors: Interior Door Informations

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Windows: Window Information

Only a representative number of accessible windows are checked for operation during this inspection in accordance with the standards of practice of a home inspection. In some instances inspector may not be able to disclose the exact condition of every window. This includes reporting on the condition of the locks, springs, counter-balance mechanisms, or evidence of leaking if furniture, personal items or window coverings prevent access to windows and surrounding areas. If concerned we recommend having all blocked/ concealed windows inspected once stored items have been removed.

Walls: Interior Wall Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Ceiling: Interior Ceiling Information

The ceilings throughout the property were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Floors: Interior Floor Information

Visible portions of the floors throughout the property were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Countertops & Cabinets: Countertops / Cabinet Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Doors

INTERIOR LIMITATIONS

Findings

7.1.1 Additions / Modifications

ADDITIONS TO ORIGINAL STRUCTURE

This house appears to have additions added to the original structure. It is beyond the scope of our general home inspection to verify permits. Recommend checking city records to verify the existence of permits prior to the end of your contingency period.

Recommendation

Contact the seller for more info

7.6.1 Ceiling

STRESS FRACTURES

HALLWAY

Cracks, damage, nail pops and/or blemishes were found in walls and/or ceilings in one or more areas. Cracks and nail pops are common, are often caused by lumber shrinkage or minor settlement, and can be more or less noticeable depending on changes in humidity. They did not appear to be a structural concern, but the client may wish to repair these for aesthetic reasons.

Recommendation

Contact a qualified professional.



8: UNIT 2

Information

Windows: Type

Multi-pane, Sliding, Vinyl

Interior Doors: Interior Door Informations

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Windows: Window Information

Only a representative number of accessible windows are checked for operation during this inspection in accordance with the standards of practice of a home inspection. In some instances inspector may not be able to disclose the exact condition of every window. This includes reporting on the condition of the locks, springs, counter-balance mechanisms, or evidence of leaking if furniture, personal items or window coverings prevent access to windows and surrounding areas. If concerned we recommend having all blocked/ concealed windows inspected once stored items have been removed.

Walls: Interior Wall Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Ceiling: Interior Ceiling Information

The ceilings throughout the property were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Floors: Interior Floor Information

Visible portions of the floors throughout the property were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Countertops & Cabinets: Countertops / Cabinet Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Doors

INTERIOR LIMITATIONS

Findings

8.4.1 Walls

INTERIOR WALLS - UNFINISHED

KITCHEN



Recommendation

There were rooms with missing or unfinished wall coverings present. A contractor can be consulted for quotes on finishing as desired.

Recommendation

Contact a qualified drywall contractor.



8.6.1 Floors

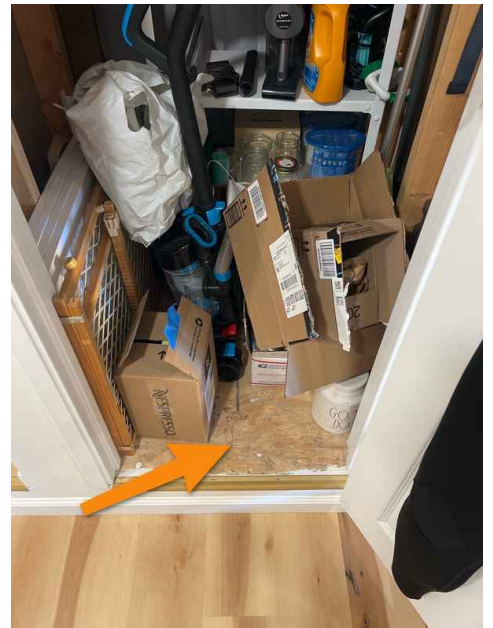
FLOOR COVERING MISSING / REMOVED

KITCHEN

The floor covering was missing and/or removed. Recommend a qualified flooring contractor replace flooring.

Recommendation

Contact a qualified flooring contractor



9: UNIT 3

Information

Windows: Type

Multi-pane, Vinyl, Sliding, Single-hung

Interior Doors: Interior Door Informations

A representative number of interior doors were inspected by operating them ensuring that they opened and closed properly, as well as latched properly without binding on jambs or the floor. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Windows: Window Information

Only a representative number of accessible windows are checked for operation during this inspection in accordance with the standards of practice of a home inspection. In some instances inspector may not be able to disclose the exact condition of every window. This includes reporting on the condition of the locks, springs, counter-balance mechanisms, or evidence of leaking if furniture, personal items or window coverings prevent access to windows and surrounding areas. If concerned we recommend having all blocked/ concealed windows inspected once stored items have been removed.

Walls: Interior Wall Information

Visible portions of the interior walls were inspected looking for signs of moisture infiltration, settlement cracking, significant damage, or other significant deficiencies. No reportable deficiencies were observed at the time of inspection unless otherwise noted in this report.

Ceiling: Interior Ceiling Information

The ceilings throughout the property were inspected looking for moisture intrusion/staining due to roof leaks or leaking plumbing pipes. Settlement cracks, and significant defects were also inspected for. No reportable conditions or moisture stains were visibly present at the time of inspection unless otherwise noted in this report.

Floors: Interior Floor Information

Visible portions of the floors throughout the property were inspected looking for significant floor deficiencies. No reportable conditions were visibly present at the time of inspection unless otherwise noted in this report.

Countertops & Cabinets: Countertops / Cabinet Information

The cabinets and countertops were inspected looking for significant damage and by testing a representative number of doors and drawers evaluating their operation. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Limitations

Exterior Doors

INTERIOR LIMITATIONS

Findings

9.1.1 Exterior Doors

SLIDER LOCKS INOPERABLE



The lock mechanisms on one or more sliding glass doors were inoperable and/or difficult to operate. Recommend that a qualified person repair as necessary.

Recommendation

Contact a qualified handyman.



9.4.1 Walls

ASK OWNER ABOUT REPAIRS / PATCHING

HALLWAY/BEDROOM 1

Patches or evidence of prior repairs were found in one or more walls. Recommend asking the property owner about the repairs (e.g. why necessary, whether prior leaks have occurred).

Recommendation

Contact the seller for more info

 Maintenance Item



9.6.1 Floors

FLOORS SQUEAKING

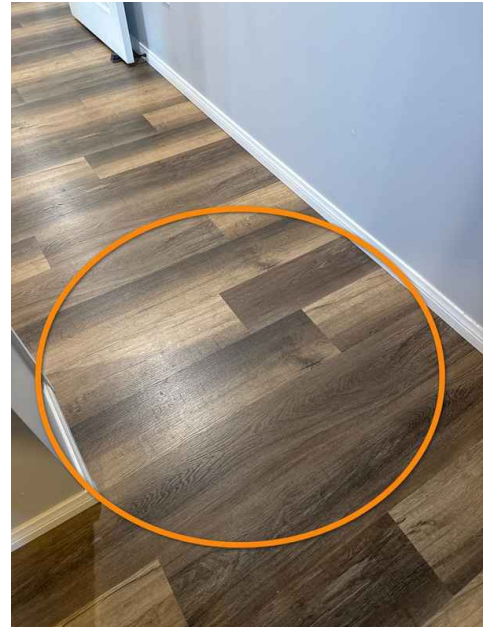
PRIMARY BEDROOM

 Recommendation

The wood sub flooring at several locations were observed to be noisy/ squeaky when walked on. There are many causes of squeaky/creaking sub-floors such as loose nails, failed or missing adhesive, or wood rubbing together due to lack of support. Recommend necessary repairs as needed by a qualified licensed contractor.

Recommendation

Contact a qualified flooring contractor



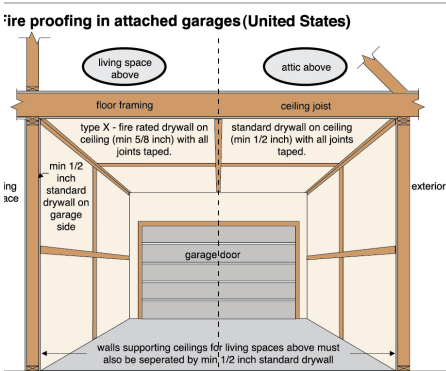
10: GARAGE / CARPORT

Information

| | | |
|---|--|---|
| General: Structure Type Attached Garage | General: Occupant Door Solid, Wood | General: Vehicle Door Sectional |
| General: Automatic Opener Safety Devices Did not test | General: Wall Type Finished | General: Ceiling Type Finished |

Structure: Garage Area to Living Space Separation Information

Current building standards require "garage to living space separation". This separation helps to slow a garage oriented fire and to help prevent CO gases from entering living areas. This is achieved by the installation of a steel or solid wood door between the garage and living areas measuring no less than 1 3/8" thick, or a 20 minute fire rated door. The walls require the installation of 1/2" drywall, and the installation of 5/8" Type X drywall on the ceiling (if living areas are overhead). No protrusions should be present on the walls and/or ceiling in the area unless properly sealed with an approved sealant. These upgrades are recommended for safety if not present, and a qualified contractor can be consulted for more information.



Occupant Doors: Garage Door Information

Current standards require that door(s) in between living areas and the garage are constructed of steel or solid wood, measuring at least 1 3/8 inches thick or that the door is 20-minute fire rated.

Vehicle Door: Garage Door Information

The garage door(s) were tested by operating the wall mounted transmitter and checking for proper operation. The door(s) were examined for significant damage or installation related deficiencies. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Automatic Opener: Garage Door Opener

The garage door opener(s) were inspected by depressing the wall mounted transmitter and observing the openers functionality (remote transmitters are not tested). No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Note: When tested, the safety sensors (eyes) functioned correctly, reversing the door. *I do not test the pressure reverse sensors because it can easily damage the overhead door.*



Floor, Walls, Ceiling: Walls Information

The walls appeared to be in satisfactory condition at the time of inspection. No deficiencies were observed at visible portions unless otherwise noted in this report.

Floor, Walls, Ceiling: Slab Information

Visible portions of the concrete slab was inspected looking for significant deficiencies and significant cracking. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Any references to cracks on basement or garage concrete slabs will need to be sealed with an appropriate material by a qualified person at a minimum, regardless of the cracks size. This will prevent the possibility of moisture/water infiltration rising through the crack(s) during periods of heavy rainfall.

Limitations

General

GARAGE LIMITATIONS

The inspector does not determine the adequacy of firewall ratings. Requirements for ventilation in garages vary between municipalities.

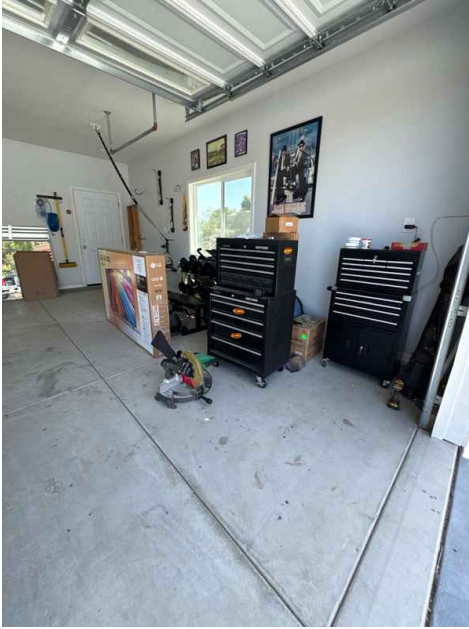
Findings

10.6.1 Floor, Walls, Ceiling

FLOORS / WALLS OBSCURED

 Maintenance Item

Floor and / or wall areas were obscured by stored items and couldn't be fully evaluated.



10.6.2 Floor, Walls, Ceiling

CRACKING

Typical settlement cracks were present on the concrete surface. If a concern, have a concrete contractor to evaluate for repair. At a minimum these cracks are recommended to be sealed by a qualified person to prevent further damage.

Recommendation

Contact a qualified professional.



Maintenance Item

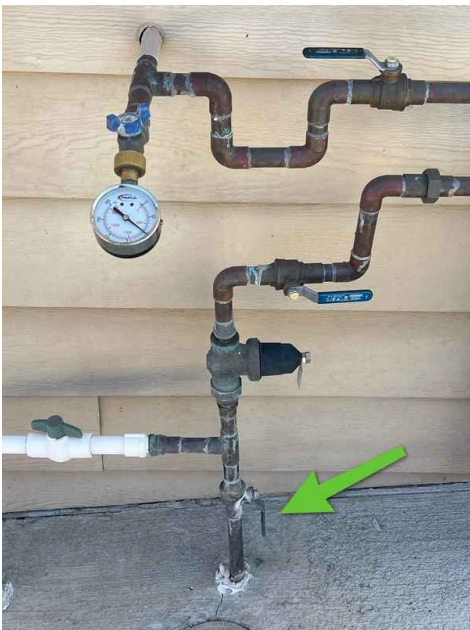
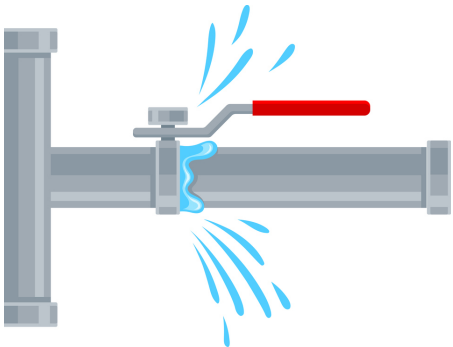


11: PLUMBING

Information

| | | |
|---|--|--|
| Service: Water meter location By street | Service: Water Service Type Public | Service: Water service Material Copper |
| Service: Sewer Type Public | Drain, Waste, & Vent Systems: Waste Line Materials ABS | Drain, Waste, & Vent Systems: Vent Materials ABS |
| Water Heater: Estimated Mfg. Year 2024 | Water Heater: Energy Source / Type Tankless, Natural gas | Water Heater: Location Right Rear, Left side |
| Laundry: Information Gas Supply, Washer Water Supply Hook-ups, Clothes Washer Present (not tested), Dryer Present (not tested), 240 Volt Electric | Exhaust Fans / Ventilation: Type Window, Exhaust fan | Fuel Systems: Fuel Supply Piping Type Steel |
| Fuel Systems: Fuel Service Type Liquid Propane | | |
| Service: Water Shut-Off Location Exterior, Front | | |

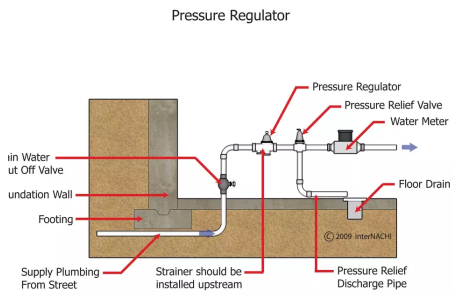
Water Shut-off valves for the plumbing system in the home are not operated or tested during the inspection. Rust and corrosion can build up inside the shut-off valves If they have not been operated for a significant amount time. This condition poses a risk of a leak or flood from the valve assembly if the shut-off valves is disturbed. This includes any main water shut-offs and valve stops under sinks, connections for laundry machines, inside access panels, and plumbing distribution manifolds.



Service: Pressure Regulator Present

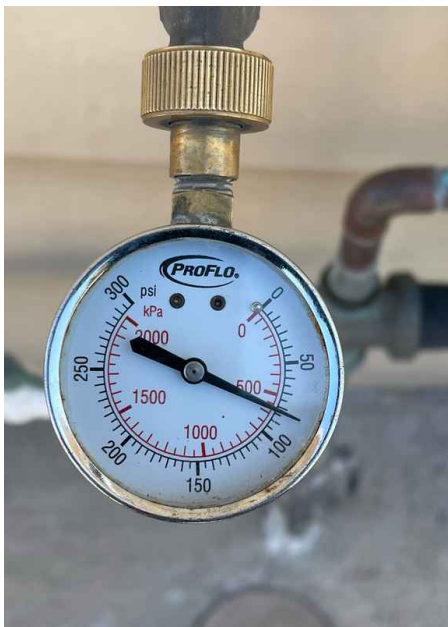
Yes

The pressure regulator was inspected visually for leaks or heavy corrosion and/or rust. No indications of deficiencies were present at the time of inspection unless otherwise noted in this report.

**Service: Water Pressure**

70-80 PSI

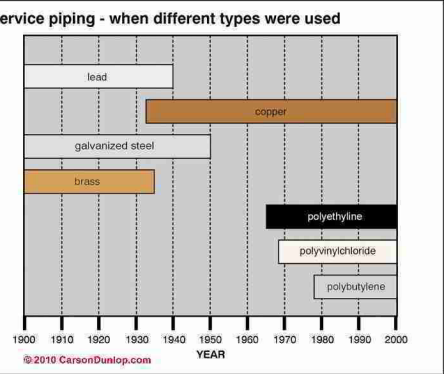
The water pressure was tested at an available spigot on the exterior of the home, or at the washing machine spigots (if not in use). 80psi or less is recommended to protect distribution pipes and connections from leaking (60 - 70psi is preferred). Most pressure regulators are adjustable from 25 - 75 psi, and any readings over 75psi indicate a missing or defective pressure regulator.



Supply Lines: Materials

Copper

Visible portions of the water distribution pipes were inspected looking for leaks or other significant deficiencies. No reportable conditions were visually present at the time of inspection unless otherwise noted in this report.



Drain, Waste, & Vent Systems: Drain Line Materials

PVC

Water was ran through all drains in the home for an extended period of time to determine if functional drainage was occurring. No hindered drainage was present at the time of inspection unless otherwise noted in this report. Lived-in conditions can not be adequately replicated during an inspection and I have no control of future drainage conditions due to lived-in usage (solids being flushed down the system, etc.).

Drain, Waste, & Vent Systems: Clean-out Location(s)

Exterior front

The following locations that can be used to access the sewer line for either inspection and/or unclogging a the sewer drain.

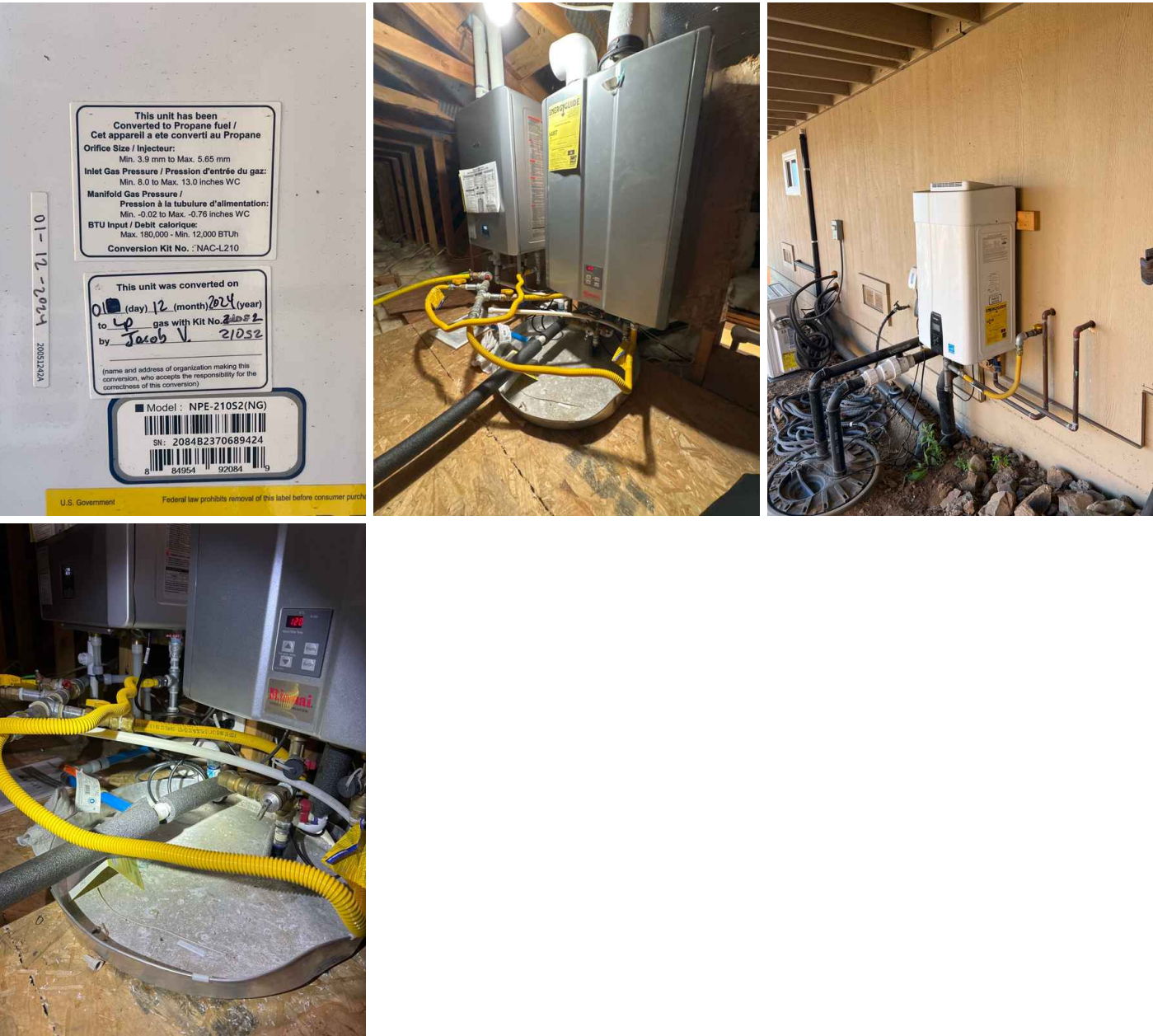


Drain, Waste, & Vent Systems: Drain, Waste, and Vent Pipe Information

Visible portions of the (DWV) drain, waste, and vent pipes were inspected looking for leaks or indications of other significant deficiencies. No leaks or other reportable conditions were visibly present unless otherwise noted in this report. Sewer camera inspections are recommended for any home regardless of age due to the sewer lateral between the home and sewer service or home and septic tank not being visible and the possibility of damage, blockages, or sagging areas in this pipe. These inspections typically cost around \$250.00, but can save thousands if a problem is found.

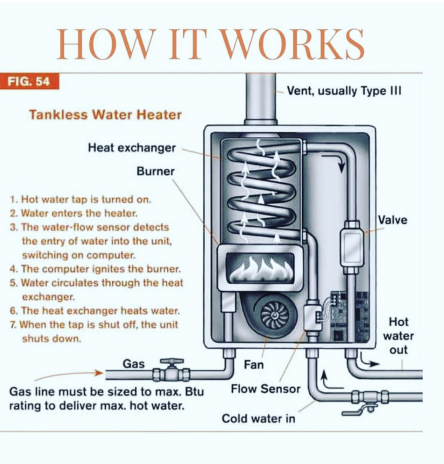
Water Heater: Equipment Photo

Manufacturers recommend flushing & servicing your water heater tank annually for optimal performance. Water temperature should be set to at least 120 degrees F to kill microbes and no higher than 130 degrees F to prevent scalding.



Water Heater: Tankless Warning

Please note this property utilizes a tankless hot water system. Many factors must be determined when calculating the required or needed hot water demands to properly size the unit including but not limited to the maximum number of devices you want to run, the required temperature rise, and furthest distance the water must travel. It is beyond the scope of a limited visual inspection to determine if the tankless hot water heater is sized appropriately. If adequate sizing is a concern, it is recommended the client consult with a qualified plumber or the manufacturer to determine adequacy.



Water Heater: Thermal Image of Water Heater Producing Hot Water

The water heater produced hot water at the time of inspection. No reportable deficiencies were observed with the unit unless otherwise noted in this report.



Sinks / Fixtures: Sink Information

The sink(s) were inspected by operating the faucet water valves and checking for proper flow and drainage, looking for leaks, operating pop-ups, etc. No reportable conditions were observed at the time of inspection unless otherwise noted in this report.



Toilets / Bidets: Toilet Information

The toilets were inspected by flushing them to ensure they were flushing adequately and to determine no leaks were present at the water supply line or tank location. No deficiencies were observed at the time of inspection unless otherwise noted in this report.



Bathtub / Shower: Bathtub / Shower Information

The bathtub/shower(s) were inspected by operating the water valve(s) and ensuring proper flow and drainage was present, looking for leaks, and/or any significant defects. No reportable conditions were present at the time of inspection unless otherwise noted in this report.

Laundry: Laundry Area Photo

Washer and Dryer are not tested as part of a standard inspection. Neither the laundry equipment nor the utility hook-ups (water, electric and gas), nor venting and waste lines for any particular appliance are evaluated as part of a standard inspection, unless otherwise noted. Concerns related to any laundry equipment or hook-up needs of new equipment should be assessed by a reputable and qualified tradesman.



Exhaust Fans / Ventilation: Ventilation Information

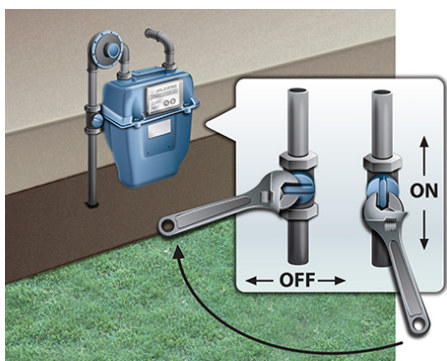
The bathroom ventilation is reported on by its source; windows or ventilation fans are acceptable forms of ventilation for bathrooms containing a tub and/or shower. If fans are present they will be tested by operating the switch and listening for proper air flow. Although windows in a bathroom can substitute for a fan, a fan is still recommended due to not utilizing windows in colder winter months. No deficiencies were observed with the ventilation at the time of inspection unless otherwise noted in this report.

Fuel Systems: Main Gas Shut-off Location

At Tank

The main gas shut off valve can be operated utilizing an approved emergency shut off wrench. A wrench is typically necessary to operate this valve. It is recommended that the valve only be operated by the service provider unless an emergency situation does not permit this. Below you will find a link with further information for your convenience:

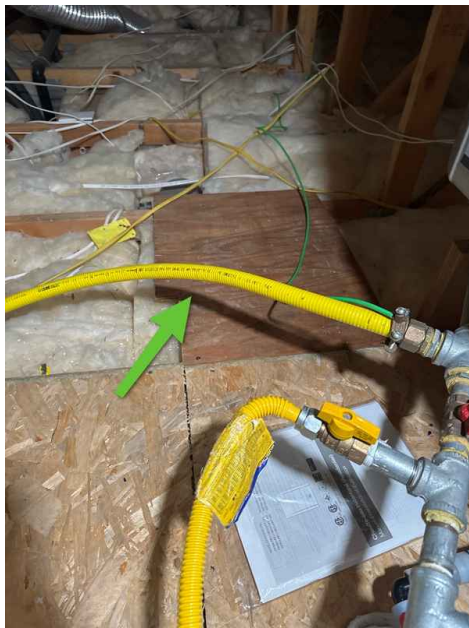
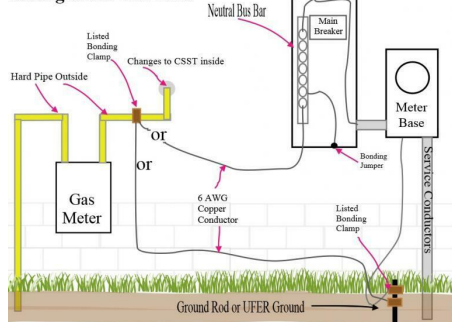
[SDGE Emergency Shutoff/Gas](#)



Fuel Systems: Corrugated Stainless Steel Tubing - CSST

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Bonding CSST Gas Line



Fuel Systems: Propane Fuel

Gas fuel for the home was propane stored in a tank on the property. Tanks may be either leased or owned and you should ask the seller about this and discuss with them what arrangements they have made in the past for having the tank re-filled. Fuel levels in the tank are checked by reading a gauge installed at the tank. In some areas gas may not be available immediately. You should order propane well ahead of time to avoid running out.



Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

Home inspectors check for functional flow at fixtures and drains by running water at all fixtures for an extended period of time. The test is to operate each serviceable fixture (faucets, toilets, and a representative number of hose spigots) and observe the associated drains, and allow adequate water to run to determine adequate flow rate, adequacy of the drain, and the draw of the drain (absence of blockage). However, inasmuch as significant portions of drainpipes are concealed, inspectors can only infer their condition by observing the draw at drains. Nonetheless, blockages and leaks will occur in the life of any system. Regardless, blockages and leaks in main sewer pipes are common and are costly to repair or replace, and for this reason, we sensibly disclaim responsibility for evaluating the concealed portions and strongly recommend that buyers arrange to have the main sewer pipe video-scanned by The Real Estate Inspection Company, or accept the risk of any damage that might occur.

Home inspectors do not operate (turn) any water supply shut off valves such as angle stops (the type under sinks), laundry hose spigots, water heater supply valves, or main water shut off valves at the meter. Home inspectors do not test clothes washer drains or stand pipes, or flood test the over-flow drains at tubs and sinks in accordance with industry standards of practice. If you have questions about these exclusions, please contact your home inspector.

Findings

11.1.1 Excluded Items

IRRIGATION / SPRINKLERS



Recommendation

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. Recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Recommendation

Contact a qualified professional.

11.1.2 Excluded Items

FIRE SUPPRESSION SYSTEM

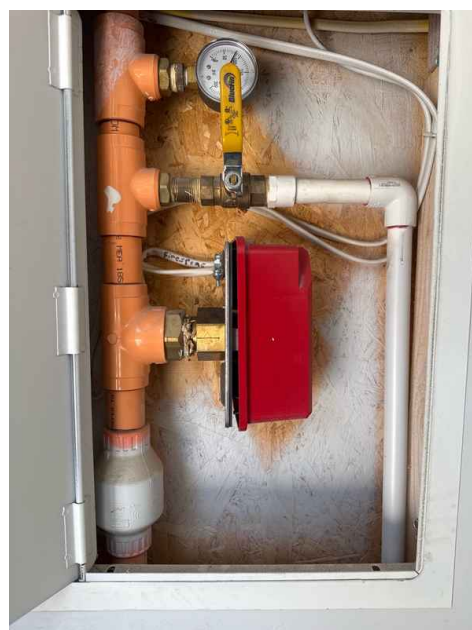


Recommendation

Note: A fire suppression system was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. These systems normally require periodic inspection by a specialist to ensure correct operation. For example, checking for possible backflow contamination of the potable water system, or correct operation of valves and gauges. Recommend that a qualified specialist inspect this system in accordance with National Fire Prevention Association (NFPA) 25 standards.

Recommendation

Contact a qualified professional.



11.1.3 Excluded Items

DRAIN LINE SCOPE RECOMMENDED

Recommendation

Our inspection of the drain waste lines is limited to running water down each sink, tub and shower drain and look for slow or clogged drains at each fixture. This test is very limited and does not ensure that the main drain line is not blocked or clogged and truly functional. Only a sewer line video scope can provide an accurate and detailed inspection of the main sewer line. Problems with the main sewer line can be very expensive to repair and should be identified during your contingency period. This service can be provided by our company at request and is highly recommended.

Recommendation

Contact a qualified professional.

11.1.4 Excluded Items

SEWAGE EJECTION PUMP

Recommendation

Note: A sewage ejection pump was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. These systems normally require periodic inspection by a specialist to ensure correct operation. For example, checking for correct operation of valves and gauges. Recommend that a qualified specialist inspect this system prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



11.3.1 Supply Lines

HOSE BIB MISSING BACKFLOW PREVENTER

Maintenance Item

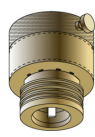
One or more hose bibs were missing backflow prevention devices. These devices reduce the likelihood of gray water entering the potable water supply. Recommend installing backflow prevention devices on all hose bibs where missing. They are available at most home improvement stores and are easily installed.

Recommendation

Contact a handyman or DIY project

Hose bibb vacuum breakers (draining required)

advantage of black ring on this vacuum breaker is that hose does not need to be removed when draining
black ring is moved up to drain breaker
pin is broken off once installed



white stem is moved to side to drain breaker
other types have pins that are pulled down



11.3.2 Supply Lines

CORROSION PIPES / FITTINGS

Supply lines and/or fittings were corroded. This indicates a past leak and could possibly leak again in the future. Recommend repairs be made by a qualified licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



11.4.1 Drain, Waste, & Vent Systems

PVC/ABS - IMPROPER HANGERS

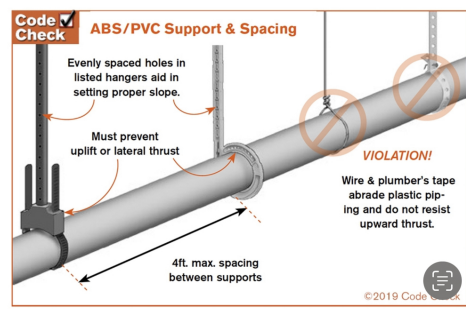
There were improper supports and/or hangers used to secure the drain and waste pipes. Improper supports can allow for abrasion of the pipes due to movement and thermal expansion as well as not preventing uplift. Repairs to incorporate proper materials as needed to properly support the pipes is recommended to be conducted by a licensed plumbing contractor.

Recommendation

Contact a qualified professional.



Recommendation



11.6.1 Sinks / Fixtures

FLEXIBLE PIPE

UNIT 1 PRIMARY BATH

Ribbed, flexible drain pipe was used at the sink. This type of drain pipe accumulates debris more easily than smooth wall pipe and is likely to clog. Recommend that a qualified plumber replace flexible piping with standard plumbing components (smooth wall pipe) to prevent clogged drains.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



11.6.2 Sinks / Fixtures

SHUT-OFF VALVES / SUPPLY LINE CORRODED

UNIT 3

Shut-off valve and/or supply lines were corroded. This indicates a past leak and could possibly leak again in the future. Recommend repairs be made by a qualified licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



Recommendation



11.6.3 Sinks / Fixtures

PREVIOUS LEAK

UNIT 1 PRIMARY BATH/UNIT 1 KITCHEN

Evidence of previous possible leaks were noted at the drain line below the sink. Area appeared dry at the time of the inspection. Advise monitoring and repair by a licensed plumbing contractor.

Recommendation

Contact a qualified professional.



11.8.1 Bathtub / Shower

LEAKS AT SPRAY NOZZLE

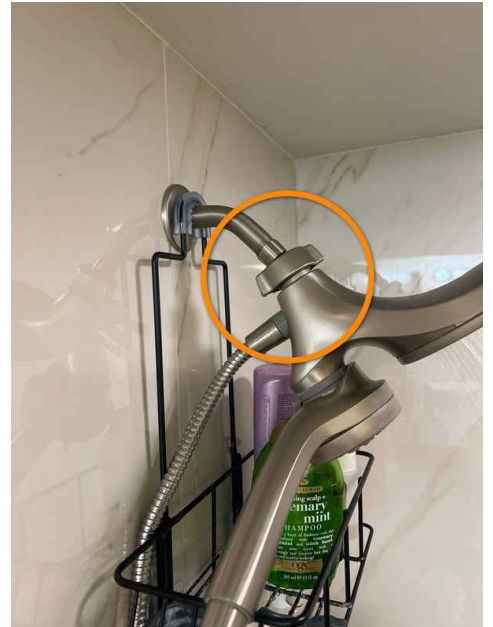
UNIT 3

A leak was noted at the hose connection of the spray nozzle. Recommend repairs be made by a qualified person.



Recommendation

Contact a qualified plumbing contractor.



11.8.2 Bathtub / Shower

WINDOW BELOW SHOWERHEAD

UNIT 3 PRIMARY BATH/UNIT 3 HALLWAY BATH

Improper window height observed at bathroom(s) shower. This can lead to possible moisture damage at the frame. Although this was acceptable during the time of construction, I recommend correcting and advise repair by a licensed professional.

Recommendation

Contact a qualified professional.



11.8.3 Bathtub / Shower

SHOWER DOOR VINYL MISSING

UNIT 2



The the side vinyl and/or bottom vinyl sweep at the shower door was missing, damaged and/or deteriorated. Recommend replacing.

Recommendation

Contact a qualified professional.



11.8.4 Bathtub / Shower

DOOR/GLASS CONTACT

UNIT 2

Door/door hardware contacts glass or mirror. This can break the glass and is a laceration hazard. We advise adding door stops or other barrier to prevent the door from breaking the glass.

Recommendation

Contact a handyman or DIY project



Recommendation



11.9.1 Laundry

NO, LIMITED ACCESS TO BACK OF WASHER, DRYER

UNIT 3

No access or only limited access was available to the back of the clothes washer and dryer, and to utility hook-ups located behind the appliances. The inspector normally attempts to determine the presence of a gas vs. electric power supply, the configuration of the stand pipe, whether the dryer exhaust duct is serviceable, etc. Because of the lack of access, the inspector was unable to fully evaluate and/or describe the hook-ups and appliances.

Recommendation

Contact a qualified professional.



Recommendation

11.9.2 Laundry

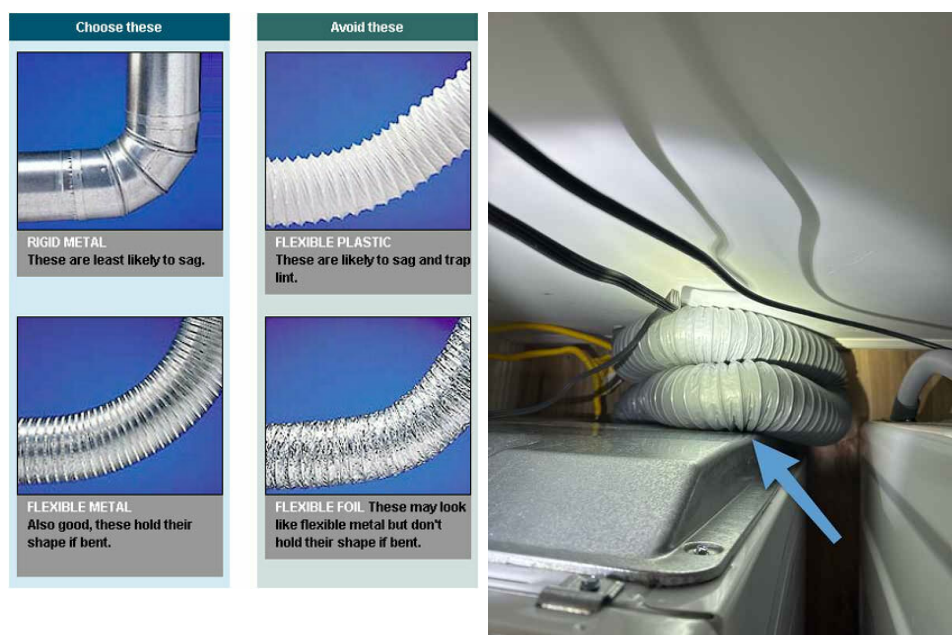
**REPLACE FOIL/NYLON DUCT**

UNIT 1

Replace plastic or foil, accordion-type ducting material with rigid or corrugated semi-rigid metal duct. Most manufacturers specify the use of a rigid or corrugated semi-rigid metal duct, which provides maximum airflow. The flexible plastic or foil type duct can more easily trap lint and is more susceptible to kinks or crushing, which can greatly reduce the airflow. Flexible Nylon ducting is no longer approved in most areas for dryer venting due to the possibility of a fire hazard and has never been approved for use on gas dryers. Clean the dryer vent and exhaust duct periodically. Check the outside dryer vent while the dryer is operating to make sure exhaust air is escaping. If it is not, the vent or the exhaust duct may be blocked. A handyman is recommended for periodic cleaning of vent and duct.

Recommendation

Contact a handyman or DIY project



11.9.3 Laundry

FLEXIBLE DRYER DUCT THROUGH CRAWL SPACE

The clothes dryer's flexible exhaust duct was routed through a wall, floor, building substructure or attic. This type of duct is easily damaged, prone to clogging and not suitable for this purpose. Clothes dryers may overheat. This is a potential fire hazard. It is acceptable for a short length of corrugated, semi-rigid metal duct (not accordion flex-duct) be used between the dryer and the wall or floor fitting, but a duct that runs through walls, building substructures and attics should be made of rigid metal. Recommend that a qualified person replace ducting per standard building practices.

Recommendation

Contact a qualified professional.



11.10.1 Exhaust Fans / Ventilation



Recommendation

NO EXHAUST FAN INSTALLED

UNIT 3 PRIMARY BATH/UNIT 3 HALLWAY BATH

The bathroom with a shower or bathtub didn't have an exhaust fan installed. Although an allowed building practice for the era of construction, moisture can accumulate and result in mold, bacteria or fungal growth. Even if the bathroom has a window that opens, it may not provide adequate ventilation, especially during cold weather when windows are closed or when wind blows air into the bathroom. Recommend that a qualified contractor install exhaust fans per standard building practices where missing in bathrooms with showers or bathtubs.

Recommendation

Contact a qualified professional.



11.12.1 Fuel Systems



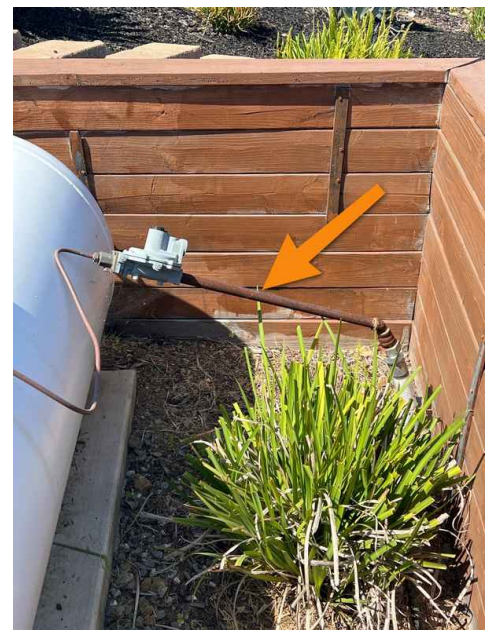
Recommendation

GAS PIPE - RUSTED

The gas pipe supplying the unit was rusted to some degree. Repairs or replacement of the pipe as needed is recommended to be conducted by a qualified contractor.

Recommendation

Contact a qualified professional.



12: ELECTRICAL

Information

Service: Information
120-240 Voltage, 1 phase 3 wire
Voltage, System Ground via
Ground Rod

Service: Entrance Conductor
Material
Copper

Panels: Main Panel Location
Driveway



Panels: Panel Capacity
200 AMP

Panels: Sub Panel Location(s)
Garage

GFCI / AFCI Protection: GFCI reset locations
Bathrooms, Kitchen

Wiring: Wiring Type
Non Metallic Sheathed, Copper

Service: Overhead Service Lateral Information

Power was supplied to the home via an overhead service lateral. The meter and conduit appeared to be in satisfactory condition. No deficiencies were observed at visible portions unless otherwise noted in this report.



Panels: Main disconnect rating

200 AMP

The pictured electrical service disconnect will shut off all power to the home in the case of an emergency, or for servicing.



Panels: Panel Equipment Photographs

Picture inside of the main electrical panel. The dead front cover was removed at the time of the inspection and the breakers, wiring and grounding were inspected. Appears to be functioning as intended



Panel Wiring & Breakers: Over protection devices

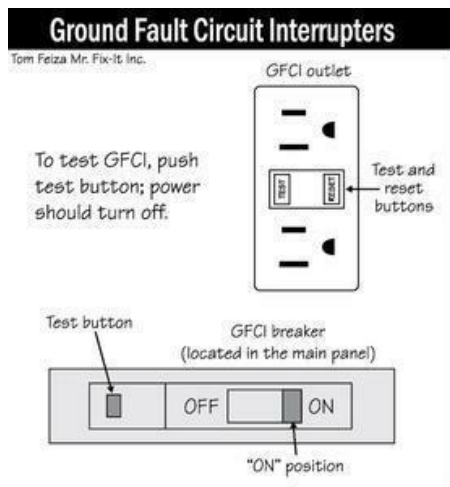
Breakers

The breakers were inspected looking for any visible signs of damage due to arcing, heat, etc. Corresponding conductors were inspected looking for multiple lugging, sizing, damage, etc. No deficiencies were present at the time of inspection unless otherwise noted in this report.

GFCI / AFCI Protection: GFCI protection present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

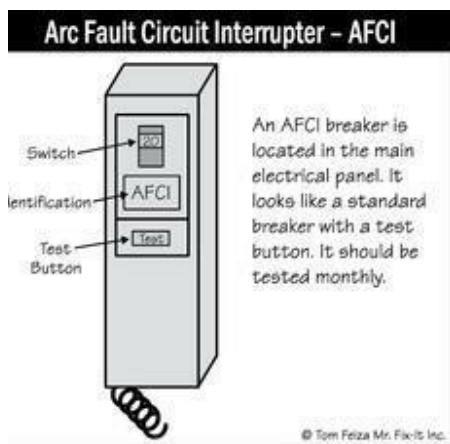


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GFCI / AFCI Protection: AFCI protection present

Yes

An **Arc Fault Circuit Interrupter** (AFCI) is a [circuit breaker](#) that breaks the circuit when it detects an [electric arc](#) in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



020

Wiring: Exterior Lighting

Our company does not test low voltage/exterior lighting. Recommend asking the sellers to demonstrate that all exterior landscape lighting is functional, before the removal of contingencies.

Smoke Detectors / CO Alarms / Door Bell: Smoke Detector Installed / Location(s)

Yes, Bedrooms

Smoke detectors were installed on each floor and in each bedroom, however, they were not tested. We recommend testing the detectors for proper function before occupying the home.

**Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) Installed / Location(s)**

Yes

Carbon Monoxide detectors are required in homes with any gas-burning appliances (furnace, range, water heater), fireplaces, or wood-burning stoves and/or an attached garage. Please see the new law regarding Carbon Monoxide detectors.



Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Findings

12.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM SYSTEMS

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.



Recommendation



12.1.2 Excluded Items

PHOTOVOLTAIC SOLAR ENERGY SYSTEM

Note: A photovoltaic solar energy system was installed. Evaluating these systems is beyond the scope of a home inspection. Its condition is unknown, and it is excluded from this inspection. Recommend that a qualified electrician review this system and make repairs if necessary.

Recommendation

Contact a qualified professional.



Recommendation



12.3.1 Panels

UNABLE TO INSPECT

UNIT 2

I was unable to open and evaluate an electrical panel. The panel is excluded from this inspection. Recommend that repairs, modifications, and/or cleanup should be made as necessary so panels can be opened and fully evaluated.

Recommendation

Contact a qualified professional.



Recommendation

12.6.1 Switches / Receptacles

COVER PLATE DAMAGED

UNIT 2

A cover plate for a switch and/or a receptacle (outlet) were missing and/or damaged. These plates are intended to contain fire and prevent electric shock from occurring due to exposed wires. Recommend that a qualified person install cover plates where necessary.

Recommendation

Contact a handyman or DIY project



Recommendation



12.6.2 Switches / Receptacles

RECEPTACLE ABOVE SINK

UNIT 1 PRIMARY BATH

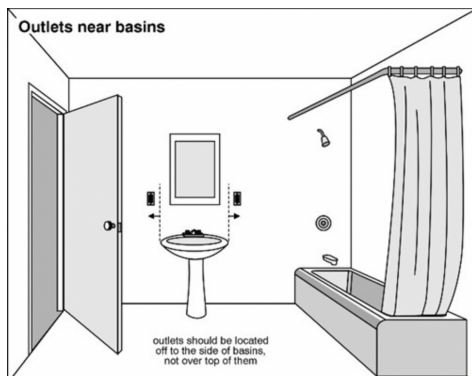
A receptacle is installed directly above a sink. Receptacles are usually installed adjacent to the sink as this poses a shock hazard. Recommend repairs by a licensed electrician.

Recommendation

Contact a qualified professional.



Recommendation



12.8.1 Wiring

EXPOSED ROMEX

UNIT 2 KITCHEN



Recommendation

Exposed Romex type wire noted at one or more locations. This is a safety concern if used where it could be subject to physical damage (below 7ft.). Romex wire normally is used in attics and inside walls. Exposed wire is normally installed in conduit for protection. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine repairs necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



12.9.1 Smoke Detectors / CO Alarms / Door Bell

SMOKE DETECTOR MISSING

UNIT 2

Smoke alarms were missing and/or not installed in one or more locations. Smoke alarms should be replaced as necessary and installed per standard building practices (e.g. in hallways leading to bedrooms, in each bedroom, on each floor). We recommend installing photoelectric type smoke detectors / alarms.

Note: Homes built prior to 1992 were not required to have smoke detectors installed in each bedroom, only hallways. Regardless, calfire.ca.gov recommends installing smoke detectors in each bedroom for increased safety. Click [here](#) for more information.

Recommendation

Contact a handyman or DIY project



13: BUILT-IN APPLIANCES

Information

| | | |
|---|---|--|
| General: Range / Oven / Cooktop Energy Source / Supply Natural Gas, Electronic Ignition | General: Oven Self Cleaning Yes | General: Exhaust / Ventilation Type Hood |
| General: Fridge stays? Unknown | General: Fridge water supply connection Unknown | |

General: Appliances Not Moved

Our company cannot inspect behind or beneath built-in appliances. We cannot move them to see behind or beneath them. We cannot see through any appliance or building materials. Damage that may include but not limited to; moisture damage, wood destroying organism damage, mold or other environmental hazards, to the floor and wall behind the built-in appliances can be present and not reported on because of this limitation. You may wish to ask the sellers to disclose any known and unknown defects that may exist behind or below the built-in appliances in this home. You may also wish to have them moved to view these areas for yourself before the close of escrow.

General: Home Warranty

This inspection is intended to represent the condition of the appliances at the time of the inspection. It is common for appliance issues to arise in homes that are in the transition process. Damage can occur during the move-in/move-out process, appliances that are accustomed to frequent operation can seize due to inactivity(or fail entirely) and latent defects can become apparent once personal items are removed. It is recommended that you obtain and maintain a thorough Home Warranty to guard against these unforeseen conditions.

Microwave: No Mounted Microwave Present

Unit 2

No mounted microwave was present in the kitchen. Only attached microwaves are inspected during a home inspection. Standalone microwaves are not moved to look at the condition of items below or around them.



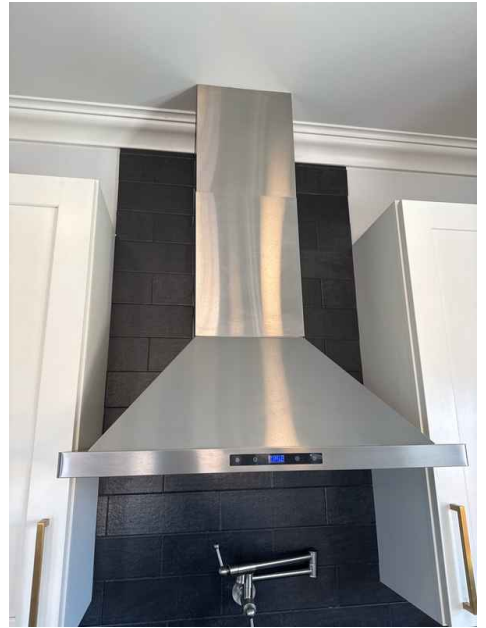
Range/Oven/Cooktop: Thermal Image of the stove top operating as intended.

The cooktop was tested and was functional at the time of the inspection. This test is not exhaustive and does not confirm the performance, accuracy, or effectiveness of the cooktop.



Exhaust / Ventilation: Exhaust Vent

The range exhaust vent was tested and was functional at the time of the the inspection. This is not an exhaustive test, and does not evaluate the performance or effectiveness of the unit.



Dishwasher: Dishwasher

The dishwasher was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the cleaning efficiency of the dishwasher.



Garbage / Food Disposal: Food Waste Disposer

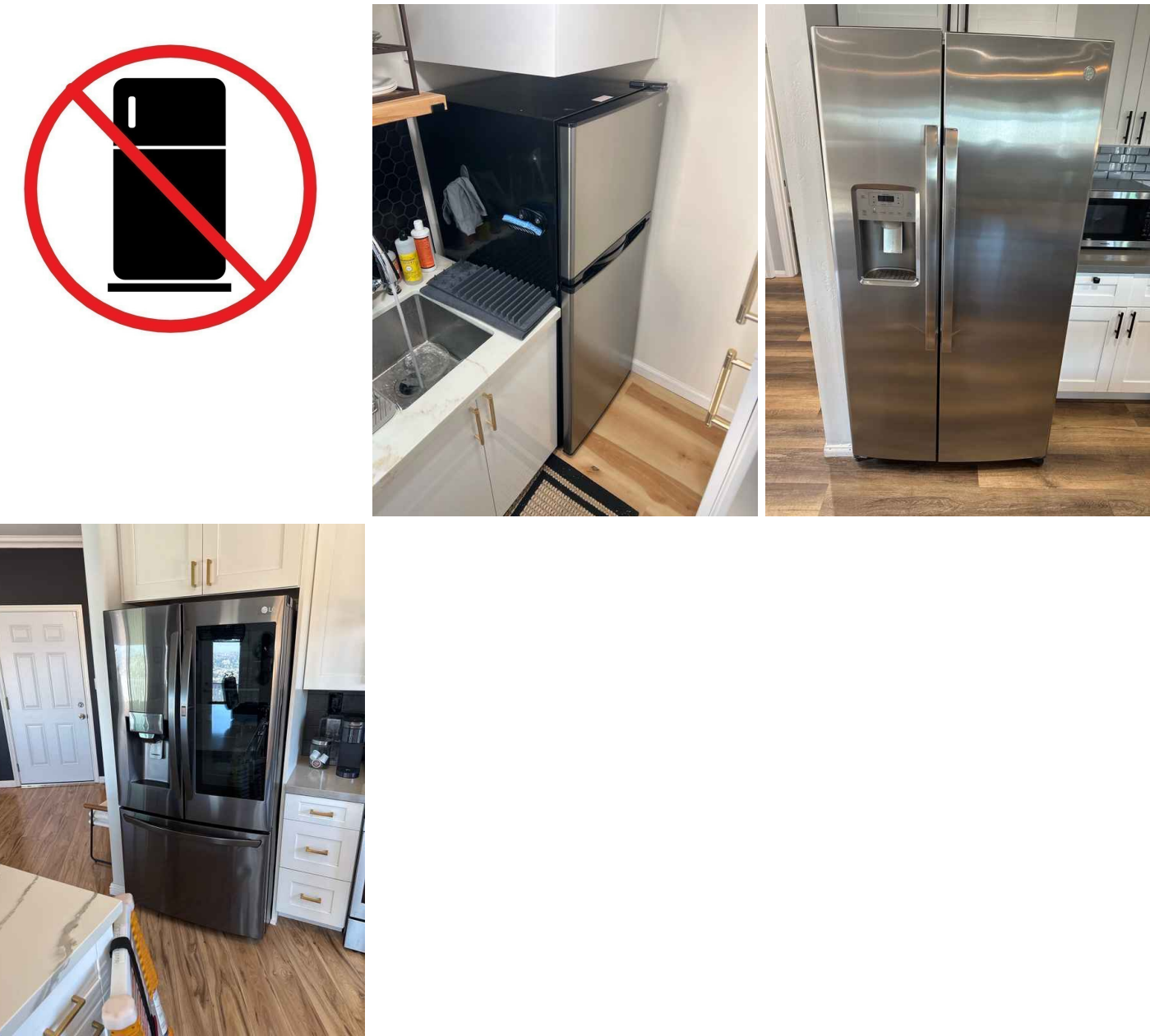
The food waste disposer was tested and functioned properly at the time of the inspection. This is not an exhaustive test and does not verify the efficiency of the unit.



Refrigerator: Refrigerator

Refrigerators built in or not are not part of our general home inspection and are not inspected or commented on. If concerned about its serviceability and functionality we recommend further evaluation by a qualified licensed appliance contractor prior to the end of your contingency period.

I could not identify or inspect the water shut off valve for the refrigerator. I do not move refrigerators in order to access the outlet. Moving refrigerators is out of the scope of a home inspection. If concerned we recommend verifying that the water shut off valve is operational, not corroded and not leaking prior to the end of your contingency period.



Limitations

General
APPLIANCE LIMITATIONS

Findings

13.3.1 Range/Oven/Cooktop

OVEN DOOR HANDLE LOOSE / DAMAGED / MISSING

UNIT 2

Oven door handle was loose, damaged and/or missing. Recommend a qualified appliance repair person repair or replace oven door handle.

Recommendation

Contact a qualified appliance repair professional.



Recommendation



13.3.2 Range/Oven/Cooktop

RANGE / OVEN ANTI-TIP BRACKET NOT INSTALLED / INEFFECTIVE

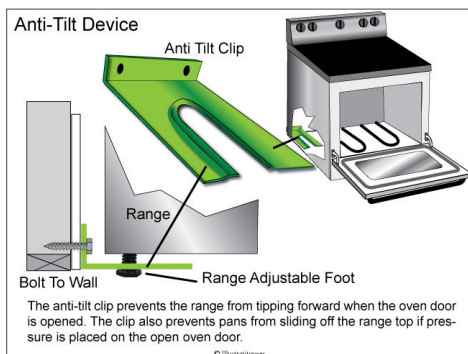
The range could tip forward. An anti-tip bracket may not be installed or may be ineffective. This is a potential safety hazard since the range can tip forward when weight is applied to the open door, such as when a small child climbs on it or if heavy objects are dropped on it. Anti-tip brackets have been sold with all free-standing ranges since 1985. Recommend installing an anti-tip bracket to eliminate this safety hazard.

Recommendation

Contact a qualified professional.



Recommendation



13.5.1 Dishwasher

AIR GAP LOOSE / LEAKS AT COUNTER

UNIT 3



Safety Hazard

Dishwasher's air gap device is loose and/or leaks at countertop connection. This can cause water damage to surrounding areas. Recommend that a qualified person make repairs as necessary.

Recommendation

Contact a qualified professional.



14: HVAC

Information

Heating / Forced Air: Location
Mini splits

Heating / Forced Air: Energy source
Electric

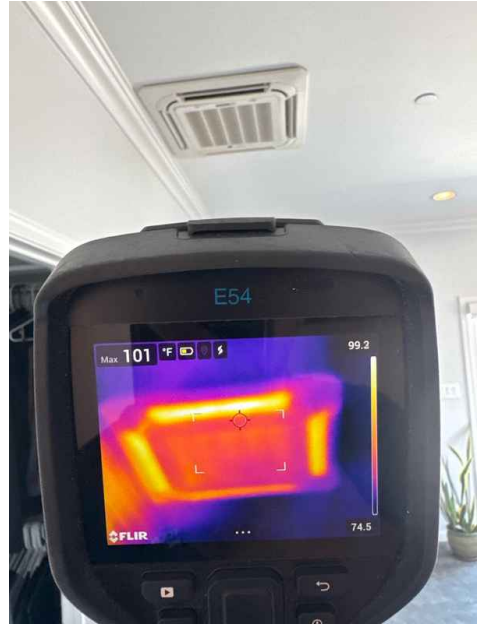
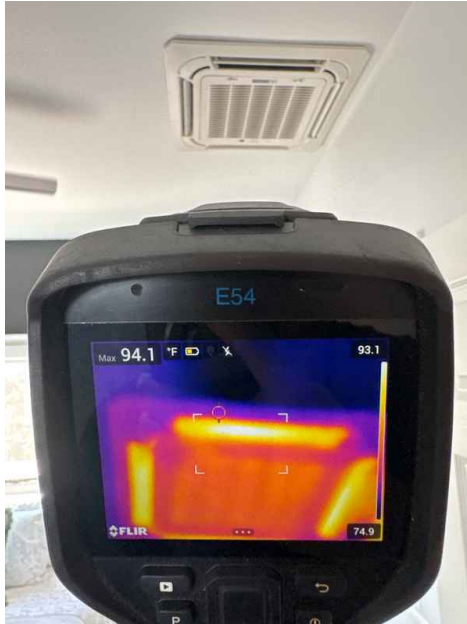
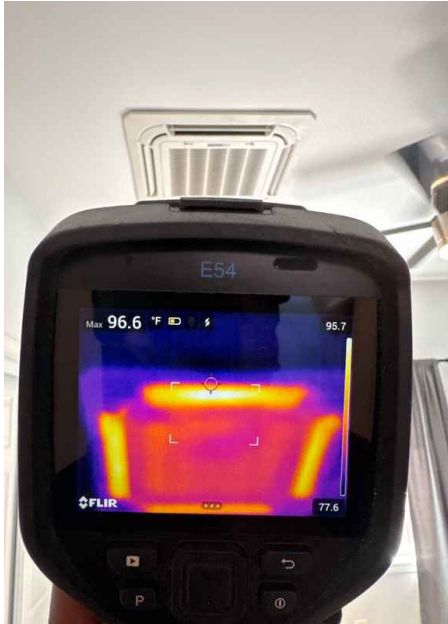
Air Conditioner: Location
Exterior, Elevated Pad

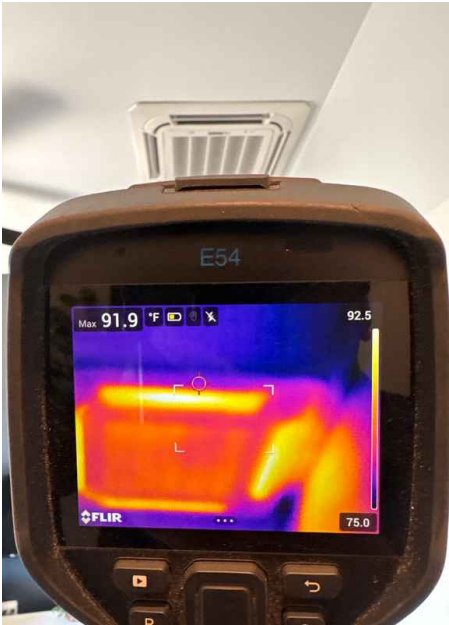
Air Conditioner: System Type
Ductless / Mini split

Heating / Forced Air: Appears Functional

Heat system appears to be in working order.

The photo(s) below is/are a thermal image of the supply air temperature at register(s) at the time of this inspection.





Air Conditioner: Appears Functional

The photo(s) below is/are a thermal image of the air temperature at supply and return air register(s) at the time of this inspection.

Note: Please be aware that when an air Conditioner is tested during cooler or cold seasons the temperature recorded can be inaccurate due to certain pressures in the system.





Air Conditioner: Equipment Photos

A/C system was tested using normal operating controls. As with all mechanical equipment, the unit can fail at anytime without warning. Inspectors cannot determine future failures. As long as the unit is functioning properly in the cooling mode, it is an indication that the major components are operational. If a more detailed evaluation of the cooling capacity is desired, a HVAC company should be consulted prior to closing.



Limitations

General comments
HVAC LIMITATIONS

Findings

14.1.1 General comments
SERVICE HEATING / COOLING SYSTEM

Recommendation

The last service date of the forced air heating / cooling system appeared to be more than 1 year ago, or the inspector was unable to determine the last service date. Ask the property owner when it was last serviced. If unable to determine the last service date, or if this system was serviced more than 1 year ago, recommend that a qualified HVAC contractor service this system and make repairs if necessary. Because this system has a compressor and refrigerant system, this servicing should be performed annually in the future. Any needed repairs noted in this report should be brought to the attention of the contractor when it's serviced.

Recommendation

Contact a qualified HVAC professional.

14.1.2 General comments

NO PERMANENT HEAT SOURCE IN SOME LIVABLE ROOMS

UNIT 2 BEDROOM

One or more "livable" rooms had no visible source of heat. Examples of livable rooms include bedrooms, kitchens and living/dining rooms, NOT hallways, closets or bathrooms. Livable rooms without heat (e.g. heat register, radiator, baseboard or wall heater) can be uncomfortable and have high levels of moisture. Depending on the client's needs, recommend consulting with a qualified heating contractor to determine options for modifying or improving the heating system per standard building practices.

Recommendation

Contact a qualified HVAC professional.



Safety Hazard



15: ATTIC, INSULATION & VENTILATION

Information

| | | |
|---|--|---|
| Access: Access Location(s) Master Bedroom Closet | Access: How Viewed Traversed | Structure & Sheathing: Types Ceiling joists, Rafters, Unknown Sheathing |
| Attic Insulation: Insulation Type Fiberglass Roll | Attic Insulation: Estimated R Value Not Determined | Exhaust & Ventilation: Ventilation Type Gable Vents |

Access: Attic Views

Due to typical design/accessibility constraints (insulation, storage, etc..) evaluation of the attic areas, roof decking, sheathing, gas lines, electrical and plumbing elements, condensate lines, including structural components, is generally limited. Additional items may also affect the ability to enter attic area, security wires, electrical and/or added alterations to attic and it's components.





Limitations

Access

ATTIC LIMITATIONS

Findings

15.1.1 Access

NOT FULLY EVALUATED -- INSULATION

 Recommendation

Insulation has been installed on the attic floor and/or the roof sheeting. The insulation obscures the attic floor and/or roof structure. The inspector makes no attempt to move or remove it for evaluation purposes. All areas and components obscured by the insulation are excluded from this inspection.

16: STRUCTURAL COMPONENTS

Information

| | | |
|---|---|---|
| Access: Location Exterior, Rear, Right Side | Access: How Viewed Partially Traversed | Substructure: Sub floor material OSB plywood |
| Substructure: Beam & Joist Material Solid Wood Beam Noted, Wood Floor Joist Noted | Substructure: Pier/Support Material Concrete Block, Post & pier | Insulation/Ventilation: Ventilation Type Vented |



Insulation/Ventilation: Insulated
Yes



Access: Raised Foundation

This property has a raised foundation. Such foundations permit access, and provide a convenient area for the distribution of water pipes, drain pipes, vent pipes, electrical conduits, and ducts. However, although raised foundations are far from uniform, most include concrete footings and walls that extend above the ground with anchor bolts that hold the structure onto the foundation, but the size and spacing of the bolts vary. In the absence of major defects, most structural engineers agree that the one critical issue with raised foundations is that they should be bolted. Our inspection of these foundations conforms to industry standards, which is that of a generalist and not a specialist, and we do not use any specialized instruments to establish that the structure is level. We typically enter all accessible areas, to confirm that foundations are bolted and to look for any evidence of structural deformation or damage, but we may not comment on minor deficiencies, such as on commonplace settling cracks in the stem walls and slight deviations from plumb and level in the intermediate floor framing, which would have little structural significance. Interestingly, there is no absolute standard for evaluating cracks, but those that are less than 1/4" and which do not exhibit any vertical or horizontal displacement are generally not regarded as being structurally relevant. Nevertheless, all others should be evaluated by a specialist. However, in the absence of any major defects, we may not recommend that you consult with foundation contractor, a structural engineer, or a geologist, but this should not deter from seeking an opinion of any such expert.



Access: Suggested Foundation Maintenance and Care

Proper drainage and moisture maintenance is imperative to all types of foundations due to the expansive nature of the area load bearing soils. Drainage must be directed away from all sides of the foundation with grade slopes. In most cases, floor coverings and/or stored particles prevent recognition of signs of settlement-cracking in all but the most severe cases. It is important to note, this was not a structural engineering survey nor was any specialized testing done of any sub-slab plumbing systems during this limited visual inspection, as these are specialized processes requiring excavation. In the event that structural movement is noted, client is advised to consult with a Structural Engineer who can isolate and identify causes, and determine what corrective steps, if any, should be considered to either correct and/or stop structural movement.

Access: Expansive Soil Information

The home appears to be constructed in an area that contains possible expansive soils. If present, expansive soils can promote structural movement when drainage is not properly controlled. It is recommended that a licensed soils engineer further evaluate the property to determine if corrections are needed at this time.

Limitations

Access

CRAWL SPACE LIMITATIONS

Structural components such as joists and beams, and other components such as piping, wiring and/or ducting that are obscured by under-floor insulation are excluded from this inspection. The inspector does not determine if support posts, columns, beams, joists, studs, trusses, etc. are of adequate size, spanning or spacing. The inspector does not guarantee or warrant that water will not accumulate in the crawl spaces in the future. Complete access to all crawl space areas during all seasons and during prolonged periods of all types of weather conditions (e.g. heavy rain, melting snow) would be needed to do so. The inspector attempts to locate all crawl space access points and areas. Access points may be obscured or otherwise hidden by furnishings or stored items. In such cases, the client should ask the property owner where all access points are that are not described in this inspection, and have those areas inspected. Note that crawl space areas should be checked at least annually for water intrusion, plumbing leaks and pest activity.

Findings

16.2.1 Substructure



Maintenance Item

VERTICAL CRACKS

There are some vertical cracks in the foundation walls, which are probably attributable to shrinkage and have little structural significance. Generally speaking, cracks that are less than 1/8" are not commonly regarded as being structurally significant. Nonetheless, they should be monitored to see if there is active movement in this area, because such cracks can become a contentious and litigious issue. These cracks will need to be sealed to prevent moisture intrusion and widening.

Recommendation

Contact a qualified professional.



16.2.2 Substructure



Safety Hazard

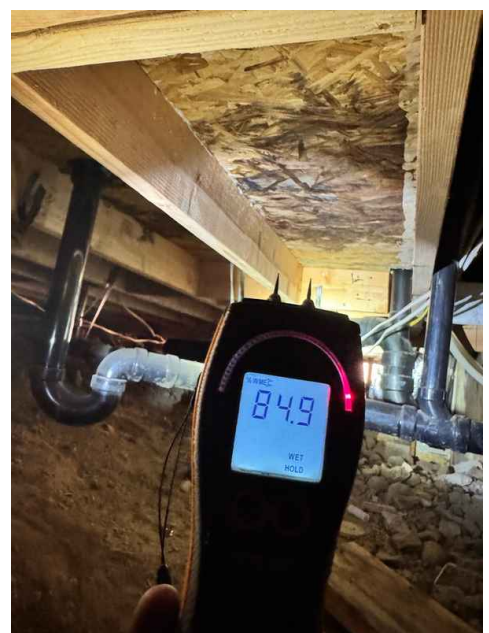
MOISTURE STAINING - PLUMBING

UNIT 2 SHOWER

Moisture staining and damage to the subfloor was present in an area of a plumbing protrusion(s). An evaluation of this area to determine if this is a past or present leak is recommended to be conducted by a licensed plumber, with repairs made to rectify the source of the leak (if active) and any related damage present.

Recommendation

Contact a qualified professional.



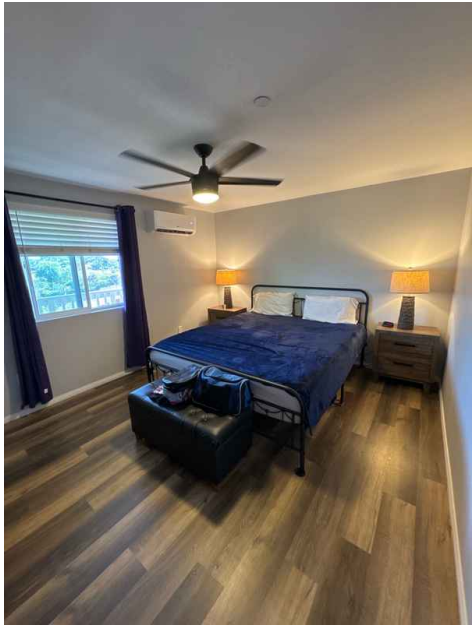
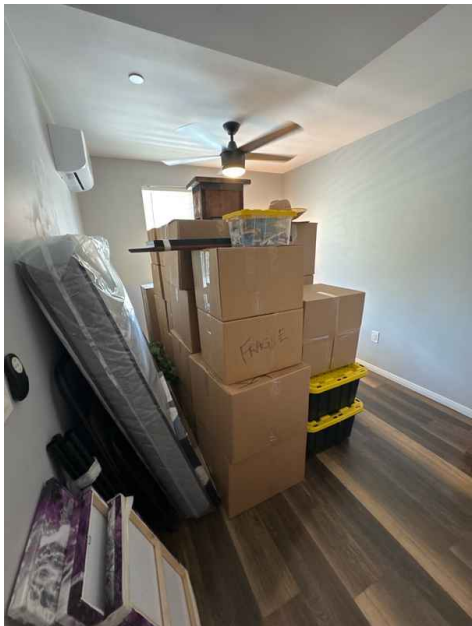
17: COMPLEMENTARY PICTURES

Information

Complimentary Photos: Interior Photos

The photographs in this section of this inspection report are not intended to point out defects. These photographs have been provided to you as a complementary service and are for your information. Only limited representative number of rooms or locations are included in this Complimentary Photo section.

Complimentary Photos: UNIT 3



Complimentary Photos: Unit 2



Complimentary Photos: Unit 1

