



REAL ESTATE INSPECTION REPORT

Property Address:
686 S Camino Real
Palm Springs, CA 92264

Prepared and Written by Paul Limón , Inspector - Exclusively for



Advantage Inspection Professionals
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Report # 10777



Dear Daniel Ferretti,

We have enclosed the report for the property inspection we conducted for you on Friday, October 15, 2021 at 10:00 AM at:

686 S Camino Real
Palm Springs, CA 92264

Our report is designed to be clear, easy to understand, and helpful. Please take the time to review it carefully. If there is anything you would like us to explain, or if there is other information you would like, please feel free to call us. We would be happy to answer any questions you may have.

Throughout the report, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

NR = Needed Evaluation/Repairs: Conditions noted warrant further evaluation by a specialist in the appropriate trade(s).

SC = Safety Concerns: Conditions noted that may pose a hazard to humans, the building or both. These conditions warrant further evaluation by a specialist in the appropriate trade(s).

RM = Recommended Repairs/Review/Maintenance: Conditions noted in need of maintenance, repair, replacement or further evaluation. We recommend that all corrections be made by specialist in the appropriate trade(s).

UG = Recommended Upgrades: Systems and/or components that may have not been available and or not required or have been improved since the building was constructed. Upgrades are not the responsibility of the seller and are reported as a courtesy to our clients.

NT = Did not test or evaluate this unit, component or area of property. May be beyond the scope of this inspection, not accessible or not tested due to possibility of damage to system or component.

Note = The term where used in this report was designed to draw your attention to a specific condition or component of a system. While corrective action may not be warranted, we felt it was important that you be aware of its existence.

We thank you for the opportunity to be of service to you.

Sincerely,

Bruce Carmichael, Certified American Society of Home Inspectors, Certified California Real Estate Inspection Association Inspector and Certified Residential Thermographer
Advantage Inspection Professionals 760-835-8772. www.advantagesocal.com



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Introduction

We have inspected the structural components and mechanical systems for signs of significant non-performance, excessive or unusual wear and general state of repair. The following report is an overview of the conditions

In the report, there may be specific references to areas and items that were inaccessible. We can make no representations regarding conditions that may be present but were concealed or inaccessible for review. With access and an opportunity for inspection, reportable conditions may be discovered. Inspection of the inaccessible areas will be performed upon arrangement and at additional cost after access is provided.

We do not review plans, permits, recall lists, and/or government or local municipality documents. Information regarding recalled appliances, fixtures and any other items in this property can be found on the Consumer Product Safety website. These items may be present but are not reviewed.

Our recommendations are not intended as criticisms of the building, but as professional opinions regarding conditions present. As a courtesy, the inspector may list items that they feel have priority in the Executive Summary portion of the report. Although the items listed in this section may be of higher priority in the opinion of the inspector, it is ultimately the client's responsibility to review the entire report. If the client has questions regarding any of the items listed, please contact the inspector for further consultation.

Lower priority conditions contained in the body of the report that are neglected may become higher priority conditions. Do not equate low cost with low priority. Cost should not be the primary motivation for performing repairs. All repair and upgrade recommendations are important and need attention.

This report is a "snapshot" of the property on the date and time of the inspection. **IT IS NOT A WARRANTY.** The structure and all related components will continue to deteriorate/wear out with time and may not be in the same condition at the close of escrow.

All recommendations in this report should be addressed **PRIOR TO THE END OF THE CLOSE OF ESCROW. This report is not intended for use by anyone other than the client named herein. No other persons should rely upon the information in this report.** Client agrees to indemnify, defend and hold inspector harmless from any third party claims arising out of client's unauthorized distribution of the inspection report.

By accepting this inspection report, you acknowledge that you have reviewed and are in agreement with all of the terms contained in the inspection agreement provided by the inspector who prepared this report.

Inspection Info

YEAR BUILT

1938

BUILDING TYPE

Single family with a pool

CURRENT WEATHER

Clear

WEATHER LAST 24HRS

Clear

TEMPERATURE

70-80 degrees

WIND

Breeze

SOIL

The ground was dry

INSPECTOR(S)

Paul Limon, Certified CREIA Inspector, Certified Residential Thermographer

PRESENT DURING INSPECTION

Buyer

Buyers Agent


SPACE BELOW GRADE

Concrete Slab

UTILITIES STATUS

All utilities on

INTERIOR OCCUPIED

 Yes, note that stored items and furniture prevented viewing all areas of the house, while the inspector made every effort to inspect the house.

If areas of the home are inaccessible or concealed from the inspectors view, then an inspection of that area did not take place. Request that any information about any hidden problems be revealed to you about these inaccessible or hidden areas from the seller prior to the close of escrow. Return to the property prior to the close of escrow and perform a walk-through inspection of your own after the owner's belongings have been removed. If your inspection or information reveals hidden damage or concerns contact a qualified specialist or your inspector for a return visit.

Emergency Disconnect Locations

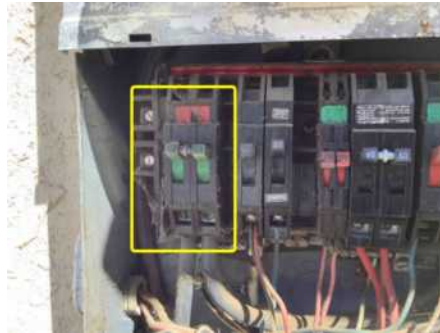
WATER METER & WATER SHUT OFF VALVE

Water meter is located at the **front by the street**. The water shut off valve is located **by the water meter and front of house**



MAIN ELECTRICAL METER & MAIN DISCONNECT

Electrical Meter and Disconnect is located at Main Panel exterior **right side** of the subject property



GAS METER AND GAS SHUT OFF VALVE

Meter and Shut Off valve for gas is located at **right side** of the subject property



Exterior Areas

This inspection is not intended to address or include any geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted. Any reference to grade is limited to only areas around the exterior of the exposed areas of the foundation or exterior walls. This inspection is visual in nature and does not attempt to determine drainage performance of the site of the condition of any underground piping, including municipal water and sewer service piping or septic systems. Decks and porches are often built too close to the ground, where no viewing or access is possible. These areas as well as others are too low to enter, or in some case not accessible, are excluded from the inspection and are not address in the report. We recommend that inquiry be made with the seller about knowledge or any prior foundation or structural issues or repairs

DRIVEWAYS CONDITION

RM Cracks noted to driveway, We recommend further review and repairs by a qualified specialist in the appropriate trade.



SC Tripping hazards noted at driveway. We recommend further review and repairs by a qualified specialist in the appropriate trade.



WALKWAYS CONDITION

SC Walkway surface is raised/settled, this has created a TRIP - HAZARD at front. We recommend further review and repairs by a qualified specialist in the appropriate trade.



PATIOS CONDITION

SC Patio surface raised/settled, this has created a TRIP - HAZARD at rear decking near pool. We recommend further review and repairs by a qualified specialist in the appropriate trade.



FENCES & GATES CONDITION

NR Loose posts noted at left side of house



NR Gate needs repair at right side



NR Repair needed to fencing



GRADING-SURFACE DRAINAGE SITE & CONDITION

Flat site, Drainage of property appears to be adequate

PATIO/PORCH COVERS CONDITION

NR Damage noted to wood. Recommend further evaluation by a qualified Termite Company



NR Moisture damage noted to front porch roof sheathing, Recommend further evaluation by a qualified Termite Company



NR Roofing material missing on patio roof



NR Improper installation at patio roof.



Exterior - Foundation

Areas hidden from view by finished walls or stored items can not be judged and are not part of this inspection. Minor cracks are typical in many foundations and most do not represent a structural problem. If major cracks are present along with bowing, we routinely recommend further evaluation be made by a qualified structural engineer. All exterior grades should allow for surface and roof water to flow away from the foundation. All concrete floor slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. Where carpeting and flooring coverings are installed, the material and condition of the flooring underneath cannot be determined. Some foundation issues may also be safety hazards, all recommendation should be addressed prior to the close of escrow.

EXTERIOR WALL STRUCTURE

Exterior wall framing is constructed of wood.

EXTERIOR WALL MATERIAL

Stucco

EXTERIOR WALL CONDITION

RM Damaged stucco noted at front



STUCCO WEEP SCREED CONDITION

None installed

EXTERIOR EAVES, SOFFITS & FASCIAS CONDITION

NR Damage noted at roof rafter(s). We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR

Staining noted at eaves, We recommend further review and repairs by a qualified specialist in the appropriate trade.



SLAB ON GRADE

Concrete slab noted. Slab is not visible due to carpet and/or floor covering - no readily visible problem are noted.

SLAB ON GRADE ANCHOR BOLTS

Anchor Bolts Not visible, could not determine.

EXTERIOR ACCESS HATCH(S)

None present or found

Chimneys

Regular chimney maintenance is highly recommended, yet often overlooked by homeowners. Wood burning fireplaces should be cleaned and inspected annually. All manufactured fireplaces should be service and cleaned every 3 years. The full evaluation of the structural and internal portions of the chimney is beyond the scope of this visual evaluation. It is recommended that a "Level 2" chimney and flue evaluation be performed by a certified Chimney Sweep to identify any possible hazards. The "Level 2" evaluation is best suited to provide the information needed for the Real Estate transaction.

CHIMNEY LOCATIONS

Center



CHIMNEY MATERIAL

Concrete block

CHIMNEY CONDITION

Chimney(s) appeared to be in fair condition at time of inspection.

CHIMNEY CAP

NR Appears to have been improperly altered. Recommend chimney specialist to evaluate and repair as needed.



SPARK ARRESTOR & CHIMNEY COVER

SC Improper cover and spark arrestor noted at chimney. Recommend further evaluation by a chimney specialist.



CHIMNEY ROOF JOINT

NR Counter flashing missing at chimney.



Roof System

The foregoing is an opinion of the general quality and condition of the roof material. The underlayment of the roof was blocked from view and could not be inspected. The inspector cannot and does not offer an opinion or warranty as to whether the roof leaks or may be subject to future leakage. This report is issued in consideration of the foregoing disclaimer. The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Recommend asking the seller for further information on the roof and if they have had any leaks and or calling a Qualified Roofing Contractor to obtain a roof certification before the close of escrow.

#1

ROOF STYLE

Sloped

ROOF TYPE

Wood shingles

ROOF ACCESS

Walked on roof

ROOF CONDITION

RM The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Recommend asking the seller for further information on the roof and if they have had any leaks or modifications. Recommend roof be evaluated and certified by a qualified Roofing Contractor.



NR Damaged or missing Shingles noted. Repair/Replacement needed.



FLASHING CONDITION

RM Clean debris from valley flashing to allow for proper drainage so roof does not leak when it rains. We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR Cap missing on roof vent for water heater .



GUTTERS/DOWNSPOUTS & DRAINS

NR Damage gutters viewed



#2

ROOF STYLE

Sloped

ROOF TYPE

Composition shingles installed.

ROOF ACCESS

Walked on roof

ROOF CONDITION

NR The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Recommend roof be evaluated and certified by a qualified Roofing Contractor due to its age.



NR Nails/Fasteners are protruding from the roof surface. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor



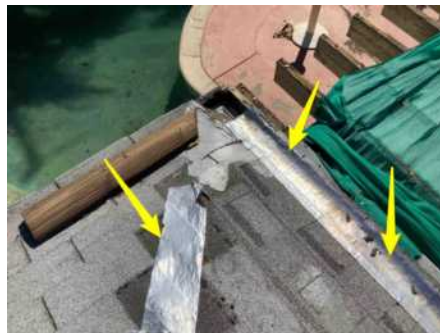
NR Debris should be removed from roof, Recommend further review and repair by a qualified Roofing Contractor



RM Recommend all unused nails be removed from roof by a roofing contractor.



NR Improper installation is found, Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor





NR Repairs appear to be substandard. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor



NR Heavy Wear noted to composition roof, composition roof appears to be at its end of its service life. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor.



NR Missing composition shingles in several areas





NR Damage noted to roof sheathing



FLASHING CONDITION

NR All flashing junctions should be re sealed to prevent leaks, We recommend the advice and services of a qualified Roofing Contractor



Attic

HATCH LOCATIONS

Bedroom closet ceiling

ATTIC METHOD OF INSPECTION

Note Viewed the attic area from the attic hatch with a high powered light.

ATTIC CEILING AND ROOF STRUCTURE TYPE & CONDITION

Conventional framing at roof



Visible portions of roof framing system appeared to be in good condition.

ATTIC LEAK EVIDENCE

NR Stains seen in attic, unable to determine the status of the stains. Active leakage may be present. We recommend the advice and services of a qualified Roofing Contractor



ATTIC ELECTRICAL

SC Junction box cover(s) missing in attic area, this is a fire hazard, all attic electrical be reviewed. Recommend further review and repair by qualified Electrical Contractor.



ATTIC INSULATION TYPE & CONDITION

Fiberglass Batts.



RM

Uneven insulation noted, recommend adding additional insulation.



ATTIC VAPOR RETARDERS

No vapor retarder installed.

ATTIC VENTILATION

Adequate

ATTIC EXHAUST FAN DUCTING

Could not determine termination point.

ATTIC PESTS

SC

I observed evidence of rodents in the attic. Ask the Sellers about the rodent history and/or contact a Pest Control Operator to further evaluate.



Electrical Systems

An electrical system consist of the service, distribution, wiring and convenience outlets (switches, lights and receptacles). Our examination of the electrical system includes the exposed and accessible conductors, branch circuitry, panels, over current protection devices and a random sampling of convenience outlets. We look of adverse conditions such as improper installation, exposed wiring, running splices, reversed polarity and circuit protection devices. We do not evaluate fusing and/or calculate circuit loads. The hidden nature of the electrical system prevents inspection of every length of wire. Any electrical repairs should be done by a qualified company. The power to the entire house should be turned off prior to beginning any repairs, no matter how trivial the repairs may be. Operation of time clock motors is not verified. Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are not changed during the inspection. We make every effort to test all accessible receptacles, switches and fixtures, some may not have been accessible during the inspection and were not tested.

SERVICE UTILITY STATUS

Electric was on

SERVICE

Note Overhead wiring appeared to be in good condition at time of inspection, annual inspections are recommended by a qualified Electrical Contractor. Caution when using ladders or long poles in this area of house.



DISCONNECT TYPE & PANEL RATING

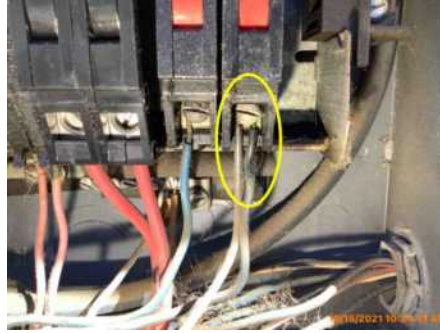
Breakers, Amperage rating 120/240 volt system, panel rated sticker missing could not determine amps. Main breaker is 100 amps

MAIN PANEL

Interior of panel was inspected, circuit and wire sizing correct so far as visible



SC Multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected. Recommend further review and repair by qualified Electrical Contractor.



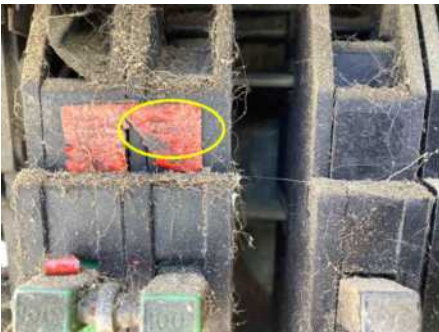
NR Panel cover hinges missing and or damaged.



SC Dead front cover missing at main electrical panel, this is a safety concern, installation is needed for safety, Recommend further review and repair by qualified Electrical Contractor.



SC The main electrical service panel was made by Zinsco. Zinsco panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock/electrocution. The Inspector recommends that before the expiration of your Inspection Objection Deadline, you consult a qualified Electrical Contractor to have panel inspected for any issues and possible replacement. Information about defective Zinsco panels is widely available on the internet.

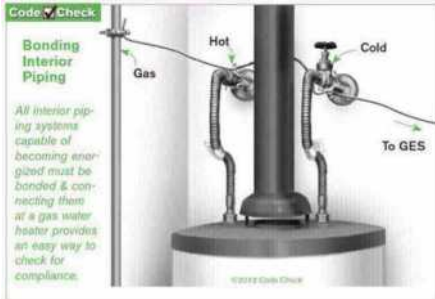


MAIN ELECTRICAL PANEL GROUNDING

SC No observable grounding system noted for electrical panel, Recommend further review and repair by qualified Electrical Contractor.

MAIN ELECTRICAL BONDING

SC Bonding is recommend at the gas and water lines near the water heater for safety. Bonding may be present at other locations but could not be seen or verified. Electrical bonding is the practice of intentionally electrically connecting all exposed metallic items not designed to carry electricity in a room or building as protection from electric shock. Recommend further review and repair by qualified Electrical Contractor.



SERVICE WIRING CONDUCTORS

Copper

BRANCH WIRING #1

Copper, non-metallic sheathed cable (Romex)

EXTERIOR LIGHTING SWITCHES AND FIXTURES

NR Light fixture missing, light fixture required at all grade level doors



NR Weather proof cover missing at pool light switch.



EXTERIOR RECEPTACLES

No exterior receptacles were found

EXTERIOR CONDUIT/WIRING

NR Exposed wiring should be properly protected. Recommend further review and repair by qualified Electrical Contractor.



SC Exposed live wires noted at rear room



DOOR BELL CONDITION

UG No doorbell installed.

SMOKE DETECTORS

SC No Smoke detector(s) were present, recommended installing newer type photoelectric. To examine or test smoke detectors is outside the scope of the home inspection. We recommend further evaluation by a specialist in the appropriate trade to determine if this component will function as needed during a emergency situation.

CARBON MONOXIDE DETECTORS

SC No carbon monoxide detectors installed at time of inspection. New california law requires homeowners of existing single-family dwelling units to install carbon monoxide detectors starting July 1, 2011. Every owner of a "dwelling unit intended for human occupancy" must install an approved carbon monoxide device in each existing dwelling. Some lenders require that units be installed as part of there loan process, recommend installation before appraisal is done in order to avoid delays and extra fees. For minimum security, a CO Alarm should be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents.

INTERIOR LIGHTING SWITCHES AND FIXTURES

All accessible switches and light fixtures appeared to be in good working condition

INTERIOR RECEPTACLES

RM There is a receptacle with a missing cover plate at rear room



NR Receptacle did not work at rear room



INTERIOR CONDUIT/WIRING

SC Exposed splices are noted, junction box should be installed



SC Junction box cover(s) are missing



Plumbing Systems

All under ground or hidden piping related to water and gas supply, water drainage, venting, waste or sprinkler systems are excluded from this inspection. If we can not see is we can not report on it. Leakage or corrosion in underground piping cannot be detected by a visual inspection. It is impossible to determine if the house is connected to the city sewer system or septic. Contact the city for information. Water quality or hazardous material (lead) testing can be done by other companies. Water hammer or pipe knock may not present it self during inspection. Recommend all plumbing repairs be done by a qualified company

MAIN WATER SERVICE UTILITY STATUS

Water was on

FUEL SYSTEM UTILITY STATUS

NR Gas service off at time of inspection We recommend the utility provider be notified in order to turn on gas before the close of escrow so a full inspection can be done. Fee for re inspection after gas in turned on is 225.00.



WATER METER

Water meter cover was removed and area inspected, no leaks were seen.

MAIN WATER PIPING TYPE/CONDITION

Copper

MAIN WATER SHUT OFF VALVE

Note Water shut off valve present and tested for leaks, no leaks were present at or around valve area. We do not Test to see if the water fully shuts off completely to the house.

WATER PRESSURE

NR The homes water supply pressure exceeded the 80 pounds per square inch (PSI) limit considered the maximum allowable by generally-accepted current standards. Excessively high water pressure is likely to cause leaks. Water pressure noted at time of inspection was **100** psi, recommend the installation of a pressure regulator by a qualified Plumbing Contractor.



WATER SUPPLY TYPE/CONDITION

Copper & Galvanized

RM The home appears to contain some older galvanized steel water distribution pipes along with newer copper water supply. Galvanized pipes are outdated and subject to corrosion which will eventually result in restricted flow and leakage. We recommend the advice and services of a qualified Plumbing Contractor

RM Discolored water noted from galvanized pipes if water is not run for periods of time, life expectancy of galvanized piping is around 40 years, Galvanized system appears to be nearing/at end of its useful life



NR Sulfur smell at water supply

HOSE FAUCETS

Sample operated, appeared serviceable

WASTE LINES TYPE/CONDITION

Cast Iron

RM House appears to have original sewer drain lines, recommend the sewer drain lines be scoped with a camera to determine condition. Recommend the advice and services of a qualified Plumbing Contractor

WASTE LINES CLEAN OUTS

UG Could not locate clean outs for drains, house may have been built before current requirements, recommend installation of a clean out, We recommend the advice and services of a qualified Plumbing Contractor

VENT PIPING TYPE/CONDITION

Cast Iron

Galvanized

FUEL SYSTEMS TYPE

Natural Gas

The gas supply may be shut off by turning the valve 90 degrees either direction. The shut off valve was not tested. System appears serviceable. We recommend providing a wrench or installing an automatic seismic shut off valve on the gas meter as an "upgrade" for protection against fire loss in the event of a damaging earthquake.

GAS PIPING TYPE/CONDITION

Galvanized

SC Rusting lines noted on roof, We recommend further review and repairs by a qualified specialist in the appropriate trade.



SC Rusting gas line noted at gas meter , We recommend the advice and services of a qualified Plumbing Contractor



NR Older type gas lines noted at house. Recommend having the gas company review the lines for leaks.

GAS LINE SEDIMENT TRAP(S)

See furnace and water heater comments for verification and or recommendations

SPRINKLER SYSTEMS NOTE

NT Landscape Sprinkler systems and timers are not tested and not part of this inspection, inquire with seller or gardner about operation. **Inspector will only inspect visible valves and pipes for leaks.**

SPRINKLER SYSTEMS

NR Sprinkler supply valve at rear right



NR Sprinkler main supply line shut off valve handle leaking at front



Water Heater

WATER HEATER BRAND

Day and night



WATER HEATER YEAR

1962

WATER HEATER AGE NOTE

NR Water heater is **59** years old and is beyond its service life and is not working. Replacement is needed.

WATER HEATER SIZE

27 gallons

WATER HEATER TYPE

Natural Gas

WATER HEATER VENTING SYSTEM

NT Pilot light was turned off, vent was only inspected visually and not tested for proper venting.

WATER HEATER TANK

RM Rusting is seen at exterior of tank.



WATER HEATER TANK DRAIN

Appeared to be in good condition at time of inspection.

WATER HEATER PAN

UG Watertight pan recommended for this installation.



WATER HEATER SEISMIC BRACING

SC Seismic straps missing, Seismic straps need to be installed per manufactures instructions, We recommend further review and repairs by a qualified specialist in the appropriate trade.



WATER HEATER SUPPLY PIPING

Supply pipes were in good condition at time of inspection. A water shutoff valve is installed.



NR Shut off valve at water heater is seized, We recommend the advice and services of a State Licensed Plumbing Contractor

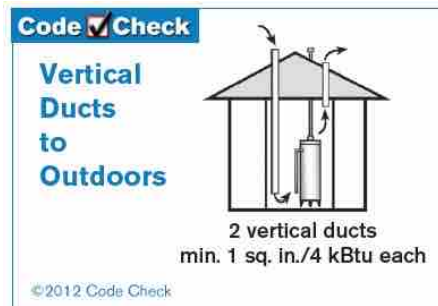


WATER HEATER CIRCULATION PUMP

None installed

WATER HEATER COMBUSTION AIR

SC Combustion air vents missing. We recommend further review and repairs by a qualified specialist in the appropriate trade.



WATER HEATER ENERGY SUPPLY

SC Solid aluminum gas line noted, Modern standards recommend the installation/ upgrade of a flexible gas line. Recommend further review and repairs as needed by a Qualified, State Licensed Plumbing Contractor.



WATER HEATER TPR VALVE

SC No temperature pressure relief valve is installed at water heater, This is a Safety Hazard-Correction is needed. We recommend the advice and services of a qualified Plumbing Contractor



WATER HEATER CONTROLS

NT Gas turned off to house . Have gas company turn gas on and test water heater before the close of escrow

WATER HEATER BASE

Functional

WATER HEATER ELEVATION

Not required to be elevated.

WATER HEATER CONDITION

NR Gas service to house was turned off, could not test

Heating System

The inspector is not equipped to inspect furnace heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit. This is beyond the scope of this inspection. Some furnaces are designed in such a way that inspection is almost impossible. Safety devices are not tested by the inspector. NOTE: Asbestos materials have been commonly used in heating systems. Determining the presence of asbestos can ONLY be preformed by laboratory testing and is beyon the scope of the home inspection. Thermostats are not checked for calibration or timed functions. Adequacy, efficiency for the even distribution of air throughout a building cannot be addressed by a visual inspection. Electronic air cleaners, humidifiers and de humidifiers are beyond the scope of the inspection. Have these systems evaluated by a qualified company. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended every 6 months.

HEATING SYSTEM BRAND

No brand label was found on the unit.



HEATING SYSTEM YEAR

Note Unknown, Inquire with seller.

HEATING SYSTEM BTU/HR

Data plate was not accessible could not determine

HEATING SYSTEM FUEL TYPE

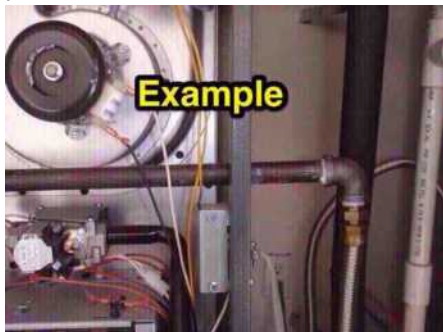
Natural Gas

HEATING SYSTEM TYPE

Conventional Gas Furnace

HEATING SYSTEM GAS CONNECTION

SC Flexible gas line connection shall not be concealed within or extended through any wall, floor, partition or appliance housing, this is a Fire Hazard due to Seismic Issues. The flexible gas line manufacture and the building code no longer permits this installation. We recommend the advice and services of a qualified Plumbing Contractor

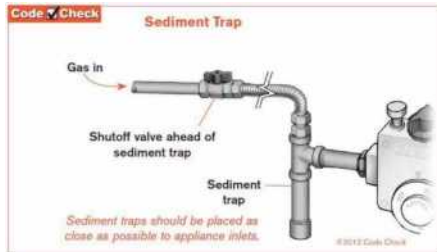


NR Rusty gas line noted at interior of heating unit



GAS LINE SEDIMENT TRAP

UG Sediment trap missing on gas line for furnace heater. Gas line sediment trap may have not been required when house was built, Recommend installation. Recommend the advice and services of a qualified Plumbing Contractor



HEATING SYSTEM PUMP/BLOWER FAN

NT Could not test, unit was inoperable .

HEATING SYSTEM COMBUSTION AIR

Combustion air supply adequate

HEATING SYSTEM VENTING SYSTEM

Visual inspection of vent only, gas off to heating unit.

HEATING SYSTEM SUPPLY PLENUM/COIL

Supply plenum/coil was sealed, no leaks noted at time of inspection.

COILS CONDENSATION LINE

Condensation line installed.

COILS SECONDARY CONDENSATION LINE

NA

A/C SECONDARY CONDENSATE DRAIN PAN

NA

HEATING SYSTEM RETURN PLENUM

Return Plenum was in good condition.

HEATING FILTER LOCATION/CONDITION

Note Filter(s) are located at interior hallway ceiling(s)



NR Heater filter is missing



HEATING SYSTEM THERMOSTAT CONTROLS

UG Thermostat is old and outdated, recommend a new thermostat be installed, Recommend further review and repairs as needed by a qualified mechanical contractor



HEATING SYSTEM OPERATION

NR Unable to test heater, gas service was turned off to house, have gas company turn gas on and test before the close of escrow

Air Conditioning System

The average life span for an Air Conditioner system is 15 years. The inspector does not perform pressure test on coolant systems, therefore no representation is made regarding coolant charge of line integrity. Subjective judgment of system capacity is not part of the inspection. Normal service and maintenance is recommended every 6 months.

A/C BRAND

No brand label was found on the unit.



A/C YEAR

Note Unknown Inquire with seller.

AC AGE NOTE

Note The average lifespan for an air conditioner is 15 years if properly maintained and serviced

A/C COMPRESSOR SIZE

Note Data plate not legible, could not determine.

REFRIGERANT TYPE

Could not determine

A/C TYPE AND METHOD

Condenser and evaporator all package together with furnace

A/C POWER SOURCE

220 Volt, Electrical disconnect present

A/C MAX AMP RATING FOR FUSE/BREAKER

Data plate not legible, could not determine.

A/C FUSE SIZE AT DISCONNECT

No fuses at disconnect

A/C BREAKER SIZE AT PANEL

RM Dead front cover was missing , could not verify, recommend verifying breaker size is correct



A/C CONDENSING UNIT

Unit was level and installed on recommended pad.

A/C CONDENSING UNIT FAN

Could not test compressor did not come on.

A/C REFRIGERANT LINES

Package units do not have visible refrigerant line

A/C SYSTEM CONDITION

NR

Air conditioner failed to operate, We recommend the advice and services of a qualified HVAC Contractor



Heating /AC Distribution Systems

Cubic feet measurements (CFM's) of air flow are beyond the scope of the home inspection. Only a mechanical contractor can determine the exact condition of the air flow of the mechanical equipment.

HEATING DISTRIBUTION SYSTEM TYPES

Insulated sheet metal

HEATING DISTRIBUTION SYSTEMS CONDITION

Visible ducts in attic were in good visible condition.



Fireplace

All fireplaces should be cleaned and inspected on a regular basis to make sure that no cracks or gas leaks have developed. Glass doors / panels can get hot and can cause burns if touched.

FIREPLACE TYPE OF UNIT

NT Stored items prevented inspection of fireplace



Evaporative Cooling

EVAPORATIVE COOLER CONDITION

NR Evaporative cooler is no longer operable. Unit should be removed



Interior Areas

The finished surfaces, hardware, windows and doors of the interior were found to be in generally acceptable condition. Any exceptions are noted in the report. Cosmetic flaws such as stained/worn carpet, marred surface finishes and worn paint that are apparent to the average person are not included in this inspection, although we may not occasionally report them as a courtesy to our clients. Cosmetic flaws such as minor cracks and nail pops occur in all houses. These are typical cosmetic in nature and are caused by settlement and / or shrinkage of building components. Furnishings are not typically moved in the inspection process by the inspector, which limits the inspection to free areas, defects may be blocked from view Blocked or concealed conditions are not the responsibility of the inspector. Determining the source of odors or like conditions is not a part of this inspection. Floor coverings that are damage or stains may be hidden by furniture. The conditions of underlying floor coverings is not inspected.

INTERIOR OCCUPIED

RM Yes, note that stored items and furniture prevented viewing all areas of the house, while the inspector made every effort to inspect the house, the house needs to be re inspected by the inspector or the buyer at the final walkthrough when all items are removed by the seller/owner.

WALL AND CEILING TYPE

Plaster

Wallpaper covers some areas of walls, unable to fully view condition of these walls

WALLS AND CEILINGS CONDITION

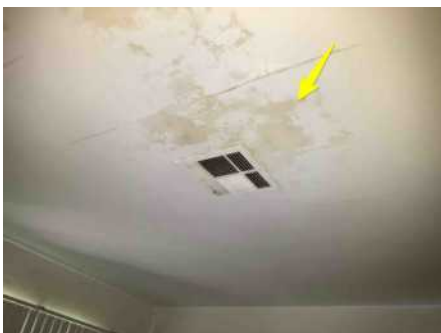
NR Damage and missing wall covering to dining area



NR Moisture damage noted to rear room ceiling



NR Stains noted at throughout home ceilings and walls, possible roof leak . We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR Stains noted to ceiling in rear room, roof appears to be leaking. We recommend further review and repairs by a qualified specialist in the appropriate trade.



SC Mold like substance noted



SC Possible lead base paint in walls and ceilings, paint is peeling in several areas throughout home. We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR Ceiling panels separating, damaged and missing in rear room. We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR Wallpaper peeling/ missing in several areas



NR Ceiling is damaged at water heater area



FLOOR CONDITION

SC Tripping hazards noted.



THERMAL SCANNING

Note Advantage Inspection professionals LLC has made a choice to include a limited thermal scan as part of this inspection. There are times when a thermal scan of an area can help the inspector identify a condition that may not be visible without the use of the thermal camera. Thermal photo inclusion is of a localized spot (about 1"x1" square) and in no way meant to give a impression that any other portion of the house/property were viewed with a thermal camera. Only the spot pictured was viewed with the thermal camera. This thermal image is used to emphasize or highlight only the condition that was pictured. We always recommend full review of the entire inspection report. A thermal image only detects an anomaly/a surface temperature differential and not anything else and does not see through surfaces or X-ray surfaces. Please visit Flir.com for your due diligence on understanding a thermal photo.

PHONE-INTERCOM-INTERNET & SECURITY SYSTEMS

NT Phone systems including intercoms, high speed internet, cable, home automation and security systems are not evaluated and not part of this inspection, inquire with seller or owner about condition and usage.

PESTS

NR I observed evidence of rodents in the hallway and hallway throughout the interior .Ask the Sellers about the rodent history and/or contact a qualified Pest Control Operator to further evaluate.



Windows & Doors

Due to wind, dry air, dust and dirt. You will see built up of sand, dust and dirt in your exterior doors and windows and tracks. Regular cleaning is needed for proper operation. Determining the condition of insulated glass windows and doors is not always possible due to temperature, weather and lighting conditions. Dirty windows may make it difficult to determine the exact condition of insulated windows. Check with the seller for further information

MAIN ENTRY DOORS CONDITION

Appeared to be in good working condition at time of inspection, deadbolt is operational.

EXTERIOR DOORS TYPE

Sliding glass, single pane

EXTERIOR DOOR CONDITION

NR All accessible doors were opened and closed. Exterior door would not slide properly at rear.



SC Glass tempered markings are not visible at some exterior doors, replacement should be considered to all non tempered sliding doors and fixed windows. Fed law requires companies to replace none tempered glass doors. They are not allowed to repair them.



SCREEN DOORS CONDITION

NR Screen door damaged at rear room



WINDOWS TYPE

Single pane

Double pane

WINDOWS CONDITION

Note All accessible windows were opened and closed and found to be in good working condition at time of inspection. Determining the condition of insulated glass windows and doors is not always possible due to temperature, weather and lighting conditions.

NT Some windows were blocked by shutters and or furniture could not inspect all windows...

NR Window casing moisture damaged at rear



WINDOW SCREENS CONDITION

Appeared to be in good condition at time of inspection.

INTERIOR DOORS CONDITION

NR Damage noted at master bedroom



INTERIOR CLOSETS CONDITION

Functional

Kitchen - Appliances

No opinion is offered as to the adequacy of the dishwasher operations, ovens, self or continuous cleaning operations, cooking functions, clocks, timing devices and thermostat accuracy are not tested during the inspection

LIGHTING SWITCHES AND FIXTURES CONDITION

Lighting fixtures and switches appeared to be in good working condition

RECEPTACLE(S) CONDITION

UG All Kitchen receptacles should be GFCI Protected, GFCI protected receptacles were only required by water, the new standard is every receptacles in the Kitchen should be GFCI protected for your safety, installation recommended to all unprotected receptacles, Recommend further review and repair by qualified Electrical Contractor.

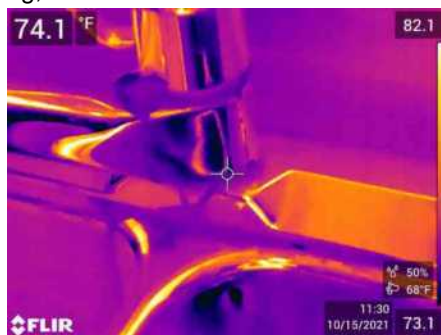


SINKS, FAUCETS & DRAINS CONDITION

NR Thermal Image shows leak is present under kitchen sink, We recommend the advice and services of a qualified Plumbing Contractor



NR Thermal image shows faucet is leaking, We recommend the advice and services of a qualified Plumbing Contractor.



RM Sink stained



MAIN SINK GARBAGE DISPOSALS CONDITION

NR Garbage disposal did not work, recommend further review



GARBAGE DISPOSAL WIRING CONDITION

SC Missing wire clamp at disposal connection, wire should be clamped for safety. We recommend further review and repairs by a qualified specialist in the appropriate trade.



DISHWASHER(S) CONDITION

UG No dishwasher installed.

RANGE/COOK TOP/OVEN TYPE

Natural Gas,
Gas Shut-off valve present
Combination
Free-standing

RANGE/COOK TOP/OVENS CONDITION

SC The unit is equipped with a flexible gas line. The type of flexible gas line used is an uncoated brass. The Consumer Product Safety Commission issued a news warning in September 1997 that all uncoated brass flexible gas line connectors should be upgraded with newer stainless steel models. The older brass models are prone to cracking or leaking and can cause a serious gas leak, explosion or fire. We recommend the advice and services of a qualified Plumbing Contractor



NR Gas service was turned off to house, could not test.

RANGE/COOK TOP/OVEN ANTI TIP BRACKET

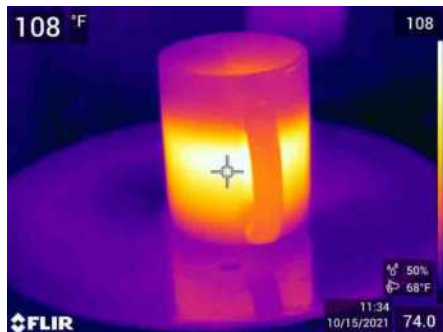
NA

STOVE EXHAUST TYPE/CONDITION

External
Fan appears to be in good working condition at time of inspection

MICROWAVE CONDITION #1

Microwave was turned on and tested using a cup of water to see if it heated up. Thermal Image shows microwave to be in good working condition at time of inspection and LED display was readable at time of inspection. We do not test all functions.



REFRIGERATORS CONDITION

NT Unit was unplugged did not test.

ICE MAKERS CONDITION

Note No ice maker installed in this type of refrigerator

CONDITION OF COUNTERS

RM Caulking / re grouting needed at backsplash



CONDITION OF CABINETS

Cabinets appeared to be in good working condition at time of inspection

CONDITION OF WALLS

RM Damage noted to wall at near window



CONDITION OF CEILINGS

RM Crack noted at ceiling.



CONDITION OF FLOORS

Visual examination of unobstructed areas of flooring showed no damage at time of inspection

Laundry

Recommend water be shut off to washing machine if owner leaves residence for any extended period of time to prevent damage if case water hoses leak. Water hoses should be replaced every 5 years.

LOCATION

Interior

LAUNDRY ROOM FIXTURES & RECEPTACLES

SC The washing machine receptacle(s) are not grounded, this is a safety hazard correction is needed. We recommend further review and repairs by a qualified specialist in the appropriate trade.



EXHAUST FAN

NR Window is damaged and would not open



WATER HOOK-UPS

NT Could not test. No washing machine installed

DRAIN LINE

NT Could not test. No washing machine installed

DRYER HOOK UP TYPE & CONDITION

No access could not determine or inspect

DRYER VENTING

No access could not determine.

CEILINGS

Note Common crack noted.

NR Moisture stains noted to ceiling at laundry room, roof appears to be leaking

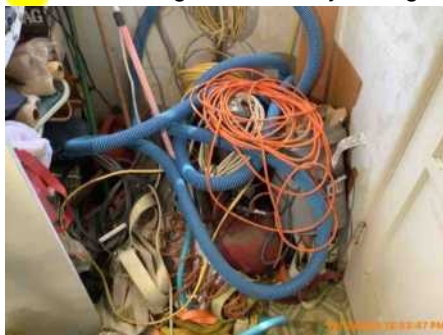


SC Mold like substance noted on ceiling. We recommend further review and repairs by a qualified specialist in the appropriate trade.



FLOORS

NT No viewing due to heavy storage



LAUNDRY ROOM DOOR(S) CONDITION

NR Damage noted to door.



CLOTHES WASHER

None installed.

CLOTHES DRYER

None installed.

Bathroom

Our review of the bathroom interior includes inspection of walls, ceiling, floors, doors, windows, steps, and plumbing fixtures. These features are visually examined for proper function, excessive wear and general state of repair. Some of these components may not be visible/accessible because of furnishings and/or storage. In such cases these items are not inspected. Determining whether shower pans, tub/shower surrounds are water tight is beyond the scope of this inspection. It is very important to maintain all grouting and caulking in the bath areas.

Master

LIGHT FIXTURES CONDITION

Light(s) were was in good working condition at time of inspection.

RECEPTACLE(S) CONDITION

UG Bathroom outlets are not Ground Fault Circuit Interrupter (GFCI) protected, recommend upgrading outlet as a safety upgrade, home may have been built before current standards went into effect. Recommend further review and repair by qualified Electrical Contractor.



CONDITION OF FAUCET(S)

Faucet(s) components appeared to be in good working condition at time of inspection, no leaks were found.

CONDITION OF SINK(S) AND DRAIN(S)

Sink appeared to be in good condition at time of inspection, drain appeared to be in good condition at time of inspection, no leaks were found.

CONDITION OF TOILET

NR Evidence of heavy rodent infestation in toilet, toilet would not flush properly.



SHOWER PLUMBING FIXTURES CONDITION

NR Valve seized



SHOWER/TUB AREAS CONDITION

Shower walls appeared to be in good condition at time of inspection. Regular caulking/grouting of the seams and joints is required to keep water penetration to a minimum

SHOWER ENCLOSURE CONDITION

Shower enclosure was in good condition at time of inspection, enclosure glass appears to be tempered.

CONDITION OF COUNTERS

Visual examination of unobstructed areas of counter tops showed no damage at time of inspection.

CONDITION OF CABINETS

NR Damage noted to cabinet.



SC Moisture damage and mold like substance noted at cabinet under sink. We recommend further review and repairs by a qualified specialist in the appropriate trade.



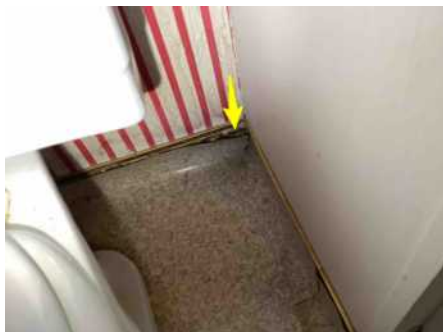
BATHROOM FLOOR CONDITION

NR Damage noted to floor



BATHROOM WALLS/CEILINGS CONDITION

SC Mold like substance observed, We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR Wallpaper is peeling



BATHROOM VENTILATION CONDITION

Window(s) appeared to be in good working condition at time of inspection

HEATING DEVICE(S)

NR Heater fan did not work.



BATHROOM DOOR(S) CONDITION

Door closed and latched properly at time of inspection

BATHROOM EXTERIOR DOOR

NR Door would not open



Hallway

LIGHT FIXTURES CONDITION

RM Bathroom light did not work



RECEPTACLE(S) CONDITION

UG Bathroom outlets are not Ground Fault Circuit Interrupter (GFCI) protected, recommend upgrading outlet as a safety upgrade, home may have been built before current standards went into effect. Recommend further review and repair by qualified Electrical Contractor.



CONDITION OF FAUCET(S)

Faucet(s) components appeared to be in good working condition at time of inspection, no leaks were found.

CONDITION OF SINK(S) AND DRAIN(S)

RM Mechanical stopper needs adjustment at sink



CONDITION OF TOILET

The toilet flushed and filled properly at the time of inspection

SHOWER PLUMBING FIXTURES CONDITION

RM Handles don't line up



TUB PLUMBING FIXTURES CONDITION

NR Bathtub overflow corroded



SC Rodent droppings noted in bathtub drain . We recommend further review and repairs by a qualified specialist in the appropriate trade.



SHOWER/TUB AREAS CONDITION

Tub and shower areas appear serviceable, Regular caulking of the seams and joints is required to keep water penetration to a minimum

SHOWER ENCLOSURE CONDITION

None.

CONDITION OF COUNTERS

Visual examination of unobstructed areas of counter tops showed no damage at time of inspection.

CONDITION OF CABINETS

SC Moisture damage and mold like substance noted at cabinet under sink. We recommend further review and repairs by a qualified specialist in the appropriate trade.



BATHROOM FLOOR CONDITION

Visual examination of unobstructed areas of floor showed no damage at time of inspection.

BATHROOM WALLS/CEILINGS CONDITION

NR Moisture damage noted to ceiling . No moisture was detected. We recommend further review and repairs by a qualified specialist in the appropriate trade.



BATHROOM VENTILATION CONDITION

Window(s) appeared to be in good working condition at time of inspection

HEATING DEVICE(S)

Heat register(s) were observed in bathroom

BATHROOM DOOR(S) CONDITION

Door closed and latched properly at time of inspection

Water Features/Fountains

CONDITION

RM Fountain was not filled with water could not test. Inquire with seller.



Pool/Spa Health & Safety Code 115922 & 115923 Compliance

The Inspector is required to; Whether the Home Inspector is inspecting the pool/spa or not, We are required to inform Client(s)/Owners on non-compliant SB 442 pool and/or spa drowning prevention devices presence as they exist at the time of the physical inspection for any vessel of water over 18" deep, for the sole purpose of identifying if a minimum 2 of 7 different types of drowning safety devices are present. This is conditional and only required on private, single family homes.

SB 442 is about protecting small children from drowning. Paraphrased SB 422 Compliance List;

1. Pool/Spa isolation enclosure
2. Mesh fencing
3. Approved Safety Pool/Spa cover
4. Exit alarms on ALL Door with access to Pool/Spa
5. Door/Gates self closing, self latching devices
6. Pool/Spa water surface alarms
7. Other means of protection

For general industry standards do a google search.

The Inspector is not required to:

Determine if any Manufacturers' design or ASTM standards or testing is met or if any drowning prevention safety feature of a pool or spa is installed properly or is adequate or effective. Test or operate any drowning prevention safety feature. We recommend further evaluation of all components/devices and corrections by a specialist in an appropriate trade.

7. OTHER MEANS OF PROTECTION

Note Note: This property does not conform with the new safety enclosure/component law for new pools and spa that are constructed or remodeled after January 1, 2018 that are required to have a minimum of 2 of 7 different types of pool safety enclosure type devices. We recommend upgrading the conditions noted for safety.

1. Pool/Spa isolation enclosure
2. Mesh fencing
3. Approved Safety Pool/Spa cover
4. Exit alarms on ALL Door with access to Pool/Spa
5. Door/Gates self closing, self latching devices
6. Pool/Spa water surface alarms
7. Other means of protection

Always visually watch children when in/around a pool/spa. Drowning is "silent", not like in the movies.

Pool & Equipment

Inquiry with the seller about any prior leakage this pool has experienced and obtain a history of any repairs. It is very important to obtain contact info for pool service company and inquire with them before the close of escrow any conditions that they may be aware of concerning the pool/spa and equipment. We do not do pressure testing for leaks as that takes special equipment.

POOL TYPE

Below Ground



POOL SURFACE TYPE

Concrete shell covered with finish plaster (sometimes called Marcite)

POOL SURFACE CONDITION

NR Pool surface is worn through, re plastering is needed. We recommend the advice and services of a qualified Pool Contractor



RM Pool was extremely dirty, could not fully inspect surface, recommend further review after pool is cleaned.



POOL SURFACE DECORATIVE TILE & STONE

Good overall condition at time of inspection.

POOL DECKING/COPING TYPE

Concrete

POOL DECKING/COPING CONDITION

NR Cracking is noted, We recommend the advice and services of a qualified Pool Contractor



SC The deck has cracked and lifted causing a trip hazard, We recommend further review and repairs by a qualified specialist in the appropriate trade.



DRAIN COVER TYPE/CONDITION

SC Drain cover(s) are older type, recommend installation of a newer type vortex cover(s) and a safety vacuum release at the pool pump. This a major safety/entrapment hazard and the pool or spa should not to be used until repaired is complete. We recommend the advice and services of a qualified Pool Contractor.



SKIMMER & BASKET CONDITION

Basket was in serviceable condition at time of inspection

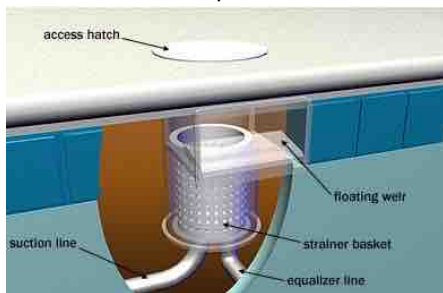


RM Debris in skimmer, cleaning is needed. Weekly cleaning is recommended.



WEIR DOOR

RM Weir door or weir blade or American product skimmer is missing from the skimmer basket and no skimming action is taking place because no surface tension is being created. Recommend adding a weir door. We recommend the advice and services of a qualified Pool Contractor



FILL DEVICE CONDITION

UG No automatic fill device installed, recommend installation.

POOL LIGHT CONDITION

SC Older type light with deck splice box, light and connection should be updated for safety. Pool lighting should be protected by a wet niche 4 ft min from pool water and 8 inch min max above water level. Pool/Spa should not be used until the light is updated due to the possibility of electrocution. We recommend the advice and services of a qualified Pool Contractor or Recommend further review and repair by qualified Electrical Contractor.



PUMP CONDITION #1

Pump was operational at time of inspection.



FILTER TYPE

Cartridge



FILTER PRESSURE IN PSI

Pressure is low, filter appears to be clean.



FILTER CONDITION

Exterior filter housing was in good condition, no leaks were found.

POOL HEATER TYPE

No heating system is provided.

CHLORINATOR: TYPE

None.

VISIBLE PLUMBING LINE CONDITION

RM Older type original copper piping noted for pool, Copper piping can be a major repair if it is corroded and needs to be replaced. We recommend the advice and services of a qualified Pool Contractor



VALVE TYPE

Manual

VALVE CONDITION

NR Valve seized

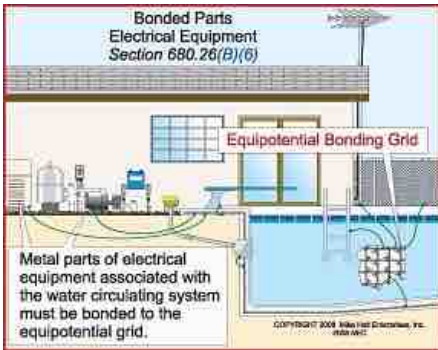


CONTROLS

UG Pool is controlled manually at equipment, buyers may consider installation of wireless control system.

BONDING

SC External bonding of equipment frames is lacking at the pool pump(s) and the pool heater, All metal pool equipment needs to be bonded to a pool structure. Pool/Spa should not be used until full bonding of the pool system is completed due to the possibility of electrocution. We recommend the advice and services of a qualified Pool Contractor



SC If wire to pool shell can not be found. Contact a qualified Pool Contractor about installing a water bond system.



GROUND FAULT CIRCUIT INTERRUPTERS

SC No GFCI protection for pool light installed. This constitutes a safety hazard. Recommend GFCI protection 120-volt underwater lighting fixtures; and receptacle outlets in the vicinity of pools, spas and hot tubs. Recommend electrical installations closer than five feet from water and GFCI protection for all electrical equipment, including 240-volt equipment located five to 10 feet from the water and for receptacles within a 20-foot perimeter. Pools older than about 30 years generally have unprotected underwater lights. Recommend further review and repair by qualified Electrical Contractor.



TIMERS

SC Terminal protector is missing from within timer. this is a safety hazard, recommend installing a clock timer insulator.



POOL EQUIPMENT CONDUIT/WIRING

SC Exposed splices are noted, junction box should be installed



Beyond The Scope

CONCEALED AREAS

If areas of the home are inaccessible or concealed from the inspectors view, then an inspection of that area did not take place. Request that any information about any hidden problems be revealed to you about these inaccessible or hidden areas from the seller prior to the close of escrow. Return to the property prior to the close of escrow and perform a walk-through inspection of your own after the owner's belongings have been removed. If your inspection or information reveals hidden damage or concerns contact a qualified specialist or your inspector for a return visit.

PERMITS/BUILDING CODE VIOLATIONS

If you are concerned about building permit information you should, request copy' s from seller/owner.

GEOLOGICAL STABILITY

Soil condition or stability is not determined during this home inspection. Should you decide to obtain a geological report of the site conditions you might contact a geological inspection firm through your real estate agent or a non profit association of geo technical engineers for referral.

STRUCTURAL STABILITY OR ENGINEERING ANALYSIS

Engineering analysis of a buildings structure is performed only by a licensed structural engineer with the use of measurements, calculations, or other scientific evaluation. Engineering is beyond the scope of a typical home inspection. To receive an inspection and report on the structure by an engineer, ask your real estate agent or a nonprofit association of structural engineers for referral.

SEWER BLOCKAGE

Check with the seller for information about the history of the sewer or private septic waste disposal system. Having a drain service company video review and service the main drain line to be sure it is open and flowing before the close of escrow is recommended on all homes.

SEPTIC SYSTEMS

Septic systems are not inspected and not part of this inspection, recommend all septic systems be evaluated by a Septic System Professional and all documents about service history be requested from seller before the close of escrow.

ENVIRONMENTAL CONCERNS

Environmental issues include but are not limited to mold, radon, asbestos, lead paint, lead contamination, toxic waste, formaldehyde, electromagnetic radiation, buried fuel oil tanks, ground water contamination and soil contamination. We may make reference to one of more of these materials in this report when we recognize one of the common forms of these substances. If further study or analysis seems prudent, the advice and services of the appropriate specialists are advised

AIR DUCT/REGISTER TESTING

All accessible duct registers were tested using a thermal infrared camera. This test only tells us if cool air is coming out from the registers, but not the actual CFM's of air flow or static pressure. Testing ducts for air flow, leaks or Cubic feet measurements (CFM's) of air flow is beyond the scope of the home inspection and requires specialize equipment. If you are concerned about this it is recommended that you hire a company to test the ducts for air leaks, air flow and proper static pressure.