

PRP Inspections Inc.

"Helping You Make Informed Decisions"

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SUMMARY REPORT

Client: Wayne & Danielle Lehr
Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date: 6/15/2026 Start: 9:00 am End: 11:00 am
Inspected by: Mike Durnell

This summary report will provide you with a preview of the components or conditions that need service or a second opinion, but it is not definitive. Therefore, it is essential that you read the full report. Regardless, in recommending service we have fulfilled our contractual obligation as generalists, and therefore disclaim any further responsibility. However, service is essential, because a specialist could identify further defects or recommend some upgrades that could affect your evaluation of the property.

This report is the exclusive property of the Inspection Company and the client whose name appears herewith, and its use by any unauthorized persons is prohibited.

Components and Conditions Needing Service

Exterior

Grading & Drainage

General Comments

- Several under ground pipes for drainage off the gutters are damaged and above ground causing trip hazards

Drainage Mode

- There is visible erosion on the hillside from a broken drainage pipe which needs corrected

Drainage Swales

- The drainage swales on the slope need to be cleaned and kept clean

Exterior Components

Fences & Gates

- Sections of the fence or gates are leaning or damaged and should be repaired or replaced

Wood & Masonry Decks

- There is damage to the metal post holder in the concrete which needs evaluated by a specialist

Steps & Handrails

- As a safety precaution we recommend installing handrails on steps with three or more risers
- One of the bolts holding a stair is loose and stripped and needs to be serviced
- There is dry rot to one of the stairs that should be evaluated by the termite inspector

Roof

Composition Shingle Roof

Roofing Material

- There are a few damaged or broken shingles that should be sealed or replaced on the second story

Plumbing

Potable Water Supply Pipes

Water Meter

- We were unable to locate the water meter at the street and recommend the sellers disclose its location

Gas Water Heaters

Common Observations

- The hot water heater is functional but beyond its design life and should be monitored for leaks

Waste & Drainage Systems

Gray Water Pump

- The lid is not installed on the basin and one should be installed and sealed for sewer gas reasons
- The ejection sewer pipe is exposed above ground and is subjected to foot traffic and or sun damage

Electrical

Sub Panels

Sub Panel Observations

- Various circuits within the sub-panel are not labeled and should be serviced by an electrician

Living

Main Entry

Doors

- The inside doorbell does not work and should be serviced

Bedrooms

1st Guest Bedroom

Walls & Ceiling

- There is minor damage to the paint which needs servicing

2nd Guest Bedroom

Ceiling Fan & Light Fixture

- The plastic light cover is missing from the fixture

Bathrooms

Downstairs Bathroom

Tub-Shower

- The mixing valve handle is rubbing on the cover plate screws making it grind and needs to be serviced

Kitchen

Kitchen

Gas Range

- The range is not equipped with an anti-tip device or the device is not functional and needs serviced

Dishwasher

- The dishwasher is not equipped with a mandated anti-siphon valves

Pool/Spa

Spa Only

Portable Spa Observations

- The portable spa has been drained and was not inspected but should be serviced and evaluated
- The GFCI breaker for the spa did not trip with the test button and needs serviced or replaced

Laundry

Laundry Area

Dryer Vent

- The dryer vent appears to be clogged and should be serviced for fire safety reasons

Washer & Dryer

- The washer and dryer had clothes in them and were not tested during the inspection

Garage

Double-Car Garage

Slab Floor

- The garage is too full to permit a clear view of the slab or walls and should be viewed empty before close of escrow

Firewall Separation

- The ventilation grate in the garage ceiling violates the firewall separation and a metal fire hatch should be installed

Attic

Primary Attic

Framing

- The top board of a truss has been repaired and we recommend any paperwork be provided on this repair

Garage Attic

Electrical

- Several electrical connections have been incorrectly made outside of junction boxes

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CONFIDENTIAL INSPECTION REPORT

PREPARED FOR:
Wayne & Danielle Lehr

INSPECTION ADDRESS

12312 Sunbrite Lane, Lakeside, CA 92040

INSPECTION DATE

6/15/2026 9:00 am to 11:00 am



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GENERAL INFORMATION

Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date: 6/15/2026 Time: 9:00 am to 11:00 am
Weather: Clear and Dry - Temperature at time of inspection: 70-80 Degrees

Inspected by: Mike Durnell

Client Information: Wayne & Danielle Lehr
Structure Type: Wood Frame
Foundation Type: Slab
Furnished: Yes
Number of Stories: Two

Structure Orientation: South West

Estimated Year Built: 2007
People on Site At Time of Inspection: Seller(s)
Seller's Agent

PLEASE NOTE:

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The observations and opinions expressed within this report are those of PRP Inspections and supercede any alleged verbal comments. We inspect all of the systems, components, and conditions described in accordance with the standards of CREIA (California Real Estate Inspection Association, and those that we do not inspect are clearly disclaimed in the contract and/or in the aforementioned standards. However, some components that are inspected and found to be functional may not necessarily appear in the report, simply because we do not wish to waste our client's time by having them read an unnecessarily lengthy report about components that do not need to be serviced.

In accordance with the terms of the contract, the service recommendations that we make in this report should be completed well before the close of escrow by licensed specialists, who may well identify additional defects or recommend some upgrades that could affect your evaluation of the property.

Report File: 12312SunbriteLn-LS-120-26

SCOPE OF WORK

You have contracted with PRP Inspections to perform a generalist inspection in accordance with the standards of practice established by CREIA (California Real Estate Inspection Association), a copy of which is available upon request. Generalist inspections are essentially visual, and distinct from those of specialists, inasmuch as they do not include the use of specialized instruments, the dismantling of equipment, or the sampling of air and inert materials. Consequently, a generalist inspection and the subsequent report will not be as comprehensive, nor as technically exhaustive, as that generated by specialists, and it is not intended to be. The purpose of a generalist inspection is to identify significant defects or adverse conditions that would warrant a specialist evaluation. Therefore, you should be aware of the limitations of this type of inspection, which are clearly indicated in the standards. However, the inspection is not intended to document the type of cosmetic deficiencies that would be apparent to the average person, and certainly not intended to identify insignificant deficiencies. Similarly, we do not inspect for vermin infestation, which is the responsibility of a licensed exterminator.

Most homes built after 1978, are generally assumed to be free of asbestos and many other common environmental contaminants. However, as a courtesy to our clients, we are including some well documented, and therefore public, information about several environmental contaminants that could be of concern to you and your family, all of which we do not have the expertise or the authority to evaluate, such as asbestos, radon, methane, formaldehyde, termites and other wood-destroying organisms, pests and rodents, molds, microbes, bacterial organisms, and electromagnetic radiation, to name some of the more commonplace ones. Nevertheless, we will attempt to alert you to any suspicious substances that would warrant evaluation by a specialist. However, health and safety, and environmental hygiene are deeply personal responsibilities, and you should make sure that you are familiar with any contaminant that could affect your home environment. You can learn more about contaminants that can affect your home from a booklet published by The Environmental Protection Agency, which you can read online at www.epa.gov/iaq/pubs/insidest.htm.

Mold is one such contaminant. It is a microorganism that has tiny seeds, or spores, that are spread on the air then land and feed on organic matter. It has been in existence throughout human history, and actually contributes to the life process. It takes many different forms, many of them benign, like mildew. Some characterized as allergens are relatively benign but can provoke allergic reactions among sensitive people, and others characterized as pathogens can have adverse health effects on large segments of the population, such as the very young, the elderly, and people with suppressed immune systems. However, there are less common molds that are called toxigens that represent a serious health threat. All molds flourish in the presence of moisture, and we make a concerted effort to look for any evidence of it wherever there could be a water source, including that from condensation. Interestingly, the molds that commonly appear on ceramic tiles in bathrooms do not usually constitute a health threat, but they should be removed. However, some visibly similar molds that form on cellulose materials, such as on drywall, plaster, and wood, are potentially toxigenic. If mold is to be found anywhere within a home, it will likely be in the area of tubs, showers, toilets, sinks, water heaters, evaporator coils, inside attics with unvented bathroom exhaust fans, and return-air compartments that draw outside air, all of which are areas that we inspect very conscientiously. Nevertheless, mold can appear as though spontaneously at any time, so you should be prepared to monitor your home, and particularly those areas that we identified. Naturally, it is equally important to maintain clean air-supply ducts and to change filters as soon as they become soiled, because contaminated ducts are a common breeding ground for dust mites, rust, and other contaminants. Regardless, although some mold-like substances may be visually identified, the specific identification of molds can only be determined by specialists and laboratory analysis, and is absolutely beyond the scope of our inspection. Nonetheless, as a prudent investment in environmental hygiene, we categorically recommend that you have your home tested for the presence of any such contaminants, and particularly if you or any member of your family suffers from allergies or asthma. Also, you can learn more about mold from an Environmental Protection Agency document entitled "A Brief Guide to Mold, Moisture and Your Home," by visiting their web site at: <http://www.epa.gov/iaq/molds/moldguide.html>, from which it can be downloaded.

Asbestos is a notorious contaminant that could be present in any home built before 1978. It is a naturally occurring mineral fiber that was first used by the Greek and Romans in the first century, and it has been widely used throughout the modern world in a variety of thermal insulators, including those in the form of paper wraps, bats, blocks, and blankets. However, it can also be found in a wide variety of other products too numerous to mention, including duct insulation and acoustical materials, plasters, siding, floor tiles, heat vents, and roofing

products. Although perhaps recognized as being present in some documented forms, asbestos can only be specifically identified by laboratory analysis. The most common asbestos fiber that exists in residential products is chrysotile, which belongs to the serpentine or white-asbestos group, and was used in the clutches and brake shoes of automobiles for many years. However, a single asbestos fiber is said to be able to cause cancer, and is therefore a potential health threat and a litigious issue. Significantly, asbestos fibers are only dangerous when they are released into the air and inhaled, and for this reason authorities such as the Environmental Protection Agency [EPA] and the Consumer Product Safety Commission [CPSC] distinguish between asbestos that is in good condition, or non-friable, and that which is in poor condition, or friable, which means that its fibers could be easily crumbled and become airborne. However, we are not specialists and, regardless of the condition of any real or suspected asbestos-containing material [ACM], we would not endorse it and recommend having it evaluated by a specialist.

Radon is a gas that results from the natural decay of radioactive materials within the soil, and is purported to be the second leading cause of lung cancer in the United States. The gas is able to enter homes through the voids around pipes in concrete floors or through the floorboards of poorly ventilated crawlspaces, and particularly when the ground is wet and the gas cannot easily escape through the soil and be dispersed into the atmosphere. However, it cannot be detected by the senses, and its existence can only be determined by sophisticated instruments and laboratory analysis, which is completely beyond the scope of our service. However, you can learn more about radon and other environmental contaminants and their affects on health, by contacting the Environmental Protection Agency (EPA), at www.epa.gov/radon/images/hmbuygud.pdf, and it would be prudent for you to enquire about any high radon readings that might be prevalent in the general area surrounding your home.

Lead poses an equally serious health threat. In the 1920's, it was commonly found in many plumbing systems. In fact, the word "plumbing" is derived from the Latin word "plumbum," which means lead. When in use as a component of a waste system, it is not an immediate health threat, but as a component of potable water pipes it is a definite health-hazard. Although rarely found in modern use, lead could be present in any home build as recently as the nineteen forties. For instance, lead was an active ingredient in many household paints, which can be released in the process of sanding, and even be ingested by small children and animals chewing on painted surfaces. Fortunately, the lead in painted surfaces can be detected by industrial hygienists using sophisticated instruments, but testing for it is not cheap. There are other environmental contaminants, some of which we have already mentioned, and others that may be relatively benign. However, we are not environmental hygienists, and as we stated earlier we disclaim any responsibility for testing or establishing the presence of any environmental contaminant, and recommend that you schedule whatever specialist inspections that may deem prudent within the contingency period.

Structural

All structures are dependent on the soil beneath them for support, but soils are not uniform. Some that might appear to be firm and solid can liquefy and become unstable during seismic activity. Also, there are soils that can expand to twice their volume with the influx of water and move structures with relative ease, raising and lowering them and fracturing slabs and other hard surfaces. In fact, expansive soils have accounted for more structural damage than most natural disasters. Regardless, foundations are not uniform, and conform to the structural standard of the year in which they were built. In accordance with our standards of practice, we identify foundation types and look for any evidence of structural deficiencies. However, cracks or deteriorated surfaces in foundations are quite common. In fact, it would be rare to find a raised foundation wall that was not cracked or deteriorated in some way, or a slab foundation that did not include some cracks concealed beneath the carpeting and padding. Fortunately, most of these cracks are related to the curing process or to common settling, including some wide ones called cold-joint separations that typically contour the footings, but others can be more structurally significant and reveal the presence of expansive soils that can predicate more or less continual movement. We will certainly alert you to any suspicious cracks if they are clearly visible. However, we are not specialists, and in the absence of any major defects we may not recommend that you consult with a foundation contractor, a structural engineer, or a geologist, but this should not deter you from seeking the opinion of any such expert.

Slab Foundation

Method of Evaluation

Informational Conditions

We evaluated the slab foundation on the exterior, by examining the stem walls that project above the footing at the base of the house walls. The interior portions of the slab, which is also known as the slab floor, have little structural significance and, inasmuch as they are covered and not visually accessible, it is beyond the scope of our inspection.

Common Observations

Informational Conditions

The residence has a slab foundation with no visible or significant abnormalities. Not all the stem walls may have been visible due to vegetation or other items up against the side of the home.

Exterior

With the exception of townhomes, condominiums, and residences that are part of a planned urban development, or PUD, we evaluate the following exterior features: driveways, walkways, fences, gates, handrails, guardrails, yard walls, carports, patio covers, decks, building walls, fascia and trim, balconies, doors, windows, lights, and outlets. However, we do not evaluate any detached structures, such as storage sheds and stables, and we do not water test or evaluate subterranean drainage systems or any mechanical or remotely controlled components, such as driveway gates. Also, we do not evaluate landscape components, such as trees, shrubs, fountains, ponds, statuary, pottery, fire pits, patio fans, heat lamps, and decorative or low-voltage lighting. In addition, we do not comment on coatings or cosmetic deficiencies and the wear and tear associated with the passage of time, which would be apparent to the average person. However, cracks in hard surfaces can imply the presence of expansive soils that can result in continuous movement, but this could only be confirmed by a geological evaluation of the soil.

Grading & Drainage

General Comments

Components and Conditions Needing Service

Several under ground pipes for drainage off the gutters are damaged and above ground causing trip hazards.



Drainage Mode

Components and Conditions Needing Service

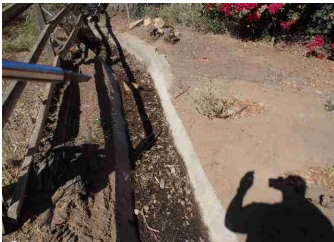
There is visible erosion on the hillside from a broken drainage pipe which needs corrected.



Drainage Swales

Components and Conditions Needing Service

The drainage swales on the slope need to be cleaned and kept clean. Clean drainage swales are essential to the general maintenance of the property.



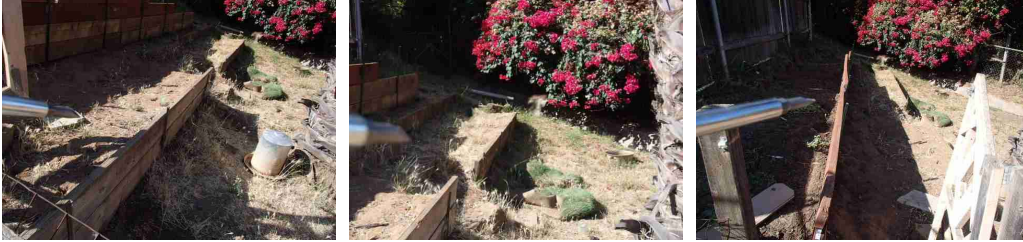
Exterior Components

Yard Walls

Informational Conditions

The wooden planks terracing the slope have no structural value, and are intended to inhibit surface soil movement, and should be periodically monitored for damage or stability.

The wooden planks terracing the slope have no structural value - *Continued*



Fences & Gates

Components and Conditions Needing Service

Sections of the fence or gates are leaning or damaged and should be repaired or replaced.



Wood & Masonry Decks

Components and Conditions Needing Service

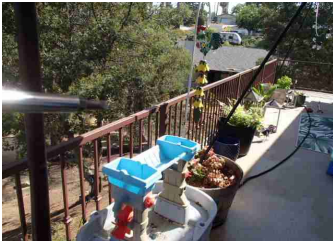
There is damage to the metal post holder in the concrete which needs evaluated by a specialist



Steps & Handrails

Informational Conditions

The handrails are lower than the required height which is a safety hazard which you may wish to have replaced.



Components and Conditions Needing Service

As a safety precaution, we recommend installing handrails on steps that have three or more risers, and particularly if children or the elderly visit or occupy the property.



One of the bolts holding a stair is loose and stripped and needs to be serviced.



There is dry rot to one of the stairs that should be evaluated by the termite inspector.



Outlets

Informational Conditions

The outlets that were tested are functional include ground-fault protection except for the ones we point out in the report.



Roof

There are many different roof types, which we evaluate by walking on their surfaces. If we are unable or unwilling to do this for any reason, we will indicate the method that was used to evaluate them. Every roof will wear differently relative to its age, the number of its layers, the quality of its material, the method of its application, its exposure to direct sunlight or other prevalent weather conditions, and the regularity of its maintenance. Regardless of its design-life, every roof is only as good as the waterproof membrane beneath it, which is concealed and cannot be examined without removing the roof material, and this is equally true of almost all roofs. In fact, the material on the majority of pitched roofs is not designed to be waterproof only

water-resistant. However, what remains true of all roofs is that, whereas their condition can be evaluated, it is virtually impossible for anyone to detect a leak except as it is occurring or by specific water tests, which are beyond the scope of our service. Even water stains on ceilings, or on the framing within attics, could be old and will not necessarily confirm an active leak without some corroborative evidence, and such evidence can be deliberately concealed. Consequently, only the installers can credibly guarantee that a roof will not leak, and they do. We evaluate every roof conscientiously, and even attempt to approximate its age, but we will not predict its remaining life expectancy, or guarantee that it will not leak. Naturally, the sellers or the occupants of a residence will generally have the most intimate knowledge of the roof and of its history. Therefore, we recommend that you ask the sellers about it, and that you either include comprehensive roof coverage in your home insurance policy, or that you obtain a roof certification from an established local roofing company.

Composition Shingle Roof

Method of Evaluation

Informational Conditions

We evaluated the roof and its components by walking on its surface.



Estimated Age

Informational Conditions

The roof appears to be the same age as the residence.

Roofing Material

Components and Conditions Needing Service

There are a few damaged or broken shingles that should be sealed or replaced on the second story.



Plumbing

Plumbing systems have common components, but they are not uniform. In addition to fixtures, these components include gas pipes, water pipes, pressure regulators, pressure relief valves, shut-off valves, drain and vent pipes, and water-heating devices, some of which we do not test if they are not in daily use. The best and most dependable water pipes are copper, because they are not subject to the build-up of minerals that bond within galvanized pipes, and gradually restrict their inner diameter and reduce water volume. Water softeners can remove most of these minerals, but not once they are bonded within the pipes, for which there would be no remedy other than a re-pipe. The water pressure within pipes is commonly confused with water volume, but whereas high water volume is good high water pressure is not. In fact, whenever the street pressure exceeds eighty pounds per square inch a regulator is recommended, which typically comes factory preset between forty-five and sixty-five pounds per square inch. However, regardless of the pressure, leaks will

occur in any system, and particularly in one with older galvanized pipes, or one in which the regulator fails and high pressure begins to stress the washers and diaphragms within the various components.

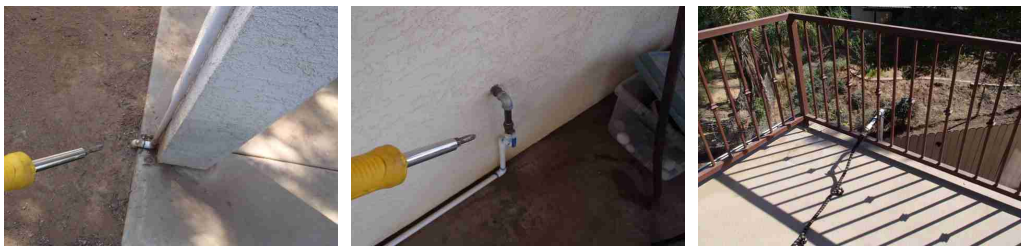
Waste and drainpipes pipes are equally varied, and range from modern ABS ones [acrylonitrile butadiene styrene] to older ones made of cast-iron, galvanized steel, clay, and even a cardboard-like material that is coated with tar. The condition of these pipes is usually directly related to their age. Older ones are subject to damage through decay and root movement, whereas the more modern ABS ones are virtually impervious to damage, although some rare batches have been alleged to be defective. However, inasmuch as significant portions of drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur in the life of any system, but blockages in drainpipes, and particularly in main drainpipes, can be expensive to repair, and for this reason we recommend having them video-scanned. This could also confirm that the house is connected to the public sewer system, which is important because all private systems must be evaluated by specialists.

Potable Water Supply Pipes

General Comments

Informational Conditions

A hose bib has been extended to the balcony with PVC which is exposed to foot traffic and the sun. You may wish to have a plumber extend this correctly or have it removed all together.



Water Meter

Components and Conditions Needing Service

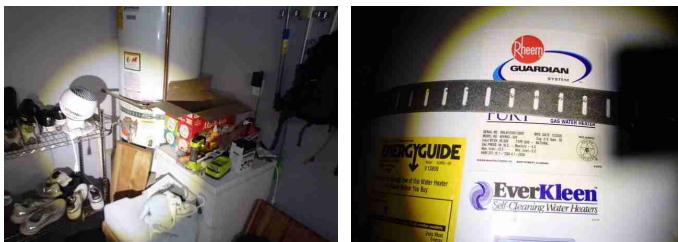
We were unable to locate the water meter at the street and recommend the sellers disclose it location. There is a small dial or triangle, and some may be digital on the meter which should not be moving when nothing is on in the home or grove. If it is moving, this is an indication of a leak in the systems somewhere which needs evaluated and repaired.

Gas Water Heaters

Age Capacity & Location

Informational Conditions

Hot water is provided by a 20 year, 50 gallon water heater that is located in the garage.



Common Observations

Components and Conditions Needing Service

The hot water heater is functional but beyond its design life and should be monitored for leaks until it is replaced.

Irrigation or Sprinklers

Automatic Sprinklers

Informational Conditions

We do not evaluate sprinkler systems, which should be demonstrated by the sellers if possible.



Waste & Drainage Systems

Gray Water Pump

Informational Conditions

The entire home flows into a gray pump that appeared to be functional at the time of the inspection. This pump pumps the waste to street level and may need special maintenance that should be explained by the sellers. There is no high water alarm that one be installed that would warn you if the pump stops. Feminine products and sanitary wipes should not be flushed down toilets as they could damage or clog the system.



There is no high water alarm on the system which may not be required by is a sensible recommendation. This could prevent your home from a possible flood.



Components and Conditions Needing Service

The lid is not installed on the basin and one should be installed and sealed for sewer gas reasons.



The ejection sewer pipe is exposed above ground and is subjected to foot traffic and or sun damage. We recommend it be buried.



Electrical

There are a wide variety of electrical systems with an even greater variety of components, and any one particular system may not conform to current standards or provide the same degree of service and safety. What is most significant about electrical systems however is that the national electrical code [NEC] is not retroactive, and therefore many residential systems do not comply with the latest safety standards. Regardless, we are not electricians and in compliance with our standards of practice we only test a representative number of switches and outlets and do not perform load-calculations to determine if the supply meets the demand. However, in the interests of safety, we regard every electrical deficiency and recommended upgrade as a latent hazard that should be serviced as soon as possible, and that the entire system be evaluated and certified as safe by an electrician. Therefore, it is essential that any recommendations that we may make for service or upgrades should be completed before the close of escrow, because an electrician could reveal additional deficiencies or recommend some upgrades for which we would disclaim any further responsibility. However, we typically recommend upgrading outlets to have ground fault protection, which is a relatively inexpensive but essential safety feature. These outlets are often referred to as GFCI's, or ground fault circuit interrupters and, generally speaking, have been required in specific locations for more than thirty years, beginning with swimming pools and exterior outlets in 1971, and the list has been added to ever since: bathrooms in 1975, garages in 1978, spas and hot tubs in 1981, hydro tubs, massage equipment, boat houses, kitchens, and unfinished basements in 1987, crawlspaces in 1990, wet bars in 1993, and all kitchen countertop outlets with the exception of refrigerator and freezer outlets since 1996. Similarly, AFCI's or arc fault circuit interrupters, represent the very latest in circuit breaker technology, and have been required in all bedroom circuits since 2002. However, inasmuch as arc faults cause thousands of electrical fires and hundreds of deaths each year, we categorically recommend installing them at every circuit as a prudent safety feature.

Main Panel

Service Entrance

Informational Conditions

The main conductor lines are underground, or part of a lateral service entrance. This is characteristic of modern electrical services but, inasmuch as the service lines are underground and cannot be seen, they are not evaluated as part of our service.

Panel Size & Location

Informational Conditions

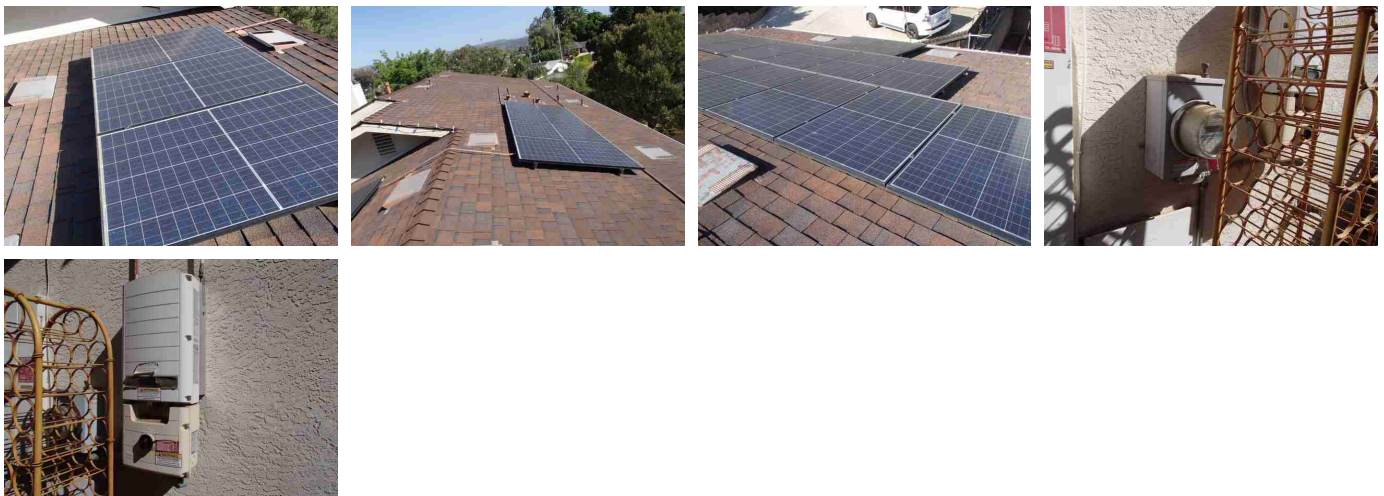
The main panel is located on the side of the residence. The residence is serviced by a 200 amp, 110-220 breaker.



Main Panel Observations

Informational Conditions

The system includes a solar system that we do not have the expertise to inspect and you may wish to have a specialist evaluate it before close of escrow. The system may be leased or owned and we recommend you obtain all the details from the seller before close of escrow. The solar panels and the mounting of them is not able to be inspected and you should be aware of this. We recommend you get as much information from the sellers about the system and power generation before close of escrow.



The panel and its components have no visible deficiencies.



Sub Panels

Sub Panel Location

Informational Conditions

The sub panel is located in the side yard on the home.

Sub Panel Observations

Components and Conditions Needing Service

Various circuits within the sub-panel are not labeled, and should be serviced by an electrician so that the appropriate load calculations and breaker sizes could be determined.



Heat-A/C

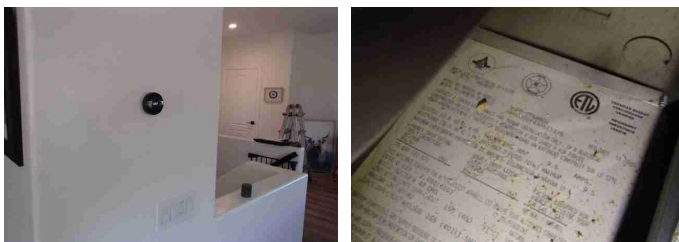
The components of most heating and air-conditioning systems have a design-life ranging from ten to twenty years, but can fail prematurely with poor maintenance, which is why we apprise you of their age whenever possible. We test and evaluate them in accordance with the standards of practice, which means that we do not dismantle and inspect the concealed portions of evaporator and condensing coils, the heat exchanger, which is also known as the firebox, electronic air-cleaners, humidifiers, ducts and in-line duct-motors or dampers. We perform a conscientious evaluation of both systems, but we are not specialists. However, even the most modern heating systems can produce carbon monoxide, which in a sealed or poorly ventilated room can result in sickness, debilitating injury, and even death. Therefore, in accordance with the terms of our contract, it is essential that any recommendations that we make for service or a second opinion be scheduled before the close of escrow, because a specialist could reveal additional defects or recommend further upgrades that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

HVAC Package Systems

Age & Location

Informational Conditions

Central heat is provided by 19 years old furnace and air conditioning is provided by a 19 year old AC system which is located in the attic.



Common Observations

Informational Conditions

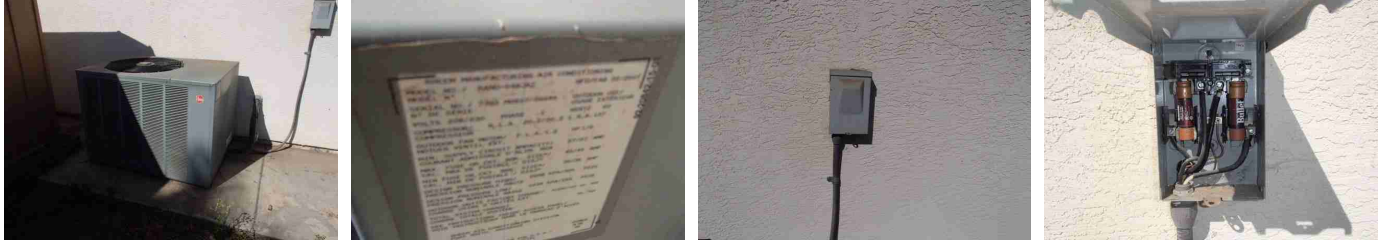
The package-system is functional. Such systems are designed to last approximately twenty years, but they

should be serviced bi-annually and have their filters changed every two to three months.

Condensing Coil

Informational Conditions

The condensing coil responded to the thermostat and is functional.



Differential Temperature Readings

Informational Conditions

The air-conditioning responded and achieved an acceptable differential temperature split between the air entering the system and that coming out, of seventeen degrees or more.



Chimney

The Chimney Safety Institute of America has published industry standards for the inspection of chimneys, and on January 13, 2000, the National Fire Protection Association adopted these standards as code, known as NFPA 211. Our inspection of masonry and factory-built chimneys to what is known as a Level-One inspection, which is purely visual and not to be confused with Level-Two, and Level-Three inspections, which are performed by qualified specialists with a knowledge of codes and standards, and typically involves dismantling components and/or investigations with video-scan equipment and other means to evaluate chimneys.

Living Room Chimney

General Prefabricated

Informational Conditions

There are a wide variety of pre-fabricated chimneys, which are constructed on site with approved components. We perform a competent inspection of them, but we are not specialists, and our inspection of them is limited to those areas that can be viewed without dismantling any portion of them, and we cannot guarantee that any particular component is the one stipulated for use by the manufacturer. For instance, experience has taught us that many prefabricated chimneys have been fitted with architectural shrouds that are not approved by the manufacturer, and which can inhibit drafting and convectional cooling. However, we recommend a level-two inspection by a qualified specialist within the contingency period or before the close of escrow, as recommended by NAPA standards "upon the sale or transfer of a property."

General Prefabricated Chimney Comments - *Continued*



Weather Cap-Spark Arrestor

Informational Conditions

The chimney has a functional weather cap/spark arrestor.



Living

Our inspection of living space includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. However, we do not evaluate window treatments, or move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on cosmetic deficiencies. We may not comment on the cracks that appear around windows and doors, or which follow the lines of framing members and the seams of drywall and plasterboard. These cracks are a consequence of movement, such as wood shrinkage, common settling, and seismic activity, and will often reappear if they are not correctly repaired. Such cracks can become the subject of disputes, and are therefore best evaluated by a specialist. Similarly, there are a number of environmental pollutants that we have already elaborated upon, the specific identification of which is beyond the scope of our service but which can become equally contentious. In addition, there are a host of lesser contaminants, such as that from moisture penetrating carpet-covered cracks in floor slabs, as well as odors from household pets and cigarette smoke that can permeate walls, carpets, heating and air conditioning ducts, and other porous surfaces, and which can be difficult to eradicate. However, inasmuch as the sense of smell adjusts rapidly, and the sensitivity to such odors is certainly not uniform, we recommend that you make this determination for yourself, and particularly if you or any member of your family suffers from allergies or asthma, and then schedule whatever remedial services may be deemed necessary before the close of escrow.

Main Entry

Doors

Components and Conditions Needing Service

The inside doorbell does not work, and should be serviced. Video equipment is not inspected as part of the inspection service.

Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date/Time: 6/15/2026 9:00 am to 11:00 am

The inside doorbell does not work and should be serviced - *Continued*



Living Room

No Recommended Service

Informational Conditions

We have evaluated the living room, and found it to be in acceptable condition.



Carbon Monoxide Detector

Functional Components and Conditions

The carbon monoxide detector was present and should be checked periodically.



Dining Room

No Recommended Service

Informational Conditions

We have evaluated the dining room, and found it to be in acceptable condition.



Bedrooms

In accordance with the standards of practice, our inspection of bedrooms includes the visually accessible areas of walls, floors, cabinets and closets, and includes the testing of a representative number of windows and doors, switches and outlets. We evaluate windows to ensure that they meet light and ventilation requirements and facilitate an emergency exit or egress, but we do not evaluate window treatments, nor move furniture, lift carpets or rugs, empty closets or cabinets, and we do not comment on common cosmetic deficiencies.

Master Bedroom

No Recommended Service

Informational Conditions

We have evaluated the bedroom, and found it to be in acceptable condition.

Smoke Detector

Informational Conditions

The smoke detector was present and should be checked with the test button periodically.

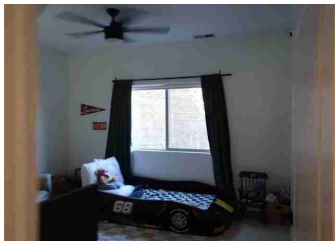


1st Guest Bedroom

Smoke Detector

Informational Conditions

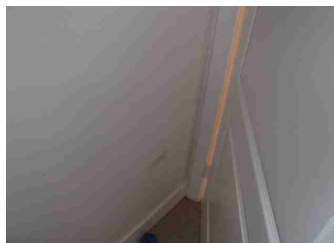
The smoke detector was present and should be checked with the test button periodically.



Walls & Ceiling

Components and Conditions Needing Service

There is minor damage to the paint which needs serviced



2nd Guest Bedroom

Smoke Detector

Informational Conditions

The smoke detector is present but should be checked periodically.



Ceiling Fan & Light Fixture

Components and Conditions Needing Service

The plastic light cover is missing from the fixture



Bathrooms

In accordance with industry standards, we do not comment on common cosmetic deficiencies, and do not evaluate window treatments, steam showers, and saunas. More importantly, we do not leak-test shower pans, which is usually the responsibility of a termite inspector. However, because of the possibility of water damage, most termite inspectors will not leak-test second floor shower pans without the written consent of the owners or occupants.

Master Bathroom

No Recommended Service

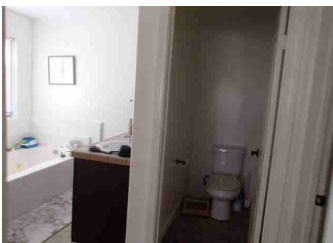
Informational Conditions

We have evaluated the master bathroom, and found it to be in acceptable condition.

Outlets

Functional Components and Conditions

The outlets are functional and include ground-fault protection except for the ones we point out in the report.



Upstairs Bathroom

Outlets

Functional Components and Conditions

The outlets are functional and include ground-fault protection.



Sink Countertop

Informational Conditions

There is a typical separation between the sink countertop and the back-splash, which should be sealed to forestall moisture intrusion between the cabinet and the wall.



Sink Faucet Valves & Connectors Trap & Drain

Informational Conditions

The water flow to the sink is functional but lower than normal which you should be aware of.



Downstairs Bathroom

Outlets

Functional Components and Conditions

The outlets are functional and include ground-fault protection.

The outlets are functional and include ground-fault protection - *Continued*



Tub-Shower

Components and Conditions Needing Service

The mixing valve handle is rubbing on the cover plate screws making it grind and needs to be serviced.



Kitchen

We test kitchen appliances for their functionality, and cannot evaluate them for their performance nor for the variety of their settings or cycles. However, if they are older than ten years, they may well exhibit decreased efficiency. Also, many older gas and electric ranges are not secured and can be easily tipped, particularly when any weight is applied to an open range door, and all such appliances should be confirmed to be secure.

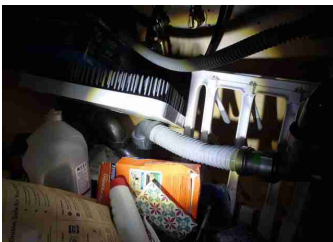
Regardless, we do not inspect the following items: free-standing appliances, refrigerators, trash-compactors, built-in toasters, coffee-makers, can-openers, blenders, instant hot-water dispensers, water-purifiers, barbecues, grills or rotisseries, timers, clocks, thermostats, the self-cleaning capability of ovens, and concealed or countertop lighting, which is convenient but often installed after the initial construction and not wired to national electrical standards.

Kitchen

Trap and Drain

Informational Conditions

The sink employs an unconventional flexible drainpipe that could contribute to leaks or blockages.



Garbage Disposal

Functional Components and Conditions

The garbage disposal is functional.

Gas Range

Functional Components and Conditions

The gas range was functional, but was neither calibrated nor tested for its performance.



Components and Conditions Needing Service

The range is not equipped with an anti-tip device or the device is not function, which prevents the range from tipping, or its contents from spilling, should a child attempt to climb on it or its open door. This is a recommended safety feature that should be installed, and particularly if small children occupy or visit the residence.

Dishwasher

Functional Components and Conditions

The dishwasher(s) is functional.

Components and Conditions Needing Service

The dishwasher are functional but discharges without a mandated anti-siphon valves, which is contrary to the California requirements, and which also creates a potential drainage problem and a health hazard.

Exhaust Fan or Downdraft

Functional Components and Conditions

The exhaust fan or downdraft is functional.

Outlets

Informational Conditions

The outlets that were tested within six feet of water are functional and include ground-fault protection except for the ones we point out in the report.



Above the Range Microwave

Functional Components and Conditions

The above the range microwave was functional at the time of the inspection.



Refrigerator

Informational Conditions

The refrigerator(s) was functional at the time of the inspection.

Pool/Spa

Pools and spas do leak, but without specialized equipment this may be impossible to confirm. However, it could become apparent from secondary evidence during our inspection, which is purely visual. Regardless, the owner or the occupant of a property would be aware that the water level drops regularly and must be topped off, and this should be disclosed. Unusually high water bills could reveal this, but only a pressure test of the pipes, a dye test of cracks, or a geo-phone test of specific areas would confirm it, and any such specialized test is beyond the scope of our service. Therefore, you should ask the sellers to guarantee that the spa does not leak, request to review the water bills for a twelve-month period, or obtain comprehensive insurance to cover such an eventuality.

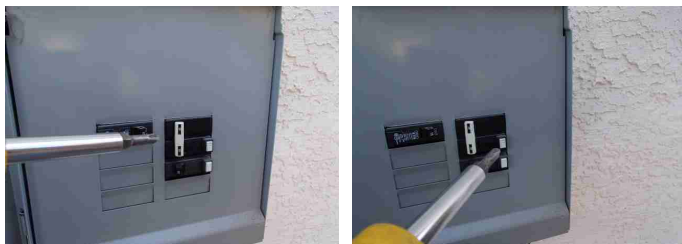
Spa Only

Portable Spa Observations

Components and Conditions Needing Service

The portable spa has been drained and, therefore, could not be evaluated. It should be filled, serviced.

The GFCI breaker for the spa did not trip with the test button and needs serviced or replaced.



Hallway

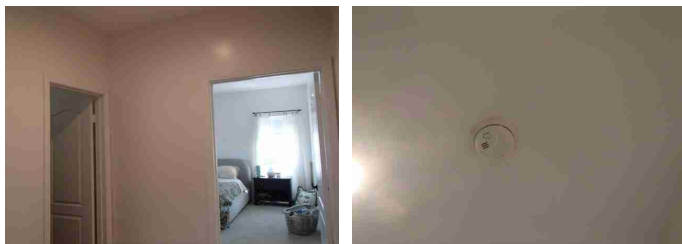
Our evaluation of hallways is identical to that of living space, except that we pay particular attention to safety issues, such as those involving handrails, guardrails, and smoke detectors.

Downstairs Hallway

Smoke Detector

Informational Conditions

The smoke detector was present but should be checked periodically.



Carbon Monoxide Detector

Informational Conditions

The carbon monoxide detector was present and should be tested periodically.



Stairs

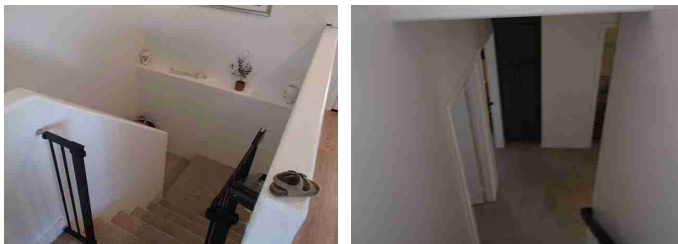
Our evaluation of staircases is identical to that of living space, except that we pay particular attention to safety issues, such as those involving handrails, guardrails, and smoke detectors.

Main Stairs

No Recommended Service

Informational Conditions

We have evaluated the stairs and landing, and found them to be in acceptable condition.



Laundry

In accordance with industry standards, we do not test clothes dryers, nor washing machines and their water connections and drainpipes. However, there are two things that you should be aware of. The water supply to washing machines is usually left on, and their hoses can leak or burst under pressure and continue to flow. Therefore, we recommend replacing the rubber hose type with newer braided stainless steel ones that are much more dependable. You should also be aware that the newer washing machines discharge a greater volume of water than many of the older drainpipes can handle, which causes the water to back up and overflow, and the only remedy would be to replace the standpipe and trap with one that is a size larger.

Laundry Area

Dryer Vent

Components and Conditions Needing Service

The dryer vent appears to be clogged and should be serviced for fire safety reasons

The dryer vent appears to be clogged and should be serviced for fire safety reasons - *Continued*



Washer & Dryer

Components and Conditions Needing Service

The washer and dryer had clothes in them and were not tested during the inspection and their condition should be disclosed if the transfer with the property.



Garage

It is not uncommon for moisture to penetrate garages, because their slabs are on-grade. Evidence of this is typically apparent in the form of efflorescence, or salt crystal formations, that result when moisture penetrates the concrete slab or sidewalls. This is a common with garages that are below grade, and some sidewalls are even cored to relieve the pressure that can build up behind them, and which actually promotes drainage through the garage. Also, if there is living space above the garage, that space will be seismically vulnerable. Ideally, the columns and beams around the garage door will be made of structural steel, but in many residences these components are made of wood but could include some structural accessories, such as post-straps and hold-downs, and plywood shear paneling. However, we are not an authority in such matters, and you may wish to discuss this further with a structural engineer. In addition, and inasmuch as garage door openings are not standard, you may wish to measure the opening to ensure that there is sufficient clearance to accommodate your vehicles.

Double-Car Garage

Slab Floor

Components and Conditions Needing Service

The garage is too full to permit a clear view of the slab or walls and we recommend you view the garage empty before close of escrow for any obvious damage.



Firewall Separation

Components and Conditions Needing Service

The ventilation grate in the garage ceiling violates the necessary firewall separation between the garage and the living quarters. A metal fire rated door should be installed or the drywall replaced.



Entry Door Into the House

Functional Components and Conditions

The house entry door is solid core, or fire-rated, and self-closes in conformance with fire-safety regulations.



Lights

Informational Conditions

There were unable to determine that purpose of switches in the garage that we recommend the seller elaborate on.



Outlets

Functional Components and Conditions

The outlets that were tested are functional, and include ground-fault protection except for the ones we point out in the report.



Attic

In accordance with our standards, we do not attempt to enter attics that have less than thirty-six inches of headroom, are restricted by ducts, or in which the insulation obscures the joists and thereby makes mobility hazardous, in which case we would inspect them as best we can from the access point. In regard to evaluating the type and amount of insulation on the attic floor, we use only generic terms and approximate measurements, and do not sample or test the material for specific identification. Also, we do not disturb or move any portion of it, and it may well obscure water pipes, electrical conduits, junction boxes, exhaust fans, and other components.

Primary Attic

Attic Access Location

Informational Conditions

The attic can be accessed through a hatch in the hallway ceiling.



Method of Evaluation

Informational Conditions

We evaluated the attic by direct access. Only 85% percent of the attic was able to be inspected due to limited accessibility of some areas.



Framing

Components and Conditions Needing Service

The top board of a truss has been repaired and we recommend any paperwork be provided on this repair to insure it was done by a licensed specialist.



Ventilation

Informational Conditions

Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date/Time: 6/15/2026 9:00 am to 11:00 am

Ventilation includes the use of a powered attic ventilator, which current research shows may be little better than passive vents. They are generally not energy efficient, can draw conditioned house air through multiple openings in the attic floor, create negative pressure, and increase the potential for back-drafting the bi-products of combustion from combustion appliances. Therefore, you may wish to seek a second opinion or have the attic ventilator disconnected.



Garage Attic

Attic Access Location

Informational Conditions

The attic can be accessed through a vent in the ceiling.

Method of Evaluation

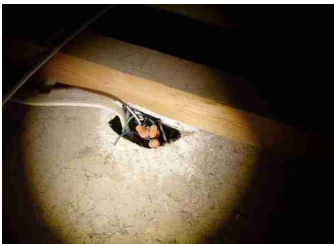
Informational Conditions

We evaluated the attic by direct access. Only 95% percent of the attic was able to be inspected due to limited accessibility of some areas

Electrical

Components and Conditions Needing Service

Several electrical connections have been incorrectly made outside of junction boxes. All such connections should be made within junction boxes in order to contain any arcing or sparking that could occur, a task that should be completed by a licensed electrician.



REPORT CONCLUSION

12312 Sunbrite Lane, Lakeside, CA 92040

Congratulations on the purchase of your new home. Inasmuch as we never know who will be occupying or visiting a property, whether it be children or the elderly, we ask you to consider following these general safety recommendations: install smoke and carbon monoxide detectors; identify all escape and rescue ports; rehearse an emergency evacuation of the home; upgrade older electrical systems by at least adding ground-fault outlets; never service any electrical equipment without first disconnecting its power source; safety-film all non-tempered glass; ensure that every elevated window and the railings of stairs, landings, balconies, and decks are child-safe, meaning that barriers are in place or that the distance between the rails is not wider than three inches; regulate the temperature of water heaters to prevent scalding; make sure that goods that contain caustic or poisonous compounds, such as bleach, drain cleaners, and nail polish removers be stored where small children cannot reach them; ensure that all garage doors are well balanced and have a safety device, particularly if they are the heavy wooden type; remove any double-cylinder deadbolts from exterior doors; and consider installing child-safe locks and alarms on the exterior doors of all pool and spa properties.

We are proud of our service, and trust that you will be happy with the quality of our report. We have made every effort to provide you with an accurate assessment of the condition of the property and its components and to alert you to any significant defects or adverse conditions. However, we may not have tested every outlet, and opened every window and door, or identified every minor defect. Also because we are not specialists or because our inspection is essentially visual, latent defects could exist. Therefore, you should not regard our inspection as conferring a guarantee or warranty. It does not. It is simply a report on the general condition of a particular property at a given point in time. Furthermore, as a homeowner, you should expect problems to occur. Roofs will leak, drain lines will become blocked, and components and systems will fail without warning. For these reasons, you should take into consideration the age of the house and its components and keep a comprehensive insurance policy current. If you have been provided with a home protection policy, read it carefully. Such policies usually only cover insignificant costs, such as that of roofer service, and the representatives of some insurance companies can be expected to deny coverage on the grounds that a given condition was preexisting or not covered because of what they claim to be a code violation or a manufacture's defect. Therefore, you should read such policies very carefully, and depend upon our company for any consultation that you may need.

Thank you for taking the time to read this report, and call us if you have any questions or observations whatsoever. We are always attempting to improve the quality of our service and our report, and we will continue to adhere to the highest standards of the real estate industry and to treat everyone with kindness, courtesy, and respect.

Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date/Time: 6/15/2026 9:00 am to 11:00 am

TABLE OF CONTENTS

CONFIDENTIAL INSPECTION REPORT	1
GENERAL INFORMATION	2
SCOPE OF WORK	3
Structural	5
Slab Foundation	5
Exterior	5
Grading & Drainage	6
Exterior Components	6
Roof	8
Composition Shingle Roof	9
Plumbing	9
Potable Water Supply Pipes	10
Gas Water Heaters	10
Irrigation or Sprinklers	11
Waste & Drainage Systems	11
Electrical	12
Main Panel	13
Sub Panels	14
Heat-A/C	14
HVAC Package Systems	14
Chimney	15
Living Room Chimney	15
Living	16
Main Entry	16
Living Room	17
Dining Room	17
Bedrooms	18
Master Bedroom	18
1st Guest Bedroom	18
2nd Guest Bedroom	19
Bathrooms	19
Master Bathroom	19
Upstairs Bathroom	20
Downstairs Bathroom	20
Kitchen	21
Kitchen	21
Pool/Spa	23
Spa Only	23
Hallway	23
Downstairs Hallway	23
Stairs	24
Main Stairs	24
Laundry	24
Laundry Area	24
Garage	25
Double-Car Garage	25
Attic	27
Primary Attic	27
Garage Attic	28
Report Conclusion	29

Inspection Address: 12312 Sunbrite Lane, Lakeside, CA 92040
Inspection Date/Time: 6/15/2026 9:00 am to 11:00 am
