



Core Inspection Services

18859 Microtronics Way

Suite B1

Sonora, CA 95370

(209) 536-4835

CoreInspectionServices.com

admin@coreinspectionsservices.com



Home Inspection Report

Prepared For:

Sherrri Gibson

Property Address:

19560 River Birch Ct

Spc 11

Sonora, CA 95370

Inspected on Tue, Apr 7 2026 at 3:00PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property and assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is essential to read the entire report to obtain a full understanding of the scope, limitations, and exclusions of the inspection.

In addition to the checklist items of the report, there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational, and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing the end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action, and any associated cost.

General

Property Type:	Single Family
Stories:	One
Approximate Age:	29 years
Age Based On:	Listing
Bedrooms/Baths:	2/2
Furnished:	No
Occupied:	No
Weather:	Sunny
Temperature:	75°
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Not Present

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level Condition: Satisfactory
Vegetation:	Generally Maintained Condition: Satisfactory
Retaining Walls:	Wood Condition: Satisfactory
Driveway:	Concrete Condition: Satisfactory
Walkways:	Concrete
Steps/Stoops:	Concrete
Patios/Decks:	Concrete, Wood Condition: Satisfactory

(Site continued)



Comment 1:

Cracks were noted at the concrete driveway. These cracks are most likely due to no reinforcement being installed at the time of the installation as it was not required. These cracks are not considered structural to the house.



Figure 1-1

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Lap Wood, Pressed Wood Condition: Repair or Replace
Exterior Trim Material:	Wood Condition: Marginal
Windows:	Aluminum
Entry Doors:	Hinge , Slider Condition: Satisfactory
Decks:	Wood, Composite Type Condition: Satisfactory
Railings:	Not Present

(Exterior continued)



Comment 2:
Cosmetic damage was noted to the garage door.



Figure 2-1



Comment 3:
Wood deterioration was noted at the siding trim at the front of the front bedroom.
Recommend repairing or replacing all affected materials as needed.



Figure 3-1

(Exterior continued)



Comment 4:

Moisture staining was noted at areas of the eaves and siding at the left side of the front entry. This may be due to leaking gutters. Staining was also noted at the entry window casing. Recommend further review by proper trades



Figure 4-1



Figure 4-2



Figure 4-3

(Exterior continued)



Comment 5:

Deteriorated gaskets were noted at multiple windows around the home. This did not appear to have compromise the seals, however.



Figure 5-1



Figure 5-2



Comment 6:

Wood deterioration was noted at the trim at the front door. Recommend repairing or replacing all affected materials as needed.



Figure 6-1

(Exterior continued)

- ⚠ Comment 7:
Wood deterioration was noted at the siding trim at the left side of the garage.
Recommend repairing or replacing all affected materials as needed.



Figure 7-1

-
- ⚠ Comment 8:
Wood deterioration was noted at the eaves at the front left corner of the garage.
Recommend repairing or replacing all affected materials as needed.



Figure 8-1

(Exterior continued)


 **Comment 9:**
Wood deterioration was noted at the side and overhead garage door casing. Recommend repairing or replacing all affected materials as needed.



Figure 9-1



Figure 9-2


 **Comment 10:**
Wood deterioration was noted at areas of the siding at the right side of the garage. Recommend repairing or replacing all affected materials as needed.



Figure 10-1

(Exterior continued)


-  **Comment 11:**
The inspector was unable to access beneath the rear deck due to insufficient clearance.



Figure 11-1


-
-  **Comment 12:**
Wood deterioration was noted at the trim at the living room slider. Recommend repairing or replacing all affected materials as needed.



Figure 12-1

(Exterior continued)



Comment 13:

The rear pergola was weathered. Recommend repainting this to prevent moisture damage.



Figure 13-1



Comment 14:

Rusted gutter seams were noted at multiple areas of the eaves around the structure. Recommend repairs or replacement to properly divert roof water away from the building.

(Exterior continued)



Figure 14-1


 **Comment 15:**
Loose and unsealed fasteners were noted at areas of the siding around the structure. Recommend repairs to prevent moisture intrusion beneath wood members.



Figure 15-1

Garage

Garage Type:	Attached
Garage Size:	2 Car
Door Opener:	Belt Drive
Opener Safety Feature:	Light Beam, Force Sensitive



Comment 16:

Garage floor cracking was noted, this is common for the age of the house as reinforcement was not required in the slab. This is not considered structural to the foundation of the house.



Figure 16-1

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Entire Roof
Roof Design:	Gable
Roof Covering:	Composition
	Condition: Repair or Replace

(Roofing continued)

Approximate Roof Age:	Original
Ventilation Present:	Not Present
Vent Stacks:	Plastic Condition: Satisfactory
Chimney :	Not Present
Sky Lights:	Yes Condition: Repair or Replace
Flashings:	Metal
Soffit and Fascia:	Wood Condition: Satisfactory
Gutters & Downspouts:	Metal Condition: Satisfactory



Comment 17:

The roof is suggested to be at the end of its usable life and should be repaired or replaced by a qualified person.

When the roof is repaired it is suggested to have roof ventilation reviewed and repaired by a qualified person. Additional ventilation such as a ridge vent will dramatically increase the lifespan of the new roofing material.



Figure 17-1

(Roofing continued)



Comment 18:

The skylight in the bathroom was damaged. Recommend repairs or replacement by proper trades.

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Crawl Space, Post & Pier
Foundation Material:	Poured Concrete, Metal
Signs of Water Penetration:	Efflorescence
Prior Waterproofing:	Perimeter Drain
	Condition: Satisfactory
Floor Structure:	Wood Frame
Subflooring:	Pressed wood
Wall Structure:	Wood Frame

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:	Inside
Underfloor Insulation:	Fiberglass Batts, Vapor Barrier
Ventilation Present:	Yes
	Condition: Satisfactory
Moisture Condition:	Dry

(Crawlspace continued)



Comment 19:

The dryer vent was disconnected in the subarea. This was not ducted to the exterior of the house. This should be repaired by a qualified person to ensure moisture cannot access the subarea.



Figure 19-1



Comment 20:

Noted that the water heater blow off leg and drip pan were plumbed into the sub area. This could cause moisture intrusion into the sub area and proper repairs should be made.

(Crawlspace continued)



Figure 20-1



Comment 21:

Damage was noted to areas of the HVAC ducting. Recommend repairs by proper trades



Figure 21-1

(Crawlspace continued)



Comment 22:

Noted that the condensate line for the HVAC system was draining in the sub area. This may cause a moisture intrusion issue into the sub area and proper repairs should be made.



Figure 22-1

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Exterior
Service Panel Manufacturer:	I-T-E
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Service Panel Ground:	Ground Rod
Branch Circuit Wiring:	Conventional Copper

(Electrical continued)

Overcurrent Protection:	Breakers
	Condition: Satisfactory
GFCI/AFCI Breakers:	Not Present
Smoke Detectors In Living Area :	Yes
	Condition: Satisfactory
Smoke Detectors Located In Each Bedroom:	Not Present
Carbon Monoxide Detector One Per Level:	Yes
	Condition: Satisfactory



Comment 23:

Improper clearance noted at electrical panel door. It is noted that electrical panels are required to have 3 feet of unobstructed space. Suggest repairing as needed.



Figure 23-1

HVAC

HVAC System Type: Central Split System

(HVAC continued)

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Laundry
Type of Equipment:	Forced Air
Manufacturer:	Coleman
	Condition: Satisfactory
Heating Fuel:	LP Gas
	Condition: Satisfactory
Approximate Age:	1997
Filter Type:	Disposable
	Condition: Repair or Replace
Output Temperature:	100°
Type of Distribution:	Flexible Ducting, Box ducting

VERY IMPORTANT

Furnaces over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor. If this system is in this age range it is highly suggested to have it reviewed by a licensed HVAC contractor for efficiency and functionality.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Further Evaluation Required
Condenser Make:	Coleman
Condenser Approximate Age:	2018

(Cooling continued)

Condensate Drainage:	To crawl
	Condition: Repair or Replace
AC Supply Air Temp:	65°
AC Return Air Temp:	74°



Comment 24:

Noted that insulation around the line set for the AC system is damaged. This unit should be repaired to ensure that the AC system is operating efficiently.



Figure 24-1



Comment 25:

The AC system was not cooling to a proper temperature. Suggest having reviewed and serviced by a qualified person. This system should have at least a 16° split between the supply and return.

Note: This may be as simple as a dirty filter but should be evaluated and serviced by proper trades.

VERY IMPORTANT

Air conditioners over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor. If this system is in this age range it is highly

(Cooling continued)

suggested to have it reviewed by a licensed HVAC contractor for efficiency and functionality.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper, PEX, PVC
Location of Main Water Shutoff:	At Meter
Sewer System:	Public
Waste Pipe Material:	PVC, ABS Plastic
Sump Pump:	Not Present
Location of Fuel Shutoff:	At Meter
Water Pressure At Exterior Spicket	50 psi
:	Condition: Satisfactory

Water Heater

Location:	Exterior Closet
Manufacturer:	AO Smith
	Condition: Satisfactory
Fuel:	LP Gas
Capacity:	30 gal
Year Water Heater Was Built:	2023
Temp & Pressure Relief Valve:	Present With Blow Off Leg
Fuel Disconnect:	In Same Room
Seismic Straps Installed:	Yes
Hot Water Temp At Kitchen Sink:	110°
Water Heater Drip Pan Installed:	Yes
	Condition: Satisfactory

Bathrooms

Bathroom #1

Location:	Hallway
Bath Tub:	Not Present
Shower:	Stall
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Fiberglass
Tub Surround:	Fiberglass
Floor:	Laminate
Ventilation Type:	Ventilator, Window
GFCI Protection:	Outlets



Comment 26:

The toilet was loose. Suggest removing/replacing wax ring and reinstalling a new wax ring. When the toilet is removed, it is recommended to inspect subfloor for wood deterioration.



Figure 26-1

(Bathrooms continued)

Bathroom #2

Location:	Master
Bath Tub:	Recessed
Shower:	Stall
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Fiberglass
Tub Surround:	Fiberglass
Floor:	Laminate
Ventilation Type:	Ventilator, Window
GFCI Protection:	Not visible



Comment 27:

The toilet was loose. Suggest removing/replacing wax ring and reinstalling a new wax ring. When the toilet is removed, it is recommended to inspect subfloor for wood deterioration.

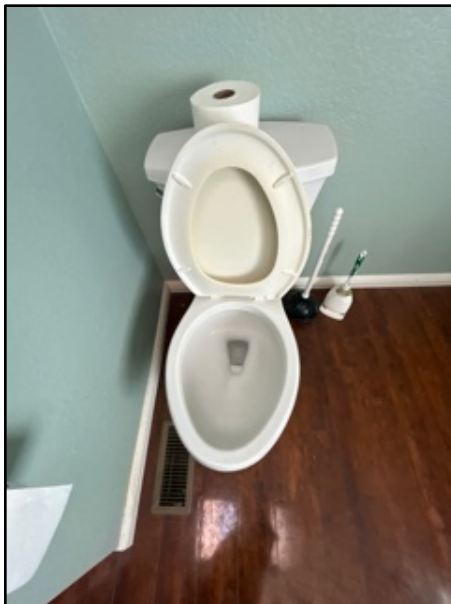


Figure 27-1

(Bathroom #2 continued)



Comment 28:

The bathtub faucet was loose from the surround. Recommend repairs to prevent moisture intrusion beneath the tub.




Figure 28-1

Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Tile Condition: Satisfactory
Sink:	Double Condition: Satisfactory
GFI Present:	Yes Condition: Satisfactory

(Kitchen continued)

 **Comment 29:**
Minor damage was noted to areas of the tiles at the kitchen countertops.

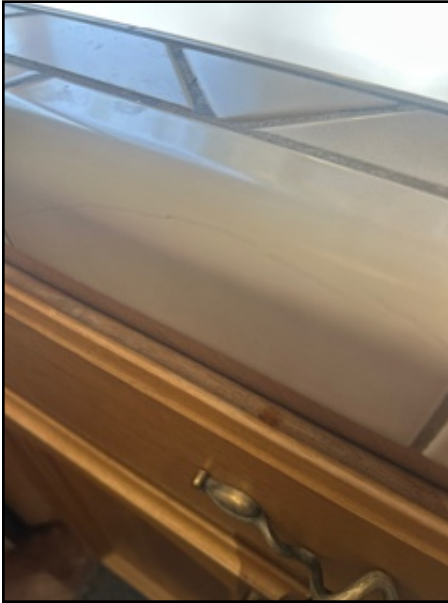


Figure 29-1



Figure 29-2

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Maytag Condition: Satisfactory
Range:	Maytag Condition: Satisfactory
Range Hood:	In Microwave Condition: Satisfactory
Refrigerator:	Kenmore
Dishwasher:	Kenmore Condition: Further Evaluation Required
Microwave:	Kenmore
Disposal:	Badger Condition: Repair or Replace

(Appliances continued)



Comment 30:

The dishwasher was nonfunctional at the time of inspection. The power cord was not located and this may be disconnected. Recommend further review by proper trades.



Figure 30-1



Comment 31:

The garbage disposal motor would not engage suggesting a blockage or a seized motor. Recommend further review by proper trades.

(Appliances continued)



Figure 31-1


 **Comment 32:**
The light fixture at the range hood was non-functional. This may be due to a missing or burnt out bulb.



Figure 32-1

Laundry

Built In Cabinets:	Yes
Laundry Sink:	No
Dryer Venting:	To Exterior
GFCI Protection:	Not Present
Dryer Hook Up Type:	Electric



Comment 33:
The dryer vent was damaged behind the unit.



Figure 33-1

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Carpet, Wood Laminate
Walls:	Textured Over Drywall
Window Types:	Single Hung, Sliders, Fixed
Entry Door Types:	Sliding, Hinged
	Condition: Satisfactory
Front Door Material:	Wood, Aluminum
Interior Door Materials:	Wood

(Interior continued)

Fireplace: Not Present


 Comment 34:
Drywall damage was noted at the ceiling around the kitchen skylight.



Figure 34-1



Figure 34-2

(Interior continued)



Comment 35:

Drywall damage was noted at the wall at the front bedroom closet.

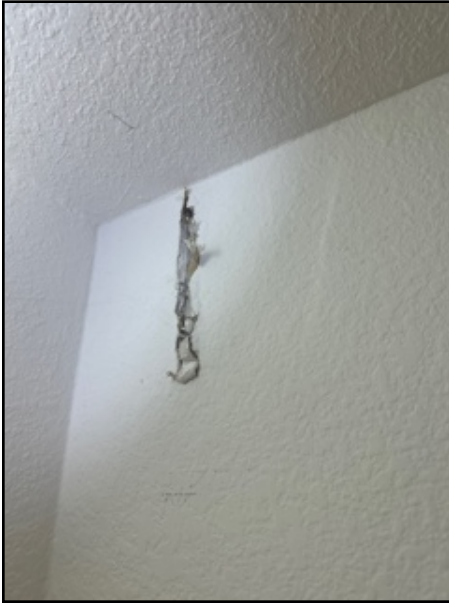


Figure 35-1



Comment 36:

Multiple drywall tape joint cracks were noted throughout the structure. These cracks are not considered settling or structural cracks as they run parallel to the structure.

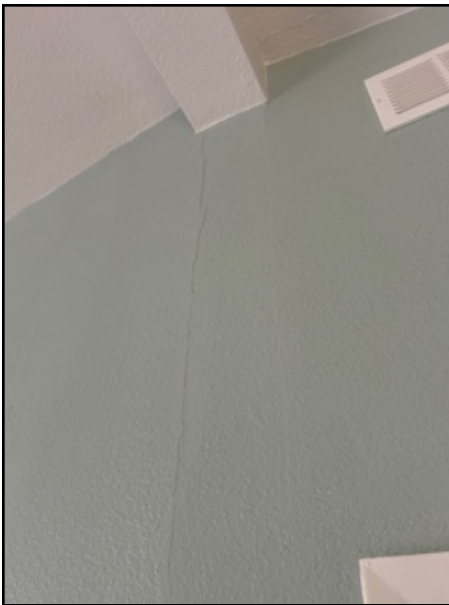


Figure 36-1



Figure 36-2

End Of Inspection Checklist

Is The Oven Off: Yes
Is The HVAC Set Back To Its Temp: Yes
Condition: Satisfactory
Are All Doors Locked: Yes
All Windows Closed And Latched: Yes
Double Checked All Appliances Are Yes
In The Same Order As When We
Arrived:

Report Summary

Site

1) Comment 1: Cracks were noted at the concrete driveway. These cracks are most likely due to no reinforcement being installed at the time of the installation as it was not required. These cracks are not considered structural to the house.

Exterior

2) Comment 2: Cosmetic damage was noted to the garage door.

3) Comment 3: Wood deterioration was noted at the siding trim at the front of the front bedroom. Recommend repairing or replacing all affected materials as needed.

4) Comment 4: Moisture staining was noted at areas of the eaves and siding at the left side of the front entry. This may be due to leaking gutters. Staining was also noted at the entry window casing. Recommend further review by proper trades

5) Comment 5: Deteriorated gaskets were noted at multiple windows around the home. This did not appear to have compromise the seals, however.

6) Comment 6: Wood deterioration was noted at the trim at the front door. Recommend repairing or replacing all affected materials as needed.

7) Comment 7: Wood deterioration was noted at the siding trim at the left side of the garage. Recommend repairing or replacing all affected materials as needed.

8) Comment 8: Wood deterioration was noted at the eaves at the front left corner of the garage. Recommend repairing or replacing all affected materials as needed.

9) Comment 9: Wood deterioration was noted at the side and overhead garage door casing. Recommend repairing or replacing all affected materials as needed.

10) Comment 10: Wood deterioration was noted at areas of the siding at the right side of the garage. Recommend repairing or replacing all affected materials as needed.

11) Comment 12: Wood deterioration was noted at the trim at the living room slider. Recommend repairing or replacing all affected materials as needed.

12) Comment 13: The rear pergola was weathered. Recommend repainting this to prevent moisture damage.

(Report Summary continued)

13) Comment 14: Rusted gutter seams were noted at multiple areas of the eaves around the structure. Recommend repairs or replacement to properly divert roof water away from the building.

14) Comment 15: Loose and unsealed fasteners were noted at areas of the siding around the structure. Recommend repairs to prevent moisture intrusion beneath wood members.

Garage

15) Comment 16: Garage floor cracking was noted, this is common for the age of the house as reinforcement was not required in the slab. This is not considered structural to the foundation of the house.

Roofing

16) Comment 17: The roof is suggested to be at the end of its usable life and should be repaired or replaced by a qualified person.

When the roof is repaired it is suggested to have roof ventilation reviewed and repaired by a qualified person. Additional ventilation such as a ridge vent will dramatically increase the lifespan of the new roofing material.

17) Comment 18: The skylight in the bathroom was damaged. Recommend repairs or replacement by proper trades.

Structure: Crawlspace

18) Comment 19: The dryer vent was disconnected in the subarea. This was not ducted to the exterior of the house. This should be repaired by a qualified person to ensure moisture cannot access the subarea.

19) Comment 20: Noted that the water heater blow off leg and drip pan were plumbed into the sub area. This could cause moisture intrusion into the sub area and proper repairs should be made.

20) Comment 21: Damage was noted to areas of the HVAC ducting. Recommend repairs by proper trades

21) Comment 22: Noted that the condensate line for the HVAC system was draining in the sub area. This may cause a moisture intrusion issue into the sub area and proper repairs should be made.

(Report Summary continued)

Electrical

22) Comment 23: Improper clearance noted at electrical panel door. It is noted that electrical panels are required to have 3 feet of unobstructed space. Suggest repairing as needed.

HVAC: Cooling

23) Comment 24: Noted that insulation around the line set for the AC system is damaged. This unit should be repaired to ensure that the AC system is operating efficiently.

24) Comment 25: The AC system was not cooling to a proper temperature. Suggest having reviewed and serviced by a qualified person. This system should have at least a 16° split between the supply and return.

Note: This may be as simple as a dirty filter but should be evaluated and serviced by proper trades.

Bathrooms: Bathroom #1

25) Comment 26: The toilet was loose. Suggest removing/replacing wax ring and reinstalling a new wax ring. When the toilet is removed, it is recommended to inspect subfloor for wood deterioration.

Bathrooms: Bathroom #2

26) Comment 27: The toilet was loose. Suggest removing/replacing wax ring and reinstalling a new wax ring. When the toilet is removed, it is recommended to inspect subfloor for wood deterioration.

27) Comment 28: The bathtub faucet was loose from the surround. Recommend repairs to prevent moisture intrusion beneath the tub.

Kitchen

28) Comment 29: Minor damage was noted to areas of the tiles at the kitchen countertops.

(Report Summary continued)

Kitchen: Appliances

29) Comment 30: The dishwasher was nonfunctional at the time of inspection. The power cord was not located and this may be disconnected. Recommend further review by proper trades.

30) Comment 31: The garbage disposal motor would not engage suggesting a blockage or a seized motor. Recommend further review by proper trades.

31) Comment 32: The light fixture at the range hood was non-functional. This may be due to a missing or burnt out bulb.

Laundry

32) Comment 33: The dryer vent was damaged behind the unit.

Interior

33) Comment 34: Drywall damage was noted at the ceiling around the kitchen skylight.

34) Comment 35: Drywall damage was noted at the wall at the front bedroom closet.

35) Comment 36: Multiple drywall tape joint cracks were noted throughout the structure. These cracks are not considered settling or structural cracks as they run parallel to the structure.

Thank you for reviewing this report , we ask that if you were happy with this inspection and the service Core inspection services preformed to please inform your Realtor. If for any reason you have a question regarding this report please contact us @
coreinspect1@gmail.com