

HomeGuard Incorporated

Dear HomeGuard Customer,

Thank You for choosing HomeGuard Incorporated to inspect your home. Enclosed is your inspection report, which includes our findings, recommendations, and repair prices. Please review the enclosed report and repair proposals and feel free to call me with any comments or questions.

Sincerely Yours,



Curtis Reese
Vice President
General Manager

Schedule your repairs today...



**We get the work done
when you need it!**




**We will expedite all
required paperwork!**



**HomeGuard stands
behind its repairs!**

Contact the HomeGuard Repair Team at 855-331-1900 or
email us HGRepairs@HomeGuard.com

WOOD DESTROYING PESTS AND ORGANISM INSPECTION REPORT

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 1 of 13
 58 Wright Brothers Avenue Livermore, CA 94551 (855) 331-1900 • Fax (925) 294-1818					
Registration #: PR1452		HomeGuard #: 635571		Escrow #:	
Ordered By: Cindi Hagley The Hagley Group 235 Main Street Pleasanton, CA 94566		Property Owner/Party in Interest: Cindi Hagley The Hagley Group 235 Main Street Pleasanton, CA 94566		Report Sent to:	
COMPLETE REPORT <input checked="" type="checkbox"/> LIMITED REPORT <input type="checkbox"/> SUPPLEMENTAL REPORT <input type="checkbox"/> REINSPECTION REPORT <input type="checkbox"/>					
General Description: This is a two story single family dwelling with stucco and brick exterior.				Inspection Tag Posted: Garage	
				Other Tags Posted: None noted	
An inspection has been made of the structure(s) shown on the diagram in accordance with the Structural Pest Control Act. Detached porches, detached steps, detached decks and any other structures not on the diagram were not inspected.					
Subterranean Termites <input type="checkbox"/> Drywood Termites <input type="checkbox"/> Fungus / DryRot <input checked="" type="checkbox"/> Other Findings <input checked="" type="checkbox"/> Further Inspection <input checked="" type="checkbox"/>					
If any of the above boxes are checked, it indicates that there were visible problems in accessible areas. Read the report for details on checked items.					
Key to Items on diagram: [1] Section 1 Items [2] Section 2 Items [3] Unknown Further Inspection Items					

**SEE DIAGRAM ON PAGE
2 OF THIS REPORT**

Inspected by: **Jene P Clinkenbeard**

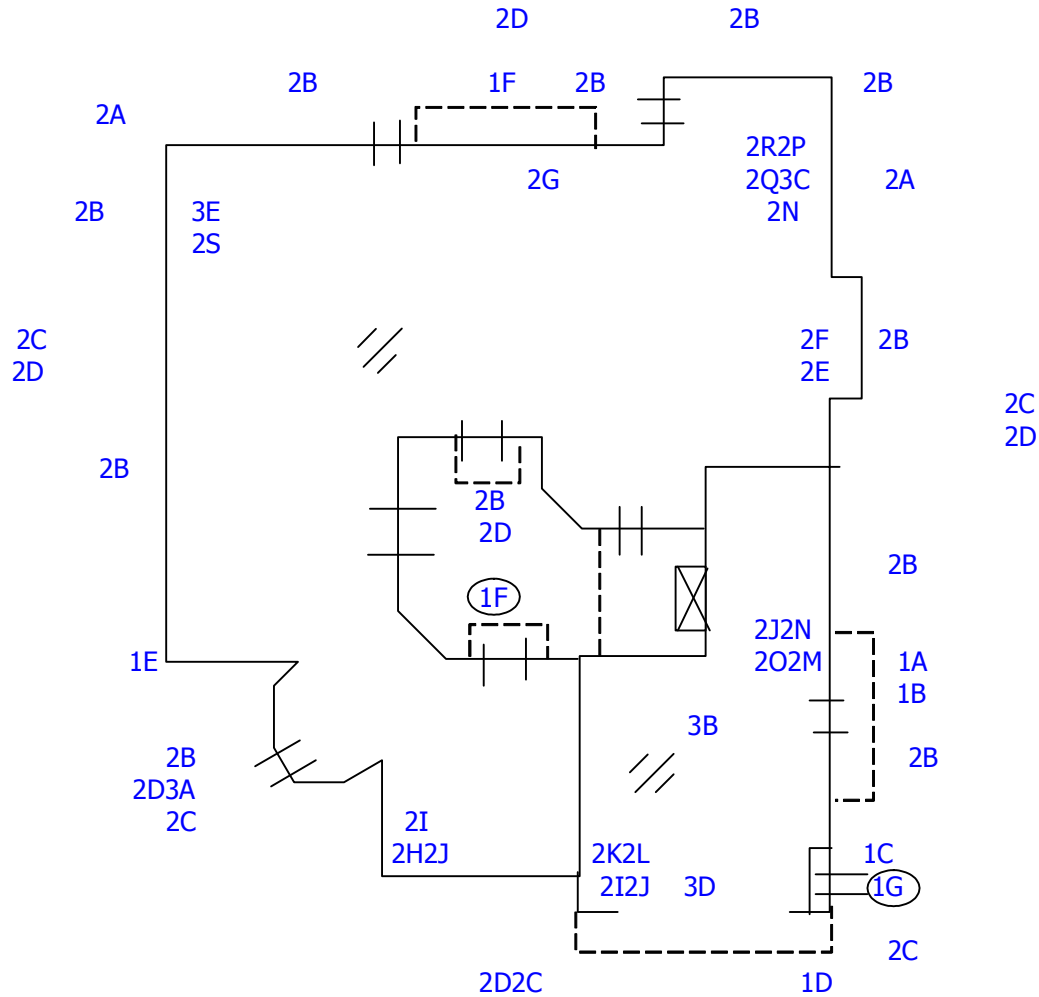
License#: **FR55973**

Signature: _____



You are entitled to obtain copies of all reports and completion notices on this property filed with the board during the preceeding two years. To obtain copies contact: Structural Pest Control Board, 2005 Evergreen Street, Suite1500, Sacramento, California 95815.

NOTE: Questions or problems concerning the above report should be directed to the manager of the company. Unresolved questions or problems with services performed may be directed to the Structural Pest Control Board at (916)561-8700, (800) 737-8188 or www.pestboard.ca.gov.



Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 3 of 13
-----------------------------	-----------------------------------	--------------------------	---------------------	---------------------------------------	--

AREAS NOT INSPECTED PLEASE READ.

This report is an inspection for wood destroying pests and organisms to a furnished, occupied structure. Some areas of the structure were inaccessible for inspection due to furnishings, appliances, floor covering, and/or stored personal property. We did not inspect areas immediately under furnishings or appliances. We did not inspect the interior of finished walls or behind installed finished cabinet work. This structure contains slab flooring, and in slab floor type construction, it is possible for Subterranean Termite infestations to be concealed and not evident at the time of our inspection; therefore, we assume no liability for any infestations that are not evident at the time of our inspection. Our inspection does not include any electrical, heating, air conditioning, structural adequacy, pests other than wood destroying pest. We did not inspect mechanical systems of the structure and will not detect building code violations. The roof covering of the structure was not inspected. The plumbing was inspected, but only the leaks outlined in our report were found at this time. We assume no responsibility for leaks that occur after the date of this inspection. There may be health related issues associated with the findings reflected in this report. We are not qualified to and do not render an opinion concerning any such health issues. The inspection reflected by this report was limited to the visible and accessible areas only. Questions concerning health related issues, which may be associated with the findings or recommendations reflected in this report, such as the presence of mold, the release of mold spores or concerning indoor air quality should be directed to a Certified Industrial Hygienist. This structure has carpet installed. Although no adverse conditions were evident, we assume no responsibility for the floor under the carpet unless the carpet is removed and we perform a further inspection. We inspected the upstairs front middle guest bathroom stall shower but did not water test it as there were no stains underneath to indicate leakage. At the request of interested parties and once the ceiling below the shower has been opened HomeGuard Incorporated can return to the property and perform a water test on this shower. Portions of the attic was not inspected due to lack of clearance space. We did not inspect the interior of enclosed abutments or hollow stucco rails. We ran the water at the upstairs fixtures for a brief period of time so that exposed plumbing and fixtures could be checked for leaks. However, we did not run the water long enough to detect leakage from any plumbing that was concealed. Any leaks found are referenced in the report. If interested parties desire, and only after concealed plumbing has been exposed, HomeGuard Incorporated will return to the property and perform further inspections. As is standard practice within our industry and since our inspectors do not carry a 30' ladder on their vehicle, the eaves, wood siding and wood windows above 11' were only inspected visually from the ground. Upon request and at an additional charge HomeGuard Incorporated will return to the property and further inspect these inaccessible areas by probing the wood members. The area under the water heater or furnace pedestal was not inspected. Eave areas over the patio are concealed. The inaccessible areas listed above which were not inspected will be inspected upon the owner's request and will be conditional to additional inspection fees.

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 4 of 13
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WE GUARANTEE ALL REPAIRS DONE BY THIS COMPANY FOR ONE (1) YEAR AND FUMIGATIONS FOR A PERIOD OF THREE (3) YEARS FROM THE DATE OF COMPLETION WITH THE EXCEPTION OF PLUMBING, GROUTING, CAULKING, RAIN GUTTERS AND RE-SETTING OF TOILETS WHICH ARE GUARANTEED FOR 30 DAYS FROM THE DATE OF COMPLETION. WE CANNOT GUARANTEE WORK PERFORMED BY OTHERS. WE MAKE NO GUARANTEE AGAINST FUTURE INFECTIONS, ADVERSE CONDITIONS, OR CONDITIONS PRESENT BUT NOT EVIDENT AT THE TIME OF OUR INSPECTION.

THE EXTERIOR SURFACE OF THE ROOF WAS NOT INSPECTED. IF YOU WANT THE WATER TIGHTNESS OF THE ROOF DETERMINED, YOU SHOULD CONTACT A ROOFING CONTRACTOR WHO IS LICENSED BY THE CONTRACTORS STATE LICENSE BOARD.

NOTICE: Reports on this structure prepared by various registered companies should list the same findings (i.e. termite infestations, termite damage, fungus damage, etc.). However, recommendations to correct these findings may differ from company to company. You have the right to seek a second opinion from another company.

"This company will reinspect repairs done by others within four months of the original inspection. A charge, if any, can be no greater than the original inspection fee for each reinspection. The reinspection must be done within ten (10) working days of request. The reinspection is a visual inspection and if inspection of concealed areas is desired, inspection of work while in progress will be necessary. Any guarantees must be received from parties performing repairs." Work performed by others will be reinspected for a fee of \$195.00 for each trip out to the property. Open wall and open floor inspections are desirable if certification is required.

THIS IS A SEPARATED REPORT WHICH IS DEFINED AS SECTION I AND SECTION II CONDITIONS EVIDENT ON THE DATE OF INSPECTION. SECTION I CONTAINS ITEMS WHERE THERE IS EVIDENCE OF ACTIVE INFESTATION, INFECTION, OR CONDITIONS THAT HAVE RESULTED IN OR FROM INFESTATION OR INFECTION. SECTION II ITEMS ARE CONDITIONS DEEMED LIKELY TO LEAD TO INFESTATION OR INFECTION BUT WHERE NO VISIBLE EVIDENCE OF SUCH WAS FOUND. FURTHER INSPECTION ITEMS ARE DEFINED AS RECOMMENDATIONS TO INSPECT AREA(S) WHICH DURING THE ORIGINAL INSPECTION DID NOT ALLOW THE INSPECTOR ACCESS TO COMPLETE HIS INSPECTION AND CANNOT BE DEFINED AS SECTION I OR SECTION II.

Section 1 Items

- 1A.** FINDING: The garage man door jamb at the right side was found to be fungus damaged.
(See Photo 1)

RECOMMENDATION: Remove and replace the door jamb to correct this condition. The contributing
Estimated Cost moisture source appears to be exposure to the weather.

***** (SECTION 1 ITEM) *****

- 1B.** FINDING: The jamb has been damaged by fungus at the garage man door. This damage appears to be minor. The contributing moisture source appears to be exposure to the weather. (See Photo 2)

RECOMMENDATION: Hollow out this area and fill the void with an appropriate wood filler.
Estimated Cost

***** (SECTION 1 ITEM) *****

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 5 of 13
-----------------------------	-----------------------------------	--------------------------	---------------------	---------------------------------------	--

1C. FINDING: The utility door has been damaged by fungus. It appears the damage is a result of exposure to the weather. (See Photo 3) (See Photo 4) (See Photo 5)

RECOMMENDATION: Supply and install a new door. We intend to reuse the existing hardware. We at *Estimated Cost* HomeGuard Incorporated are upgrade experts and can provide proposals that include upgraded windows and doors or any other option you may desire. This bid is based on the installation of a readily available door of similar size. An exact match of the existing door may not be possible. If a more exact match is desired, additional fees may apply. Please note that if a special order door is needed to complete this item, there could be a three week delay in getting a replacement door.

***** (SECTION 1 ITEM) *****

1D. FINDING: The belly band trim has been damaged by fungus at the front. The contributing moisture source appears to be exposure to the weather. (See Photo 6)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.

***** (SECTION 1 ITEM) *****

1E. FINDING: The barge rafter(s) as indicated on the diagram are damaged by fungus. The contributing moisture source appears to be exposure to the weather. (See Photo 8)

RECOMMENDATION: Remove and replace a section of the damaged barge rafter(s) to correct this *Estimated Cost* condition. This bid includes repair of the roof covering if disturbed by our repairs. If existing gutters need to be removed to perform the repairs then our bid also includes reinstallation of original gutters. If it becomes necessary or desirable to install new gutters this will be done only if authorized and at an additional cost. The guarantees on the roof covering are limited to the areas where the work was performed.

***** (SECTION 1 ITEM) *****

1F. FINDING: The deck boards have been damaged by fungus at the front atrium balcony, rear master bedroom balcony. The contributing moisture source appears to be exposure to the weather. (See Photo 12) (See Photo 16)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.

***** (SECTION 1 ITEM) *****

NOTE: The damaged wood members are at the upper level or second story of the structure.

This bid includes removing and reinstalling the existing handrailing in these areas to facilitate for the repairs as mentioned above.

1G. FINDING: The trim has been damaged by fungus at the right side. The contributing moisture source appears to be exposure to the weather. (See Photo 14)

RECOMMENDATION: Remove and replace all the damaged wood members. If any damage is found to *Estimated Cost* extend into any enclosed areas a supplemental report and bid will be issued.

***** (SECTION 1 ITEM) *****

NOTE: The damaged wood members are at the upper level or second story of the structure.

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 6 of 13
-----------------------------	-----------------------------------	--------------------------	---------------------	---------------------------------------	--

Section 2 Items

2A. FINDING: The stucco is broken or missing where indicated on the diagram.

RECOMMENDATION: Repair the damaged stucco with stucco patch. We will attempt to match the *Estimated Cost* texture of the existing stucco as closely as possible, however an exact match is not always possible. It will be the owners responsibility to paint the repaired area as desired once it has dried.

***** (SECTION 2 ITEM) *****

2B. FINDING: Minor stress cracks were noted in the exterior stucco as indicated on the diagram.

RECOMMENDATION: Seal all cracks that are wider than 1/16 of an inch with a exterior grade paintable *Estimated Cost* sealant. If HomeGuard has supplied a bid for this item it does not include paint.

***** (SECTION 2 ITEM) *****

2C. FINDING: There is vegetation in contact with the structure.

RECOMMENDATION: The owner is advised to cut back the vegetation to avoid contact with the structure.

Estimated Cost

***** (SECTION 2 ITEM) *****

2D. FINDING: The rain gutters and downspouts appear to be leaking and/or clogged where indicated on the diagram.

RECOMMENDATION: Clean and/or repair the gutters or downspouts as needed.

Estimated Cost

***** (SECTION 2 ITEM) *****

2E. FINDING: Some of the grout is loose or missing around the ceramic tile at the downstairs guest bathroom stall shower and bathtub.

RECOMMENDATION: Reseal the area in the most practical way. Owner to maintain in a water tight *Estimated Cost* condition.

***** (SECTION 2 ITEM) *****

2F. FINDING: The enclosure wiper seal is leaking at the downstairs guest bathroom stall shower.

RECOMMENDATION: Replace the faulty wiper seal and adjust to eliminate the water leak.

Estimated Cost

***** (SECTION 2 ITEM) *****

2G. FINDING: Some of the grout is loose or missing around the ceramic tile at the kitchen sink backsplash.

RECOMMENDATION: Reseal the area in the most practical way. Owner to maintain in a water tight *Estimated Cost* condition.

***** (SECTION 2 ITEM) *****

2H. FINDING: The two piece toilet at the upstairs front left guest bathroom is cracked.

RECOMMENDATION: Supply and install a new two piece (builders standard) toilet assembly on a new *Estimated Cost* no-seep toilet seal. If during the process of this repair any further damage is found a supplemental report and bid will be issued.

***** (SECTION 2 ITEM) *****

2I. FINDING: There is a gap between the tub spout and wall covering at the upstairs front left and right guest bathrooms.

RECOMMENDATION: Secure and seal around the spout in the most practical way.

Estimated Cost

***** (SECTION 2 ITEM) *****

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 7 of 13
-----------------------------	-----------------------------------	--------------------------	---------------------	---------------------------------------	--

2J. FINDING: A gap exists between the floor covering and the base of the upstairs front left, right and middle guest bathroom bathtubs.

RECOMMENDATION: To prevent moisture entry into this area seal and caulk the gap in the most *Estimated Cost* practical way.

***** (SECTION 2 ITEM) *****

2K. FINDING: Some of the grout is loose or missing around the ceramic tile at the upstairs front right guest bathroom floor, sink backsplash and bathtub.

RECOMMENDATION: Reseal the area in the most practical way. Owner to maintain in a water tight *Estimated Cost* condition.

***** (SECTION 2 ITEM) *****

2L. FINDING: The toilet is loose or improperly mounted at the upstairs front right guest bathroom.

RECOMMENDATION: Reinstall the toilet correctly using a new no-seep toilet seal. If, upon removing the *Estimated Cost* toilet a cracked toilet or damaged toilet flange is revealed there would be additional charges for a new toilet or repairs to the toilet flange.

***** (SECTION 2 ITEM) *****

2M. FINDING: Some of the grout is loose or missing around the ceramic tile at the upstairs front middle guest bathroom floor, sink backsplash and stall shower.

RECOMMENDATION: Reseal the area in the most practical way. Owner to maintain in a water tight *Estimated Cost* condition.

***** (SECTION 2 ITEM) *****

2N. FINDING: The window is lower than the shower head at the upstairs middle guest bathroom stall shower and master bathroom stall shower. This could allow moisture intrusion onto the enclosed framing.

RECOMMENDATION: The owner is to keep this area well sealed and as dry as possible. Consideration *Estimated Cost* should be given to installing a water proof window curtain to prevent moisture intrusion.

***** (SECTION 2 ITEM) *****

2O. FINDING: The toilet is loose or improperly mounted at the upstairs middle guest bathroom.

RECOMMENDATION: Reinstall the toilet correctly using a new no-seep toilet seal. If, upon removing the *Estimated Cost* toilet a cracked toilet or damaged toilet flange is revealed there would be additional charges for a new toilet or repairs to the toilet flange.

***** (SECTION 2 ITEM) *****

2P. FINDING: Some of the grout is loose or missing around the ceramic tile at the master bathroom floor, sink backsplash, bathtub and stall shower.

RECOMMENDATION: Reseal the area in the most practical way. Owner to maintain in a water tight *Estimated Cost* condition.

***** (SECTION 2 ITEM) *****

2Q. FINDING: A gap exists between the floor covering and the base of the master bathroom stall shower and bathtub.

RECOMMENDATION: To prevent moisture entry into this area seal and caulk the gap in the most *Estimated Cost* practical way.

***** (SECTION 2 ITEM) *****

2R. FINDING: The enclosure wiper seal is leaking at the master bathroom stall shower.

RECOMMENDATION: Replace the faulty wiper seal and adjust to eliminate the water leak. *Estimated Cost*

***** (SECTION 2 ITEM) *****

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 8 of 13
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2S. FINDING: Water stains are evident at the attic as indicated on the diagram. This could indicate leakage through the roof covering.

RECOMMENDATION: The owner should contact HomeGuard Incorporated to arrange for a licensed roof *Estimated Cost* inspector from our roofing division to inspect this area and provide a bid to repair the roof covering if necessary.

***** (SECTION 2 ITEM) *****

Further Inspection Items

3A. FINDING: The exterior of the structure, as indicated on the diagram, is inaccessible for inspection due to heavy plant growth. (See Photo 7)

RECOMMENDATION: The owner is to cut back the plant growth as necessary to allow for physical *Estimated Cost* inspection of the exterior. Upon performing further inspection a supplemental report will be issued with any findings, recommendations, and bids.

***** (FURTHER INSPECTION ITEM) *****

3B. FINDING: We were unable to inspect a portion of the interior of the garage due to stored personal property. (See Photo 9)

RECOMMENDATION: The owner should move the storage away from the garage walls to allow for *Estimated Cost* further inspection. All findings, recommendations, and bids will be issued in a supplemental report.

***** (FURTHER INSPECTION ITEM) *****

3C. FINDING: Water stains were noted on the ceiling in the library room. (See Photo 10) (See Photo 11)

RECOMMENDATION: Open this area to determine the source of these stains and if any damage exists. *Estimated Cost* All findings, recommendations, and bids will be issued in a supplemental report.

***** (FURTHER INSPECTION ITEM) *****

NOTE: The bid price for the previous item includes opening and closing this area only. It does not include any repairs or treatments that may be required.

The master bathroom mortar shower was noted to be directly above this area.

3D. FINDING: The exterior balcony surface was not water tested as the area immediately below the balcony has a finished ceiling which makes it impossible to perform a proper water test or to inspect this area. (See Photo 13)

RECOMMENDATION: If further information is desired about this area it will be necessary to install several *Estimated Cost* test holes in the ceiling and run water on the balcony to determine if any leakage or damage is evident. All findings recommendations and bids will be issued in a supplemental report. Note: this bid includes closing this area if no leakage or damage is noted.

***** (FURTHER INSPECTION ITEM) *****

3E. FINDING: A portion of the attic was inaccessible for inspection due to storage. (See Photo 15)

RECOMMENDATION: After the storage has been removed from this area, HomeGuard Incorporated *Estimated Cost* should be contacted to further inspect. We will list all findings, recommendations, and bids in a supplemental report.

***** (FURTHER INSPECTION ITEM) *****

NOTE: HomeGuard Incorporated assumes no liability for, nor do we guarantee work performed by others. All guarantees, warranties, and permits if required should be obtained from the parties performing the repairs.

Building No. 4506	Street Lilac Ridge Road	City San Ramon	ZIP 94582	Date of Inspection 5/2/2024	Number of Pages Page 9 of 13
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NOTE: In our opinion, item(s) listed in this report may require a building permit. If it becomes necessary to install smoke detectors and/or carbon monoxide detectors, this will be performed and charged at \$150.00 per detector. Should the local building department require additional changes or repairs not outlined in this report, there will be an additional charge.

NOTE: If any of the wood repairs outlined in the above report are done by others, an open inspection must be performed by this company if a certification is desired.

NOTE: Should the further inspection items noted in this report not be performed, HomeGuard Incorporated will assume no liability for any infestations or infection which may be concealed in these areas.

NOTE: A standard water test was performed to the mortar stall shower at the downstairs guest bathroom and leakage was not evident at the time of this inspection.

NOTE: Unless stated otherwise, HomeGuard Incorporated bids include texturing and priming repaired areas. We will cover repaired sheetrock and wood with one coat of primer for the contracted amount. The repaired area can be painted in a finished color at an additional charge if the owner supplies the paint. Please inquire about this service when scheduling the work. Any texturing will vary from the original texture however we will match as close as possible. All painting will be on the area repaired only. On exterior surfaces texturing and painting will only be done when the weather permits.

NOTE: If damage is found to extend into any inaccessible areas a supplemental report will be issued listing additional findings, recommendations and bids.

NOTE: Due to the building materials used on this structure, it may be difficult to match the existing mill patterns and materials used in the original construction. HomeGuard Incorporated will replace damaged wood members with material that resembles the existing wood members with standard grade readily available wood members. IF MATCHING THE EXISTING WOOD MEMBERS IS DESIRED IT IS THE OWNERS RESPONSIBILITY TO NOTIFY HOMEGUARD INCORPORATED SO THAT ADDITIONAL COST ASSOCIATED WITH MATCHING CAN BE CALCULATED INTO OUR BID.

NOTE: The attic was insulated; therefore, our inspection is limited to the visible and accessible wood members only.

NOTE: Note: It is likely that the damage mentioned above will extend into inaccessible areas. If this is the case a supplemental report and bid will be issued

NOTE: WE AT HOMEGUARD INCORPORATED ARE UPGRADE EXPERTS AND CAN PROVIDE PROPOSALS THAT INCLUDE TILE, MARBLE, GRANITE, UPGRADED FIXTURES, CUSTOM SHOWER DOORS, UPGRADED WINDOWS AND DOORS OR ANY OTHER OPTIONS YOU MAY DESIRE.

NOTE: There is evidence of repairs by others to the interior. Any guarantees for these repairs must be obtained from the persons or firms performing the repairs. This note is for general information only.

NOTE: Portions of the attic was inaccessible for inspection due to construction detail. However, no outward evidence of active infestation or infection was noted at this time

Building No.	Street	City	ZIP	Date of Inspection	Number of Pages
4506	Lilac Ridge Road	San Ramon	94582	5/2/2024	Page 10 of 13

NOTE: Thank you for choosing HomeGuard Incorporated to perform your inspections. If you have any questions regarding this report, please e-mail jclinkenbeard@homeguard.com .

Report Pictures:

Pictures are provided to assist in clarifying some of the findings made in this report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. The pictures in this report do not illustrate all of the damage associated with a particular item. Please read the report thoroughly and contact the inspector if you have any specific questions.



Photo 01



Photo 02



Photo 03



Photo 04



Photo 05



Photo 06



Photo 07



Photo 08



Photo 09



Photo 10

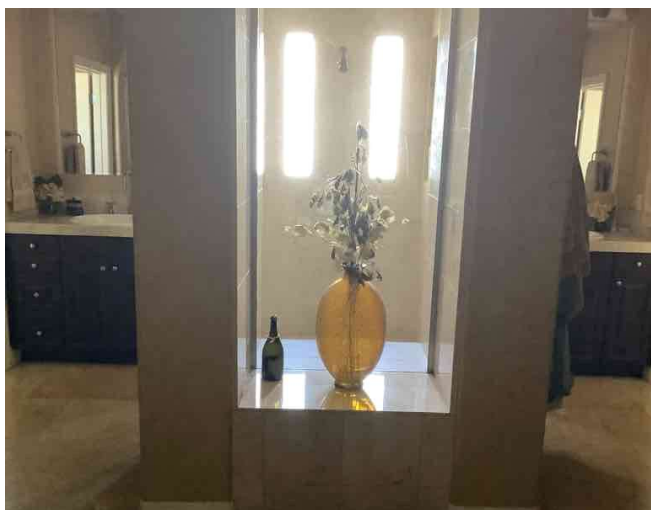


Photo 11

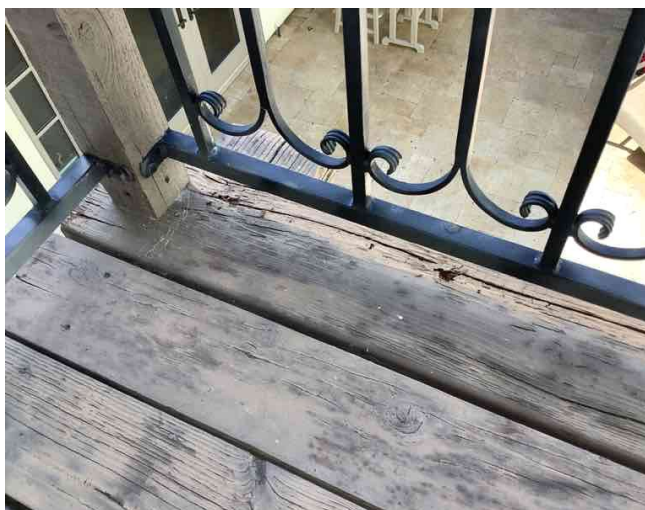


Photo 12



Photo 13



Photo 14



Photo 15



Photo 16



AUTHORIZATION AGREEMENT
WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT
4506 Lilac Ridge Road, San Ramon - Report No. 635571

To schedule work, email or fax this signed Authorization Agreement, or call directly:

email: HGrepairst@HomeGuard.com

Fax: (925) 294-1818

Direct: (855) 331-1900

Items to be performed: _____

_____ Total Price \$ _____ (plus permit costs if any)

For the total sum listed above, HomeGuard Incorporated is authorized to proceed with the work described in the above listed item(s) of their termite report no. 635571 for the property located at 4506 Lilac Ridge Road, San Ramon. This amount will be due and payable upon completion of work. It is understood that the contract price does not include the charge of the structural pest control inspection report or re-inspection fees.

HOMEGUARD INCORPORATED AGREES:

1. To guarantee all repairs completed by this company for one year from the date of completion except for plumbing, grouting, caulking, and resetting of toilets, which will be guaranteed for 30 days, and fumigations, which will be guaranteed for 3 years.
2. To be bound to perform this work for the price quoted in our cost breakdown for a period not to exceed 30 days.
3. To use reasonable care in the performance of our work but to assume no responsibility for damage to any hidden pipes, wiring, or other facilities or to any, plant life, rain gutters, roofs; nor for damage or dirtying of stucco, plaster, paint, wall paper or other "finish-work" adjacent to areas where work is performed.
4. To replace damaged wood members with material which resembles, as closely as possible, the existing wood members with builders grade, readily available wood members.

OWNER OR OWNER'S AGENT AGREES:

1. To pay for services rendered upon completion of work. This contract may be canceled at any time by the customer. In the event of such action, customer agrees to pay HomeGuard Incorporated in full for all items already completed, and time and material for the percentage of items only partially completed. Time and material is calculated at the rate of one hundred and fifty dollars per man-hour and the cost of materials plus 25%. The customer also agrees that in the case of cancellation of the contract prior to starting the job, to pay all costs that have been incurred by Homeguard, such as permits, materials and any other associated costs. In the case of non-payment by owner, reasonable attorney fees and costs of collection shall be paid by the owner whether suit be filed or not.
2. To pay for service charge of 1.5 percent per month or portion of any month beyond 30 days after completion.
3. Owner grants HomeGuard Incorporated, a security interest in the above described real property to secure payment of the sum for work and inspection fee completed.
4. If additional damage is discovered by HomeGuard Incorporated, during the performance of work, company agrees to notify owner or agent of the amount of the damage and the cost of additional work to be done. This work will not be performed unless owner agrees.
5. All plumbing repairs bid in this report are for only the specific repair that is identified. Many times when performing plumbing repairs it becomes necessary to repair or replace adjacent plumbing because of the age or fragility of these components. When this happens the owner or agent will be notified and said repairs will require additional cost and authorization.
6. **Prices provided in this report do not include the costs associated with obtaining permits. Some of these cost may include plan check fees, site plans, engineering plans and time spent at the building department and waiting for building inspections. Permits will be obtained at an additional cost based on the sum total of these costs.**



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WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT
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email: HGrepairs@HomeGuard.com

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NOTICE TO OWNER

"Under the California Mechanics Lien law, any structural pest control operator who contracts to do work for you, any contractor, subcontractor, laborer, supplier or other person who helps to improve your property, but is not paid for work or supplies, has the right to enforce a claim against your property. This means that after a court hearing, your property could be sold by a court officer and the proceeds of the sale used to satisfy the indebtedness. This can happen even if you have paid your contractor in full if the subcontractor, laborers or suppliers remain unpaid. To preserve their right to file a claim of lien against your property, certain claimants such as subcontractors and material suppliers are required to provide you with a document intitled "Preliminary Notice". General contractors and laborers for wages do not have to provide this notice. A Preliminary Notice is not a lien against your property. Its purpose is to notify you of persons who may have a right to file a lein against your property if they are not paid. You can protect yourself from such claim by requiring your contractor to supply you with a payment and performance bond prior to commencing any work of improvement and/or requiring your contractor to provide you with an unconditional lien release signed by each material supplier, subcontractor, and laborer involved in that project phase before making payment on the completed phase of the project."

NOTICE

"The charge for service that this company subcontracts to another registered company may include the company's charges for arranging and administering such services that are in addition to the direct costs associated with paying the subcontractor. You may accept HomeGuard Incorporated's bid or you may contract directly with another registered company licensed to perform the work.

If you choose to contract directly with another registered company, HomeGuard Incorporated will not in any way be responsible for any act or omission in the performance of work that you directly contract with another to perform."

BINDING ARBITRATION PROVISION

Any dispute, claim, or controversy arising out of or relating to this agreement or the breach, termination, enforcement, interpretation, or validity thereof including the determination of the scope or applicability of this agreement to arbitrate, shall be determined by arbitration in the county of the property mentioned in this contract before one arbitrator. The arbitration shall be administered by JAMS pursuant to its comprehensive arbitration rules and procedures. Judgement on the award may be entered in any court having jurisdiction. This clause shall not preclude parties from seeking provisional remedies in aid of arbitration from a court of appropriate jurisdiction. The parties agree that the arbitrator shall be a retired judge from the county in which the arbitration takes place.

NOTICE OF THREE-DAY RIGHT TO CANCEL

You, the purchaser of services, have the right to cancel this contract within 3 business days. You may cancel by emailing, mailing, faxing or delivering a written notice to the HomeGuard Incorporated at 58 Wright Brothers Avenue, Livermore, CA 94551 by midnight of the third business day after you received a signed and dated copy of the contract that includes this notice. Include your name, your address, and the date you received a signed copy of the contract and this notice.

If you cancel, HomeGuard Incorporated must return to you anything you paid within 10 days of receiving the notice of cancelation. For your part, you must make available to HomeGuard Incorporated at your residence, in substantially as good condition as you received it, any goods delivered to you under this contract or sale. Or, you may, if you wish, comply with HomeGuard Incorporated's instructions on how to return the goods at the contractor's expense and risk. If you do make the goods available to HomeGuard Incorporated and HomeGuard Incorporated does not pick them up within 20 days of the date of your notice of cancelation, you may keep them without any further obligation. If you fail to make the goods available to HomeGuard Incorporated, or if you agree to return the goods to the HomeGuard Incorporated or fail to do so, then you remain liable for performance of all obligations under the contract.

Signature: _____ Date: _____



AUTHORIZATION AGREEMENT
WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT
4506 Lilac Ridge Road, San Ramon - Report No. 635571

To schedule work, email or fax this signed Authorization Agreement, or call directly:
email: HGregpairs@HomeGuard.com Fax: (925) 294-1818 Direct: (855) 331-1900

This job has been bid as if all section one items are being performed. If the owner would like to select individual items, it may require HomeGuard Incorporated to provide a new price for these items. The minimum service charge is \$275 regardless of the price on the individual item.

Section 1:

1A \$660 1B \$225 1C \$1,529 1D \$525 1E \$560 1F \$2,850 1G \$495

Section 1 \$6,844

plus permit fees

Section 2:

2A \$380 2B \$425 2C Owner 2D \$1,070 2E \$158 2F \$210 2G \$158

2H \$897 2I \$104 2J \$298 2K \$158 2L \$418 2M \$158 2N Owner

2O \$418 2P \$258 2Q \$98 2R \$210 2S OthTrd **Section 2 \$5,418**

plus non-bid items
plus permit fees

Further Insp.:

3A Owner 3B N/C 3C \$629 3D \$655 3E Owner **F.I. \$1,284**

plus non-bid items
plus permit fees

OWNER OR OWNERS AGENT _____ **DATE** _____ **BY:** _____, HomeGuard Incorporated

X _____ **ESCROW OFFICER:** _____

Print Name _____ **ESCROW PHONE NO:** _____

Phone No _____ **ESCROW CO/NO:** _____

email _____

Name of person providing access _____ Phone Number _____

IS UPGRADING OR CHOICE OF LINOLEUM OR TILE DESIRED? Yes___ No___

***If there is no choice, neutral colors will be installed there may be additional charges for special materials chosen**

Upgrades (if requested) List each upgrade separately:

_____ estimated cost: _____ initials: _____

_____ estimated cost: _____ initials: _____

I authorize HomeGuard, Incorporated to complete the above listed upgrades. I also agree to pay for these upgrades upon completion of the repairs.

NOTICE OF DELAYED PAYMENT ACCOMMODATION FEE

The charges listed in this contract are due upon the completion of work, however HomeGuard Incorporated can accommodate the escrow process/ delayed payment option and bill directly to escrow if so desired. The fee structure for any delayed billing, is as follows: total work under \$500.00 is \$65.00; total work between \$500.00 and \$2000.00 is \$95.00; total work between \$2000.00 and \$5000.00 is \$135.00; total work above \$5000.00 is \$225.00. The delayed payment accommodation fee will be waived when payment is received by HomeGuard Incorporated within five (5) days of issuance of the Notice of Completion.

PLEASE BE SURE TO SIGN AND SEND ALL PAGES



AUTHORIZATION AGREEMENT
WOOD DESTROYING PESTS AND ORGANISIMS CONTRACT
4506 Lilac Ridge Road, San Ramon - Report No. 635571

To schedule work, email or fax this signed Authorization Agreement, or call directly:

email: HGrepairs@HomeGuard.com Fax: (925) 294-1818 Direct: (855) 331-1900

NOTICE OF CANCELLATION

(ENTER DATE OF TRANSACTION)

You may cancel this transaction, without any penalty or obligation, within 3 business days from the above date.

If you cancel, any property traded in, any payments made by you under the contract or sale, and any negotiable instrument executed by you will be returned within 10 days following receipt by the seller of your cancellation notice, and any security interest arising out of the transaction will be cancelled.

If you cancel, you must make available to the seller at your residence, in substantially as good condition as when received, any goods delivered to you under this contract or sale, or you may, if you wish, comply with the instructions of the seller regarding the return shipment of the goods at the seller's expense and risk.

If you do make the goods available to the seller and the seller does not pick them up within 20 days of the date of your notice of cancellation, you may retain or dispose of the goods without any further obligation.

If you fail to make the goods available to the seller, or if you agree to return the goods to the seller and fail to do so, then you remain liable for performance of all obligations under the contract.

To cancel this transaction, mail, emailing, faxing or deliver a signed and dated copy of this cancellation notice, or any other written notice to: HomeGuard Incorporated, 58 Wright Brothers Avenue, Livermore, CA 94551 not later than midnight of _____ (date).

I hereby cancel this transaction _____ (date)

(Owners Signature)



Invoice

Invoice Date: **5/2/2024**

Invoice No: **LIV1078554T**

Bill To:	
Cindi Hagley The Hagley Group 235 Main Street Pleasanton, CA 94566	
Property Information:	
Address:	4506 Lilac Ridge Road San Ramon CA, 94582
Report No.	635571TPR
Escrow#:	
Billing Information:	
Inspection: 5/2/2024 Complete	\$735.00
Notice of Completion:	\$0.00
Other:	\$0.00
Total Due:	\$735.00

DUE UPON RECEIPT
Please remit to 510 Madera Ave., San Jose, CA 95112
There is a \$25 fee for all returned checks