



Home Inspection Report



4506 Lilac Ridge Road, San Ramon

Ordered by: Cindi Hagley
The Hagley Group
235 Main Street
Pleasanton, CA 94566

Inspected by:

A handwritten signature in black ink, appearing to read 'Tomas Carmona', written over a horizontal line.

Tomas Carmona
May 2, 2024

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Report Overview

A GENERAL DESCRIPTION OF THE STRUCTURE

This is a two story single family dwelling. Based on the information provided, the structure was built in 2003. Ongoing maintenance is required and improvements to the systems of the home will be needed over time.

WEATHER CONDITIONS

Dry weather conditions prevailed at the time of the inspection.

! - IMMEDIATE RECOMMENDED IMPROVEMENTS

The following is a synopsis of the potentially significant improvements that should be budgeted for over the short term. Other significant improvements, outside the scope of this inspection, may also be necessary. Please refer to the body of this report for further details on these and other recommendations. No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported by photographs. If more than one photograph is available for a particular item, additional photographs can be found at the end of the report in the section entitled 'Photographs'. Please contact HomeGuard if you have any questions.

Structure

1. Personal storage was blocking the interior of the attic over the lower floor, therefore, this attic was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. The personal belongings should be removed so this attic may be fully inspected. (See Photo 17)



Photo 17

2. Water stains were evident in the attic over the lower floor. This could indicate leakage through the roof covering. We recommend the services of a licensed roofing contractor to further evaluate this condition. (See Photo 19) (See Photo 20) (See Photo 17)



Photo 19

Roofing

3. There are individual misaligned, cracked, and chipped tiles along the ridge and/or in the field. The number of affected tiles is small and no exposure of the underlayment membrane was evident. Further evaluation by a licensed roofer is recommended. (See Photo 21) (See Photo 22)



Photo 21

Roofing

4. Leaks were noted in the downspouts and/or gutters at the front and various areas. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 9)



Photo 09

Exterior

5. Personal storage was partially blocking access to the interior of the garage. Therefore, the area is considered partially inaccessible and was not fully inspected. With access and an opportunity for complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be fully inspected. (See Photo 4)



Photo 04

6. Water damage was noted at the atrium front deck and master bedroom rear deck. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 13) (See Photo 16)

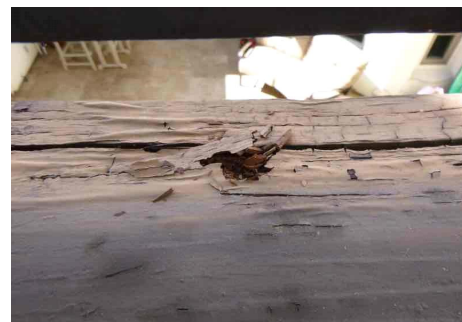


Photo 13

7. Water damage was noted at the electric meter closet door. We recommend the services of a licensed general contractor and/or structural pest control company regarding repairs. (See Photo 3)



Photo 03

8. Water damage was observed to the rafters at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 8)



Photo 08

Exterior

9. Water damage was observed to the exterior trim at the right side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 15)

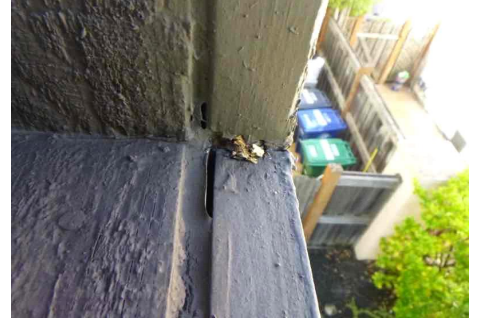


Photo 15

10. Localized damage and/or large stucco cracks at the right side and various areas should be further evaluated by the appropriate tradesperson to determine if any moisture intrusion has occurred and to repair the stucco in this area. (See Photo 6)



Photo 06

11. Water damage was noted at the garage side door jambs. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 5)



Photo 05

12. Water damage was observed to the exterior trim/belly band at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 7)



Photo 07

Electrical

13. Double-tapping was observed in the main electrical panel (when two or more wires are connected to one circuit breaker) These breakers may not be rated for Double-tapping. Therefore further evaluation by a licensed electrician is advised (See Illustration 4V) (See Photo 2) (See Photo 1)



Photo 02

Electrical

- 14. Overheated wiring within the main electrical panel should be further evaluated by a licensed electrician and repaired as necessary. (See Photo 1)



Photo 01

Plumbing

- 15. The toilet in the upstairs front left guest bathroom is cracked. We recommend the toilet be replaced. (See Photo 14)



Photo 14

Interior

- 16. The air-gap or its connection to the disposal, appears to be restricted, causing water to flow out of the air-gap during the drain cycle of the right side dishwasher. We recommend that the drain system be cleaned or modified to correct this deficiency. (See Illustration 9F) (See Photo 12)



Photo 12

- 17. The ceiling at the downstairs library shows evidence of water damage. We recommend the services of a licensed structural pest control company for investigation of this area. (See Photo 10)

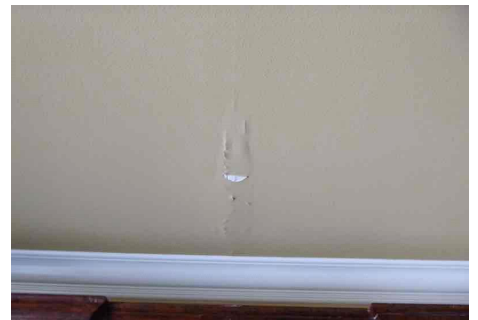


Photo 10

Interior

18. One of the burners on the cooktop/range top is inoperative or will not light. The pilot light or electronic igniter is in suspect. For attention to the conditions noted and/or cost estimates, if necessary, we recommend the advice of a qualified appliance technician. (See Photo 11)



Photo 11

19. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 18)



Photo 18

The Scope of the Inspection

All components designated for inspection in the ASHI standards of practice are inspected, except as may be noted in the "Limitations" section within the report. This inspection will not disclose compliance with regulatory requirements (codes, regulation laws, ordinances, etc.)

This inspection is visual only. Only a representative sample of the building and system components was viewed. No destructive testing or dismantling of building components was performed. The strength, adequacy, effectiveness, or efficiency of any system or components was not determined. Not all recommended improvements will be identified in this inspection. Unexpected repairs should still be anticipated. This inspection should not be considered a guarantee or warranty of any kind. The purpose of our inspection is to provide a general overview of the structure reflecting the conditions present at the time of this inspection. The inspection is performed by visual means only, reflecting only the opinions of the inspector. Nothing in the report, and no opinion of the inspector, should be construed as advice to purchase, or to not purchase, the property. It is the goal of this inspection to put the buyer in a better position to make a buying decision

Our inspection does not address, and is not intended to address, the possible presence of hazardous plants or animals or danger from known and unknown environmental pollutants such as, but not limited to, asbestos, mold, radon gas, lead, urea formaldehyde, underground storage tanks, soil contamination and other indoor and outdoor substances, water contamination, toxic or flammable chemicals, water or airborne related illness or disease, and all other similar or potentially harmful substances and conditions. This property was not inspected for the presence or absence of health related molds or fungi. We are neither qualified, authorized nor licensed to inspect for health related molds or fungi. If you desire information about the presence or absence health related molds, you should contact the appropriate specialist. Be aware that many materials used in building construction may potentially contain hazardous substances. Furthermore, other environmental concerns may exist elsewhere. An environmental specialist should be contacted if additional information is desired about these issues.

PLEASE NOTE: The inspector is NOT required to determine whether items, materials, conditions or components are subject to recall, controversy, litigation, product liability, or other adverse claims or conditions.

PLEASE NOTE: Important disclosure information and other inspection reports may exist. All present and prior disclosures along with other inspection reports should be reviewed and any adverse conditions and/or concerns that may not be mentioned in our report should be addressed prior to the close of escrow. Furthermore, there may be conditions known by the seller that have not been disclosed to us.

PLEASE NOTE: Work performed by others will be reinspected, upon request, for an additional fee for each trip out to the property.

Pictures are provided to assist in clarifying some of the findings made in the report. No relative importance should be placed on these pictures. There are likely to be significant comments that do not have pictures associated with them. Please read the report thoroughly.

BINDING ARBITRATION PROVISION

Any controversy or claim arising out of or relating to the inspection performed by HomeGuard Incorporated shall be settled by final and binding arbitration filed by the aggrieved party with and administered by the American Arbitration Association (hereafter referred to as "AAA") in accordance with its Construction Arbitration Rules in effect at the time the claim is filed. The Rules, information and forms of the AAA may be obtained and all claims shall be filed at any office of the AAA or at Corporate Headquarters, 335 Madison Avenue, Floor 10, New York, New York 10017-4605. Telephone: 212-716-5800, Fax: 212-716-5905, Website: <http://www.adr.org/>. The arbitration of all disputes shall be decided by a neutral arbitrator, and judgment on the award rendered by the arbitrator may be entered in any court having competent jurisdiction thereof. Any such arbitration will be conducted in the city nearest to the property that was inspected by HomeGuard Incorporated having an AAA regional office. Each party shall bear its own costs and expenses and an equal share of the administrative and arbitrators' fees of arbitration. This arbitration Agreement is made pursuant to a transaction involving interstate commerce, and shall be governed by the Federal Arbitration Act, 9 U.S.C. Sections 1-16. THE PARTIES UNDERSTAND THAT THEY WOULD HAVE HAD A RIGHT OR OPPORTUNITY TO LITIGATE THROUGH A COURT AND TO HAVE A JUDGE OR JURY DECIDE THEIR CASE, BUT THEY CHOOSE TO HAVE ANY AND ALL DISPUTES DECIDED THROUGH ARBITRATION. BY SIGNING THIS AGREEMENT, THE PARTIES ARE GIVING UP ANY RIGHT THEY MIGHT HAVE TO SUE EACH OTHER.

Structure

ITEM DESCRIPTIONS:

Attic (Access)	• Location: Closet (x2) • Attic Method Of Inspection: From the Access
Roof Structure	• Truss • Rafters • Plywood or Orientated Strand Board
Ceiling Structure	• Joist • Truss
Wall Structure	• Wood Frame
Floor Structure	• Concrete Slab
Crawlspace/Basement (Access)	• None (Slab)
Foundation	• Slab on grade

COMMENTS:

Due to the design of this building foundation anchor bolts were concealed from view.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Personal storage was blocking the interior of the attic over the lower floor, therefore, this attic was not fully inspected. With access and an opportunity for a complete inspection, conditions in need of attention may be discovered. The personal belongings should be removed so this attic may be fully inspected. (See Photo 17)
- ! 2. Water stains were evident in the attic over the lower floor. This could indicate leakage through the roof covering. We recommend the services of a licensed roofing contractor to further evaluate this condition. (See Photo 19) (See Photo 20) (See Photo 17)

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the structural integrity of a building is beyond the scope of a typical inspection. A certified professional engineer is recommended where there are structural concerns about the building.

- Structural components concealed behind finished surfaces could not be inspected.
- Only a representative sampling of visible structural components was inspected.
- Furniture and/or storage restricted access to some of the structural components.
- The attics were viewed from the attic access hatches only due to insulation covering the wood members. If further inspection of these areas is desired catwalks or planks will need to be installed over the exposed ceiling joists. When access has been provided we will return and further inspect these areas.

Roofing

ITEM DESCRIPTIONS:

Roof	• Concrete Tile • Method of inspection: From the UAV
Chimney	• Metal Behind Siding (x3) • Method of inspection: From the UAV
Gutters and Downspouts	• Metal • Installation Of Gutters/Downspouts: Full • Downspouts Discharge Location: Below Grade.

COMMENTS:

We recommend reviewing a roof inspection report performed by a licensed roof inspector on this structure.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. There are individual misaligned, cracked, and chipped tiles along the ridge and/or in the field. The number of affected tiles is small and no exposure of the underlayment membrane was evident. Further evaluation by a licensed roofer is recommended. (See Photo 21) (See Photo 22)
- ! 2. Leaks were noted in the downspouts and/or gutters at the front and various areas. During wet weather conditions these areas are more obvious and during dry weather conditions they are noted from the stains at the areas where the leaks have occurred. We recommend all leaks be repaired. (See Illustration 2D) (See Photo 9)
- 3. Debris was noted on the roof covering. We recommend removing all debris to avoid creating water traps and to assist in the shedding of water from the roof.
- 4. Due to the height of the chimneys and/or presence of spark arrestors which were not removed during our examination, the interior of the chimneys were not inspected. We recommend the advice and servicing of a licensed masonry contractor or fireplace specialist.
- 5. Debris was noted inside the gutters at the atrium and various areas. We recommend the downspouts and gutters be cleaned out.
- 6. Prior repairs to the roofing are evident. For further evaluation of these repairs we recommend a licensed roofing contractor be consulted. (See Illustration 2J)
- 7. Repairs to the roof covering are recommended. Damaged or missing roofing material should be repaired or replaced. All roof penetrations should be examined and sealed as necessary. For further evaluation of the condition of the roof we recommend you consult a licensed roofing contractor.

MAINTENANCE ITEMS & GENERAL INFORMATION

- 8. Underground drainage has been provided for the gutter downspout system. Because we are unable to view the underground drainage system, we suggest verification by the seller that adequate installation has been performed and proper drainage has been provided.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Roofing life expectancies can vary depending on several factors. Any estimates on remaining life are approximations only. This assessment of the roof does not preclude the possibility of leakage. Leakage can develop at any time and may depend on rain intensity, wind direction, ice build up, etc.

- We did not go on the surface of the roof. The chimneys were inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.
- We did not go on the surface of the roof. The roof was inspected from a unmanned aerial vehicle (UAV). Our comments are based only upon a limited visual inspection.
- Inspection of the roof mounted solar equipment is beyond the scope of this inspection and is excluded from this report.

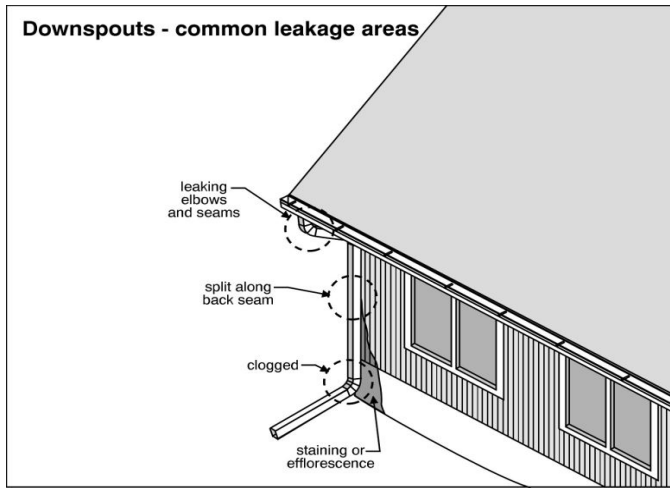


Illustration 2D

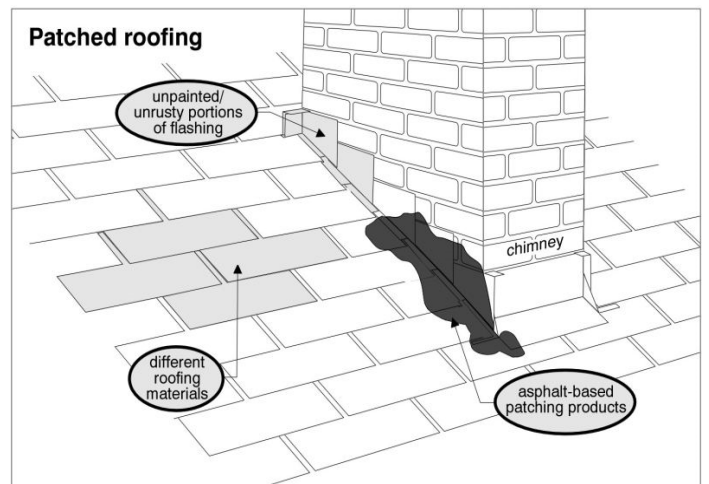


Illustration 2J

Exterior

ITEM DESCRIPTIONS:

Lot Topography	• Level grade
Driveway	• Concrete
Walkway & Sidewalks	• Concrete • Tile/Stone
Retaining Walls/Abutments	• None
Fencing/Gates	• Wood • Steel • Stucco
Porch/Deck, Patio Covers	• Wood • Tile/Stone • Elastomer • Metal
Stairs/Railings/Landings	• Wood • Metal
Exterior Walls	• Stucco
Windows	• Vinyl/Metal Clad Wood
Doors	• Wood • Metal • French • Vinyl/Metal Clad Wood
Garage/Carport	• Attached
Garage Door	• Metal • Automatic Opener Installed
The Swimming Pool Safety Act	• Not Applicable

COMMENTS:

Personal storage was partially blocking access to the interior of the garage. Therefore, the area is considered partially inaccessible and was not fully inspected. With access and an opportunity for complete inspection, conditions in need of attention may be discovered. Ideally, the personal belongings should be removed so the area may be fully inspected. (See Photo 4)

The auto reverse mechanism on the overhead garage door responded properly to testing. This is an important safety feature that should be tested regularly. Refer to the owner's manual or contact the manufacturer for more information. There is a serious risk of injury, particularly to children, if this feature is not working properly. Information on garage door openers is available from the Consumer Product Safety Commission at www.cpsc.gov.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Water damage was noted at the atrium front deck and master bedroom rear deck. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 13) (See Photo 16)
- ! 2. Water damage was noted at the electric meter closet door. We recommend the services of a licensed general contractor and/or structural pest control company regarding repairs. (See Photo 3)
- ! 3. Water damage was observed to the rafters at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 8)
- ! 4. Water damage was observed to the exterior trim at the right side. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 15)
- ! 5. Localized damage and/or large stucco cracks at the right side and various areas should be further evaluated by the appropriate tradesperson to determine if any moisture intrusion has occurred and to repair the stucco in this area. (See Photo 6)
- ! 6. Water damage was noted at the garage side door jambs. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 5)
- ! 7. Water damage was observed to the exterior trim/belly band at the front. We recommend the services of a licensed general contractor and/or structural pest control company. (See Photo 7)
8. The walkway at the front shows evidence of minor cracking. The cracks could be sealed for a better appearance and to prevent moisture intrusion.
9. Vegetation growing on or within 6" of exterior walls should be kept trimmed away from siding, window trims and the eaves.
10. The tree proximity at the front and right side could disrupt drainage pipes, cause mechanical damage to the exterior of the house or influence the foundation over time. For additional information and recommendations we recommend appropriate trades be consulted. (See Illustration 3T)
11. There are minor sized cracks in the exterior stucco that should be patched and sealed as part of preparation for the next painting. Flexible patching materials are recommended rather than rigid patching compounds.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- A representative sample of exterior components was inspected.
- The inspection does not include an assessment of geological conditions, site stability and property surface and/or underground drainage runoff.
- Interior finishes (floors, walls, ceilings) and/or insulation restricted the inspection of the garage.
- The detached barbecue was not inspected and is excluded from this report.
- The pond/fountain, related equipment and ancillary wiring and plumbing services were not inspected and are excluded from this report.

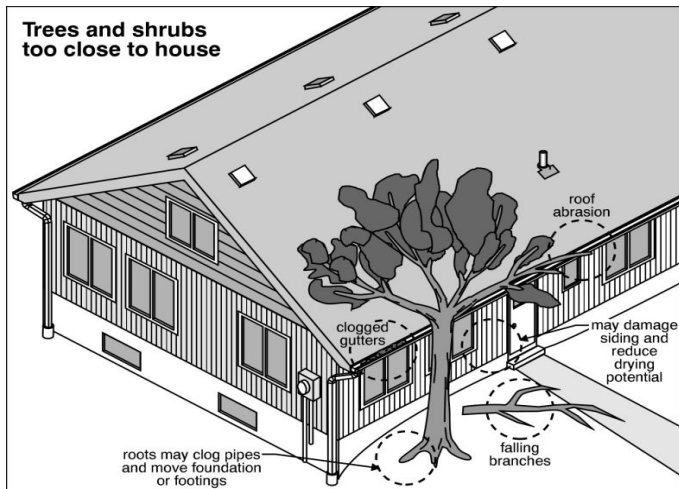


Illustration 3T

Electrical

ITEM DESCRIPTIONS:

Service	• 120/240 volt main service • Solar Voltaic System Noted
Service Entrance	• Underground Service Wires
Service Ground	• Copper Ground Wire • Ufer (foundation rebar) Connections
Main Disconnect	• Breakers • Main Service Rating (Amps): 400
Main Distribution Panel	• Breakers • Location: Exterior Side • Panel Rating (Amps): 400
Branch/Auxiliary Panel	• Breakers (x2) • Location: Garage • Location: Attic • Panel Rating (Amps): 200 (x2)
Distribution Wiring	• Copper Wire • Aluminum Wire
Outlets, Switches & Lights	• Grounded
Ground Fault Circuit Interrupters	• Exterior • Bathroom • Garage • Panel

COMMENTS:

Dedicated 240 volt circuits have been provided for all 240 volt appliances within the home.

Evidence of remodeling or modifications to the electrical system were evident. Inquire with the owner as to their nature and any permits that may have been required. Evaluation of permits, identifying the extent of modifications and code compliance are beyond the scope of this inspection.

The 3-prong outlets that were tested were appropriately grounded.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- ! 1. Double-tapping was observed in the main electrical panel (when two or more wires are connected to one circuit breaker) These breakers may not be rated for Double-tapping. Therefore further evaluation by a licensed electrician is advised (See Illustration 4V) (See Photo 2) (See Photo 1)
- ! 2. Overheated wiring within the main electrical panel should be further evaluated by a licensed electrician and repaired as necessary. (See Photo 1)
- 3. Several of the interior outlets and/or switches are loose in their boxes. We recommend a general tightening and "tune-up" of all of the loose receptacles.
- 4. One of the attic branch/auxiliary panel "Dead Front" screws is missing. We recommend proper blunt-end screws be installed.
- 5. One or more of the main panel screws are incorrect. We recommend proper blunt-end screws be installed.

MAINTENANCE ITEMS & GENERAL INFORMATION

- 6. Aluminum wiring was noted for the 240 volt circuitry of the home. Aluminum wiring is typically used for 240 volt appliance circuits and no action is necessary.
- 7. Arc fault circuit breakers were noted in the main or branch electric circuit panel. Arc fault breakers help protect against fires caused by arcing wires and are designed to trip by sensing a short that causes a massive amount of electricity to pass through the circuit.

DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

- 8. Today's electrical standard now requires a device called an arc-fault circuit interrupter "AFCI". As defined in proposals for the 1999 NEC, an "AFCI" is a device that provides protection from effects of arc faults by recognizing characteristics unique to arcing, and then de-energizing the circuit upon detection of an arc fault. Its basic application is protection of 15 amp and 20 amp branch circuits in single and multi-family residential occupancies. These devices are now installed in the habitable bedrooms of new construction.
- 9. The installation of ground fault circuit interrupter "GFCI" devices is advisable on exterior, garage, bathroom, laundry, and some kitchen outlets. Any whirlpool or swimming pool equipment should also be fitted with "GFCI"s. A ground fault circuit interrupter "GFCI" offers protection from shock or electrocution. Please note that "GFCI" may already be in one or more of these areas. See "description" section above for exact location of any "GFCI" which may be present on this property. (See Illustration 4L)

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection does not include (if applicable) low voltage systems, telephone wiring, intercoms, alarm systems, TV cable, timers, central vacuum systems, exterior sprinkler systems, exterior landscape lighting or exterior motion sensor lights. Also smoke detectors out of reach were only visually inspected unless noted otherwise. We recommend these systems be checked by interested parties for proper operation when possible.

- Due to inaccessibility of concealed wiring or undocumented improvements of the structure, we are unable to predict whether the number of circuits within a home will be sufficient for the needs of the occupants during a typical home inspection. If fuses blow or breakers trip regularly, this may indicate that additional loads or remodeling modifications may have been added to existing circuits.
- Electrical components concealed behind finished surfaces could not be inspected.
- According to "ASHI" standards only a representative sampling of outlets and light fixtures were tested.
- Furniture and/or storage may have restricted access to some electrical components.
- Exterior light fixtures on motion or light sensors were not tested.
- One or more added recessed light fixtures appear to have been installed in the ceiling as noted from the attic. Some recessed light fixtures require a certain amount of clearance between the insulation and the metal fixtures, however due to inaccessibility, clearance issues or time limitations we were unable to fully evaluate every light fixture. For additional information we recommend further evaluation of the fixtures by a licensed electrical contractor.
- Inspection of the solar panel electrical system is beyond the scope of this inspection, all inquiries or questions in regards to the operation of the system should be made with the owner or a licensed electrical contractor familiar with type of electrical system.

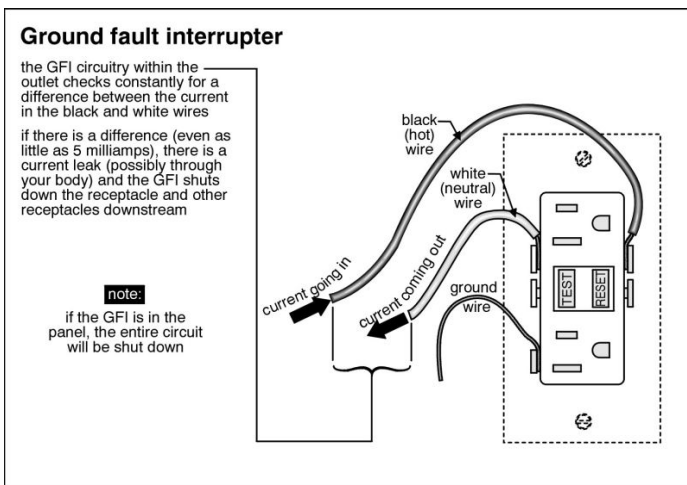


Illustration 4L

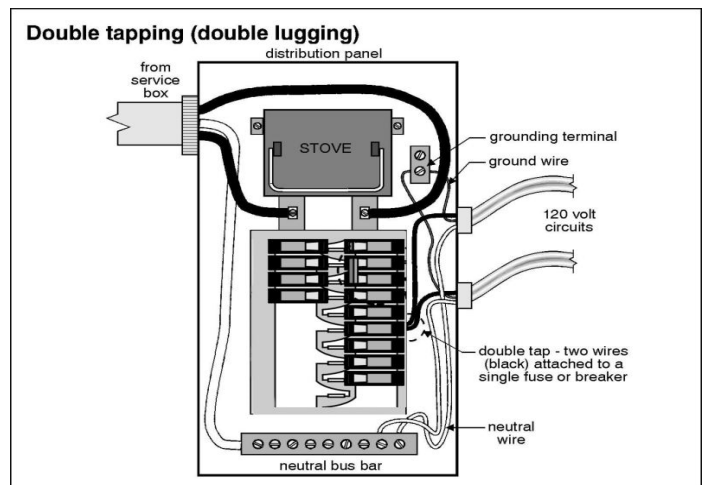


Illustration 4V

Heating System

ITEM DESCRIPTIONS:

Primary Source Heat	• Gas • Electric
Heating System	• Forced Air (Interior) • Radiant (Exterior) • Manufacturer: Carrier (x3), Infratech (x4) • Location: Rear Covered Patio (x4) • Location: Garage • Location: Closet • Location: Attic
Distribution/Ducting	• Ductwork (Interior) • Radiators (Exterior)

COMMENTS:

The interior furnaces and the exterior radiators were turned on by normal controls and appeared to function.

The typical life cycle for heating units such as these are 20-25 years. The garage and attic heating systems are may be approaching the end of their life cycle. Some units will last longer; others can fail prematurely. Please be aware that shutting the gas off to these units for any reason could cause the heat exchangers to contract and crack.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. There are combustible materials stored close to the attic heater. Adequate clearance between combustible material and the heater should be maintained.
2. The heating systems air filters are dirty. We recommend they be serviced or replaced.

MAINTENANCE ITEMS & GENERAL INFORMATION

3. This home is heated with three mid efficiency forced air furnaces. In this type of furnace, air is circulated by a blower motor through a heat exchanger, which is heated by the burner unit at the base. An induced draft motor is used to force the exhaust from the furnace to the exterior

DISCRETIONARY IMPROVEMENTS AND/OR UPGRADES

4. When furnace replacement is performed, consideration should be given to installing a "high efficiency" system.

LIMITATIONS:

This is a visual inspection to the accessible areas only. The inspection of the heating system is general and not technically exhaustive. A detailed evaluation of the furnace heat exchanger is beyond the scope of this inspection.

- As per ASHI standards determining furnace heat supply adequacy or inadequacy, distribution balance or sizing of the unit or units is not a part of this inspection.
- The wall mount and/or window mounted air conditioning unit (if applicable) was not inspected and are excluded from this report.
- Heating and/or air conditioning registers where accessible were visually inspected. Manual operation of the registers was not performed.
- As per ASHI standards the heat exchanger of the furnace was not inspected and interior portions of the heater were restricted. For additional information we recommend the services of a licensed heating contractor. As a free public service, the local utility company will perform a "safety" review of the heat exchanger and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- Inspection of the heater and/or air conditioner thermostat is limited to operating the units(s) on and off function only. Testing of the thermostat timer, temperature accuracy, clock, set back functions, etc. were not performed.

Cooling/Heat Pump System

ITEM DESCRIPTIONS:

Primary Source A/C

• Electricity • 240 Volt Power Supply

Cooling System

• Air Cooled Central • Manufacturer: Carrier (x3) • Location: Exterior Side (x3)

COMMENTS:

A temperature drop of 16 degrees was measured between the air returns and registers. This suggests that the AC units are operating within acceptable limits.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. The air conditioning smaller unit at the right side and the unit at the left side are older and may require additional maintenance in the future.
2. The fins that are part of the coil at the exterior condenser smaller unit at the right side show deterioration. This may be a cosmetic condition, but it could be a sign of other problems beyond the scope of our inspection. We recommend consulting a licensed HVAC contractor for further evaluation.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Air conditioning and heat pump systems, like most mechanical components, can fail at any time.

Insulation/Ventilation

ITEM DESCRIPTIONS:

Attic/Roof Insulation	• Fiberglass • Depth (inches): 6-12
Exterior Walls Insulation	• Unknown
Crawlspace Insulation	• Not Applicable
Attic/Roof Ventilation	• Roof Vents • Fascia vents
Crawlspace Ventilation	• Not Applicable

COMMENTS:

During any planned re-roofing or renovation work overhead insulation and ventilation levels should be investigated and improved where necessary. Upgrading insulation levels in a home is considered an improvement rather than a necessary repair.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

1. Missing, compressed, or uneven insulation in various areas of the attic should be replaced or evened out to improve the insulating value in these areas.

LIMITATIONS:

This is a visual inspection to the accessible areas only.

- Insulation/ventilation type and levels in concealed areas cannot be determined. No destructive tests were performed.
- Potentially hazardous materials such as Asbestos and Urea Formaldehyde Foam Insulation (UFFI) cannot be positively identified without a detailed inspection and laboratory analysis. This is beyond the scope of the inspection.
- An analysis of indoor air quality is beyond the scope of this inspection.
- Any estimates of insulation "R" values or depths are rough average values.

Plumbing

ITEM DESCRIPTIONS:

Main Water Valve	• Location: Exterior Side
Supply Piping	• Metallic Material
Drain/Waste/Vent	• Plastic Material
Cleanout	• Location: Exterior Rear • Location: Laundry, Kitchen
Main Gas Valve	• Location: Exterior Side
Water Heaters	• Manufacturer: State • Capacity (gallons): 100 • Approximate Age (years): 21 • Gas • Location: Garage
Seismic Gas Shut-off	• Not Present
Excess Flow Gas Shut-off	• Present

COMMENTS:

Due to the design of this unit/building, most of the supply piping was inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

Due to the design of this unit/building, most of the drain lines were inaccessible for inspection. For additional information, we recommend a licensed plumbing contractor be consulted.

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item.

- The installation of sediment traps at the water heater and furnaces appliance gas lines is recommended.
- ! 2. The toilet in the upstairs front left guest bathroom is cracked. We recommend the toilet be replaced. (See Photo 14)**
- There is a gap between the tub spout and wall at the upstairs front left and right guest bathrooms which should be sealed to prevent moisture intrusion.
- Water hammer in the supply pipings at the downstairs guest bathroom bathtub and master bathroom hydro tub was observed when operating plumbing fixtures. Over time, this condition can influence the integrity of pipe connections. Closing valves and faucets slowly is one approach to avoiding water hammer. Better securing pipes where possible and installing air chambers (shock absorbers) at the risers to fixtures would be another solution. (See illustration 8G)
- The upstairs front left guest bathroom sink drain and the master bathroom right sink drain were observed to drain slowly at the, suggesting that an obstruction may exist. We recommend the drain lines be further evaluated by appropriate trades and improved for full use of these areas.
- The toilets at the upstairs front right guest bathroom and upstairs hall guest bathroom are loose and should be properly re-secured, tightened and caulked. (See Illustration 8J)
- The tub or shower faucet diverter valve mechanisms are not functioning properly at the upstairs front left and right guest bathrooms. We recommend repair or replacement of the diverter valve mechanism.

MAINTENANCE ITEMS & GENERAL INFORMATION

- The excess flow gas shut-off should be installed at each connection of a gas appliance inside the structure. This device may be required by local ordinances. HomeGuard, Inc. advises that the appropriate authority be contacted to see if such a device is required.
- The typical life cycle for a water heater is 8-12 years. As is not uncommon in homes of this age, the water heating system is older and may be approaching the end of its useful life. Some units will last longer; others can fail prematurely. Although operating, the need for replacement should be expected in the near future. Please be aware that shutting the gas off to this unit for any reason may cause this unit to fail.

LIMITATIONS:

This is a visual inspection to the accessible areas only. We do not determine whether the properties' water supply and sewage disposal are public or private. Testing of the sinks, tubs and shower fixtures is limited to running hot and cold water for a brief moment, we cannot detect backups or obstructions in the homes main drain or sewer lateral systems.

- Water and gas shut-off valves, including but not limited to seismic, excess flow shut-off valves and gas fireplace valves where applicable, were not operated or tested. Identification of these devices is limited to the accessible areas only.
- Portions of the plumbing system concealed by finishes and/or storage (below sinks, below the structure and beneath the yard) were not inspected.

- Water quantity and quality are not tested. The effect of lead content in solder and/or supply lines is beyond the scope of the inspection.
- Inspection of any water conditioning system (filters, purifiers, softeners, etc.) is beyond the scope of this inspection and are excluded from this report.
- Inspection of any lawn sprinkler system is beyond the scope of this inspection and are excluded from this report (unless noted otherwise).
- The interior portions of the water heater were restricted. For additional information we recommend the services of a licensed plumbing contractor. As a free public service, the local utility company will perform a "safety" review of the interior of the water heater and other gas operated components. We recommend that you take advantage of this service before the next seasonal operation.
- HomeGuard Incorporated does not determine if any fixtures or toilets are water conserving.
- Inspection of the central vacuum system and related equipment is beyond the scope of this inspection and are excluded from this report.
- Inspection of the fire sprinkler system and related equipment is beyond the scope of this inspection and are excluded from this report.

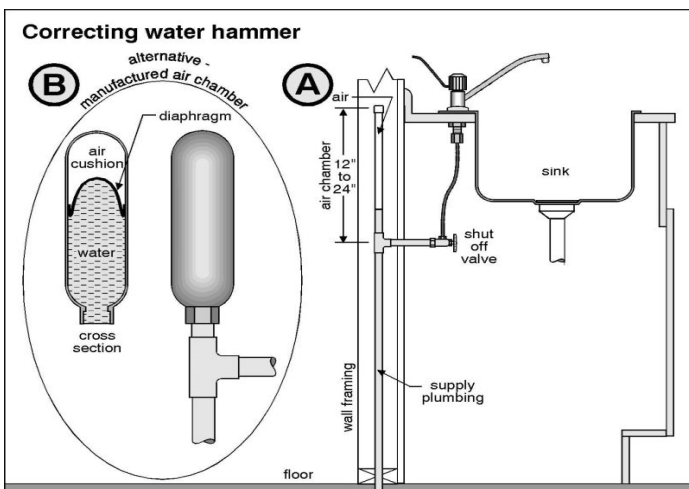


Illustration 8G

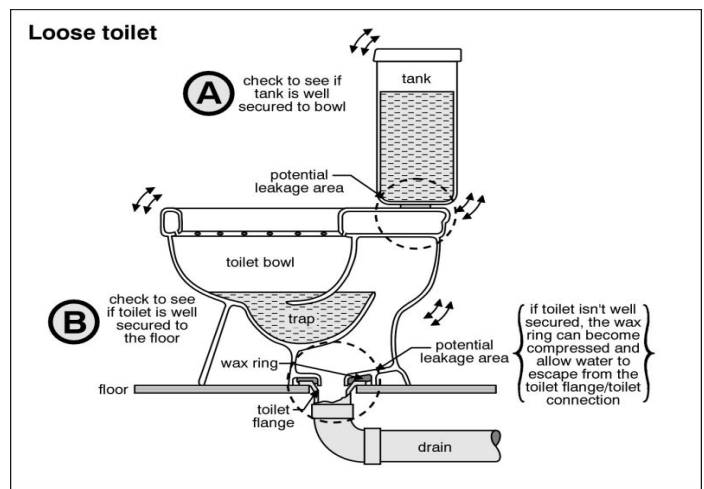


Illustration 8J

Interior

ITEM DESCRIPTIONS:

Kitchen Appliances Tested	• Built in Electric Ovens • Gas Cooktop • Microwave • Dishwashers (x2) • Trash Compactor • Waste Disposer (x2) • Exhaust Hood • Instant Hot Water
Wall Finishes	• Drywall/Plaster • Wood • Stone Veneer
Ceiling Finishes	• Drywall/Plaster
Floors	• Carpet • Tile/Stone • Wood
Doors	• Hollow Core • Solid Core • Pocket • Metal
Window Style and Glazing	• Casement • Sliders • Fixed Pane • Double Pane
Stairs/Railings	• Present
Fireplace/Wood Stove	• Zero Clearance (x3) • Gas (x3)
Cabinets/Countertops	• Wood • Tile • Marble/Granite • Solid Surface
Laundry Facilities/Hookup	• 240 Volt Circuit for Dryer • 120 Volt Circuit for Washer • Gas Piping for Dryer • Hot and Cold Water Supply for Washer • Waste Standpipe for Washer • Dryer vent noted
Other Components Inspected	• Smoke Detector • Door Bell • Carbon Monoxide Detector

COMMENTS:

RECOMMENDATIONS/OBSERVATIONS - '!' indicates an immediate improvement recommendation item. INTERIOR

- ! 1. The ceiling at the downstairs library shows evidence of water damage. We recommend the services of a licensed structural pest control company for investigation of this area. (See Photo 10)
- ! 2. Evidence of vermin activity was observed within the structure. It is likely this evidence will extend into inaccessible areas. The owner is advised to contact the appropriate trade for further evaluation and remedial measures if necessary. (See Photo 18)
3. Cracked, deteriorated and/or missing caulk and grout at the laundry tile countertop and/or backsplash should be replaced. A flexible caulking material is recommended.
4. One or more of the interior door(s) rubs on the floor at the master bedroom. We recommend all rubbing doors be trimmed, planed or adjusted as necessary to improve operation.
5. At the time of our inspection the whirlpool equipment was not accessible. We recommend that access to the whirlpool motor be provided or its whereabouts be verified with the current owner. With access to the equipment, proper evaluation can be performed.
6. Hardware is loose at one or more of the windows. We recommend a general tune-up of the windows as necessary to restore their proper function.
7. Various double pane windows were dirty at the time of our inspection, therefore, the condition of the windows was not fully verified. We recommend the windows be cleaned to verify their thermal seal.
8. The interior wall or ceiling blemishes or minor holes and or cracks are cosmetic and can be repaired in the course of routine maintenance.

KITCHEN

- ! 9. The air-gap or its connection to the disposal, appears to be restricted, causing water to flow out of the air-gap during the drain cycle of the right side dishwasher. We recommend that the drain system be cleaned or modified to correct this deficiency. (See Illustration 9F) (See Photo 12)
- ! 10. One of the burners on the cooktop/range top is inoperative or will not light. The pilot light or electronic igniter is in suspect. For attention to the conditions noted and/or cost estimates, if necessary, we recommend the advice of a qualified appliance technician. (See Photo 11)
11. The kitchen exhaust vent fan was noisy when operated. We recommend it be cleaned, lubricated, or repaired as necessary for quiet operation.
12. Cracked, deteriorated and/or missing caulk at the kitchen countertop backsplash should be replaced. A flexible caulking material is recommended rather than rigid cementitious grout.
13. The left side dishwasher lacks an air gap device. Air gaps are standard equipment to assure a separation between supply and waste water of the dishwasher. It is advised that one be installed. (See Illustration 9G)
14. The switch for the kitchen island garbage disposal is located in the cabinet, although not required, installation of a more accessible switch should be considered.

15. The base and/or side of the kitchen cabinet sink shelf is delaminated and shows evidence of past moisture in this area. This is mainly a cosmetic consideration and repair of this condition is optional. In any case, this area should be periodically monitored for future leaks from the sink and/or plumbing fixtures.

BATHROOMS

16. The seams for the floors at the base of the tubs/showers at the upstairs front left and right guest bathrooms, upstairs hall guest bathroom, and master bathroom are lifted or open. We recommend that the floors be sealed to avoid water penetration.
17. The tub drain stopper at the upstairs front right guest bathroom was not functioning properly or is missing. We recommend repair or replacement. (See Illustration 9E)
18. Cracked, deteriorated and/or missing caulk and grout at the upstairs front left and right guest bathrooms, upstairs hall guest bathroom, and master bathroom tile countertops and/or backsplashes should be replaced. A flexible caulking material is recommended.
19. The tile floor surfaces at the downstairs hallway and upstairs front right guest bathroom are cracked and/or chipped. This is a cosmetic issue and repairs may be optional.
20. Cracked, deteriorated and/or missing grout and caulk in the downstairs guest bathroom, upstairs hall guest bathroom, and master bathroom showers should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
21. The windows and sills of the downstairs guest bathroom, upstairs hall guest bathroom, and master bathroom enclosures should be protected from moisture. Windows in bathtub/shower enclosures have a reputation for allowing leakage behind the walls, causing water damage. Damage caused by water seepage cannot be determined by this visual observation.
22. Cracked, deteriorated and/or missing floor tile grout and caulk in the upstairs front right guest bathroom and master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual inspection.
23. Cracked, deteriorated and/or missing grout and caulk at the downstairs guest bathroom, upstairs front left and right guest bathrooms, and master bathroom should be replaced. Water leaking through non-sealed areas can cause damage. Damage caused by water seepage cannot be determined by this visual observation. A flexible caulking material is recommended rather than rigid cementitious grout.
24. The shower enclosure wiper seals at the master bathroom are faulty, missing and/or improperly installed. We recommend they be repaired or replaced.

MAINTENANCE ITEMS & GENERAL INFORMATION

INTERIOR

25. The evaluation of the thermal pane windows ("dual pane/glazed") is limited to accessible windows exhibiting noticeable conditions at the time of our inspection, such as condensation and/or evidence of moisture developing between the panes of glass. Due to the known design and/or characteristics associated with thermal pane windows, conditions may be discovered at a later date, however seal failure can occur at any time.

KITCHEN

26. Carbon monoxide is a colorless, odorless gas that can result from a faulty fuel burning furnace, range, water heater, space heater or wood stove. Proper maintenance of these appliances is the best way to reduce the risk of carbon monoxide poisoning. For more information, consult the Consumer Product Safety Commission CPSC at www.cpsc.gov for further guidance.

LIMITATIONS:

This is a visual inspection to the accessible areas only. Assessing the quality of interior finishes is highly subjective. Issues such as cleanliness, cosmetic flaws, quality of materials, architectural appeal and color are outside the scope of this inspection. Comments are general, except where functional concerns exist. Due to texturing and painting of interior surfaces there is no possible way of determining point of origin of any gypsum (sheetrock) material without destructive testing. HomeGuard Incorporated does not perform any destructive testing. Smoke detectors and carbon monoxide detectors were not manually tested. The sensors of these units are not tested. Both smoke detectors and carbon monoxide detectors have a limited life span and should be replaced according to the manufactures instructions.

- A hydrotherapy tub was present at the master bathroom at the time of inspection. The jets, pumps and lines are not inspected and no evaluation as to their condition and operation were made in this report. Interested parties are advised to test this appliance if desired.
- Furniture, storage, appliances and/or wall hangings restricted the inspection of the interior.
- No access was gained to the wall cavities of the home.
- The adequacy of the fireplace draws cannot be determined during a visual inspection.

- The operation of the dishwashers was limited to a filling and draining cycle only, however due to time limitations timers, dryer cycles and/or higher functions were not tested. For additional information in regards to the operation and full function of the dishwashers we recommend consultation with the owner or appropriate trades.
- The washing machine faucets were visually inspected however they were not tested.
- The above listed kitchen appliances were operated unless noted otherwise. These appliances were not inspected for installation according to manufacturer specifications and were not evaluated for performance, efficiency or adequacy during their operation. No refrigerators whether "built in" or portable are operated, inspected or tested.
- All appliances not "built in" to the structure such as washing machine, dryer, refrigerator and/or countertop microwaves were not inspected and are excluded from this report. No refrigerators whether "built in" or portable are operated, inspected or tested.
- Fireplace screens or doors were not inspected (unless otherwise noted) and are excluded from this report.
- Inspection of the cellar and related equipment is beyond the scope of this inspection. For information in regards to this area we recommend consulting the owner or appropriate trades.
- The fireplaces were visually inspected however the gas burners were not tested.
- Testing of the oven cleaning function is beyond the scope of this inspection. For proper operation and testing of this function we recommend consultation with the existing homeowner.

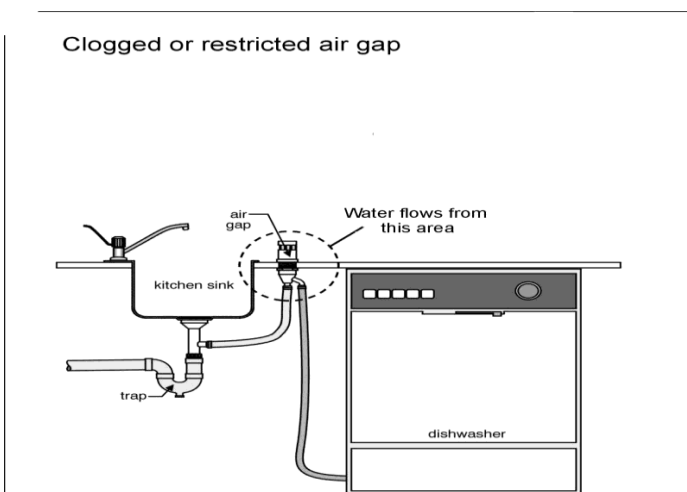


Illustration 9F

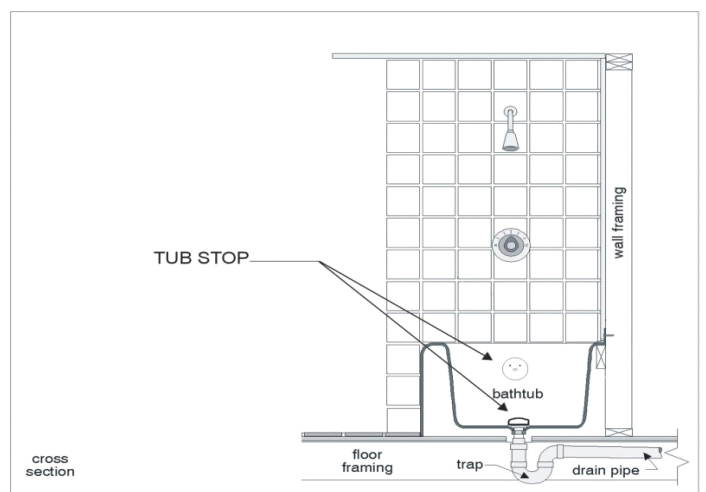


Illustration 9E

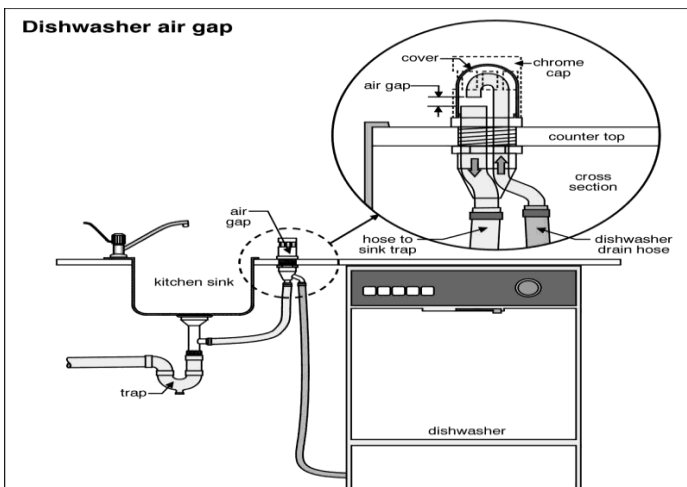


Illustration 9G

Photographs

No relative importance should be placed on the photographs provided in this report. The photographs in this report do not necessarily illustrate all of the damage in any particular finding. Also, not all problem areas will be supported with photographs. Please contact HomeGuard if you have any questions.



Photo 01

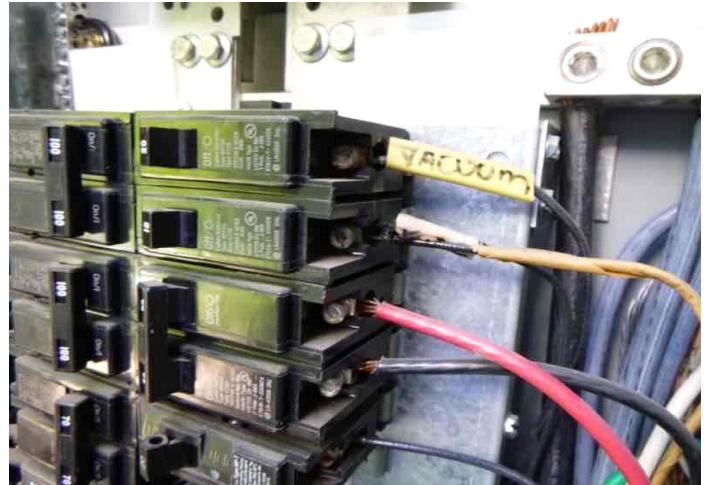


Photo 02



Photo 03



Photo 04

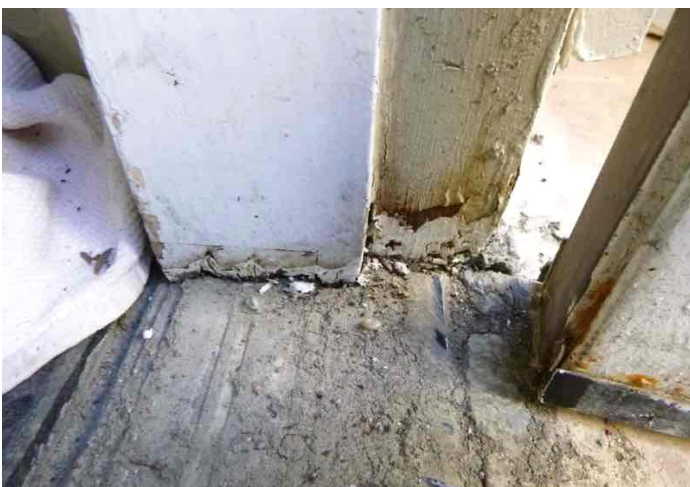


Photo 05



Photo 06



Photo 07



Photo 08



Photo 09



Photo 10



Photo 11



Photo 12



Photo 13



Photo 14

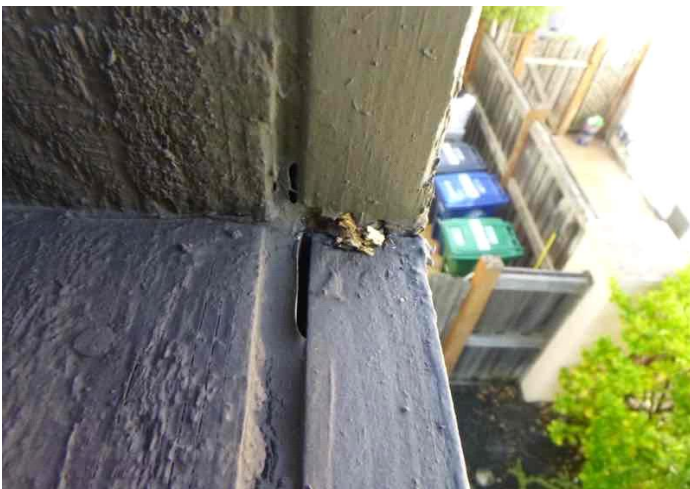


Photo 15



Photo 16



Photo 17



Photo 18



Photo 19



Photo 20

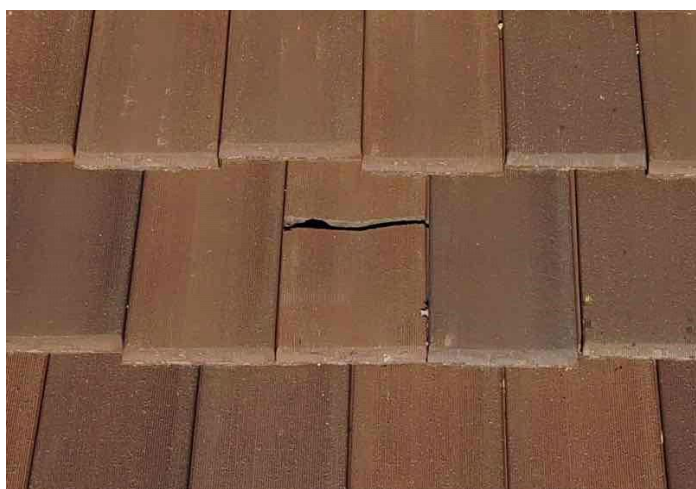


Photo 21



Photo 22

Maintenance Advice

UPON TAKING OWNERSHIP

After taking ownership of a new home, there are some maintenance and safety issues that should be addressed immediately. The following checklist should help you undertake these improvements.

- Change the locks on all exterior entrances, for improved security.
- Check that all windows and doors are secure. Improve window hardware as necessary. Security rods can be added to sliding windows and doors. Considerations could also be given to a security system.
- Install smoke detectors on each level of the home. Ensure that there is a smoke detector outside all sleeping areas. Replace batteries on any existing smoke detectors and test them. Make a note to replace batteries again in one year.
- Create a plan of action in the event of a fire in your home. Ensure that there is an operable window or door in every room of the house. Consult with your local fire department regarding fire safety issues and what to do in the event of a fire.
- Examine driveways and walkways for trip hazards. Undertake repairs where necessary.
- Examine the interior of the home for trip hazards. Loose or torn carpeting and flooring should be repaired.
- Undertake improvements to all stairways, decks, porches and landings where there is a risk of falling or stumbling.
- Review your home inspection report for any items that require immediate improvement or further investigation. Address these areas as required.
- Install rain caps and vermin screens on all chimney flues, as necessary.
- Investigate the location of the main shut-offs for the plumbing, heating and electrical systems. If you attend the home inspection, these items have been pointed out to you.

REGULAR MAINTENANCE

EVERY MONTH

- Check that fire extinguisher(s) are fully charged. Re-charge if necessary.
- Examine heating/cooling air filters and replace or clean as necessary.
- Inspect and clean humidifiers and electronic air cleaners.
- If the house has hot water heating, bleed radiator valves.
- Clean gutters and downspouts. Ensure that downspouts are secure, and that the discharge of the downspouts is appropriate. Remove debris from window wells.
- Carefully inspect the condition of shower enclosures. Repair or replace deteriorated grout and caulk. Ensure that water is not escaping the enclosure during showering. Check below all plumbing fixtures for evidence of leakage.
- Repair or replace leaking faucets or shower heads.
- Secure loose toilets, or repair flush mechanisms that become troublesome.

SPRING AND FALL

- Examine the roof for evidence of damage to roof covering, flashings and chimneys.
- Look in the attic (if accessible) to ensure that roof vents are not obstructed. Check for evidence of leakage, condensation or vermin activity. Level out insulation if needed.
- Trim back tree branches and shrubs to ensure that they are not in contact with the house.
- Inspect the exterior walls and foundation for evidence of damage, cracking or movement. Watch for bird nests or other vermin or insect activity.
- Survey the basement and/or crawl space walls for evidence of moisture seepage.
- Look at overhead wires coming to the house. They should be secure and clear of trees or other obstructions.
- Ensure that the grade of the land around the house encourages water to flow away from the foundation.

- Inspect all driveways, walkways, decks, porches, and landscape components for evidence of deterioration, movement or safety hazards.
- Clean windows and test their operation. Improve caulking and weather-stripping as necessary. Watch for evidence of rot in wood windows frames. Paint and repair window sills and frames as necessary.
- Test all ground fault circuit interrupter (GFCI) devices, as identified in the inspection report.
- Shut off isolating valves for exterior hose bibs in the fall, if below freezing temperatures are anticipated.
- Test the Temperature and Pressure Relief (TPR) Valve on water heaters.
- Inspect for evidence of wood boring insect activity. Eliminate any wood/soil contact around the perimeter of the home.
- Test the overhead garage door opener, to ensure that the auto-reverse mechanism is responding properly. Clean and lubricate hinges, rollers and tracks on overhead doors.
- Replace or clean exhaust hood filters.
- Clean, inspect and/or service all appliances as per the manufacturer's recommendations.

ANNUALLY

- Replace smoke detector batteries.
- Have the heating, cooling and water heater systems cleaned and serviced.
- Have chimneys inspected and cleaned. Ensure that rain caps and vermin screens are secure.
- Examine the electrical panels, wiring and electrical components for evidence of overheating. Ensure that all components are secure. Flip the breakers on and off to ensure that they are not sticky.
- If the house utilizes a well, check and service the pump and holding tank. Have the water quality tested. If the property has a septic system, have the tank inspected (and pumped as needed).
- If your home is in an area prone to wood destroying insects (termites, carpenter ants, etc.), have the home inspected by a licensed specialist. Preventive treatments may be recommended in some cases.

PREVENTION IS THE BEST APPROACH

Although we've heard it many times, nothing could be more true than the old cliché "an ounce of prevention is worth a pound of cure." Preventative maintenance is the best way to keep your house in great shape. It also reduces the risk of unexpected repairs and improves the odds of selling your house at fair market value, when the time comes. Please feel free to contact our office should you have any questions regarding the operation or maintenance of your home. Enjoy your home!



Invoice Date: 5/2/2024

Invoice No: LIV1078569P

Invoice

Bill To:

Cindi Hagley
The Hagley Group
235 Main Street
Pleasanton, CA 94566

Property Information:

Address: 4506 Lilac Ridge Road
San Ramon CA, 94582
Report No: 635571 TPR
Escrow#:

Billing Information:

Inspection: 5/2/2024 Complete	\$1,175.00
Total Due:	\$1,175.00

DUE UPON RECEIPT

Please remit to 510 Madera Ave., San Jose, CA 95112

There is a \$25 fee for all returned checks