

CITY OF SAN DIEGO GENERAL NOTES

- APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
- UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
- THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
- IMPORTANT NOTICE:** SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
- CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
- "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
- DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
- CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
- PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
- CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
- CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
- CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
- AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED ONLINE TO THE CITY OF SANDIEGO DEVELOPMENT SERVICE DEPARTMENT WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. THE SUBMITTED INFORMATION SHALL BE REVIEWED FOR ADEQUACY BY THE GEOLOGY SECTION OF DEVELOPMENT SERVICES PRIOR TO PROJECT CLOSE OUT.
- "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
- MANHOLES, VAULTS AND PULL BOX COVERS SHALL BE LABELED WITH THE "NAME OF COMPANY" AND HAVE A SLIP RESISTANT LID WITH A MINIMUM STATIC COEFFICIENT OF FRICTION OF 0.5.
- CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
- CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.
- CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIAALLY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
- THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
- PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
- UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

GRADING NOTES

- GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.
- PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.
- GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET _____ FOR MIX AND SPECIFICATIONS.

GRADING + GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

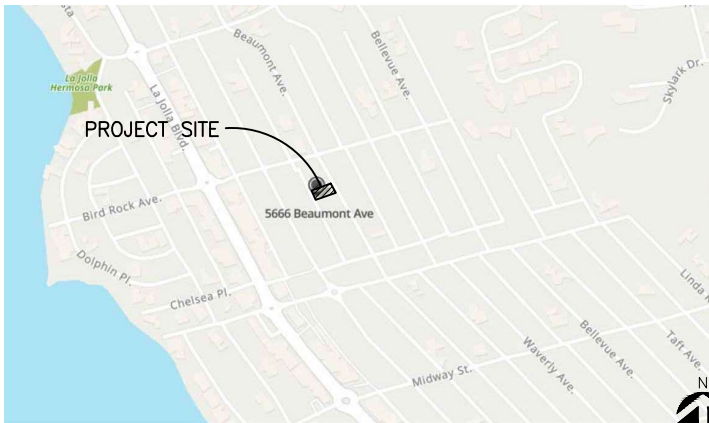
(SIGNATURE) _____ P.E.
KYLE JARDINE PROUTY

(SIGNATURE) _____ P.G. OR C.E.G.
GEOLOGIST'S NAME

COMPANY NAME* _____
TELEPHONE NUMBER _____

*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

GRADING PLANS FOR: 5666 BEAUMONT AVE.



VICINITY MAP

NOT TO SCALE

GENERAL NOTES

- ALL NEW CONSTRUCTION SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND LATEST EDITIONS OF THE CALIFORNIA BUILDING CODE, "STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION", AND CITY OF SAN DIEGO LOCAL ORDINANCES AS APPLICABLE.
- ALL GRADING WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
- EXISTING TOPOGRAPHY SHOWN HEREON WAS TAKEN FROM A SURVEY DATED MAY 15, 2023 BY J&B ENGINEERS, SURVEYORS.
- THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE JOB SITE CONDITIONS, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY, AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
- ALL DRAWINGS ARE CONSIDERED TO BE A PART OF THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REVIEW AND COORDINATION OF ALL DRAWINGS AND SPECIFICATIONS PRIOR TO THE START OF CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED. ANY WORK PERFORMED IN CONFLICT WITH THE CONTRACT DOCUMENTS OR ANY CODE REQUIREMENTS SHALL BE CORRECTED BY THE CONTRACTOR AT THEIR OWN EXPENSE AND AT NO EXPENSE TO THE OWNER OR ARCHITECT.
- THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
- THE EXISTENCE, LOCATION AND CHARACTERISTICS OF UNDERGROUND UTILITY INFORMATION SHOWN ON THESE PLANS HAVE BEEN OBTAINED FROM A REVIEW OF AVAILABLE RECORD DATA. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN AND ANY OTHER LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS.
- IF AT ANY TIME DURING GRADING OPERATIONS, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
- THE PROPOSED GRADE IS THE FINAL GRADE AND NOT THE ROUGH GRADE. THE CONTRACTOR SHALL SUBTRACT THE THICKNESS OF THE PAVED SECTION AND/OR LANDSCAPE TOPSOIL SECTION TO ARRIVE AT THE ROUGH GRADE ELEVATION.
- STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
- ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
- ALL FILL SOILS OR SOILS DISTURBED OR OVEREXCAVATED DURING CONSTRUCTION SHALL BE COMPACTED PER THE REQUIREMENTS OF THE SOILS REPORT BUT NOT LESS THAN 90% MAXIMUM DENSITY AS DETERMINED BY A.S.T.M. SOIL COMPACTION TEST D-1557.
- THE CONTRACTOR SHALL OBTAIN AN O.S.H.A. PERMIT FROM THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY PRIOR TO THE CONSTRUCTION OF TRENCHES OR EXCAVATIONS WHICH ARE FIVE FEET OR DEEPER.
- DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36" MINIMUM COVER FROM TOP OF PIPE TO FINISHED GRADE, UNLESS OTHERWISE NOTED.
- THRUST BLOCKS SHALL BE INSTALLED AT WATERLINE HORIZONTAL AND VERTICAL BENDS, TEES, CAPPED ENDS AND REDUCERS ACCORDING TO THE DETAILS PROVIDED ON THESE PLANS.
- CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR. CONSTRUCTION STAKING SURVEYOR SHALL BE RESPONSIBLE FOR COORDINATION OF THESE PLANS WITH SOURCE DRAWINGS PREPARED BY ARCHITECT, LANDSCAPE ARCHITECT, STRUCTURAL ENGINEER, MEP CONSULTANT AND ANY OTHER DISCIPLINE PRIOR TO START OF STAKING AND CONSTRUCTION. ANY DISCREPANCIES THAT OCCUR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO THE START OF CONSTRUCTION SO THAT A CLARIFICATION CAN BE ISSUED.
- THE CONTRACTOR SHALL REPLACE ALL EXISTING IMPROVEMENTS DAMAGED DURING CONSTRUCTION TO MATCH EXISTING, INCLUDING PERMANENT TRENCH RESURFACING.
- CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT (800-227-2600) PRIOR TO EXCAVATION.
- ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
- ALL CURB DIMENSIONS AND RADI ARE TO PAVEMENT FACE OF CURB.
- CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
- WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING CONSTRUCTION OPERATIONS.
- CONTRACTOR SHALL OBTAIN ANY NECESSARY PERMITS FROM THE CITY OF SAN DIEGO FOR ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY.
- STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INCLUDING NPDES, FROM THE APPROPRIATE JURISDICTIONAL AGENCIES FOR DISCHARGE OF GROUNDWATER THAT MAY BE NECESSARY TO ACCOMPLISH EXCAVATIONS SHOWN ON THESE PLANS.

OWNER/APPLICANT

ANDREW MOSS
5666 BEAUMONT AVE. LA JOLLA, CA 92037
(858)525-1277

SITE ADDRESS

5666 BEAUMONT AVE, LA JOLLA, CA 92037

TOPOGRAPHY SOURCE

J&B ENGINEERS, SURVEYORS 13670 DANIELSON ST., SUITE G POWAY, CA 92064
FIELD MEASURED TOPOGRAPHIC SURVEY
DATED: 05/15/2023

BENCHMARK

PRIMARY STREET: BIRD ROCK AVENUE SECONDARY STREET: BELLEVUE AVENUE
NORTHING: 2379 EASTING: 16879 ELEVATION: 141.351

ASSESSORS PARCEL NUMBER

357-441-19-00

LEGAL DESCRIPTION

PORTION OF BLOCK 12 PER MAP NO. 00975

GRADING QUANTITIES

GRADED AREA	0.12 [ACRES]	MAX. CUT DEPTH	0.57 [FT]
CUT QUANTITIES	7 [CYD]	MAX CUT SLOPE RATIO (2:1MAX)	N/A
FILL QUANTITIES	307 [CYD]	MAX. FILL DEPTH	2.78 [FT]
IMPORT	300 [CYD]	MAX FILL SLOPE RATIO (2:1MAX)	5%

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

ABBREVIATIONS

AC	ASPHALTIC CONCRETE	FH	FIRE HYDRANT	RD	ROOF DRAIN
BCR	BEGIN CURVE RETURN	FL	FLOW LINE	RW	RIGHT-OF-WAY
BW	BACK OF WALK	FT	FOOT OR FEET	(S)	SOUTH
BLDG	BUILDING	FU	FIXTURE UNITS	S=	SLOPE EQUALS
BM	BENCH MARK	FW	FIRE WATER	SD	STORM DRAIN
BOS	BOTTOM OF STAIRS	GPM	GALLONS PER MINUTE	SSMH	SANITARY SEWER MANHOLE
BMP	BEST MANAGEMENT PRACTICES	GV	GATE VALVE	SS	SANITARY SEWER
CB	CATCH BASIN	HDPE	HIGH DENSITY POLYETHYLENE	STD	STANDARD
CI	CAST IRON	HP	HIGH POINT	SDMH	STORM DRAIN MANHOLE
CL	CENTER LINE	INV.	INVERT	TC	TOP OF CURB
CMU	CONCRETE MASONRY UNIT	LP	LOW POINT	TEL	TELEPHONE
CO	CLEANOUT	MAX	MAXIMUM	TG	TOP OF GRATE
CONC	PORTLAND CEMENT CONCRETE	MIN	MINIMUM	TOS	TOP OF STAIRS
CF	CURB FACE	MH	MANHOLE	TS	TOP OF WALL
DW	DOMESTIC WATER	(N)	NORTH	TW	TRAFFIC SIGNAL
(E)	EAST	NTS	NOT TO SCALE	TSB	TRAFFIC SIGNAL BOX
ECR	END CURVE RETURN	PA	PLANTER AREA	TYP	TYPICAL
EG	EDGE OF GUTTER	POC	POINT OF CONNECTION	TV	TELEVISION
EL. OR ELEV	ELEVATION	PIV	POST INDICATOR VALVE	VIF	VERIFY IN FIELD
ELEC	ELECTRIC, ELECTRICAL	PCC	POINT OF COMPOUND CURVE	VL	VAULT
EX. OR EXIST.	EXISTING	PRC	POINT OF REVERSE CURVE	VCP	VITRIFIED CLAY PIPE
FDC	FIRE DEPARTMENT CONNECTION	PRV	PRESSURE REDUCING VALVE	(W)	WEST
FF	FINISHED FLOOR	PVC	POLYVINYL CHLORIDE	W	WATER
FG	FINISHED GRADE (LANDSCAPE)	R	RADIUS	WM	WATER METER
FS	FINISHED SURFACE (HARDSCAPE)	RCIP	RECTANGULAR CAST IRON PIPE	WV	WATER VALVE

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

R.C.E. NO. C95048 EXP. 12-31-23 DATE

SHEET INDEX

TITLE SHEET	C1.00
WATER POLLUTION PREVENTION	C2.00
ROUGH GRADING PLAN	C3.00
ROUGH GRADING SECTIONS	C3.01
PRECISE GRADING PLAN	C3.10
DRAINAGE PLAN	C4.00

LEGEND

	CURB/BACK OF CURB/GUTTER
	RETAINING WALL/SITE WALL
	PROPERTY LINE/RIGHT OF WAY
	CENTER LINE
	FENCE
	EROSION CONTROL
	GRAVEL DBAGS
	FIBER ROLL
	PROPOSED BUILDING EXCAVATION OUTLINE
	EXISTING DRAINAGE DIRECTION OF FLOW
	GRADING
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	FLOW LINE
	GRADE BREAK LINE
	RIDGE LINE
	EARTHEN SWALE
	SAWCUT
	LIMITS OF GRADING
	GRADING BENCH
	GRADED SLOPE (HORIZONTAL:VERTICAL)
	STORM DRAIN
	STORM DRAIN INLET

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO. _____

ARCHITECT PROJECT NO. _____

GN23-102

ARCHITECT

**GILCHRIST
ARCHITECTURE
CO**

PROFESSIONAL SEAL
GRAHAM GILCHRIST LICENSE NO. C 36842

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CONSULTANTS



SIGN DATE 05/17/2024

SHEET DRAWING
DRAWN BY: _____ KP
CHECKED BY: _____ KP

SHEET ISSUES	
NO.	DESCRIPTION

SHEET REVISIONS	
NO.	REVISION DESCRIPTION

SHEET DATE **05.16.24**

SHEET TITLE

TITLE SHEET

SHEET NO.

C1.00

MOSS FAMILY

PROJECT NAME

5666 BEAUMONT AVE, LA JOLLA, CA 92037

CFMO STAMP

OWNER PROJECT NO.

ARCHITECT PROJECT NO. GN23-102

ARCHITECT

GILCHRIST ARCHITECTURE CO

PROFESSIONAL SEAL GRAHAM GILCHRIST LICENSE NO. C 36842

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CONSULTANTS

PACIFIC CONSULTING GROUP logo and professional seal for GARY JARDINE, LICENSED PROFESSIONAL ENGINEER, CIVIL, STATE OF CALIFORNIA, C 95048, EXP. 12/31/23, SIGN DATE 05/17/2024.

SHEET DRAWING: DRAWN BY: KP, CHECKED BY: KP

SHEET ISSUES table with columns for NO., REVISION DESCRIPTION, and MMLDD.YYYY.

SHEET REVISIONS table with columns for NO., REVISION DESCRIPTION, and MMLDD.YYYY.

SHEET DATE: 05.16.24

SHEET TITLE

WATER POLLUTION CONTROL & DEMOLITION PLAN

SHEET NO.

C2.00

EROSION CONTROL NOTES

- 1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR
3. WHEN THE INSPECTOR SO DIRECTS, A 12-INCH BERM SHALL BE MAINTAINED ALONG THE TOP OF THE SLOPE OF THOSE FILLS ON WHICH GRADING IS NOT IN PROGRESS.
4. STORM AND SEWER DRAIN TRENCHES THAT ARE CUT THROUGH BASIN DIKES OR BASIN INLET DIKES SHALL BE PLUGGED WITH SANDBAGS.
5. EXCEPT WHEN THE INSPECTOR DIRECTS OTHERWISE, ALL DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS FORECAST, AND SHALL BE MAINTAINED DURING THE RAINY SEASON (OCTOBER 15 TO APRIL 15).
6. SANDBAGS SHALL BE STOCKPILED ON SITE, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST, OR WHEN THE INSPECTOR SO DIRECTS.
7. A "STANDBY EMERGENCY CREW" SHALL BE ALERTED BY THE PERMITTEE OR THE CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS. THE PARTY TO BE CONTACTED IS: NAME: (TO BE FILLED IN BY CONTRACTOR) PHONE NUMBER:

DUST CONTROL NOTES

- 1. DUST SHALL BE CONTROLLED BY WATERING AND/OR APPLYING A DUST PALLIATIVE. THE DUST PALLIATIVE SHALL BE APPLIED IN THE AMOUNT AT THE LOCATIONS AS DIRECTED BY THE ENGINEER.
2. WATER FOR DUST CONTROL SHALL BE APPLIED BY MEANS OF PRESSURE TYPE DISTRIBUTORS OR PIPE LINES EQUIPPED WITH A SPRAY SYSTEM OR HOSES WITH NOZZLES THAT WILL INSURE A UNIFORM APPLICATION OF WATER.
3. UNLESS WATER IS APPLIED BY MEANS OF PIPE LINES, AT LEAST ONE MOBILE UNIT WITH A MINIMUM CAPACITY OF 100 GALLONS SHALL BE AVAILABLE FOR APPLYING WATER.
4. ALL SOIL MATERIALS OR DEBRIS TRUCKED FROM THE SITE SHALL BE COVERED AND SPRINKLED PRIOR TO ENTERING PUBLIC STREETS.
5. PROVIDE FOR WET SUPPRESSION OR CHEMICAL STABILIZING OF EXPOSED SOILS.
6. PROVIDE FOR RAPID CLEAN-UP OF SEDIMENTS DEPOSITED ON THE PAVED ROADS.
7. LIMIT THE AMOUNT OF AREAS DISTURBED BY CLEARING & EARTH MOVING OPERATIONS BY SCHEDULING THESE ACTIVITIES IN PHASES.

GENERAL DEMOLITION NOTES

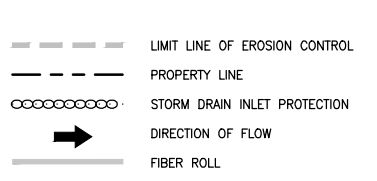
- 1. CONTRACTOR TO CLEAR PROJECT SITE AREA WITHIN THE CONFINES OF THE DEMOLITION LIMIT LINE. THE CONTRACTOR SHALL DEMOLISH AND REMOVE FROM THE SITE ALL EXISTING UTILITIES, STRUCTURES, PLANTERS, TREES, AND ALL OTHER SITE FEATURES, UNLESS OTHERWISE NOTED ON THE PLAN.
2. REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS AND SHALL PAY ALL FEES NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
5. THE CONTRACTOR SHALL VERIFY AND LOCATE ALL EXISTING ABOVE AND UNDERGROUND UTILITIES. LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE AND ARE SHOWN FOR GENERAL INFORMATION ONLY.
6. DAMAGE TO ANY EXISTING UTILITIES AND SERVICES TO REMAIN SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
7. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED TO PREVENT DEBRIS AND UNSUITABLE MATERIALS FROM ENTERING STORM DRAINS, SANITARY SEWERS AND STREETS.
8. DUST CONTROL SHALL BE IMPLEMENTED DURING DEMOLITION.
9. DEMOLITION IS LIMITED TO WITHIN DEMOLITION LIMIT LINE UNLESS NOTED OTHERWISE.
10. THE CONTRACTOR SHALL VERIFY THE LOCATION AND QUANTITY OF EXISTING SURFACE STRUCTURES AND SHALL BE SOLELY RESPONSIBLE FOR ANY UNIDENTIFIED UTILITIES, IMPROVEMENTS, TREES, ETC. TO BE DEMOLISHED AND REMOVED WITHIN THE DEMOLITION LIMIT LINE, INCLUDING APPURTENANT FOUNDATIONS OR SUPPORTS.
11. DEMOLITION CALLOUTS IN THIS SECTION ARE REPRESENTATIVE OF WHAT IS TO BE DONE, NOT AN ITEMIZED ACCOUNTING FOR EACH PIPE, CATCH BASIN, MANHOLE, VAULT, ETC. THAT IS TO BE DEMOLISHED, REMOVED AND DISPOSED OF.

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

- 1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCC) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMP'S SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMP'S THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMP'S WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMP'S TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.
15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMP'S RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMP'S AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMP'S SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMP'S AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CALTRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
18. NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

LEGEND



EROSION CONTROL NOTES

- (E1) POSSIBLE STABILIZED CONSTRUCTION ENTRANCE LOCATIONS PER DETAIL 1.
(E2) PLACE GRAVEL BAG BARRIER PER DETAIL 2.

DEMOLITION NOTES

- (1) SEE GENERAL DEMOLITION NOTES HEREON. SEE ARCHITECTURAL PLAN FOR LIMITS OF STRUCTURE DEMOLITION.
(2) DEMO EXISTING SITE WALL.

NOTES:

- 1. CONTRACTOR TO REFERENCE ARCHITECTURAL DEMOLITION PLAN PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCY SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO DEMOLITION.
2. POTHOLING OF EXISTING UTILITIES MAY BE REQUIRED. CONTRACTOR SHALL POTHOLE AND VERIFY POINT OF CONNECTIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROVIDED TO THE ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

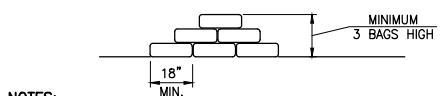
BMP NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORMWATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JULY 2012, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS):

- EROSION CONTROL: EC1-SCHEDULING, EC2-PRESERVATION OF EXISTING VEGETATION, EC3-HYDRAULIC MULCH, EC4-HYDROSEEDING, EC5-SOIL BINDERS, EC6-STRAW MULCH, EC7-GEOTEXTILES AND MATS, EC8-WOOD MULCHING, EC9-EARTH DIKES AND DRAINAGE SWALES, EC10-VELOCITY DISSIPATION DEVICES, EC11-SLOPE DRAINS, EC12-STREAMBANK STABILIZATION, EC13-RESERVED, EC14-COMPOST BLANKET, EC15-SOIL PREPARATION/ROUGHENING, EC16-NON-VEGETATIVE STABILIZATION.
WIND EROSION CONTROL: WE1-WIND EROSION CONTROL.
NON-STORMWATER MANAGEMENT: NS1-WATER CONSERVATION PRACTICES, NS2-DEWATERING OPERATIONS, NS3-PAVING AND GRINDING OPERATIONS, NS4-TEMPORARY STREAM CROSSING, NS5-CLEAR WATER DIVERSION, NS6-ILLEGAL CONNECTION/DISCHARGE, NS7-POTABLE WATER/IRRIGATION, NS8-VEHICLE AND EQUIPMENT CLEANING, NS9-VEHICLE AND EQUIPMENT FUELING, NS10-VEHICLE AND EQUIPMENT MAINTENANCE, NS11-PILE DRIVING OPERATIONS, NS12-CONCRETE CURING, NS13-CONCRETE FINISHING, NS14-MATERIAL OVER WATER, NS15-DEMOLITION ADJACENT TO WATER, NS16-TEMPORARY BATCH PLANTS.
WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL: WM1-MATERIAL DELIVERY AND STORAGE, WM2-MATERIAL USE, WM3-STOCKPILE MANAGEMENT, WM4-SPILL PREVENTION AND CONTROL, WM5-SOLID WASTE MANAGEMENT, WM6-HAZARDOUS WASTE MANAGEMENT, WM7-CONTAMINATED SOIL MANAGEMENT, WM8-CONCRETE WASTE MANAGEMENT, WM9-SANITARY/SEPTIC WASTE MANAGEMENT, WM10-LIQUID WASTE MANAGEMENT.

EQUIPMENT TRACKING CONTROL

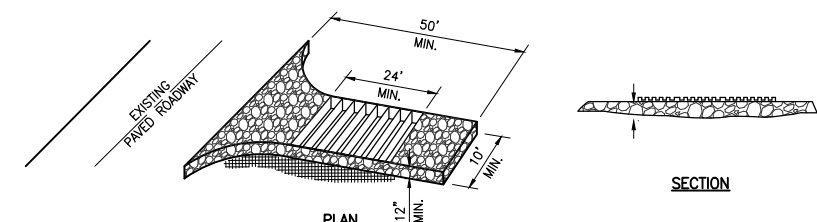
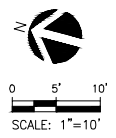
- TC1-STABILIZED CONSTRUCTION ENTRANCE/EXIT
TC2-STABILIZED CONSTRUCTION ROADWAY
TC3-ENTRANCE/OUTLET TIRE WASH



NOTES:

- 1. BAG MATERIAL: BAGS SHOULD BE WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC, MINIMUM UNIT WEIGHT OF 4 OUNCES/YD², MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
2. BAG SIZE: EACH GRAVEL-FILLED BAG SHOULD HAVE A LENGTH OF 18 IN., WIDTH OF 12 IN., THICKNESS OF 3 IN., AND MASS OF APPROXIMATELY 33 LBS. BAG DIMENSIONS ARE NOMINAL, AND MAY VARY BASED ON LOCALLY AVAILABLE MATERIALS.
3. FILL MATERIAL: FILL MATERIAL SHALL BE 0.5 TO 1.0 INCH CRUSHED ROCK, CLEAN AND FREE OF CLAY, ORGANIC MATTER, AND OTHER DELETERIOUS MATERIAL, OR OTHER SUITABLE OPEN-GRADED, NON-COHESIVE, POROUS GRAVEL.
4. TURN THE ENDS OF GRAVEL BAG BARRIER UP SLOPE TO PREVENT RUNOFF FROM GOING AROUND BARRIER.
5. USE PYRAMID APPROACH WHEN STACKING BAGS.

1 GRAVEL BAG BARRIER C1.00 N.T.S.



NOTES:

- 1. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC ROADS. DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS INTO THE STORM DRAIN SYSTEM.
2. STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT ANY POINT WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE OR FROM A PUBLIC RIGHT OF WAY, STREET, ALLEY, AND SIDEWALK OR PARKING AREA.
3. IF A WASH RACK IS INCLUDED, A SEDIMENT TRAP OF SOME KIND MUST ALSO BE PROVIDED TO COLLECT WASH WATER RUNOFF.
4. ALL VEHICLES ACCESSING THE CONSTRUCTION SITE SHALL UTILIZE THE STABILIZED CONSTRUCTION ENTRANCE.

1 STABILIZED CONSTRUCTION ENTRANCE C1.00 N.T.S.



LEGEND

- PROPERTY LINE
- ▬ BASEMENT WALL

CONSTRUCTION NOTES

D1 FOUNDATION DRAIN PER DETAIL 1, SHOWN HEREON.

NOTES

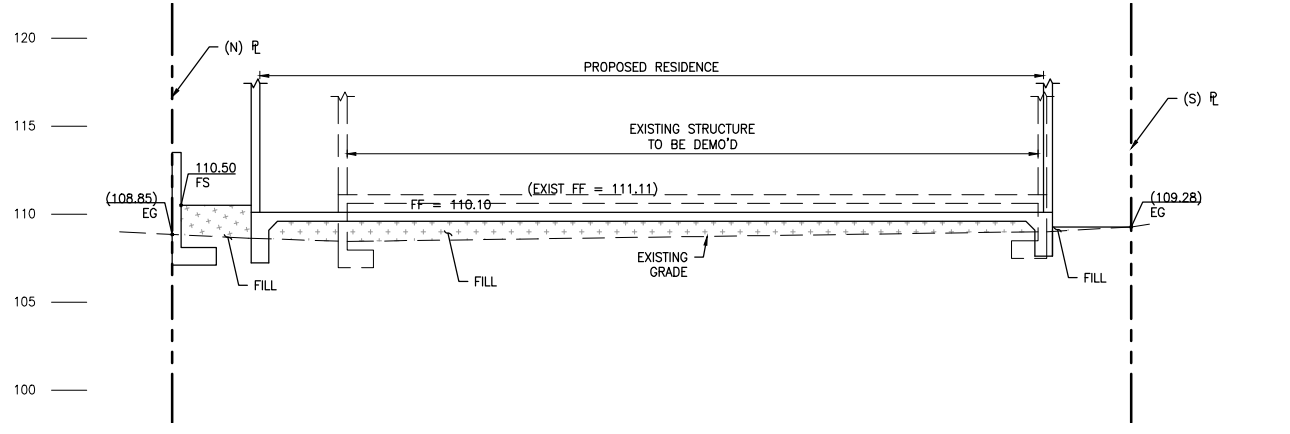
1. SEE SLAB PLAN FOR SLAB SLOPES AND ELEVATIONS. SLAB ELEVATIONS AND SLOPES NOTED FOR REFERENCE ONLY HEREON.
2. REMOVAL AND RECOMPACTION SHALL BE PERFORMED TO THE RECOMMENDATIONS NOTED IN THE PROJECT GEOTECHNICAL REPORT.
3. ROUGH GRADE ASSUMES PAD IS 9" BELOW FINISH FLOOR (5" SLAB, + 4" BASE). SEE ARCHITECTURAL PLANS AND STRUCTURAL PLANS FOR FINAL SLAB ELEVATIONS AND FOUNDATION DETAILS.

ESTIMATED EARTHWORK QUANTITIES

CUT:	7 CUBIC YARDS
FILL:	307 CUBIC YARDS
NET (CUT/EXPORT):	300 CUBIC YARDS (FILL)
(REMOVAL & RECOMPACTION)	200 CUBIC YARDS

EARTHWORK CALCULATION NOTES:

1. THE ESTIMATED QUANTITIES PROVIDED ABOVE ARE TO BE USED FOR JURISDICTIONAL PLAN CHECKING AND PERMITTING PURPOSES ONLY.
2. ESTIMATED EARTHWORK ABOVE IS BASED ON DESIGN FINISH GRADES TO EXISTING GRADES AND/OR CONTOURS AS PROVIDED ON THE BASE SURVEY. THE ESTIMATED EARTHWORK DOES NOT ACCOUNT FOR THE THICKNESS OF PAVEMENTS, FOUNDATIONS AND SLABS ON GRADE, FOOTINGS, CLEARING AND GRUBBING, OVER EXCAVATION AND RECOMPACTION, AND CONSTRUCTION MEANS AND METHODS.
3. THE ESTIMATED EARTHWORK QUANTITIES DO NOT INCLUDE SHRINKAGE AND/OR EXPANSION FACTORS DUE TO COMPACTION OR OVER EXCAVATION QUANTITIES.
4. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES NECESSARY FOR HIS BID AND WORK.
5. ESTIMATED EARTHWORK QUANTITIES ABOVE ASSUME THAT ALL ONSITE MATERIALS ARE SUITABLE FOR BACKFILLING. HOWEVER, ACTUAL EXISTING ONSITE MATERIALS AND IMPORTED MATERIALS MUST FIRST BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION, REMOVAL, REPLACEMENT.



A SECTION A
1"=5'

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

GN23-102

ARCHITECT

**GILCHRIST
ARCHITECTURE
CO**

PROFESSIONAL SEAL
GRAHAM GILCHRIST LICENSE NO. C 36842

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SHEET ISSUES	
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NO.	REVISION DESCRIPTION	MM.DD.YYYY

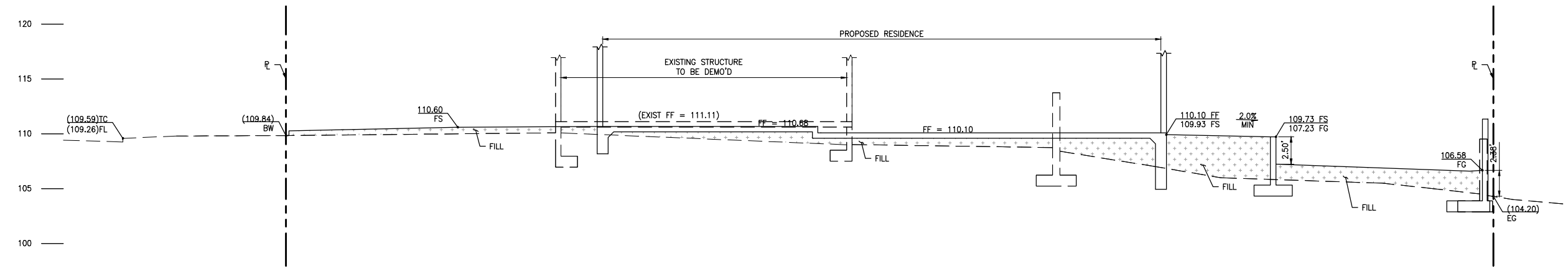
SHEET DATE: **05.16.24**

SHEET TITLE

ROUGH GRADING PLAN

SHEET NO.

C3.00



B SECTION B
C3.01 1"=5'

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

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SHEET DATE **05.16.24**

SHEET TITLE

**ROUGH GRADING
SECTIONS**

SHEET NO.

C3.01



LEGEND

- LANDSCAPE AREA BY OTHERS
- SITE CONCRETE
- VEHICULAR CONCRETE PAVEMENT
- RETAINING WALL
- PROPERTY LINE
- GRADE BREAK
- RIDGE LINE
- FLOW LINE
- CATCH BASIN
- AREA DRAIN

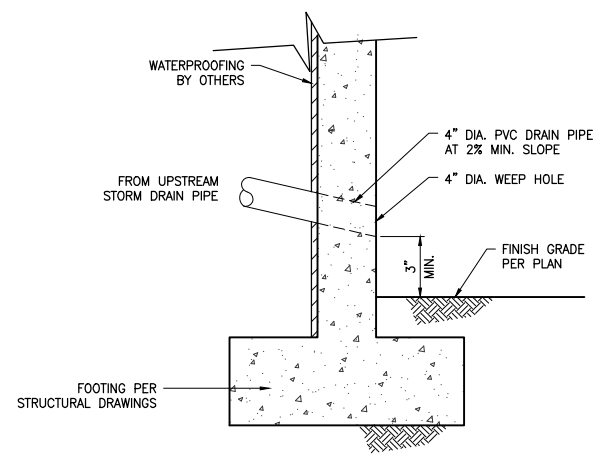
DRAINAGE NOTES

- (SD1) INSTALL 4" PVC STORM DRAIN PIPE. (MIN SLOPE = 0.02)
- (SD2) INSTALL 4" PLANTER DRAIN.
- (SD3) INSTALL 4" AREA DRAIN.
- (SD4) INSTALL CURB OUTLET PER SAN DIEGO REGIONAL STD PLAN D-27.
- (SD5) INSTALL PENETRATION/WEEPHOLE IN PROPOSED RETAINING WALL PER DETAIL 1, HEREON.

NOTES

- 1. SEE SHEET C3.10 FOR SURFACE DRAINAGE, SLOPES, AND GRADES.
- 2. ROOF DRAINS SHALL DISCHARGE TO GRADE. SEE ARCHITECTURAL PLANS.

PROJECT SITE CHARACTERISTICS	
	QUANTITIES
TOTAL PARCEL AREA (S.F.)	5,991
PROPOSED BUILDING AREA (S.F.)	2,155
PROPOSED HARDSCAPE AREA (S.F.)	816
TOTAL IMPERVIOUS AREA (S.F.)	2,971
IMPERVIOUS %	50%
LANDSCAPE AREA (S.F.)	2,773
PERMEABLE PAVER AREA (S.F.)	247
TOTAL PERVIOUS AREA (S.F.)	3,020
85TH PERCENTILE STORM DEPTH (IN)	0.52"



NOTES:

- 1. FOUNDATION WALL DRAINAGE SHALL ADHERE TO THE LATEST BUILDING ADMINISTRATIVE CODES.

1 WALL PENETRATION/ WEEPHOLE DETAIL
C4.00 N.T.S.

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

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ARCHITECT

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NO.	REVISION DESCRIPTION	MM.DD.YYYY

SHEET DATE: **05.16.24**

SHEET TITLE

DRAINAGE PLAN

SHEET NO.

C4.00

MOSS FAMILY

PROJECT NAME

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NO.	REVISION DESCRIPTION	MM.DD.YYYY
01	100% SCHEMATIC DESIGN	06.30.2023
02	100% ENTITLEMENT DOCUMENTS	03.01.2024
03	REVISION #1	05.29.2024

SHEET REVISIONS

NO.	REVISION DESCRIPTION	MM.DD.YYYY

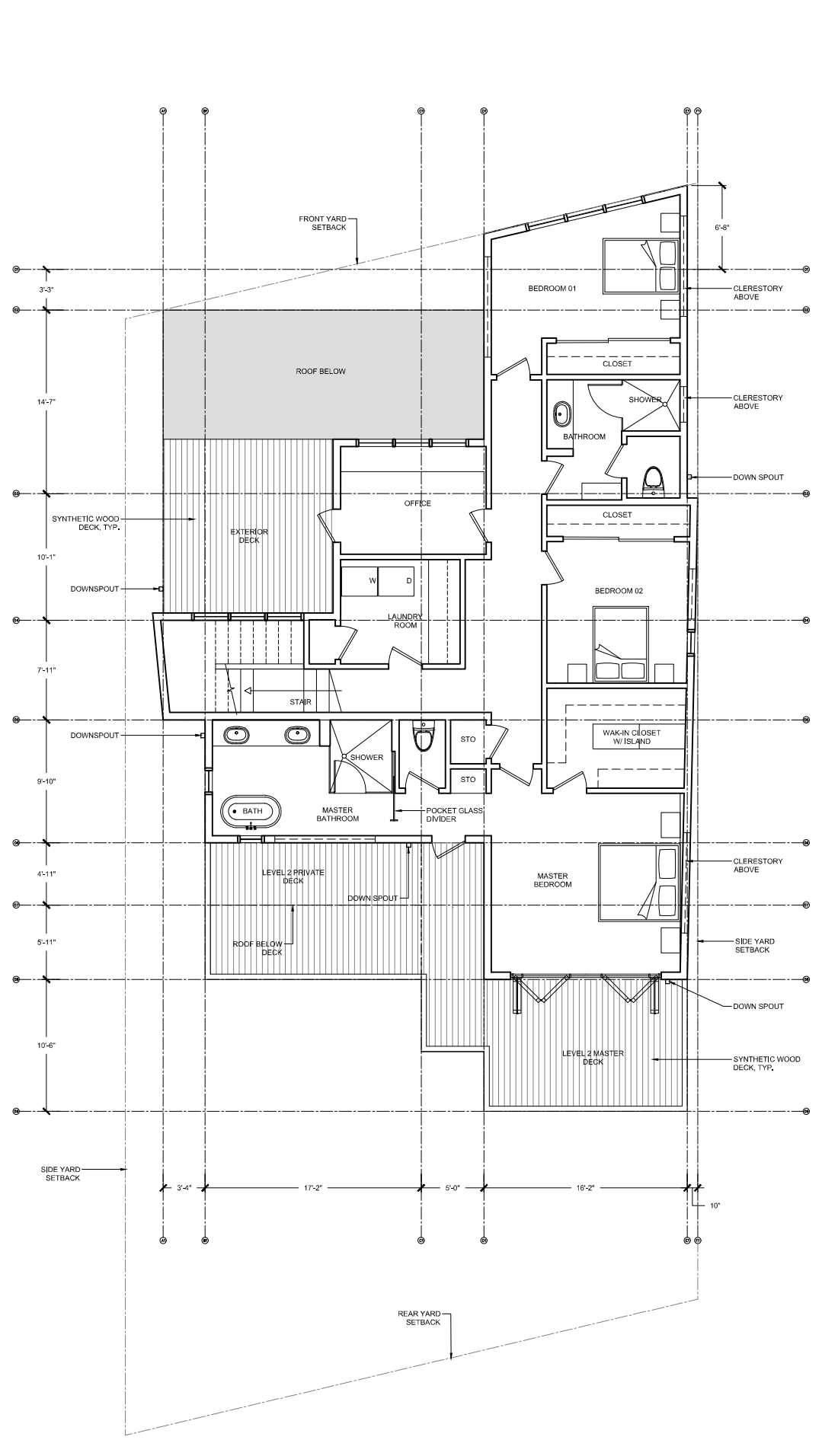
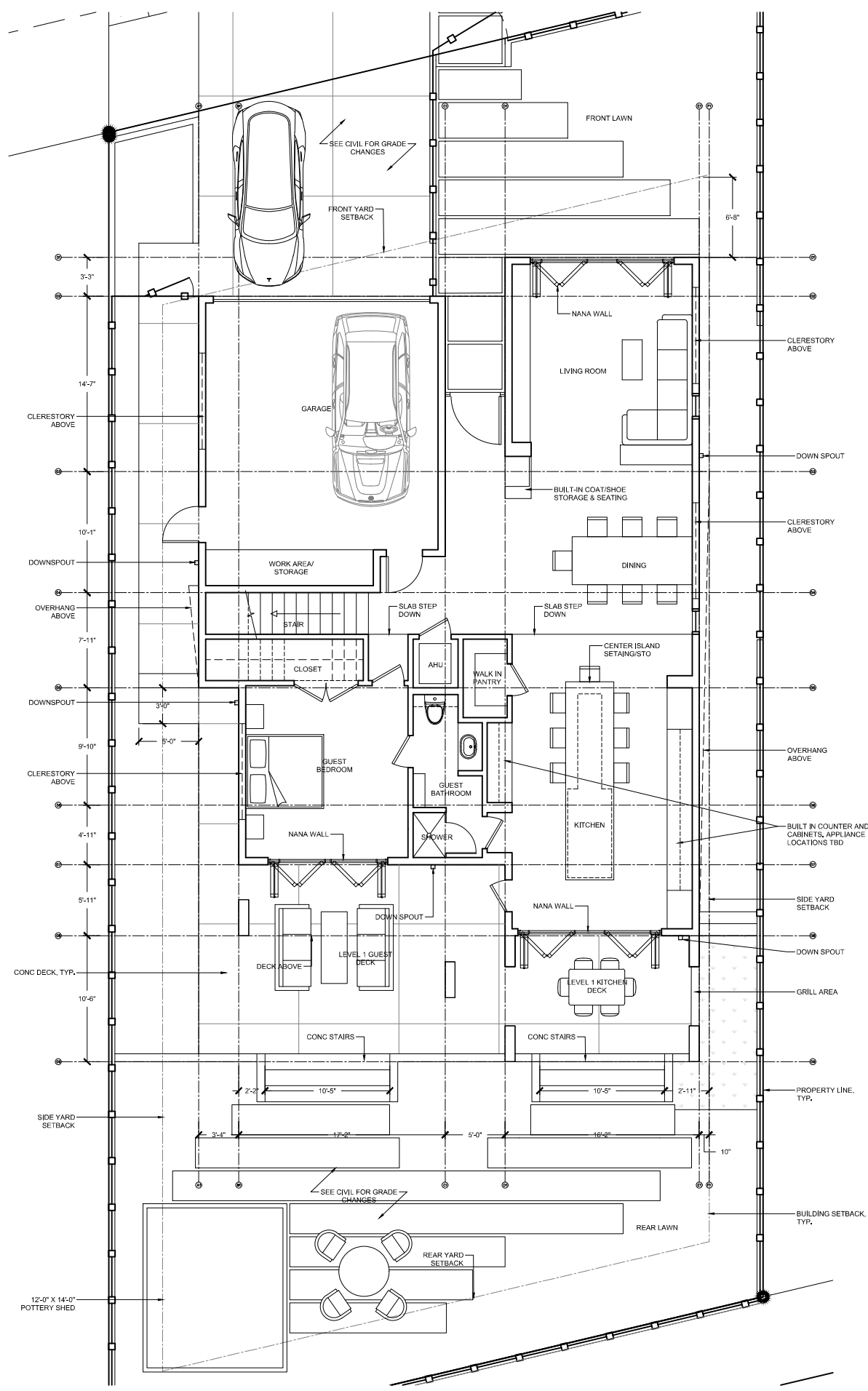
SHEET DATE 03.01.2024

SHEET TITLE

FLOOR PLANS

SHEET NO.

A2.03



MOSS FAMILY

PROJECT NAME

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LA JOLLA, CA 92037

CFMO STAMP

OWNER PROJECT NO.:

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01	100% SCHEMATIC DESIGN	06.30.2023
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03	REVISION #1	05.29.2024

SHEET REVISIONS

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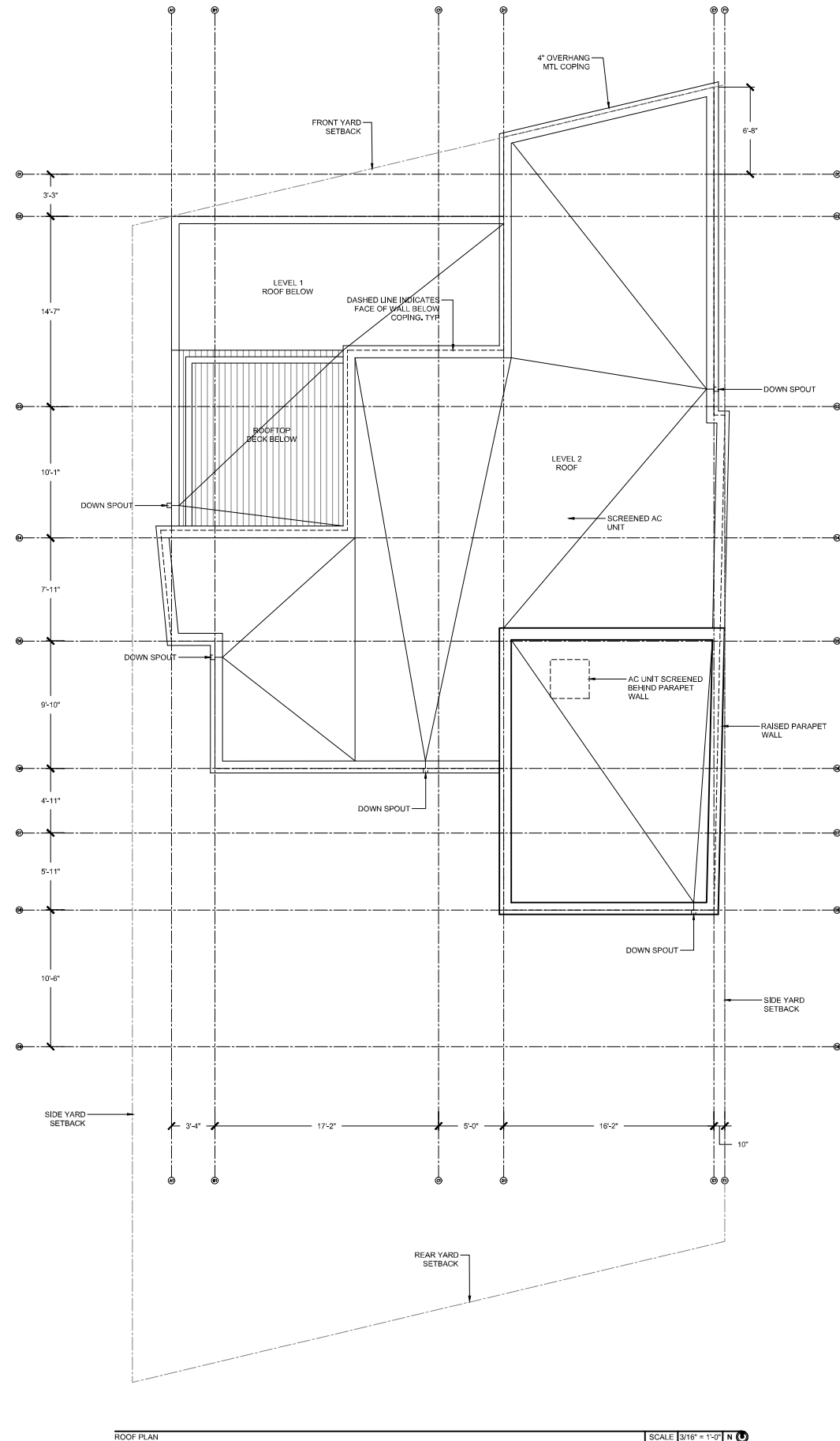
SHEET DATE **03.01.2024**

SHEET TITLE

ROOF PLAN

SHEET NO.

A2.05



ROOF PLAN

SCALE 3/16" = 1'-0" N

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

GN23-102

ARCHITECT

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		MM.DD.YYYY
01	100% SCHEMATIC DESIGN	06.30.2023
02	100% ENTITLEMENT DOCUMENTS	03.01.2024
03	REVISION #1	05.29.2024

SHEET REVISIONS

NO.	REVISION DESCRIPTION	MM.DD.YYYY

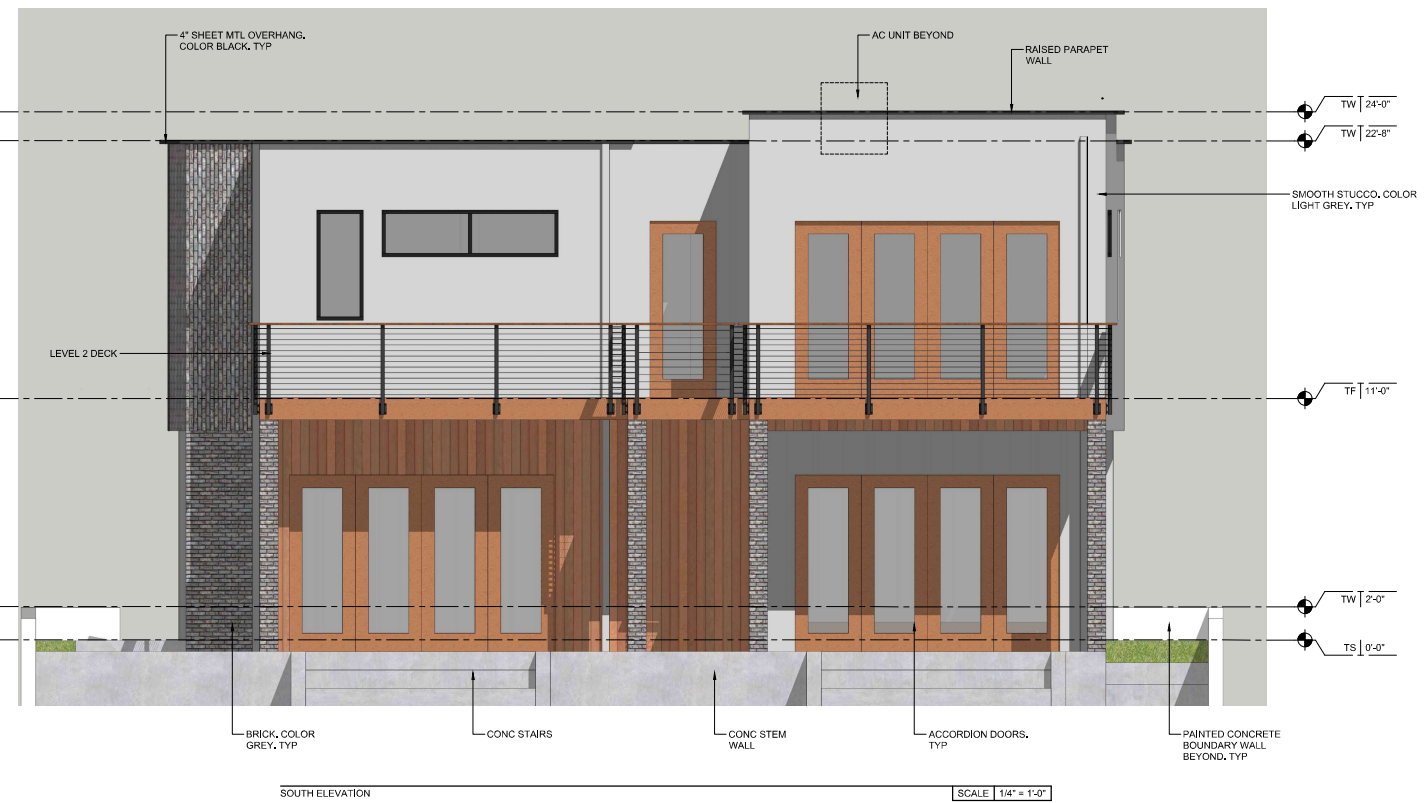
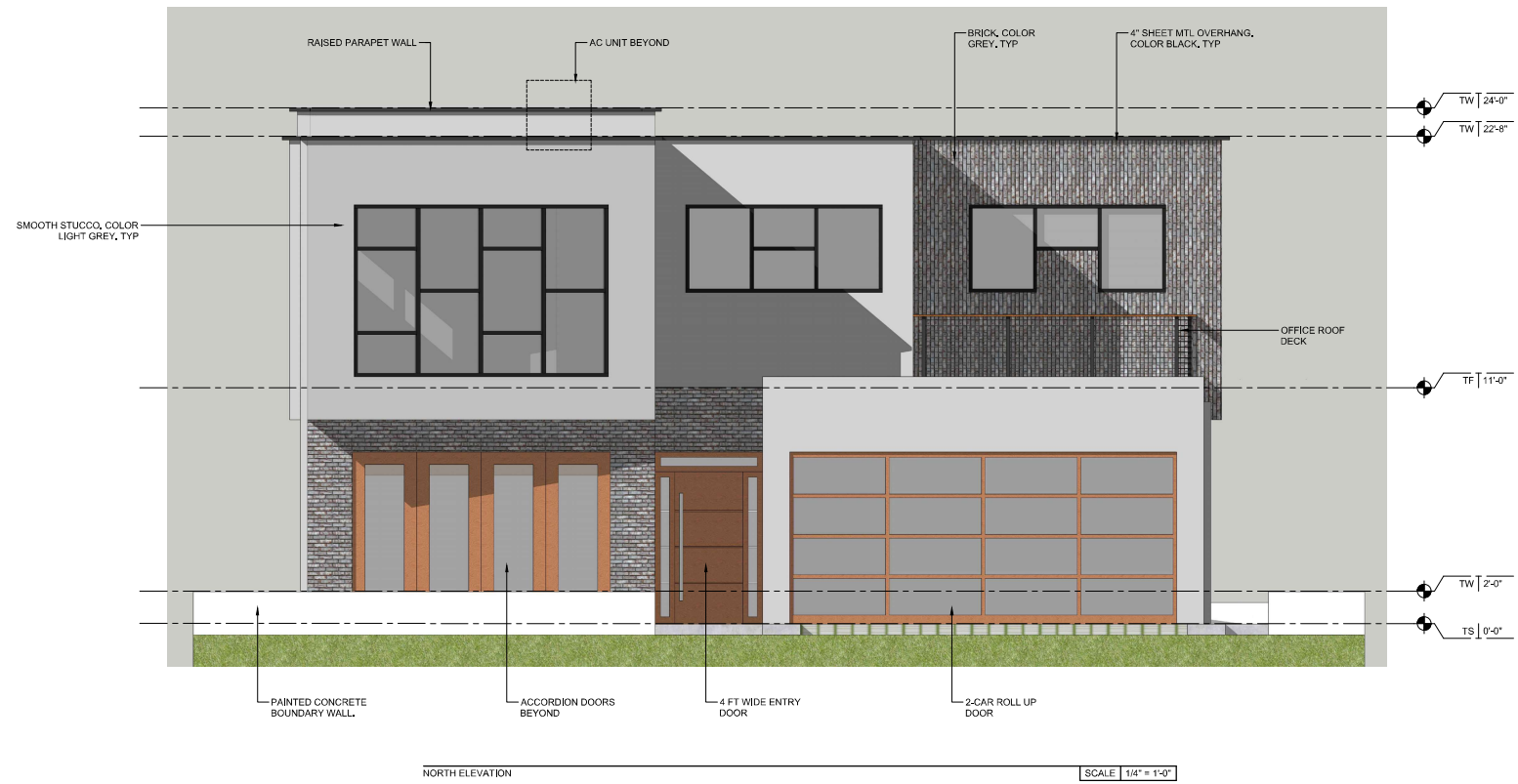
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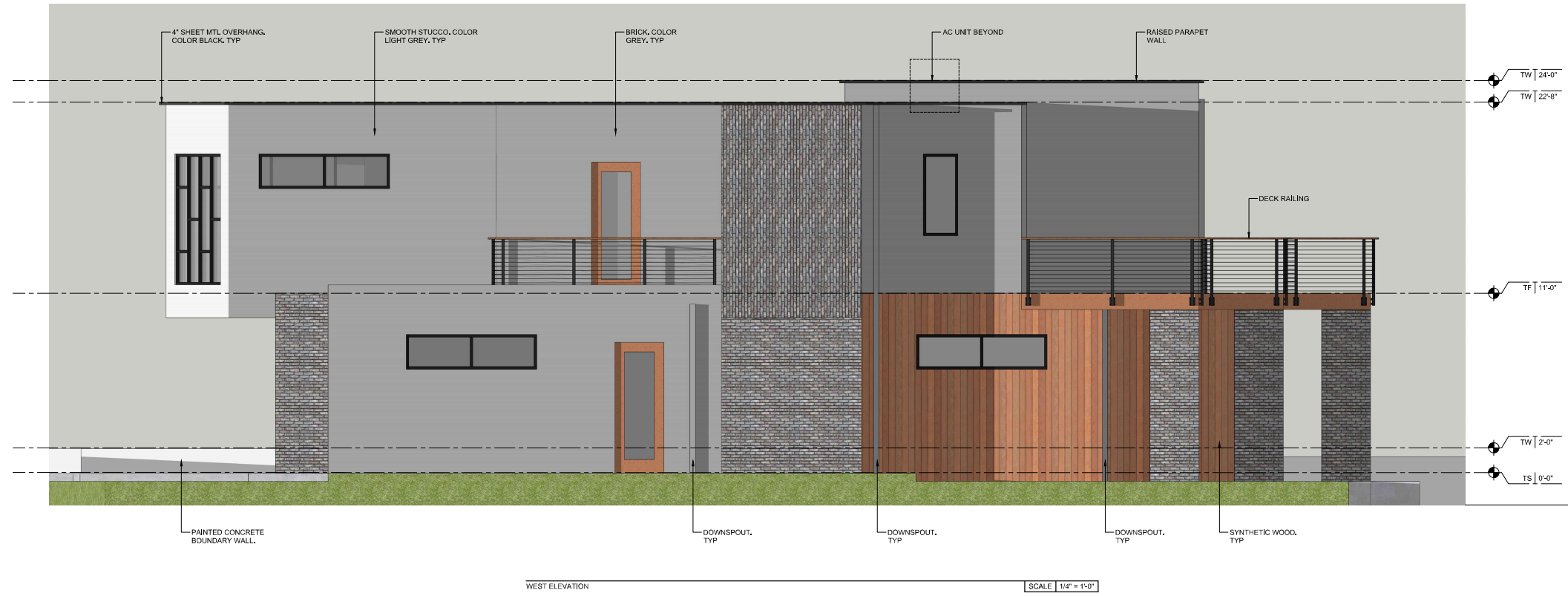
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BUILDING ELEVATIONS

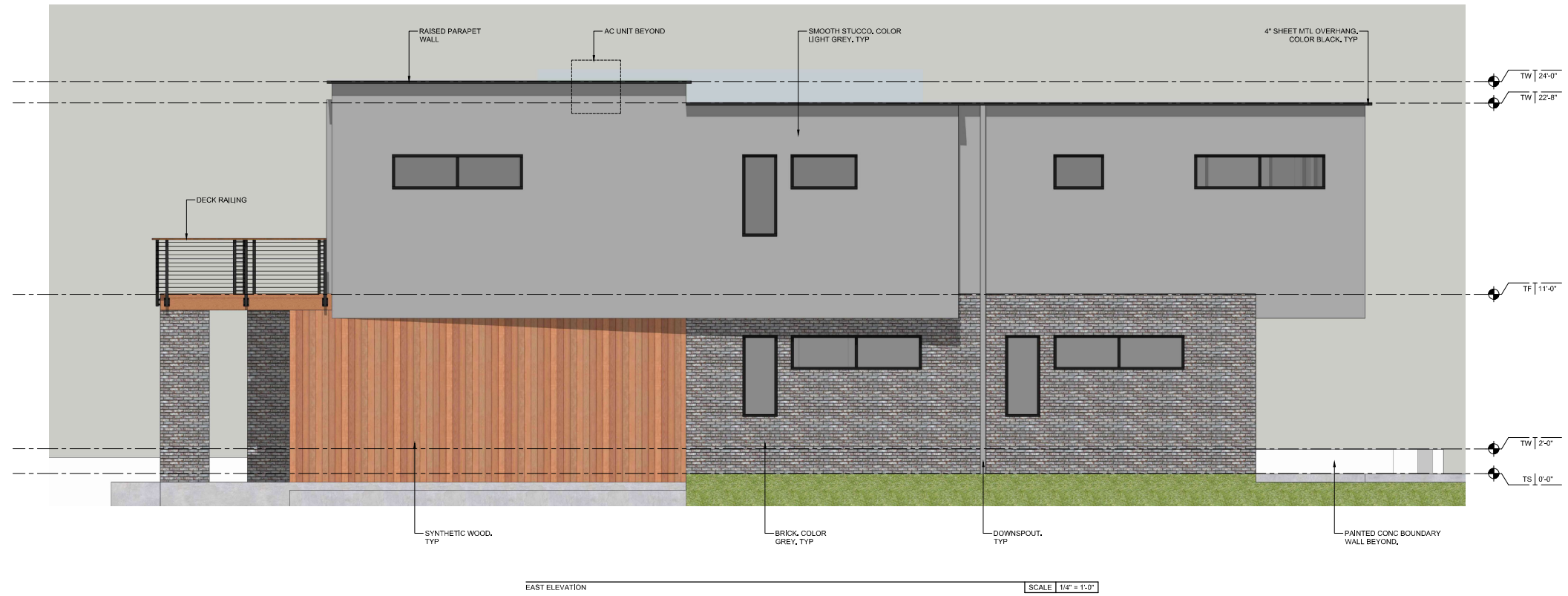
SHEET NO.

A3.01.1





WEST ELEVATION SCALE 1/4" = 1'-0"



EAST ELEVATION SCALE 1/4" = 1'-0"

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

GN23-102

ARCHITECT

**GILCHRIST
ARCHITECTURE
CO**

PROFESSIONAL SEAL
GRAHAM GILCHRIST LICENSE NO. C 36842



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CONSULTANTS

SHEET DRAWING

DRAWN BY:	GG
CHECKED BY:	GG

SHEET ISSUES

NO.	REVISION DESCRIPTION	M.M.DD.YYYY
01	100% SCHEMATIC DESIGN	06.30.2023
02	100% ENTITLEMENT DOCUMENTS	03.01.2024
03	REVISION #1	05.29.2024

SHEET REVISIONS

NO.	REVISION DESCRIPTION	M.M.DD.YYYY

SHEET DATE **03.01.2024**

SHEET TITLE

BUILDING ELEVATIONS

SHEET NO.

A3.01.2

OWNER

MOSS FAMILY

PROJECT NAME

**5666 BEAUMONT AVE,
LA JOLLA, CA 92037**

CFMO STAMP

OWNER PROJECT NO.:

ARCHITECT PROJECT NO.:

GN23-102

ARCHITECT

**GILCHRIST
ARCHITECTURE
CO**

PROFESSIONAL SEAL
GRAHAM GILCHRIST LICENSE NO. C 36642



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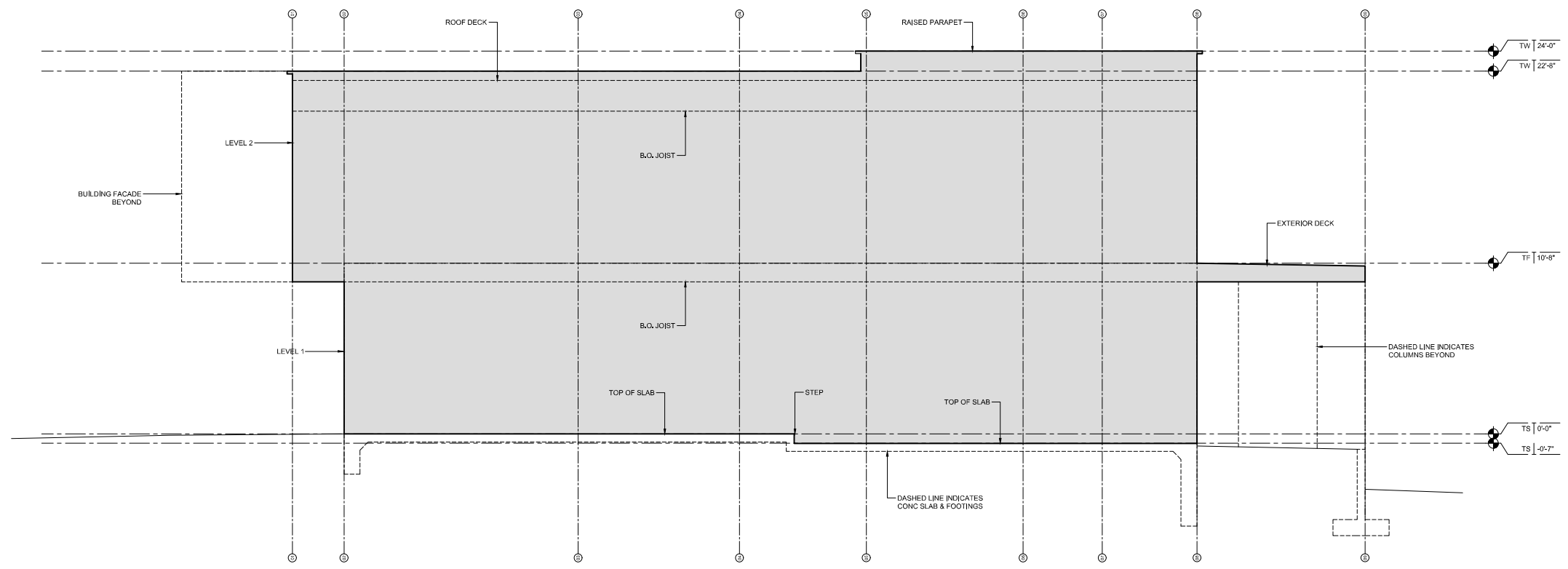
NO.	REVISION DESCRIPTION	MM.DD.YYYY

SHEET DATE

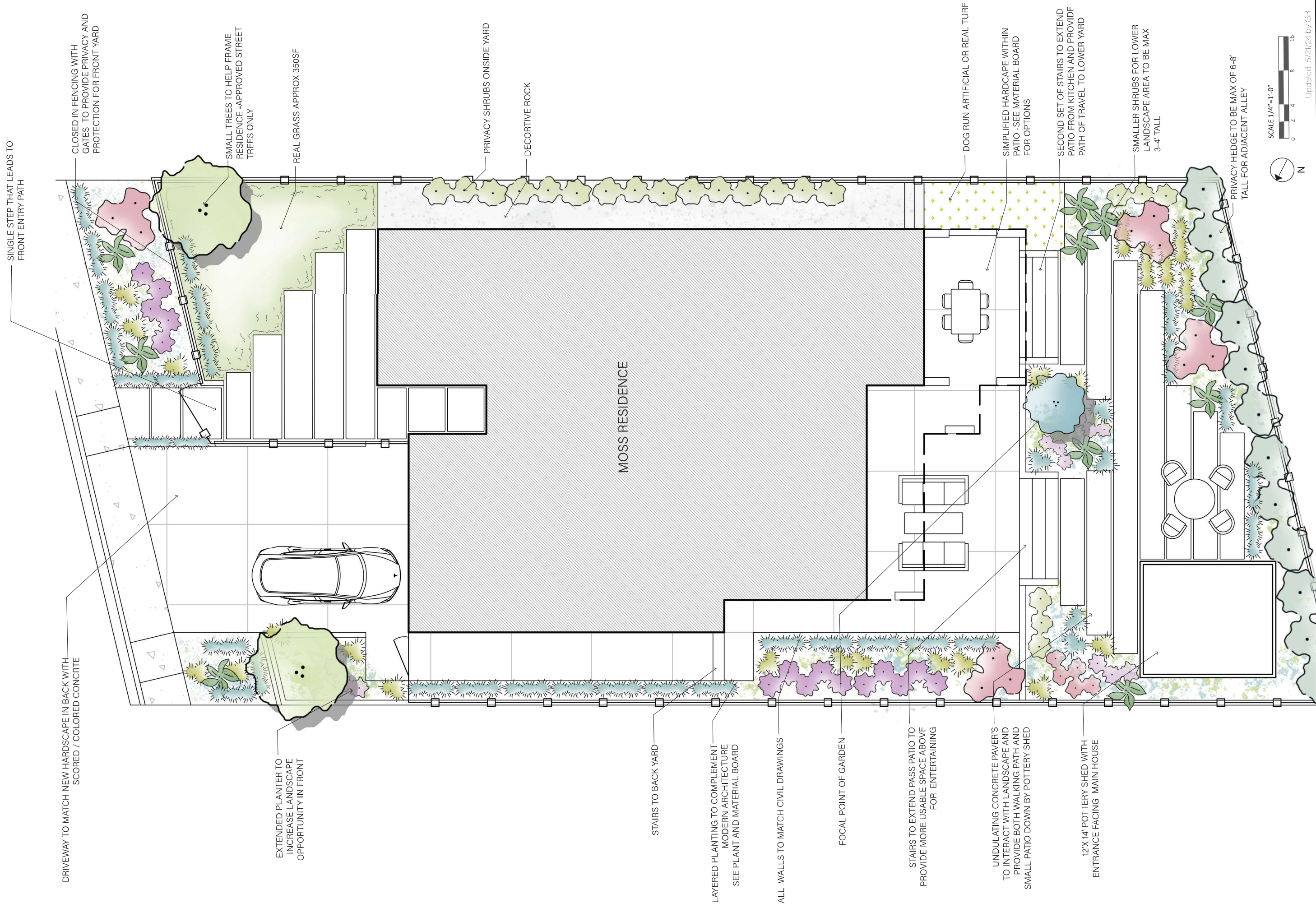
03.01.2024

SHEET TITLE

SHEET NO.



BUILDING CROSS SECTION SCALE | 1/4" = 1'-0"



DRIVEWAY TO MATCH NEW HARDSCAPE IN BACK WITH SCORED / COLORED CONCRETE

SINGLE STEP THAT LEADS TO FRONT ENTRY PATH

CLOSED IN FENCING WITH GATES TO PROVIDE PRIVACY AND PROTECTION FOR FRONT YARD

SMALL TREES TO HELP FRAME RESIDENCE -APPROVED STREET TREES ONLY

EXTENDED PLANTER TO INCREASE LANDSCAPE OPPORTUNITY IN FRONT

REAL GRASS APPROX 350SF

PRIVACY SHRUBS ONSIDE YARD

DECORTIVE ROCK

MOSS RESIDENCE

STAIRS TO BACK YARD

LAYERED PLANTING TO COMPLEMENT MODERN ARCHITECTURE SEE PLANT AND MATERIAL BOARD

ALL WALLS TO MATCH CIVIL DRAWINGS

FOCAL POINT OF GARDEN

STAIRS TO EXTEND PASS PATIO TO PROVIDE MORE USABLE SPACE ABOVE FOR ENTERTAINING

UNDULATING CONCRETE PAVER'S TO INTERACT WITH LANDSCAPE AND PROVIDE BOTH WALKING PATH AND SMALL PATIO DOWN BY POTTERY SHED

12'X 14' POTTERY SHED WITH ENTRANCE FACING MAIN HOUSE

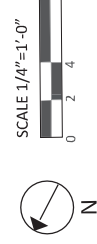
DOG RUN ARTIFICIAL OR REAL TURF

SIMPLIFIED HARDSCAPE WITHIN PATIO -SEE MATERIAL BOARD FOR OPTIONS

SECOND SET OF STAIRS TO EXTEND PATIO FROM KITCHEN AND PROVIDE PATH OF TRAVEL TO LOWER YARD

SMALLER SHRUBS FOR LOWER LANDSCAPE AREA TO BE MAX 3-4' TALL

PRIVACY HEDGE TO BE MAX OF 6-8' TALL FOR ADJACENT ALLEY



Updated 5/21/24 by GR



Nepeta / Catnip



Pittosporum tenuifolium / Silver Sheen



Arctostaphylos / Pacific Mist



Teucrium chamaedrys / Alba



Teucrium chamaedrys / Germander



Salvia allen chickering / Sage



Westringa fruticosa / Rosemary



Thymus serpyllum / Mother-of-Thyme



Euphorbia wulfenii / Mediterranean Spurge



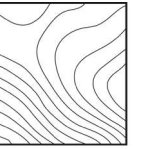
Agave Blue Flame / Agave BF



Lavandula / Provence French Lavender



Rosmarinus officinalis / Huntington Blue



Contour
Landscape Architecture

