

HOLT ADDRESS 3412 MONROE AVE

II

DESCRIPTION OF BUILDING

CLASS & SHAPE	CONSTRUCTION	STRUCTURAL	EXTERIOR	ROOF	LIGHTING	AIR CONDITION	ROOM AND FINISH DETAIL							
							ROOMS	FLOORS	FLOOR FINISH		TRIM	INTERIOR FINISH		
5.5 B D.S. 0+4	Light Sub-Standard	X Frame	X Stucco on	X Flat 4/4 Pitch	X Wiring	X Heating Forced	Cooling Clean'g	ROOMS	FLOORS	FLOOR FINISH		TRIM	INTERIOR FINISH	
ARCHITECTURE	X Standard	Sheathing	Siding "x"	Hip 4/4	B.X. Cable	Gravity	Humid.	All	Y	HWD	A	H	DL & DT	
1 Stories	Above-Standard	Concrete Block		Shed 4/4	Fixtures	Wall Unit								
TYPE	Special	B.&B. T.&G.		Cut Up	Few	Cheap		Ent. Hall						
Use Design	FOUNDATION	Brick	Shingle	Dormers	X Avg.	X Med.	X Floor Unit	DUAL	Living	1				
X Single	X Concrete	X Floor Joist:	Shake	Raft. "x"	Many	Special	Zone Unit		Dining AREA	1				
Double	Reinforced	1st: "x"	B.&B. T.&G.	Gutters			Central"		Bed	3				
Duplex	Brick	2nd: "x"	Brick	X TAR					Bed					
Apartment	Wood	Sub-Floor	Stone	Shingle	Pool	X Std.	Spec							
Flat-Court	Piers	Concrete Floor	WINDOWS	Shake			Oil Burner							
Motel			X D.H. X Casement	Tile	X Sink									
			Insulated Ceilings:	Tile Trim	X Laundry		M-B.T.U.							
/ Units	Light Heavy	Insulated Walls	Screens	Compo.;	X Water Htr. Auto.	X Fireplace		Kitchen	1	LINO				
				Compo. Shingle	Water-Softner			Drain Bd.		Material: T;	Lqth: 6'	Ft. Splash: 16"		

CONSTRUCTION RECORD				EFFEC. APPR. NORMAL % GOOD				RATING (E, G, A, F, P)						BATH DETAIL													
Permit		Amount	Date	YEAR	YEAR	Age	Remaining Life	Table	%	Cond.	Arch. Attr.	Func. Plan	Con-form	Storage Cupbd	Space Closet	Work-mshp	Fl. No.	FINISH		FIXTURES			SHOWER				
No.	For		EST															Floors	Walls	Wc. Lo.	Tub	Type	Grade	St. O.T.	G.D.	Finish	
BUILT			1928	1928	1962	30	27	R55	58	A+	A	A+	A	A	A	A	1/1	Tile	PL3PT	1/1		MGD	A		1/1	T.	
A07013	DEMOLISH G	EXISTING ONE	10-1-58		1967	39	25	R60	54																		
A07014	G	1,000	10-1-58	1928	1970	42	23	R60	50	A+	A-	-	A	-	-	A											
					1973	45	21	R60	47	G																	
					77	49	14	R60	43	G	A+	-	A-	-	-	A-											

SPECIAL FEATURES

Book Cases	Built in Rerriq.	X Venetian Blinds
Shutters	" " Oven & Plate	
Vent Fan	" " Dishwasher	

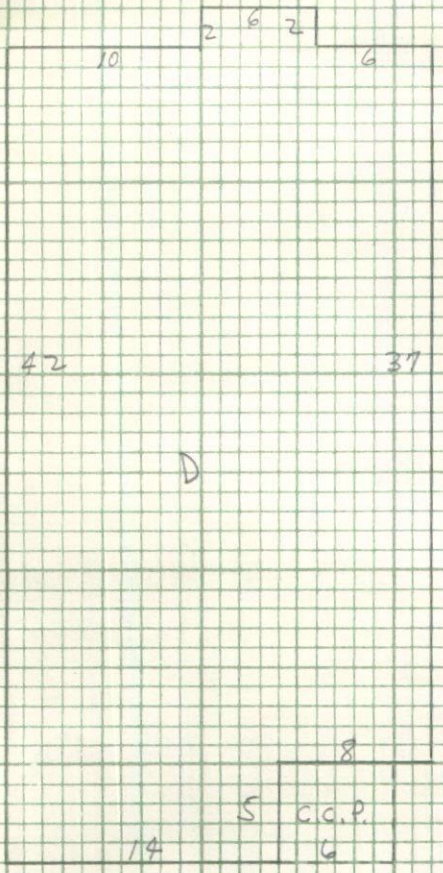
COMPUTATION

Appraiser & Date	Unit	Area	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost
4-7-61 R. WADE	D	896	8.30	7437	8.10	7258	7.90	8870	11.15	9990	18.50	16576				
	A.C.			140		140		140		150		220				
	C.C.P.	30	2.00	60		60		60		60	4.00	120				
	G	360	2.70	972	3.00	1080	3.60	1296	4.40	1584	6.50	2340				
	FLAT CONC.	400	.35	140		140		140	.50	200	.60	240				
	Yd. Imps.			110		110		110		110		200				
	F.P.			350		350		350		380		450				
	TOTAL			9209		9138		10966		12474		20146				
	NORMAL % GOOD			58		54		50		47		70				
	R.C.L.N.D			5341		4925		5483		5863		14102				
A-11 8-56																

MISCELLANEOUS STRUCTURES

Structure	Found.	Cons.	Ext.	Roof	Floor	Int.
5' SOLID BD FENCE					SOL.F.	@ 2.20

TYPE III
20 G
18



COMPUTATIONS

5 x 14	70	BF	820.
37 x 22	814	40 @ 3	120
2 x 6	12		<u>832</u>
	<u>896</u>		
		D 5.0 + 4	
		1967 137.	8.00
		40 @ .03	.12
			<u>8.12</u>

6 360/76

Remarks: (R) Rev 67 NE 1/11/67 *[Signature]*

MISCELLANEOUS STRUCTURES

Structure	Found	Cons.	Ext.	Roof	Floor	Int.
S. SOLID BRIDGE					SOLS	#200

TYPE III

20 G

23' G-CONVO

R

COMPUTATIONS

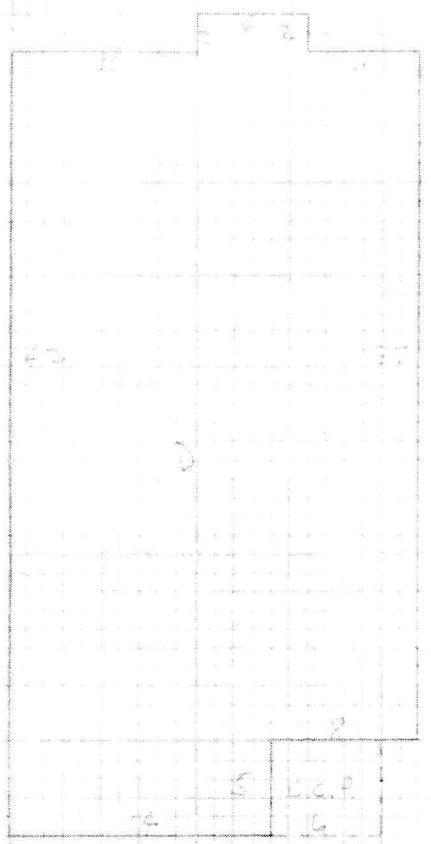
132

$5 \times 10 = 50$
 $5 \times 22 = 110$
 $2 \times 6 = 12$
172

AF 120.
 40 3
120
 132

630/70

Remarks: 1) Rev 67 NE 4/16/7
 2) Garage converted to ADU. to 04-06-23



LV UNIT # _____ MODEL _____

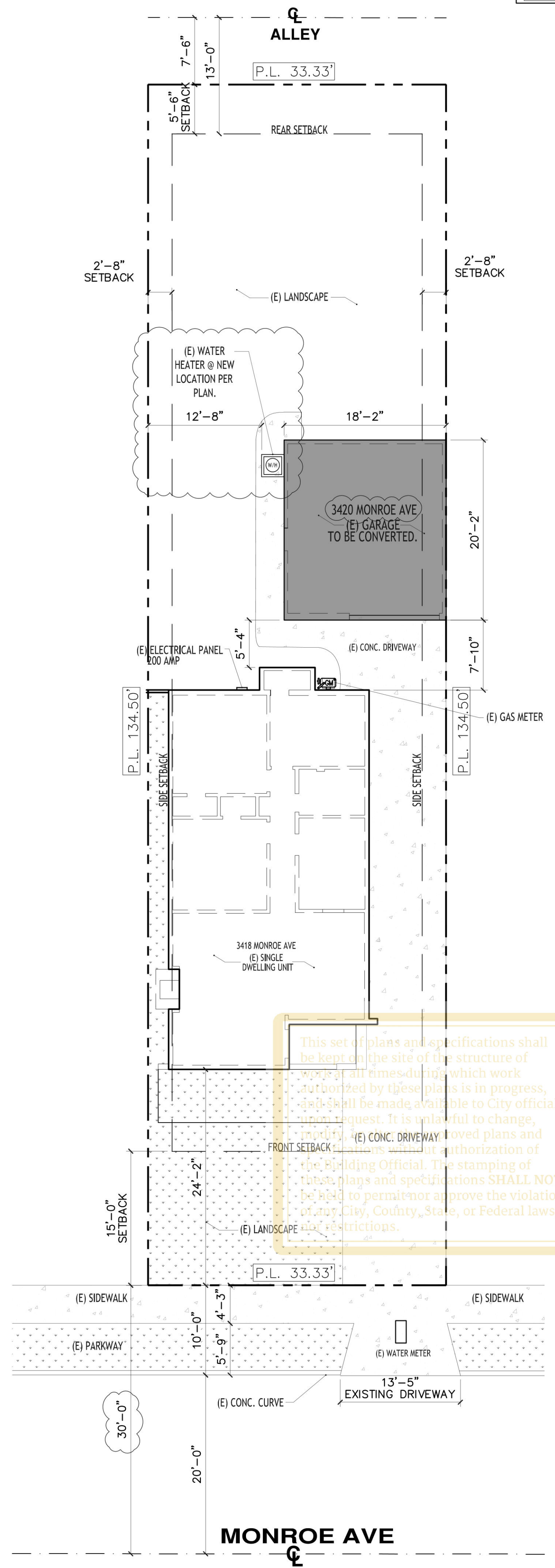
ADDRESS **3418-20 Monroe Ave**

PARCEL **447-010-16-00**

DESCRIPTION OF BUILDING																													
CLASS & SHAPE		CONSTRUCTION		STRUCTURAL		EXTERIOR		ROOF		HEATING		RATING (E,G,A,F,P)		ROOMS		FLOORS		FLOOR FINISH		INTERIOR FINISH									
D6.0		Light		X Frame		Stucco		Flat		1/4	Forced	A	Wiring		B	1	2	Material	Grade	Walls	Ceiling								
		Sub-Standard		Box		Truwood Siding		Gable		1/4	Wall	A	Elect Fix	All															
		X Standard		Conc Blk		Siding "X"		Hip		1/4	Floor	A	Plumbing	Entry															
		Above-Standard		Metal / Steel		Ply & Batts		Shed		1/4	Elect Rad		KITCH DETAILS	Living															
	Stories	Special		Adobe		Routed Ply		Encl Eaves			Thermo		Wood Cabs	Dining															
TYPE				Brick		Shingle		Dormers			Stove		Laminate Cabs	Work Shop															
USE	DESIGN	FOUNDATION		Slump Blk		Shake		Raft. "x" "				Oven & Plate		Bed															
Single		X Concrete		Floor Joist		B & B T & G		Gutters		Fireplace		Dishwasher		Bed															
Double		Conc Blk				Brick Stone		Sm Rk Lg Rk				Microwave		Bed															
Duplex		Brick						Shingle		COOLING		Break Bar		M/Bed															
Apartment		Wood				WINDOWS		Shake		Refrig Ton		Island		OFFICE															
Flat-Court		Piers		Concrete Floor		V S. French		Tile Ti Trim		Wall Unit		Pantry		Laundry															
X ADU						D H. X Casem't						Built-in Refrig		Game Rm															
				Insulated Ceil'gs		M S Lvr.		Compo.,		Heat Pump				Kitchen															
	Units	Light	Heavy	Insulated Walls		Slid Gl. Door		Compo Shingle						Drain Bd				Lgth		Ft Splash									
CONSTRUCTION RECORD				EFFEC. YEAR		APPR YEAR		NORMAL % GOOD				RATING (E,G,A,F,P)						BATH DETAIL											
Builder	Per No	For	Amount	Date	Year	Year	Age	Rem Life	Tbl	%	Cond	Arch Attr	Func Plan	Con-form	Storage Sp Cup'd	Work-manship	Ent. Dwel	FI	No	FINISH		FIXTURES			SHOWER				
2520519	ADU	42,511	8-18-21	2023	2023													1	3/4	TZ	DRY	1	1		1				
SPECIAL FEATURES																													
		Intercom Security		Wet Bar Fire Sprk		Central Vac X		Walk-in Closet		Excess Glass		Dressing Area		PULLMANS		NO		LGTH		FIN									
DATE OF COMPLETION				2023 FMH		F03-15-23																							
Appraiser & Date				Ap 04-06-23		Ap 8-17-23																							
Unit	Area	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	Unit Cost	Cost	
G-Conv to ADU	305		PA 90.05	32,868																									
AC	365		lacks	6.40	2,336																								
Kitchen	1		finish	PA	10,000																								
Bath Add.	3/4		& detail	PA	9,400																								
TOTAL				UNP 30,000																									
NORMAL % GOOD						54,604																							
R C N L D.				Use 55,000		100%																							

ALL IDEAS, DESIGN ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF ENE-TE STUDIO AND WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF ENE-TE STUDIO.

NOTE: THE PROPERTY LINES HEREON WERE GENERATED FROM ASSESSORS PARCEL MAPS AND ARE INTENDED AS APPROXIMATE REPRESENTATIONS OF PROPERTY LINES FOR THIS PERMITTING PURPOSES ONLY.



1 PROPOSED SITE PLAN

SCALE: 1/8" = 1' - 0"

ABBREVIATIONS

(E)	EXISTING		
(N)	NEW-PROPOSED	H.B.	HOUSE BIB
ADJ.	ADJACENT	INS	INSULATION
ALUM.	ALUMINUM	INT.	INTERIOR
A.B.	ANCHOR BOLT	I.C.B.O.	INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS
AUTO	AUTOMATIC	INV.	INVERTED ELEVATION
B.S.	BASE OF SLOPE		
B.W.	BASE OF WALL		
BATH	BATHROOM	JAC	JACUZZI
BM	BEAM	JST	JOIST
BRG.	BEARING	KIT	KITCHEN
BDRM.	BEDROOM		
BLK.	BLOCKING		
B.D.	BOARD		
BTU	BRITISH THERMAL UNIT	LAV	LAVATORY
BLDG.	BUILDING	LF	LINEAR FEET
B.N.	BOUNDARY NAIL	LOC	LOCATION
		LUM CLG.	LUMINOUS CEILING
		LB.	POUND
CA	CASEMENT	M.B.	MACHINE BOLT
CAB	CABINET	MFR	MANUFACTURER
C.I.	CASTIRON	MATL	MATERIAL
CLG.	CEILING	MAX	MAXIMUM
C.J.	CEILING JOIST	M.C.	MEDICINE CABINET
CL	CENTER LINE	MTL	METAL
C.O.	CLEAN OUT	MTR.	METER
CLR	CLEAR	MIN	MINIMUM
COL.	COLUMN	N.I.C.	NOT IN CONTRACT
COMP.	COMPOSITION	NTS	NOT TO SCALE
CONC.	CONCRETE	No.	NUMBER
CONT.	CONTINUOUS		
CNTR.	CONTROL		
CNTR.	COUNTER		
CJ.FT.	CUBIC FEET		
CJ. IN.	CUBIC INCHES	O/	OVER
CJ. YA.	CUBIC YARD	O.C.	ON CENTER
DET	DETAIL	O	DIAMETER
DEMO	DEMOLITION		
DR.	DOOR	PNL	PANEL
DBL.	DOUBLE	P.C.	PHOTO CELL
D.H.	DOUBLE HUNG	PLYWD	PLYWOOD
D.F.	DOUBLE FIR.	PRE-FAB	PRE-FABRICATED
DN.	DOWN	P.T.D.F.	PRESSURE TREATED DOUGLAS FIR
DS	DOWN SPOUT	PL	PROPERTY LINE
D	PENNY (NAILS)		
		RR	ROOF RAFTER
EA	EACH		
E.N.	EDGE NAIL		
ELEV	ELEVATION	SEC	SECTION
EQ.	EQUAL	SERV	SERVICE
EXT.	EXTERIOR	S	SEWER
		SHTG	SHEATING
		SHT	SHEET
F.N.	FIELD NAIL	SHT	SHEET
F.N.	FINISH NAIL	SHM	SIMILAR
FIN	FINISH	S.C.	SOLID CORE
F.D.	FIRE DAMPER	STR.	STRUCTURAL
FJ	FLOOR JOIST	S.H.	SINGLE HUNG
FP	FIRE PLACE	SL	SLIDER
FX	FIXED	SPECS	SPECIFICATIONS
FLSH	FLASHING	SQ. FT.	SQUARE FEET
FLR	FLOOR	STL	STEEL
FLR DR	FLOOR DRAIN	S4S	SURFACE FOUR SIDES
FL. BM.	FLUSH BEAM		
F.A.U.	FORCE AREA UNIT	TAB	TABULATION
FOUND	FOUNDATION	TEMP	TEMPERED, TEMPERATURE
		T&G	TOGGLE AND GROOVE
G.I.	GALVANIZED IRON	T&B	TOP AND BOTTOM
GAR.	GARAGE	TOC	TOP OF CURB
G	GAS	T.S.	TOP OF SLOPE
GA	GAUGE	T.B.	TOP OF WALL
GLU-LAM	GLUED LAMINATED	TYP.	TYPICAL
ORD	OROUND		
G.F.I.	GRUND FAULT INTERRUPTOR	U.B.C.	UNIFORM BUILDING CODE
		U.N.O.	UNLESS NOTED OTHERWISE
GYP.	GYP.		
GYP. BD.	GYP.	V.T.R.	VENT TROUGHROOF
		V.T.W.	VENT TROUGHWALL
HORZ.	HORIZONTAL	VERT.	VERTICAL
HDR	HEADER		
HD.	HOLDOWN	W.C.	WATER CLOSET
H.C.	HOLLOW CORE	W.M.	WATER METER

GENERAL NOTES

- DO NOT SCALE DRAWINGS. NOTIFY OWNER / DESIGNER IMMEDIATELY OF ANY DISCREPANCIES.
- ALL INDICATED DIMENSIONS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATE PURPOSES ONLY. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES, REQUIRED CLEARANCES AND SHALL ASSUME FULL RESPONSIBILITY FOR THE FITTING OF ALL EQUIPMENT AND MATERIALS HEREIN REQUIRED TO OTHER PARTS OF THE WORK AND TO THE WORK OF OTHER TRADES.
- IT IS THE INTENT OF PROJECT DOCUMENTS INCLUDING DRAWINGS AND SPECIFICATIONS, THAT A COMPLETE AND WORKABLE INSTALLATION BE PROVIDED. TO THIS END, THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, SUPERVISION, TRANSPORTATION, WAREHOUSING, AND OTHER SERVICES REQUIRED TO COMPLETE THE WORK IN AN EFFICIENT AND TIMELY MANNER.
- ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER. DURING THIS PERIOD, ANY DEFECT FOUND IN MATERIAL OR WORKMANSHIP SHALL BE REPAIRED OR REPLACED TO OWNER'S SATISFACTION, AT THE CONTRACTOR'S EXPENSE.
- THESE DRAWINGS AND SPECIFICATIONS ARE DIVIDED INTO SECTIONS FOR CONVENIENCE ONLY. CONTRACTORS, SUB, AND MATERIAL SUPPLIERS SHALL REFER TO ALL RELEVANT SECTIONS IN BIDDING AND PERFORMING THEIR WORK AND SHALL BE RESPONSIBLE FOR ALL ASPECTS OF THE WORK REGARDLESS OF WHERE THE INFORMATION OCCURS.
- THE GENERAL CONTRACTOR AND SUBCONTRACTOR SHALL VISIT THE SITE OF VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS PRIOR TO STARTING CONSTRUCTION.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE SHOWN ON PLANS, SECTIONS AND DETAILS. DIMENSIONS ARE FACE TO FACE OF STUDS OR SLAB UNLESS NOTED OTHERWISE ON DRAWINGS.
- THE DESIGNER SHALL NOT BE RESPONSIBLE FOR ANY MATERIAL FAILURE NOR ANY DEVIATIONS MADE FROM THE CONSTRUCTION DOCUMENTS DURING OR AFTER CONSTRUCTION OF THE DESCRIBED RESIDENCE.
- ST. ADDRESS SHALL BE LOCATED ON BLDG EXTERIOR, VISIBLE FROM STREET NUMBERS SHALL BE MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/2"
- 5% MIN. SLOPE REQUIRED FOR DRAINAGE AWAY FROM BLDG, AND SITE NATURAL DRAINAGE SHALL NOT BE DIVERTED ONTO ADJACENT PROPERTY.
- ALL SPOTS ELEVATIONS ARE FOR REFERENCE ONLY. BUILDER SHALL FIELD VERIFY EXISTING ELEVATIONS AND JUST T.O.S. (TOP OF SLAB) ACCORDONLY.

MONROE INTERIOR ADU

3418 MONROE AVE, SAN DIEGO, CA 92116

PROJECT DATA

PROJECT OWNER : CHRISTOPHER LEVY
3418-3420 MONROE AVE
San Diego, CA 92116

PROJECT ADDRESS : 3418-3420 MONROE AVE
San Diego, CA 92116

ZONING: RS-1-7

EXISTING USE: 1-SINGLE FAMILY RESIDENCE

PROPOSED USE: 1-SINGLE FAMILY RESIDENCE

BUILDING TYPE: V-B

NUMBER OF STORIES: 1

LEGAL DESCRIPTION: BLK 66 LOT 13 W 33 1/3 FT MAP NO. 1048

ASSESSORS PARCEL: 447-010-16-00

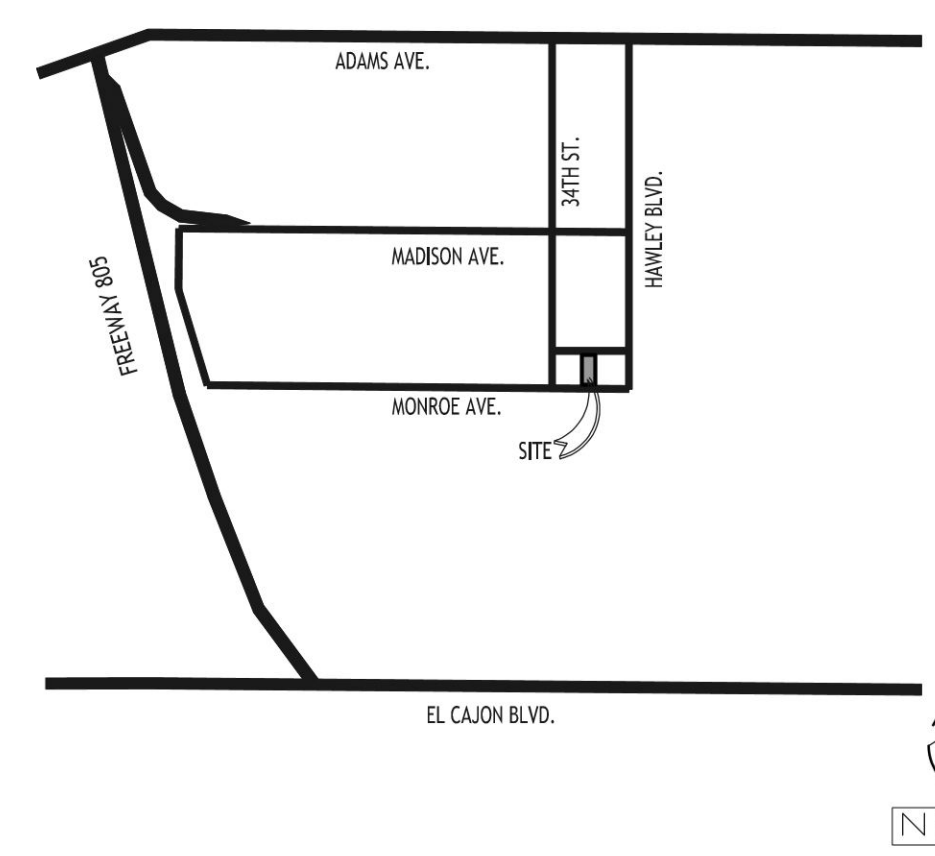
LOT AREA: = 0.10 acres = 4,483 SF

MAXIMUM PERMITTED F.A.R. .60 PER SDMC TABLE 131-04J

F.A.R. CALCULATION:
896 SF + 365 SF = 1,261 S.F. / LOT AREA = .28 PROPOSED F.A.R.
(E) RESIDENCE (N) ADU (GARAGE CONVERSION)

SEATBACKS:
FRONT: 15' FROM PROPERTY LINE
SIDE: 2.8' FROM PROPERTY LINE
REAR: 5' FROM PROPERTY LINE.

VICINITY MAP



SCOPE OF WORK

THE SCOPE OF WORK FOR THIS PROJECT CONSIST ON A GARAGE CONVERSION TO 365 SF ADU.

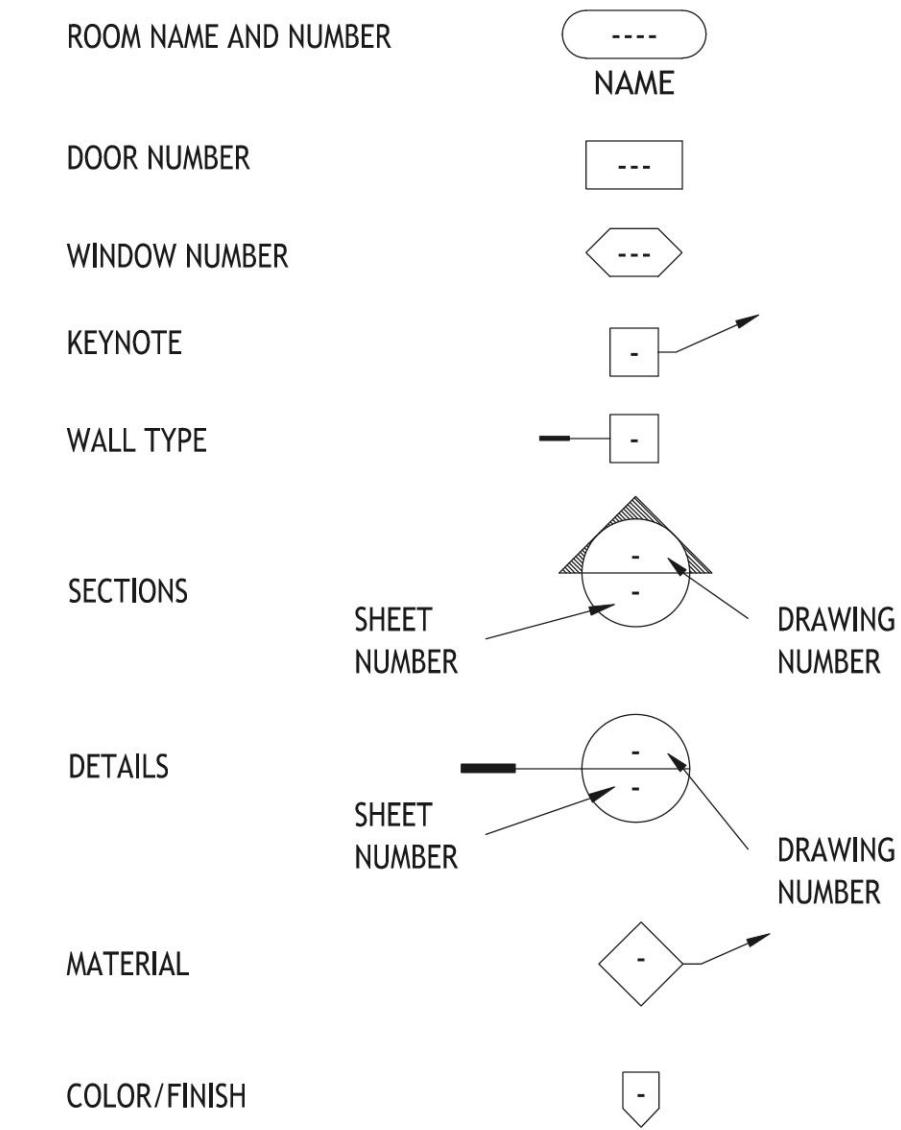
SHEET INDEX

TS	TITLE SHEET / PROPOSED SITE PLAN
GN	GENERAL NOTES
SW	STORM WATER FORM EXISTING AND PROPOSED FLOOR PLANS PROPOSED
A1.0	ELECTRICAL PLAN
E1.0	ARCH. DETAILS
AD.1	STRUCTURAL NOTES
S1	STRUCTURAL FLOOR PLANS
S2	T-24 REPORT
T-24	T-24 REPORT
T-24.1	T-24 REPORT

PROJECT TEAM

DESIGNER: DANIEL TAMES / AGUSTIN NAVARRO
ENE - TE STUDIO: 925 B STREET, SUITE 300
SAN DIEGO, CA 92101
CALL 619.760.44.22
CALL 619.888.75.02

SYMBOL LEGEND



ene-te studio
Agustin Navarro/Daniel Tames
Directors/Designers.
925 B STREET SUITE 300
SAN DIEGO, CA 92101
Cell: 619.760.4422
619.888.7502
Email: enetestudio@gmail.com

PROJECT: MONROE ADU
ADDRESS: 3418-3420 MONROE AVE, SAN DIEGO, CA 92116
DESIGNER: ENE-TE STUDIO

PHASE:

REVISIONS:	DATE:
1ST RECHECK REV	6/1/21

TITLE PAGE:
TITLE SHEET

SCALE: DATE:
09-10-19

SHEET NO.
TS
PTS-0684888

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WALL LEGEND

- WALLS TO BE REMOVED
DEMO INTERIOR WALLS NON-BEARING/NON SHEAR TO BE FIELD VERIFY.
- EXISTING 2x4 WALLS TO REMAIN
- NON-BEARING 2 x 4 STUDS @ 16" ALL EXTERIOR WALLS U.N.O. & 2 x 4 STUDS @ PLUMBING WALLS
- NON-BEARING 2x WOOD FRAMING INFILL AT EXTERIOR DOOR/WINDOW
- EXISTING 1 HR RATED WALL PER DET. 6/AD.1
- 110 VOLT SMOKE ALARM; INTERCONNECTED AND HARD-WIRED W/ BATTERY BACK-UP
- 140 CARBON MONOXIDE ALARM REQUIRED PER SECTION R315.2

INSULATION

WALL: R-15 BATT INSULATION
 FLOOR: R-N/A BATT INSULATION
 CEILING: R-13 BATT INSULATION
 ROOF: R-30 BATT INSULATION
 NOTE: VERIFY T-24 REPORT SHEETS T-24 & T-24.1

ELEVATION KEY NOTES

- 1 (E) CEMENT PLASTER (STUCCO) TO REMAIN.
- 2 (E) ASPHALT SHINGLES TO REMAIN.
- 3 (E) WINDOW TO BE DEMO AND WALL INFILL. PROVIDE NEW STUCCO TO MATCH EXISTING.
- 4 (E) DOOR TO BE DEMO/REMOVED AND WALL INFILL PROVIDE NEW STUCCO TO MATCH EXISTING.
- 5 (N) WATER HEATER CLOSET.
- 6 (N) DOOR PER PLAN.
- 7 (E) GABLE END ATTIC VENTILATION TO REMAIN.
- 8 (N) WINDOW PER PLAN.

ROOF PLAN KEY NOTES

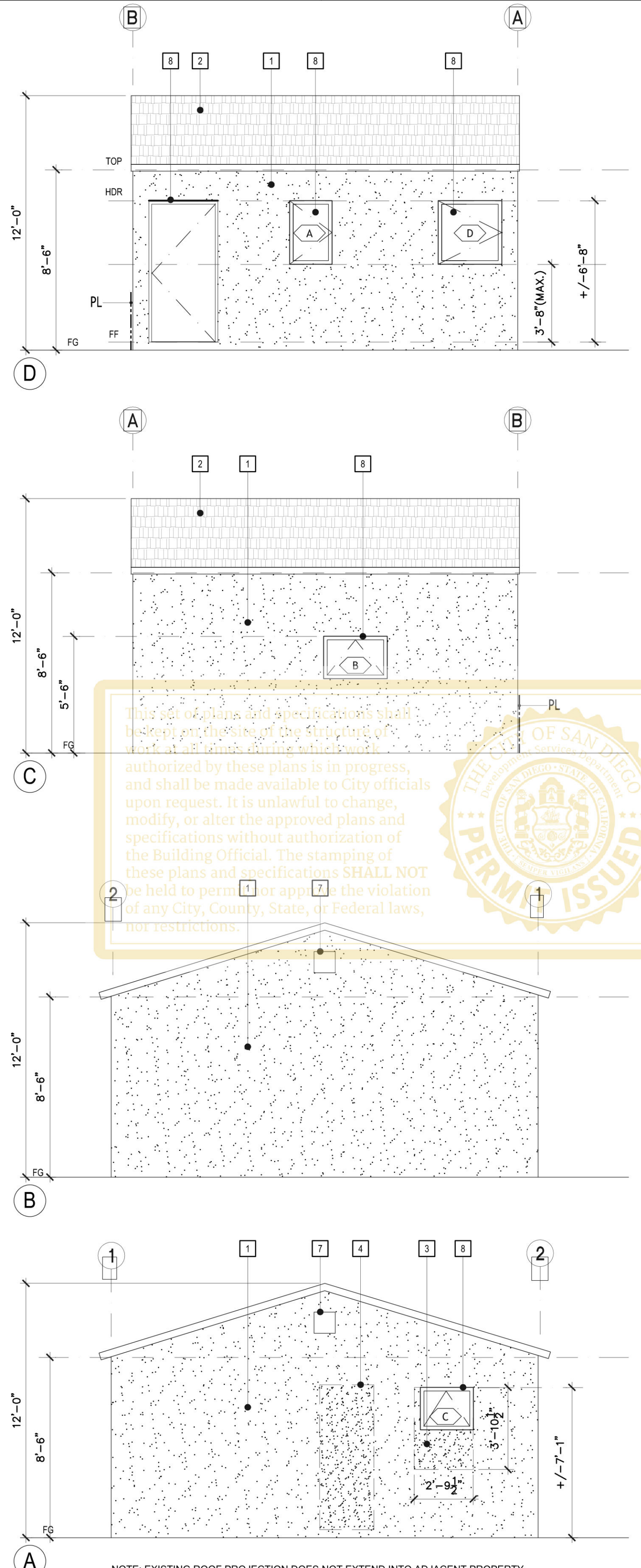
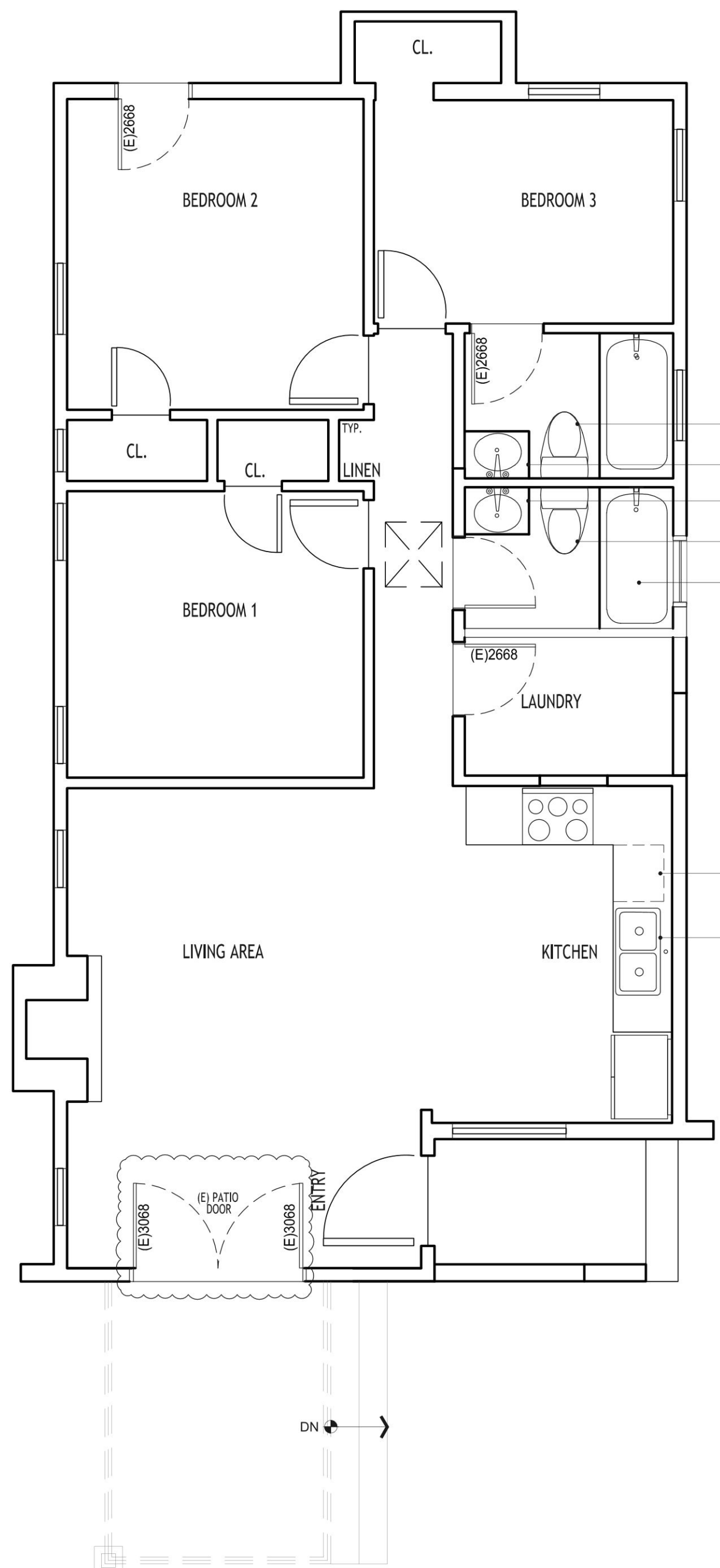
- A (E) ASPHALT SHINGLES TO REMAIN.
- B EDGE OF WALLS BELOW.
- C (N) WATER HEATER CLOSET.

FLOOR PLAN KEY NOTES

- 1 (E) REFRIGERATOR
- 2 (E) KITCHEN STOVE
- 3 (E) WATER CLOSET TO REMAIN.
- 4 (E) LAVATORY TO REMAIN.
- 5 (E) KITCHEN SINK TO REMAIN
- 6 (N) LAVATORY
- 7 (E) TUB/SHOWER COMBO TO REMAIN.
- 8 (E) DISHWASHER
- 9 (N) SHOWER
- 10 (N) WATER CLOSET
- 11 (E) WATER HEATER RELOCATED. PROVIDE CODE COMPLIANT CLOSET FOR EXTERIOR INSTALL.
- 12 (N) WASHER/DRYER COMBO
- 13 (N) 22"x30" ATTIC ACCESS
- 14 (N) 5/8" GYP. BD. HAR DLID CEILING THROUGHOUT. SEE SHEET E1.0 CEILING FIXTURES. PROVIDE INSULATION PER WALL LEGEND.
- 15 (N) DECK AT GRADE LEVEL.
- 16 (N) KITCHEN SINK.
- 17 (N) LVT FLOORING OVER LATICRETE HYDRO BAN (ICC ESR #2417) OR SIMILAR OVER EXISTING CONCRETE SLAB. SEE DET. 3/AD.1.

GENERAL NOTES

1. PROVIDE WATER CLOSET WITH A MAX. FLOW OF 1.28 GPF
2. A. MAX. OF 1.2 GALS/ MIN. FOR FAUCETS.
3. PROVIDE SHOWER HEADS WITH A MAX. FLOW OF 2.0 GPM.
4. PROVIDE HINGE VALVES AT SHOWER AS PER UPC SEC 420
5. BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) CFM AND HOSE RATING ("ZONE") GENERALLY 3 SONE MAX- AS USED INTERMITTENTLY. ALL INSTALLED EXHAUST FANS MUST BE SPECIFIED AT A HOSE RATING OF A MINIMUM 1 "ZONE" FOR THE INTERMITTENT USE OR MAXIMUM 3 "ZONE" FOR THE INTERMITTENT USE.
6. EGRESS WINDOWS SHALL HAVE A MAX. OF 44" SILL HEIGHT.
7. NO CPVC STATE HEALTH & SAFETY CODE SEC. 17921.9 106 @ 12 O.C. F.N.
8. ALL EXTERIOR AND INTERIOR WALLS ARE 2x4 @ 16" O.C. U.N.O. PER PLAN
9. MINIMUM CLEARANCES OF 15" FROM THE CENTER LINE OF WATER CLOSET & 24" IN FRONT OF WATER CLOSETS AFTER FINISHES.
10. PERMANENT VACUUM BREAKERS SHALL BE INCLUDED WITH ALL NEW HOSE BIBBS.
11. STATE HEALTH & SAFETY CODE SEC. 17921.9 BANS THE USE OF CHLORINATED POLYVINYL CHLORIDE (CPVC) FOR INTERIOR WATER-SUPPLY PIPING.
12. TUB/SHOWERS WALLS: COVER WALLS AND CEILING IN TUB & SHOWER COMPARTMENTS W/ 15# FELT. MATERIALS USED ON SUCH WALLS SHALL BE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE.
13. PER 2016 CGESC, PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE.
14. THE STRUCTURE WILL BE LOCATED ENTIRELY ON NATIVE UNDISTURBED SOIL.
- A. ANY EXISTING SMOKE ALARMS THAT ARE MORE THAN 10 YEARS OLD WILL BE REPLACED.
- B. SMOKE ALARMS TO BE PROVIDED IN ALL EXISTING BEDROOMS, HALLWAYS LEADING TO BEDROOMS AND ON EACH FLOOR. IF NONE EXISTENT.
- C. CARBON MONOXIDE ALARMS OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH STORY, INCLUDING BASEMENTS, IF NONE EXISTENT.



EXISTING & PROPOSED ROOF PLAN 1/4" = 1'-0"

WINDOW SCHEDULE					
MARK	DIMENSION	TYPE	U-FACTOR / SHGC	TEMPERED	NOTES
A	2'-0" x 3'-0"	CASEMENT	0.34 / 0.34	N	NEW
B	3'-0" x 2'-0"	CASEMENT	0.34 / 0.34	N	NEW
C	2'-6" x 2'-0"	AWNING	0.34 / 0.34	Y	NEW ABOVE SHOWER
D	3' x 3'-0"	AWNING	0.34 / 0.34	N	NEW EGRESS WINDOW

EXTERIOR WINDOWS, EXTERIOR GLAZED DOORS, GLAZED OPENINGS WITHIN EXTERIOR DOORS, GLAZED OPENINGS WITHIN EXTERIOR GARAGE DOORS, AND EXTERIOR STRUCTURAL GLASS VENEER SHALL COMPLY WITH ONE OF THE FOLLOWING. (SELECT ONE)

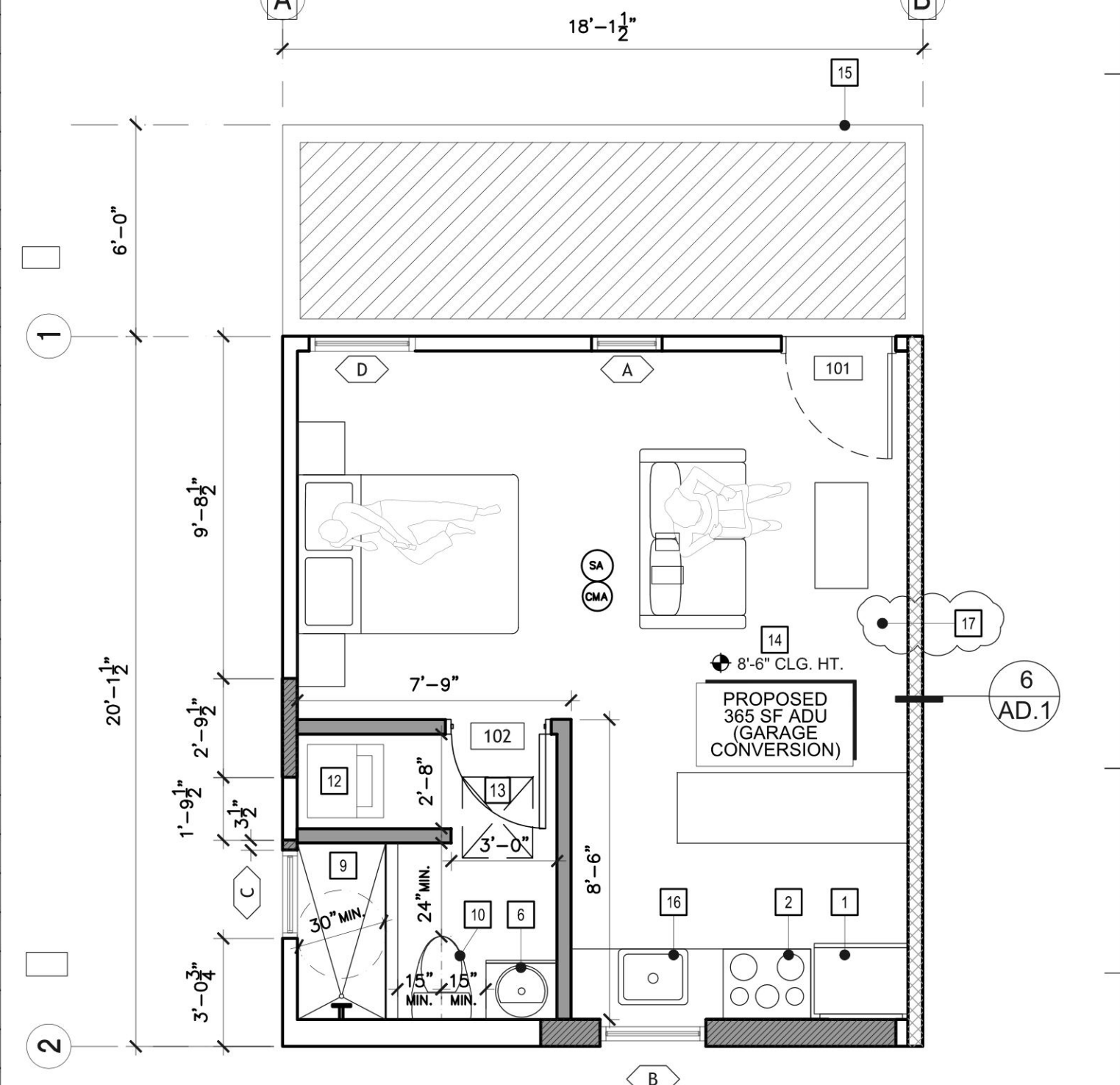
- A. MULTI-PANE GLAZING WITH A MINIMUM OF ONE TEMPERED PANE MEETING THE REQUIREMENTS OF SECTION 2408 SAFETY GLAZING, AND WHERE ANY GLAZING FRAMES MADE OF VINYL MATERIALS SHALL HAVE WELDED CORNERS, METAL REINFORCEMENT IN INTERLOCK AREA, AND BE CERTIFIED TO AAMA/WDMA/CSA 101/I.S.2/A40
- B. MINIMUM 20-MIN FIRE-RESISTANCE-RATED.
- C. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2

DOOR SCHEDULE				
MARK	DIMENSION	TYPE	TEMPERED	NOTES
101	3'-0" x 6'-8"	SWINGING	N	NEW SWD EXTERIOR DOOR
102	2'-8" x 6'-8"	SWINGING	N	NEW INTERIOR DOOR

EXTERIOR DOORS SHALL COMPLY WITH ONE OF THE FOLLOWING: (SELECT ONE)

- A. EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL
- B. SOLID CORE WOOD COMPLYING WITH THE FOLLOWING:
 - STILES AND RAILS MINIMUM 1-3/8 INCHES THICK
 - RAISED PANELS MINIMUM 1-1/4 INCHES THICK
 EXCEPTION: EXTERIOR PERIMETER OF RAISED PANEL MAY TAPER TO
 - A TONGUE MINIMUM 3/8 INCHES THICK
 - C. MINIMUM 20-MIN FIRE RATED WHEN TESTED PER NFPA 252
 - D. MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-1

EXISTING FLOOR PLAN 1/4" = 1'-0"



NATURAL VENTILATION AND LIGHT CALCULATION:
 ADU LIVING AREA: 262 SF
 NATURAL LIGHT: 9%(262) = 20.96 SF REQUIRED = 21 SF PROVIDED
 NATURAL VENTILATION: 4%(262) = 10.48 SF REQUIRED = 21 PROVIDED

PROPOSED FLOOR PLAN 1/4" = 1'-0"



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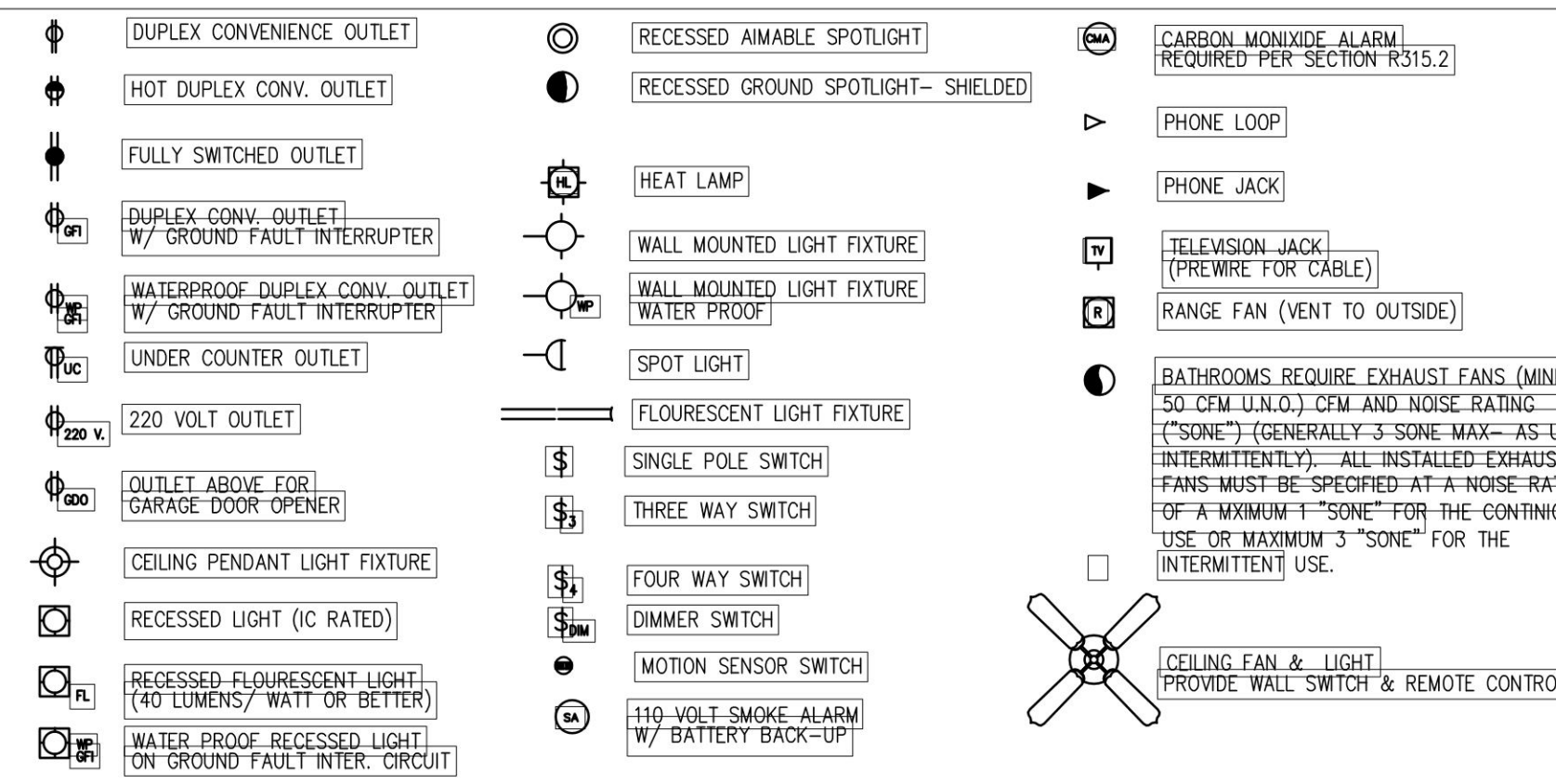
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EXISTING & PROPOSED FLOOR PLANS

SCALE: **1/4" = 1'-0"** DATE: **02-01-21**

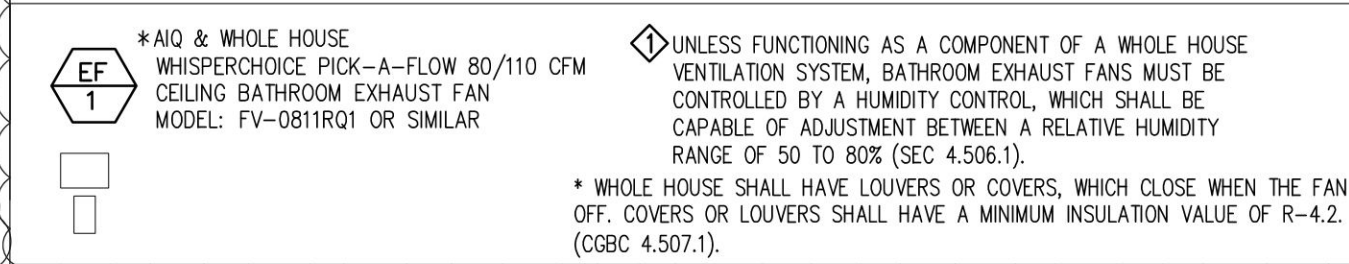
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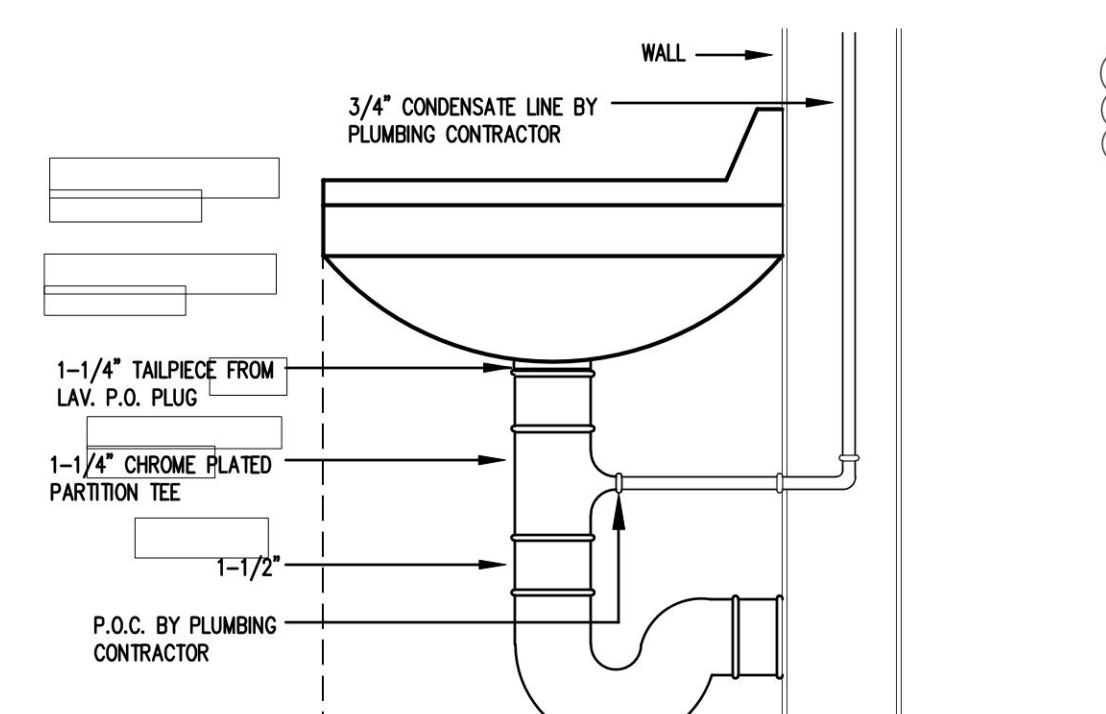
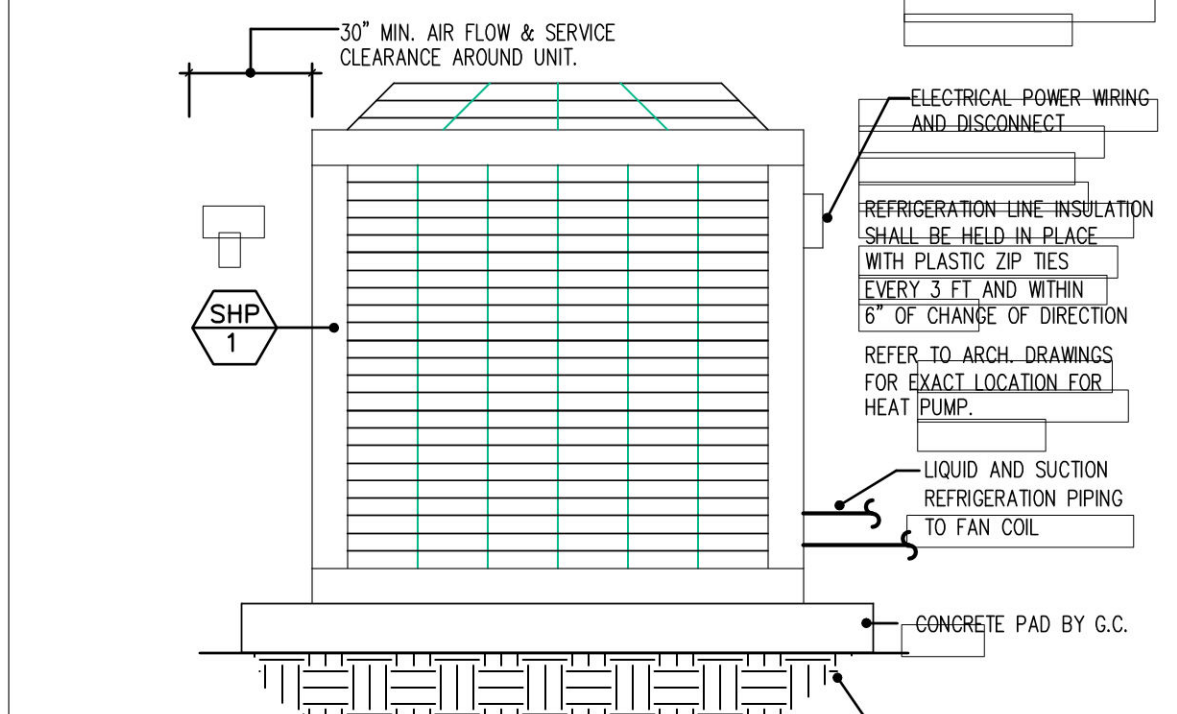
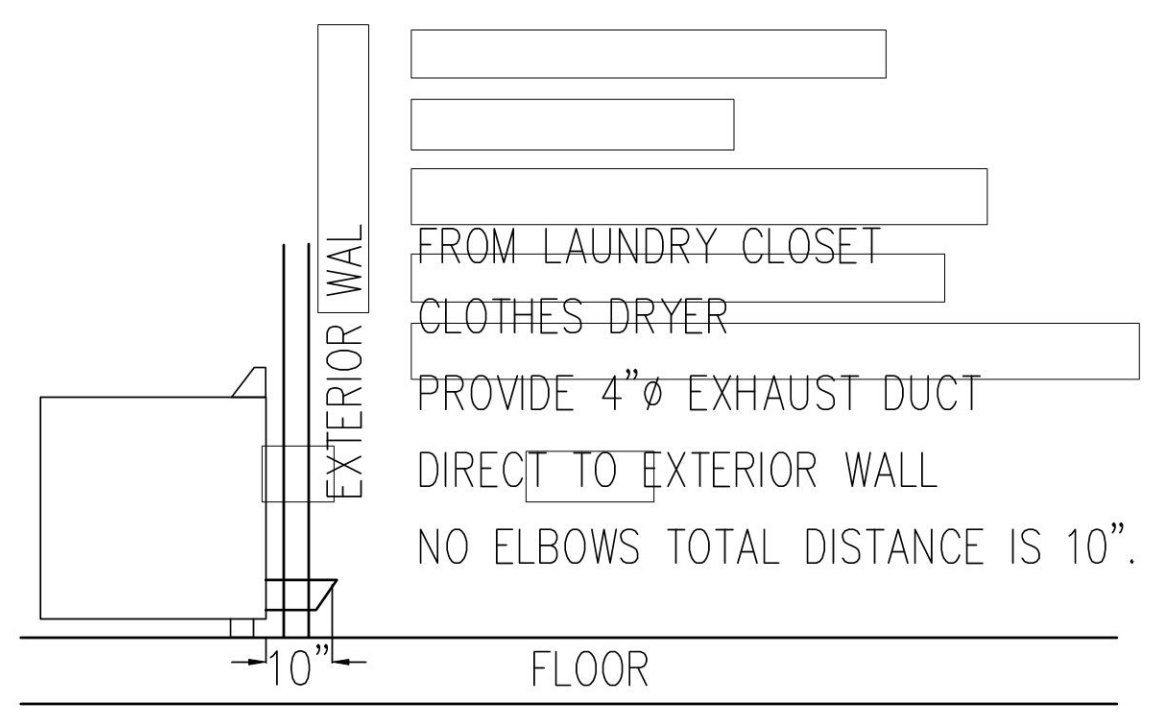
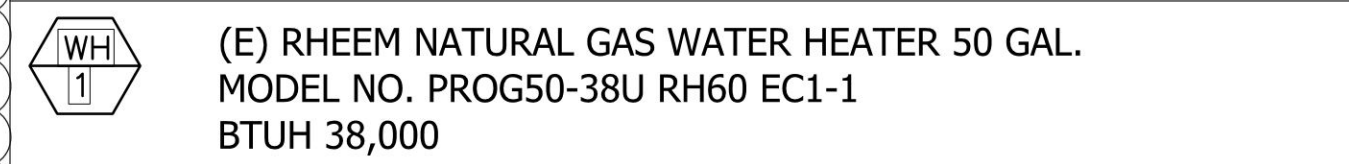
ELECTRICAL LEGEND



VENTILATION SCHEDULE



WATER HEATER SCHEDULE



ENERGY/LIGHTING NOTES

- KITCHENS: ALL THE INSTALLED WATTAGE OF LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER. UNDER CABINET LIGHTING SHALL BE SWITCHED SEPARATELY.
 - OTHER ROOMS: ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.
- UTILITY PLAN NOTES**
- LOCAL EXHAUST FANS TO EXTERIOR TO PROVIDE MINIMUM 50 CFM INTERMITTENT OR 20 CFM CONTINUOUS VENTILATION.
 - SMOKE DETECTORS TO BE INTERCONNECTED PER CRC R314.4 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R314.6
 - CARBON MONOXIDE ALARMS TO BE INTERCONNECTED PER CRC R315.7 AND HARD-WIRED WITH BATTERY BACK-UP PER CRC R315.5
 - 4" Ø DRYER VENT WITH MAXIMUM 14 FOOT COMBINED HORIZONTAL AND VERTICAL LENGTH WITH TWO 90 DEGREE ELBOWS.
 - A MECHANICAL EXHAUST VENTILATION SYSTEM, SUPPLY VENTILATION SYSTEM, OR COMBINATION THEREOF SHALL BE INSTALLED FOR EACH DWELLING UNIT TO PROVIDE WHOLE-BUILDING VENTILATION WITH OUTDOOR AIR IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION.
 - AN INTERMITTENTLY OR CONTINUOUSLY OPERATING LOCAL MECHANICAL EXHAUST VENTILATION SYSTEM SHALL BE INSTALLED IN EACH BATHROOM WITH A BATHTUB, SHOWER, OR SIMILAR MOISTURE SOURCE AND IN EACH KITCHEN IN COMPLIANCE WITH ASHRAE STANDARD 62.2 AS ADOPTED BY THE CALIFORNIA ENERGY COMMISSION. INTERMITTENT LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 50 CFM IN BATHROOMS AND 100 CFM IN KITCHENS. CONTINUOUS LOCAL EXHAUST VENTILATION AIRFLOW RATES SHALL BE 20 CFM IN BATHROOMS AND 5 AIR CHANGES PER HOUR IN KITCHENS BASED ON KITCHEN VOLUME.
 - WATER HEATER OR FURNACE SHALL BE A DIRECT-VENT APPLIANCE
 - LISTED GASKETED SELF CLOSING DOOR REQUIRED FOR GAS FAU
 - INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH SPACE-HEATING SYSTEM CAPABLE OF MAINTAINING A MINIMUM INDOOR TEMPERATURE OF 68 DEGREE F
- KEY NOTE:**
- VENTILATION SYSTEM CONTROLS SHALL BE LABELED AND THE HOME OWNER SHALL BE PROVIDED WITH INSTRUCTIONS ON HOW TO OPERATE THE SYSTEM.
 - AIR MOVING EQUIPMENTS USED TO MEET EITHER THE WHOLE BUILDING VENTILATION REQUIREMENTS OR LOCAL EXHAUST REQUIREMENTS SHALL BE RATED IN TERMS OF AIRFLOW AND SOUND CONTINUOUSLY OPERATING FANS SHALL BE LESS THAN 1.0 SONE, AND INTERMITTENTLY OPERATED FANS SHALL BE LESS THAN 3.0 SONE.
 - CLOTHES DRYERS SHALL BE VENTED TO THE OUTDOORS.
 - COMBUSTION APPLIANCES SHALL BE PROPERLY VENTED AND AIR SYSTEMS SHALL BE DESIGNED TO PREVENT BACK DRAFTING.
- BATHROOM VENTILATION CALCULATION**
- CEILING HEIGHT: 8'-6"
BATHROOM AREA: 57 S.F.
EF BATHROOM CALCULATION:
(57 S.F. / (8'-6") (12 AIR CHANGES PER HR) / 60 = 96.9 CFM

CAL GREEN CODE NOTES

- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- PROVIDE SHOWER HEADS WITH A MAXIMUM FLOW OF 1.8 GALLONS PER MINUTE (GPM).
- ALL PLUMBING FIXTURES AND FITTINGS WILL BE WATER CONSERVING.
- PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE (CPC).
- HEATING AND AIR CONDITIONERS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS:
 - THE HEAT LOSS AND HEAT GAIN IS ESTABLISHED ACCORDING TO ANSIVACCA 2 MANUAL J - 2004 (RESIDENTIAL LOAD CALCULATION), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - E.B. DUCT SYSTEMS ARE SIZED ACCORDING TO ANSIVACCA 1 MANUAL D - 2009 (RESIDENTIAL DUCT SYSTEMS), ASHRAE HANDBOOKS OR OTHER EQUIVALENT DESIGN SOFTWARE OR METHODS.
 - E.C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSIVACCA 3 MANUAL S - 2004 (RESIDENTIAL EQUIPMENT SELECTION).
- AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF2R) POSTED BY THE INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE. A REGISTERED CF2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY FOUR ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORMS CF2R IS REVIEWED AND APPROVED.
- AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER. A REGISTERED CF3R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF3R IS REVIEWED AND APPROVED.

LIGHTING PLAN NOTES

- ALL LUMINAIRES SHALL BE HIGH-EFFICACY IN ACCORDANCE WITH CBEES TABLE 150.0-A
- ALL LED LUMINAIRES AND LAMPS SHALL BE MARKED "JA8-2016" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX)
- ALL RECESSED DOWNLIGHT AND ENCLOSED LUMINAIRES SHALL BE MARKED "JA8-2016-E" AND LISTED IN THE CALIFORNIA ENERGY COMMISSION DATABASE AT [HTTPS://CACERTAPPLIANCES.ENERGY.CA.GOV/PAGES/APPLIANCESEARCH.ASPX](https://cacertappliances.energy.ca.gov/PAGES/APPLIANCESEARCH.ASPX)
- RECESSED DOWNLIGHT LUMINAIRES IN CEILINGS SHALL NOT BE SCREW-BASED
- BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS: AT LEAST ONE LUMINAIRE IN EACH SPACE SHALL BE CONTROLLED BY A VACANCY SENSOR
- ALL LUMINAIRES REQUIRING "JA8-2016" OR "JA8-2016-E" MARKING SHALL BE CONTROLLED BY A DIMMER OR VACANCY SENSOR
EXCEPTION: CLOSETS LESS THAN 70 S.F. & HALLWAYS
- OUTDOOR LIGHTING PERMANENTLY MOUNTED TO BUILDINGS SHALL BE CONTROLLED BY ONE OF THE FOLLOWING:
 - PHOTOCONTROL AND MOTION SENSOR
 - PHOTOCONTROL AND AUTOMATIC TIME-SWITCH CONTROL
 - ASTRONOMICAL TIME CLOCK
 - ENERGY MANAGEMENT CONTROL SYSTEM PER CBEES 150.0(K)3A(1)(C)
- ALL LUMINAIRES SHALL BE HIGH EFFICACY AND SHALL HAVE A MANUAL ON/OFF IN ADDITION TO A VACANCY SENSOR OR DIMMER.

A DRYER EXHAUST DETAIL

1A COOLING/HEATING UNIT DETAIL

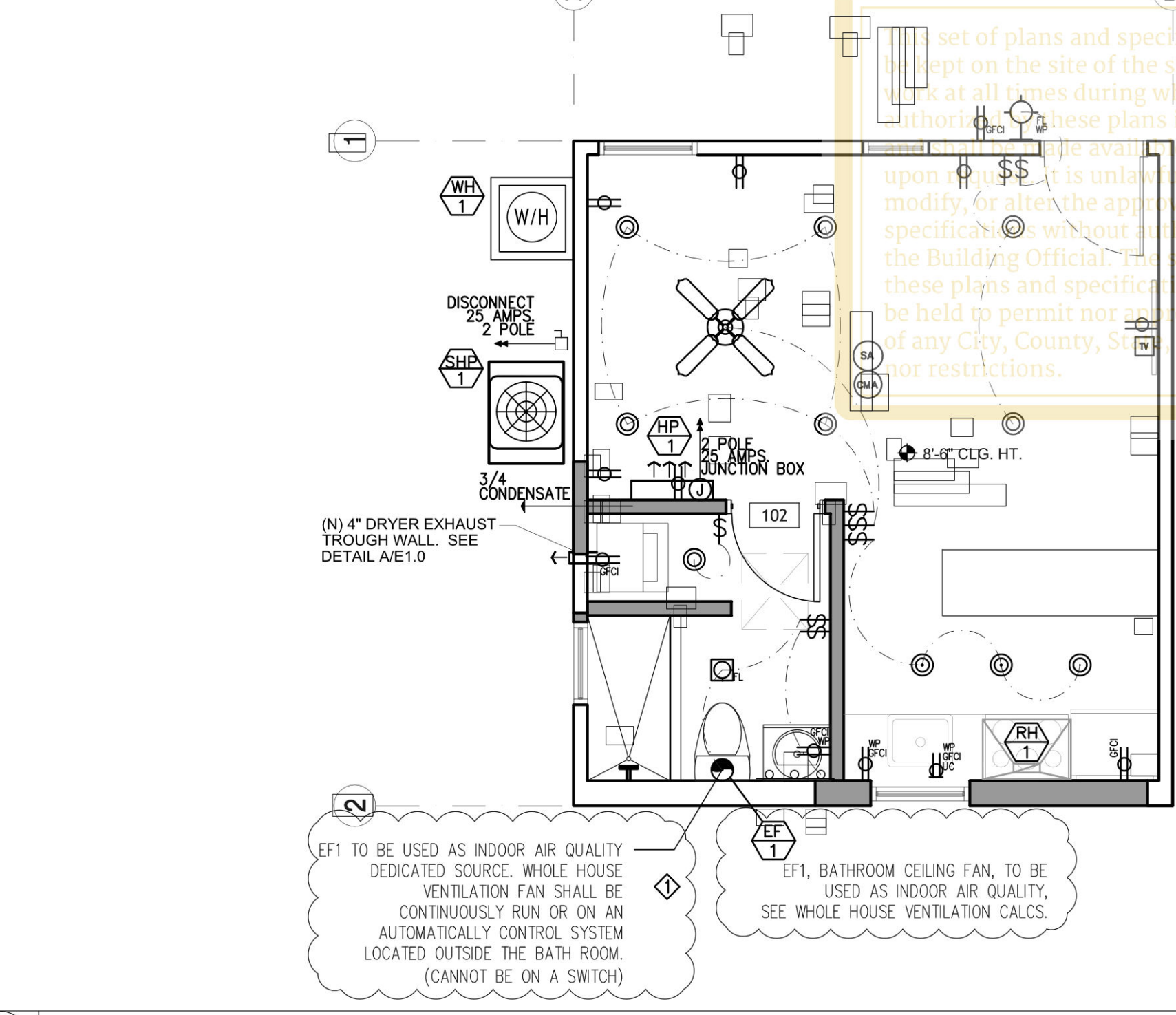
2 CONDENSATE TO LAV. TRAP DETAIL

IAQ - HOUSE VENTILATION CALCULATIONS
METHOD USE: WHOLE-BUILDING VENTILATION PRESCRIPTIVE APPROACH
WHOLE HOUSE CALCULATION FOR ADU (966sqft)(0.01+7.5x) BED ROOMS) = 115 CFM. 4" EXHAUST DUCT.

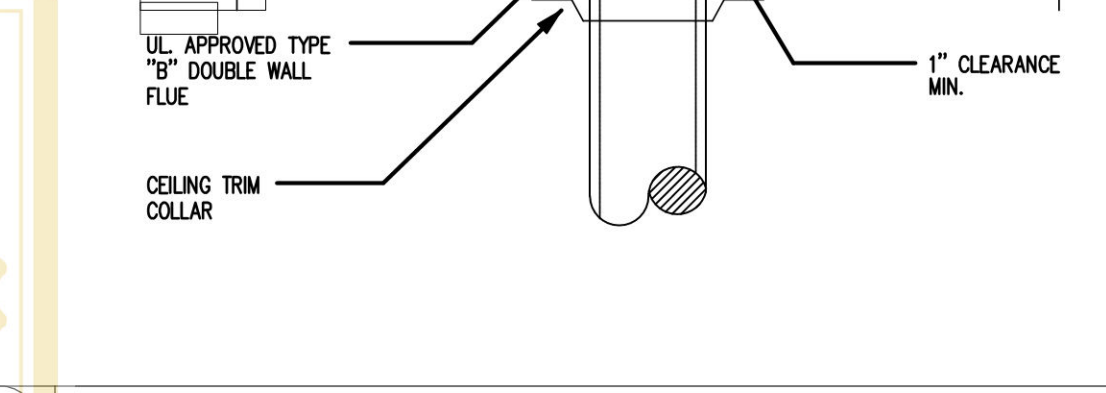
TABLE 4-9 - PRESCRIPTIVE DUCT SIZING FOR SINGLE FAN EXHAUST SYSTEMS.

DUCT TYPE:	FLEX DUCT:	SMOOTH DUCT:						
FAN RATING (CFM @ 0.25 IN WC)	50CFM	60CFM	100CFM	125CFM	80CFM	80CFM	100CFM	125CFM
DIAMETER:								
3"	X	X	X	X	5	X	X	X
4"	70	3	X	X	105	35	5	X
5"	NL	70	35	20	NL	135	85	55
6"	NL	NL	125	95	NL	NL	NL	145
7" AND ABOVE:	NL	NL	NL	NL	NL	NL	NL	NL

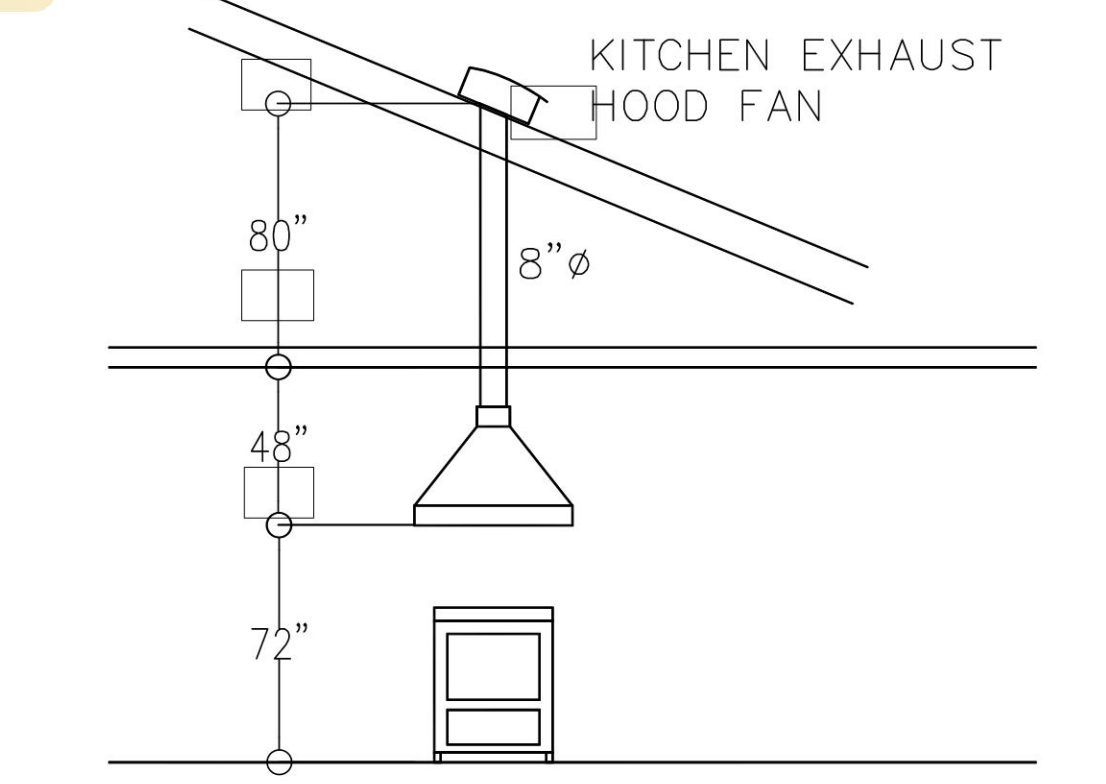
DEDUCT 15' OF LENGTH PER ELBOW



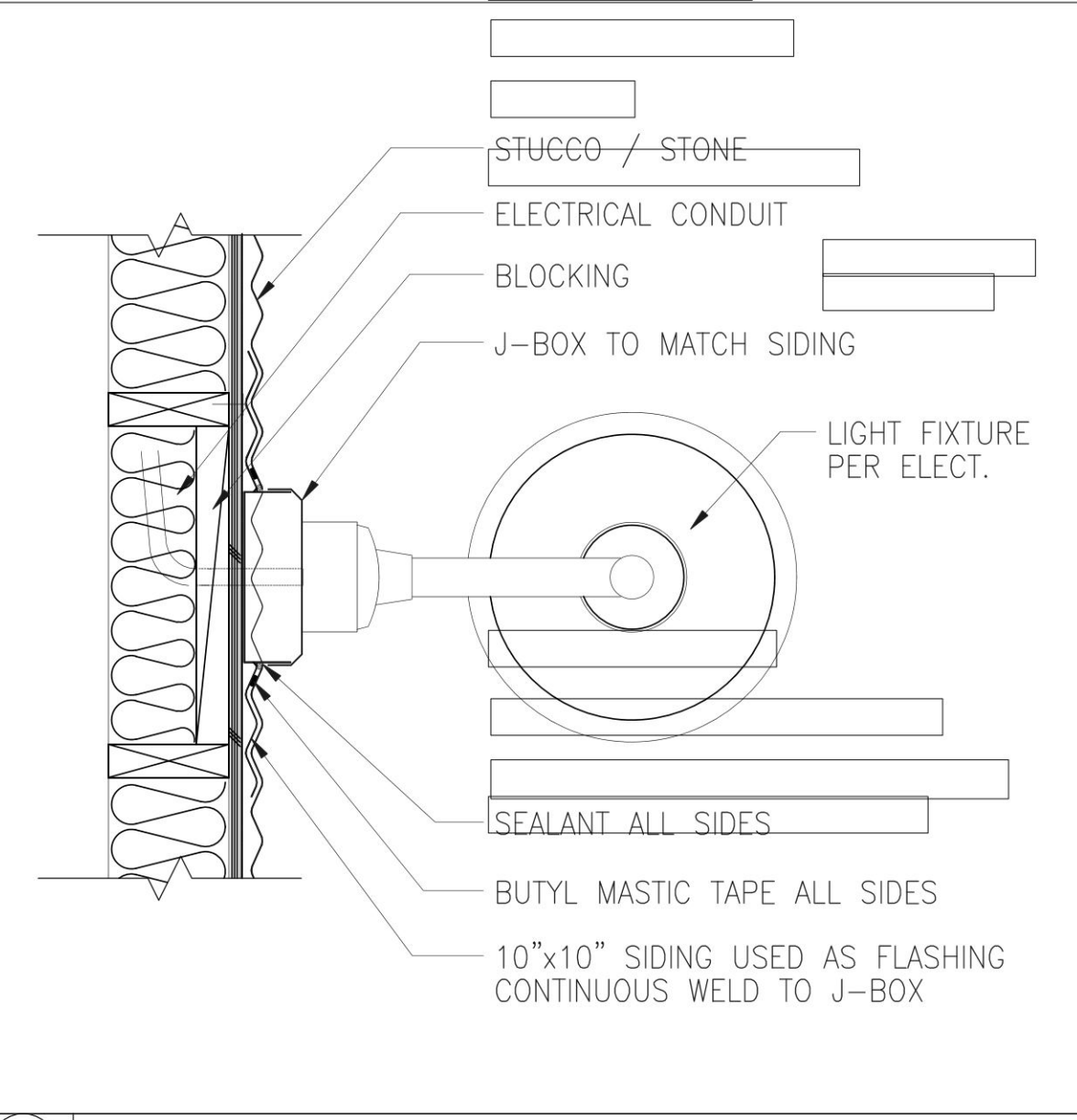
1 PROPOSED ELECTRICAL FIRST FLOOR PLAN



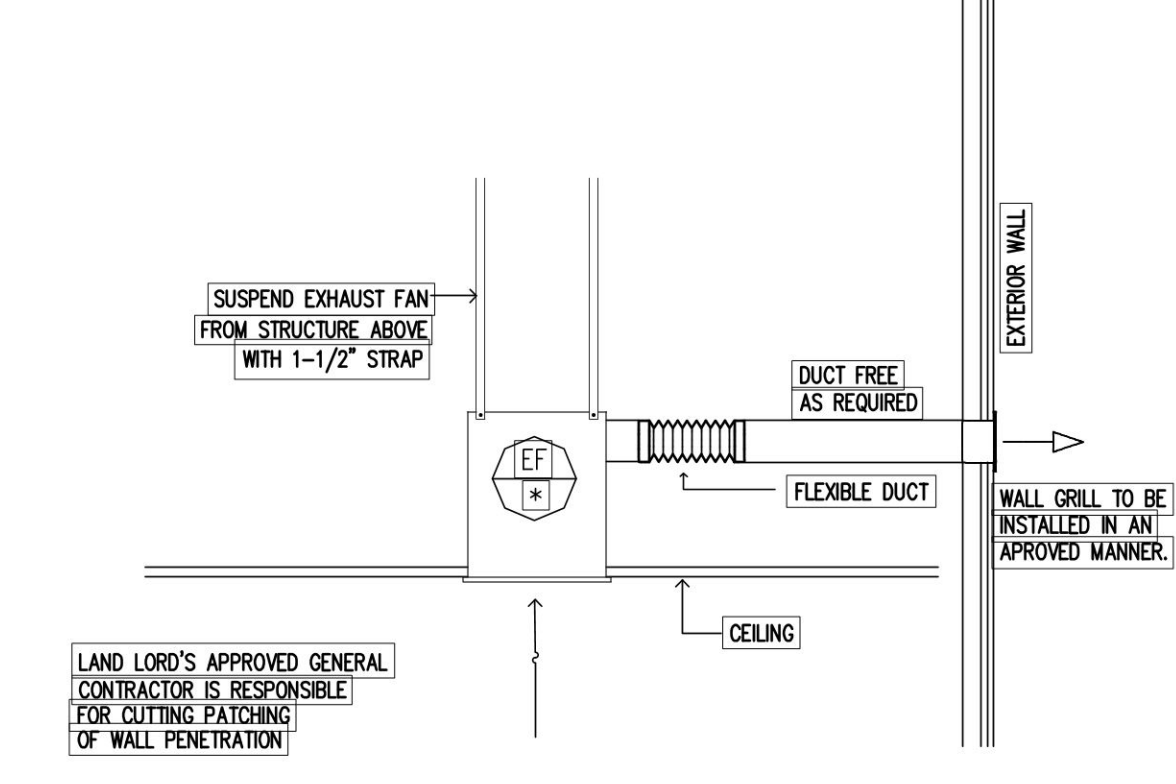
3 FLUE VENT DETAIL



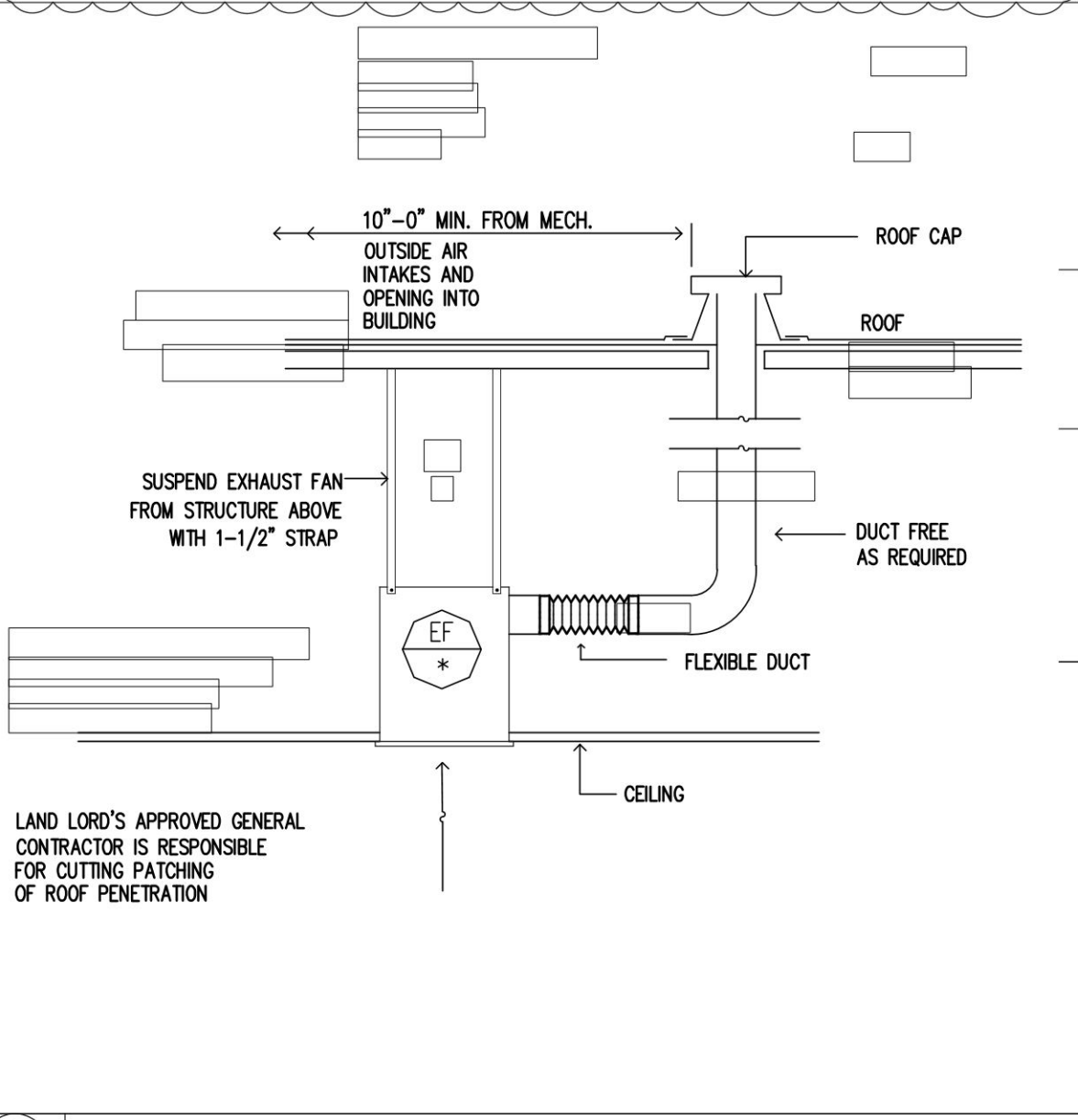
4 KITCHEN HOOD LAYOUT DETAIL



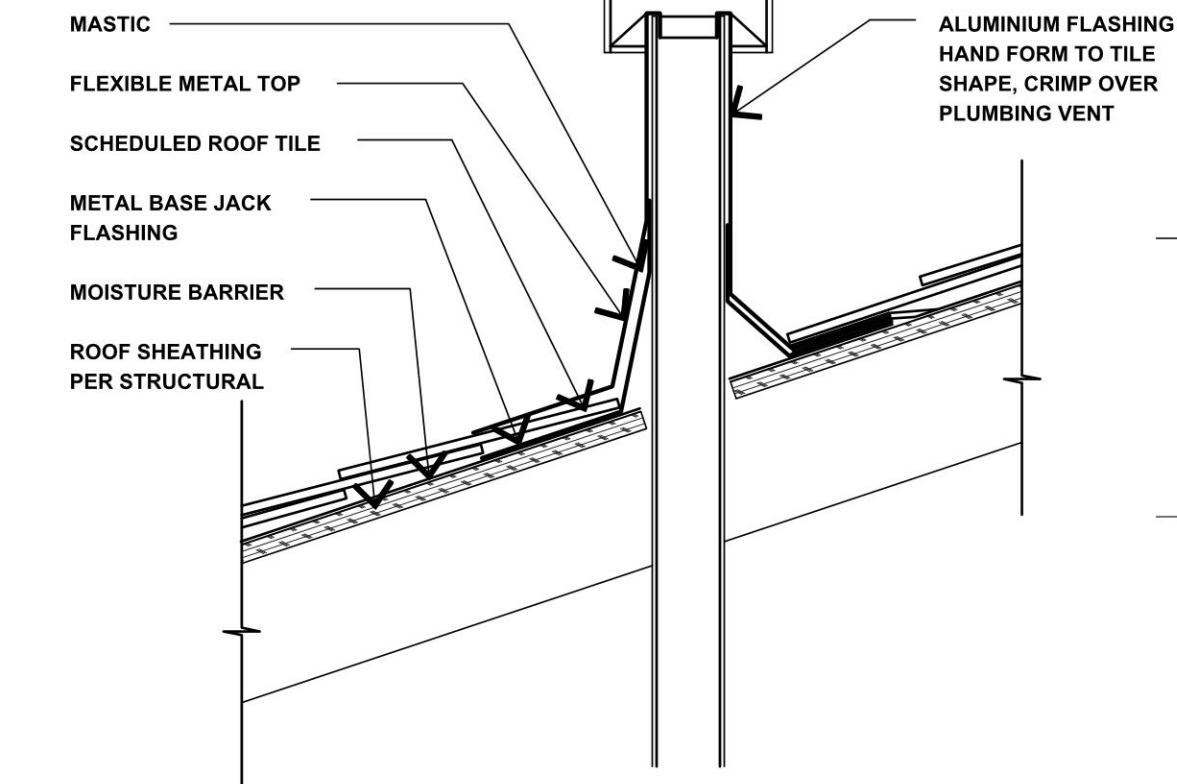
4 LIGHT FIXTURE



6 EXHAUST FAN THRU WALL DETAIL



7 EXHAUST FAN THRU ROOF DETAIL



8 PIPE PENETRATION

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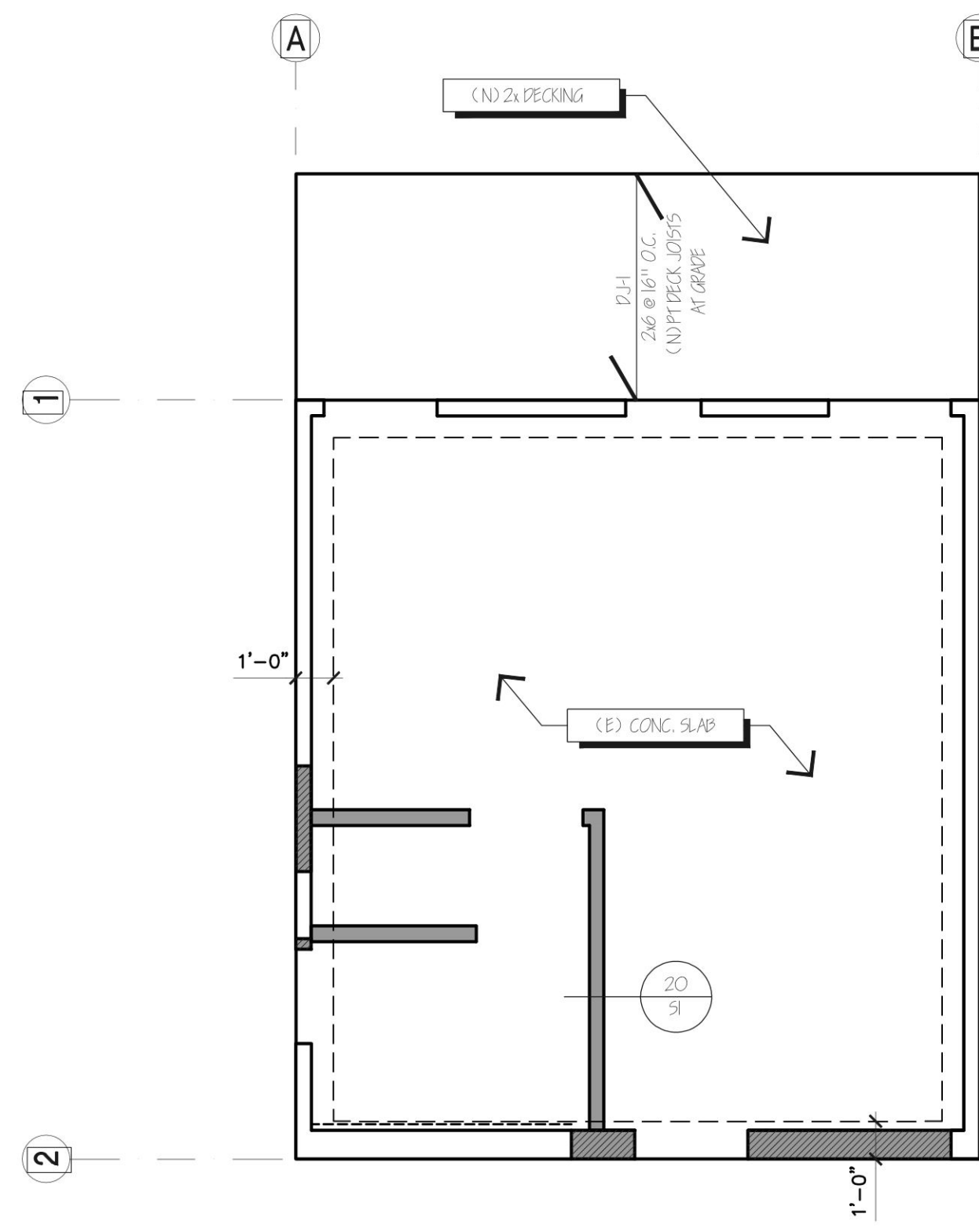
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SCALE: DATE: 02-01-21

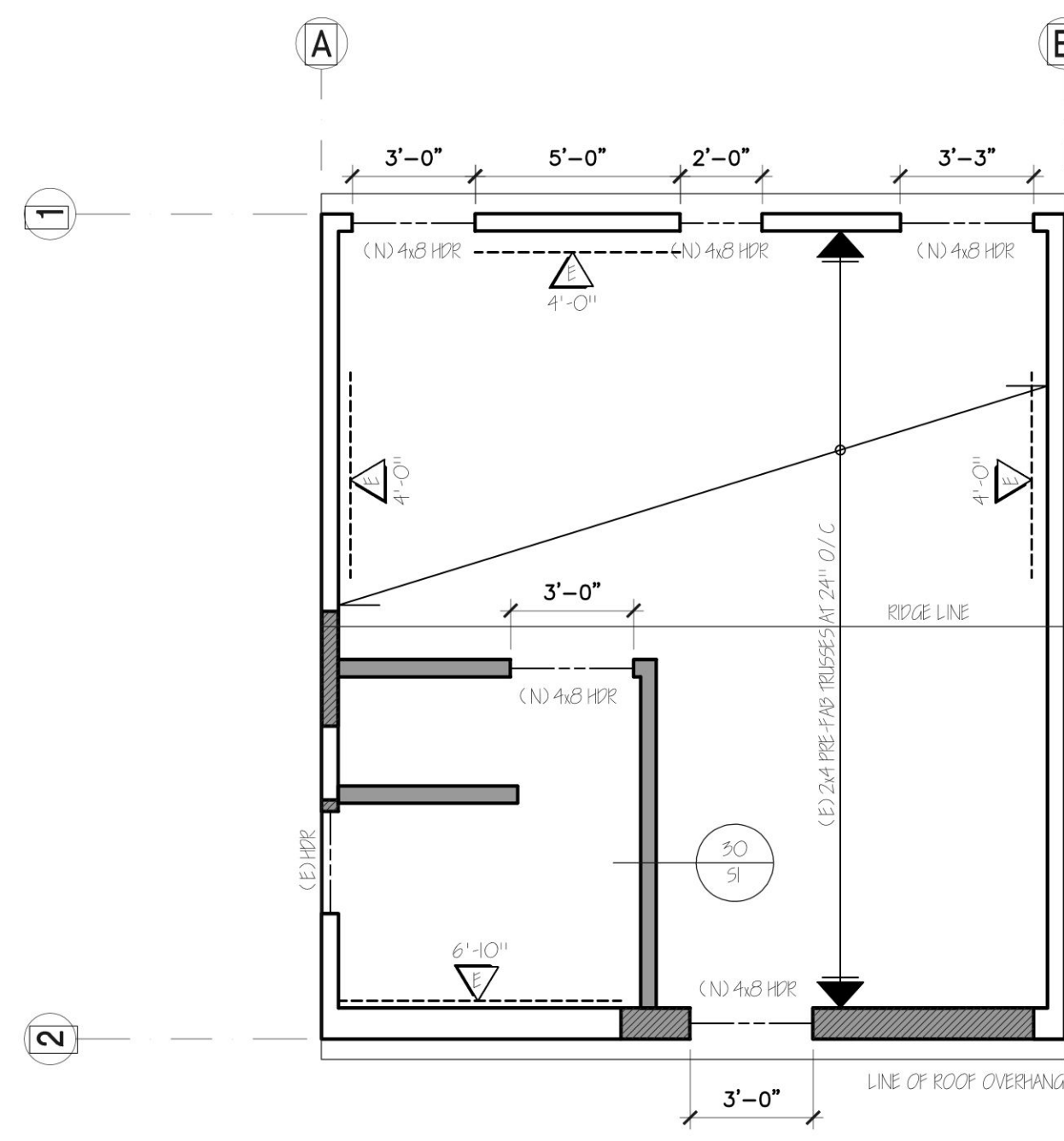
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This set of plans and specifications shall be kept on the site of the structure of work at all times during which work authorized by these plans is in progress, and shall be made available to City officials upon request. It is unlawful to change, modify, or alter the approved plans and specifications without authorization of the Building Official. The stamping of these plans and specifications SHALL NOT be held to permit nor approve the violation of any City, County, State, or Federal laws, nor restrictions.



1 FOUNDATION PLAN 1/4" = 1'-0"



2 ROOF FRAMING PLAN 1/4" = 1'-0"

- ### FRAMING NOTES
- REFER TO SHEETS S1 FOR GENERAL NOTES & STANDARD DETAILS. THESE NOTES & DETAILS SHALL BE USED WHERE APPLICABLE WHETHER SPECIFICALLY REFERENCED OR NOT.
 - REFER TO ARCHITECTURAL DRAWINGS FOR THE FOLLOWING:
 - ALL DIMENSIONS NOT SHOWN.
 - ALL OPENINGS NOT SHOWN.
 - ALL NON-BEARING WALL NOT SHOWN.
 - ALL EXTERIOR WALLS ARE 2x4 @ 16" O.C. UNO PER PLAN.
 - UNDER ALL BEAMS PROVIDE 4x6 MIN ALL THE WAY TO THE FOUNDATION UNO PER PLAN.
 - HOLD-DOWN ANCHORS MUST BE TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
 - HOLD-DOWNS SHALL BE RE-TIGHTENED JUST PRIOR TO COVERING THE WALL FRAMING.
 - FASTENERS FOR PRESERVATIVE-TREATED WOOD AND FIRE-RETARDANT TREATED WOOD SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICONE BRONZE, OR COPPER. (CRC R311.3)
 - SPLICE DOUBLE TOP PLATES PER EXCEPT AS NOTED OTHERWISE. PROVIDE M5131 STRAP WHERE BOTH PLATES ARE SPLICED.
 - (B) INDICATES BEAM DIRECTLY BELOW JOISTS.
 - (F) INDICATES BEAM FLUSH W/ JOISTS.
 - (H) INDICATES HEADER PER (14/51) (19/51) UNO.
 - UNDER ALL BEAMS OR GIRDER TRUSSES PROVIDE 6x6 OR 4x6 POST ALL THE WAY TO THE FOUNDATION.
 - DO NOT CUT, NOTCH, DRILL, BORE, SHAVE, TAPER OR FOR ANY REASON MODIFY PRE-ENGINEERED/MANUFACTURED STRUCTURAL ELEMENTS SUCH AS GLUED-LAMINATED MEMBERS, PARALAMs, MICROLAMs, I-JOIST, LIGHT GAUGE METAL MEMBERS AND OTHER SIMILAR TIMBER OR STEEL PRODUCTS OR A LETTER OF CERTIFICATION FROM THE MANUFACTURER'S ENGINEER WITH DETAIL SIGNED AND STAMPED IS ISSUED AND AUTHORIZED BY THE PROJECT ENGINEER OF RECORD AND APPROVED BY THE CITY OF SAN DIEGO BUILDING OFFICIAL.
 - PLYWOOD SHALL BE CONTINUOUS UNDER CALIFORNIA FILL.
 - NON-BEARING WALL TOP PLATE CONNECTION SEE DET. (30/51) (29/51)

WALL LEGEND

	EXISTING 2x4 WALLS TO REMAIN
	NON-BEARING 2x4 STUDS @ 16" ALL EXTERIOR WALLS UNO & 2x4 STUDS @ INTERIOR WALL UNO. 2x6 STUDS @ PLUMBING WALLS
	NON-BEARING 2x WOOD FRAMING IN FILL AT EXTERIOR DOOR/WINDOW

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STRUCTURAL FLOOR PLANS
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