



REAL ESTATE INSPECTION SUMMARY.

LOCATED AT:
686 S Camino Real
Palm Springs, CA 92264

Prepared and Written by Paul Limón , Inspector - Exclusively for



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Report# 10777



Executive Summary

This is a summary review of the inspector's findings during this inspection. However, **IT DOES NOT CONTAIN EVERY DETAILED OBSERVATION**. This summary is provided as an additional service to our client, and is presented in the form of a listing of the items which, in the opinion of your inspector, merit further attention, investigation, or improvement. Some of these conditions are of such a nature as to require repair or modification by a skilled craftsman, technician, or specialist. We recommend that all recommendations in this report and the full report be addressed **PRIOR TO THE CLOSE OF ESCROW**.

Often, following the inspector's advice will result in improved performance and/or extended life of the component(s) in question. In listing these items, your inspector is not offering any opinion as to who, among the parties to this transaction, should take responsibility for addressing any of these concerns. As with most of the facets of your transaction, we recommend consultation with your Real Estate Professional for further advice with regards to the following items:

Throughout the summary, you'll find special symbols at the front of certain comments. Below are the symbols and their meanings:

NR = Needed Evaluation/Repairs: Conditions noted warrant further evaluation by a specialist in the appropriate trade(s).

SC = Safety Concerns: Conditions noted that may pose a hazard to humans, the building or both. These conditions warrant further evaluation by a specialist in the appropriate trade(s).

RM = Recommended Repairs/Review/Maintenance: Conditions noted in need of maintenance, repair, replacement or further evaluation. We recommend that all corrections be made by specialist in the appropriate trade(s).

UG = Recommended Upgrades: Systems and/or components that may have not been available and or not required or have been improved since the building was constructed. Upgrades are not the responsibility of the seller and are reported as a courtesy to our clients.

Exterior Areas

FENCES & GATES CONDITION

NR 1: Loose posts noted at left side of house



NR 2: Gate needs repair at right side



NR 3: Repair needed to fencing



PATIO/PORCH COVERS CONDITION

NR 4: Damage noted to wood. Recommend further evaluation by a qualified Termite Company



NR 5: Moisture damage noted to front porch roof sheathing, Recommend further evaluation by a qualified Termite Company



NR 6: Roofing material missing on patio roof



NR 7: Improper installation at patio roof.



Exterior - Foundation

EXTERIOR EAVES, SOFFITS & FASCIAS CONDITION

NR 8: Damage noted at roof rafter(s). We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR 9: Staining noted at eaves, We recommend further review and repairs by a qualified specialist in the appropriate trade.



Chimneys

CHIMNEY CAP

NR 10: Appears to have been improperly altered. Recommend chimney specialist to evaluate and repair as needed.



CHIMNEY ROOF JOINT

NR 11: Counter flashing missing at chimney.



Roof System

#1

ROOF CONDITION

NR 12: Damaged or missing Shingles noted. Repair/Replacement needed.



FLASHING CONDITION

NR 13: Cap missing on roof vent for water heater .



GUTTERS/DOWNSPOUTS & DRAINS

NR 14: Damage gutters viewed



#2

ROOF CONDITION

NR 15: The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Recommend roof be evaluated and certified by a qualified Roofing Contractor due to its age.



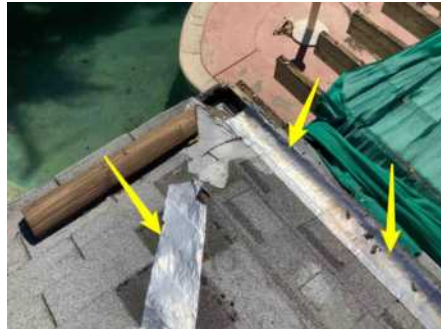
NR 16: Nails/Fasteners are protruding from the roof surface. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor



NR 17: Debris should be removed from roof, Recommend further review and repair by a qualified Roofing Contractor



NR 18: Improper installation is found, Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor



NR 19: Repairs appear to be substandard. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor



NR 20: Heavy Wear noted to composition roof, composition roof appears to be at its end of its service life. Recommend the entire roof be evaluated and repaired by a qualified Roofing Contractor.



NR 21: Missing composition shingles in several areas



NR 22: Damage noted to roof sheathing



FLASHING CONDITION

NR 23: All flashing junctions should be re sealed to prevent leaks, We recommend the advice and services of a qualified Roofing Contractor



Attic

ATTIC LEAK EVIDENCE

NR 24: Stains seen in attic, unable to determine the status of the stains. Active leakage may be present. We recommend the advice and services of a qualified Roofing Contractor



Electrical Systems

MAIN PANEL

NR 25: Panel cover hinges missing and or damaged.



EXTERIOR LIGHTING SWITCHES AND FIXTURES

NR 26: Light fixture missing, light fixture required at all grade level doors



NR 27: Weather proof cover missing at pool light switch.



EXTERIOR CONDUIT/WIRING

NR 28: Exposed wiring should be properly protected. Recommend further review and repair by qualified Electrical Contractor.



INTERIOR RECEPTACLES

NR 29: Receptacle did not work at rear room



Plumbing Systems

FUEL SYSTEM UTILITY STATUS

NR 30: Gas service off at time of inspection We recommend the utility provider be notified in order to turn on gas before the close of escrow so a full inspection can be done. Fee for re inspection after gas in turned on is 225.00.



WATER PRESSURE

NR 31: The homes water supply pressure exceeded the 80 pounds per square inch (PSI) limit considered the maximum allowable by generally-accepted current standards. Excessively high water pressure is likely to cause leaks. Water pressure noted at time of inspection was **100** psi, recommend the installation of a pressure regulator by a qualified Plumbing Contractor.



WATER SUPPLY TYPE/CONDITION

NR 32: Sulfur smell at water supply

GAS PIPING TYPE/CONDITION

NR 33: Older type gas lines noted at house. Recommend having the gas company review the lines for leaks.

SPRINKLER SYSTEMS

NR 34: Sprinkler supply valve at rear right



NR 35: Sprinkler main supply line shut off valve handle leaking at front



Water Heater

WATER HEATER AGE NOTE

NR 36: Water heater is 59 years old and is beyond its service life and is not working. Replacement is needed.

WATER HEATER SUPPLY PIPING

NR 37: Shut off valve at water heater is seized, We recommend the advice and services of a State Licensed Plumbing Contractor



WATER HEATER CONDITION

NR 38: Gas service to house was turned off, could not test

Heating System

HEATING SYSTEM GAS CONNECTION

NR 39: Rusty gas line noted at interior of heating unit



HEATING FILTER LOCATION/CONDITION

NR 40: Heater filter is missing



HEATING SYSTEM OPERATION

NR 41: Unable to test heater, gas service was turned off to house, have gas company turn gas on and test before the close of escrow

Air Conditioning System

A/C SYSTEM CONDITION

NR 42: Air conditioner failed to operate, We recommend the advice and services of a qualified HVAC Contractor



Evaporative Cooling

EVAPORATIVE COOLER CONDITION

NR 43: Evaporative cooler is no longer operable. Unit should be removed



Interior Areas

WALLS AND CEILINGS CONDITION

NR 44: Damage and missing wall covering to dining area



NR 45: Moisture damage noted to rear room ceiling



NR 46: Stains noted at throughout home ceilings and walls, possible roof leak . We recommend further review and repairs by a qualified specialist in the appropriate trade.





NR 47: Stains noted to ceiling in rear room, roof appears to be leaking. We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR 48: Ceiling panels separating, damaged and missing in rear room. We recommend further review and repairs by a qualified specialist in the appropriate trade.



NR 49: Wallpaper peeling/ missing in several areas



NR 50: Ceiling is damaged at water heater area



PESTS

NR 51: I observed evidence of rodents in the hallway and hallway throughout the interior .Ask the Sellers about the rodent history and/or contact a qualified Pest Control Operator to further evaluate.



Windows & Doors

EXTERIOR DOOR CONDITION

NR 52: All accessible doors were opened and closed. Exterior door would not slide properly at rear.



SCREEN DOORS CONDITION

NR 53: Screen door damaged at rear room



WINDOWS CONDITION

NR 54: Window casing moisture damaged at rear



INTERIOR DOORS CONDITION

NR 55: Damage noted at master bedroom



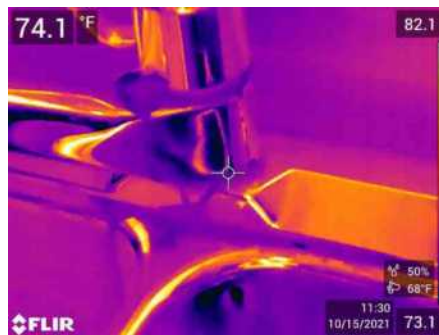
Kitchen - Appliances

SINKS, FAUCETS & DRAINS CONDITION

NR 56: Thermal Image shows leak is present under kitchen sink, We recommend the advice and services of a qualified Plumbing Contractor



NR 57: Thermal image shows faucet is leaking, We recommend the advice and services of a qualified Plumbing Contractor.



MAIN SINK GARBAGE DISPOSALS CONDITION

NR 58: Garbage disposal did not work, recommend further review



RANGE/COOK TOP/OVENS CONDITION

NR 59: Gas service was turned off to house, could not test.

Laundry

EXHAUST FAN

NR 60: Window is damaged and would not open



CEILINGS

NR 61: Moisture stains noted to ceiling at laundry room, roof appears to be leaking



LAUNDRY ROOM DOOR(S) CONDITION

NR 62: Damage noted to door.



Bathroom

Master

CONDITION OF TOILET

NR 63: Evidence of heavy rodent infestation in toilet, toilet would not flush properly.



SHOWER PLUMBING FIXTURES CONDITION

NR 64: Valve seized



CONDITION OF CABINETS

NR 65: Damage noted to cabinet.



BATHROOM FLOOR CONDITION

NR 66: Damage noted to floor



BATHROOM WALLS/CEILINGS CONDITION

NR 67: Wallpaper is peeling



HEATING DEVICE(S)

NR 68: Heater fan did not work.



BATHROOM EXTERIOR DOOR

NR 69: Door would not open



Hallway

TUB PLUMBING FIXTURES CONDITION

NR 70: Bathtub overflow corroded



BATHROOM WALLS/CEILING CONDITION

NR 71: Moisture damage noted to ceiling . No moisture was detected. We recommend further review and repairs by a qualified specialist in the appropriate trade.



Pool & Equipment

POOL SURFACE CONDITION

NR 72: Pool surface is worn through, re plastering is needed. We recommend the advice and services of a qualified Pool Contractor



POOL DECKING/COPING CONDITION

NR 73: Cracking is noted, We recommend the advice and services of a qualified Pool Contractor



VALVE CONDITION

NR 74: Valve seized



Exterior Areas

DRIVEWAYS CONDITION

SC 75: Tripping hazards noted at driveway. We recommend further review and repairs by a qualified specialist in the appropriate trade.



WALKWAYS CONDITION

SC 76: Walkway surface is raised/settled, this has created a TRIP - HAZARD at front. We recommend further review and repairs by a qualified specialist in the appropriate trade.



PATIOS CONDITION

SC 77: Patio surface raised/settled, this has created a TRIP - HAZARD at rear decking near pool. We recommend further review and repairs by a qualified specialist in the appropriate trade.



Chimneys

SPARK ARRESTOR & CHIMNEY COVER

SC 78: Improper cover and spark arrestor noted at chimney. Recommend further evaluation by a chimney specialist.



Attic

ATTIC ELECTRICAL

SC 79: Junction box cover(s) missing in attic area, this is a fire hazard, all attic electrical be reviewed. Recommend further review and repair by qualified Electrical Contractor.



ATTIC PESTS

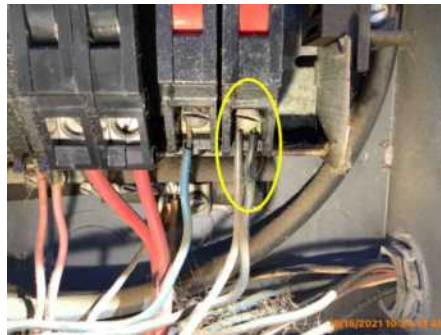
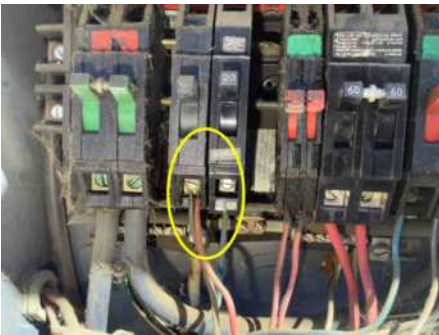
SC 80: I observed evidence of rodents in the attic. Ask the Sellers about the rodent history and/or contact a Pest Control Operator to further evaluate.



Electrical Systems

MAIN PANEL

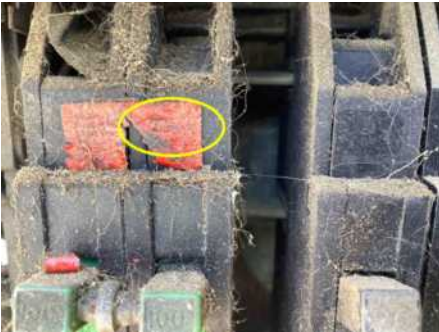
SC 81: Multiple wires are connected to a single lug on a circuit breaker where only one wire should be connected. Recommend further review and repair by qualified Electrical Contractor.



SC 82: Dead front cover missing at main electrical panel, this is a safety concern, installation is needed for safety, Recommend further review and repair by qualified Electrical Contractor.



SC 83: The main electrical service panel was made by Zinsco. Zinsco panels are reputed to have a high rate of circuit breaker failure which can result in a fire or shock/electrocution. The Inspector recommends that before the expiration of your Inspection Objection Deadline, you consult a qualified Electrical Contractor to have panel inspected for any issues and possible replacement. Information about defective Zinsco panels is widely available on the internet.

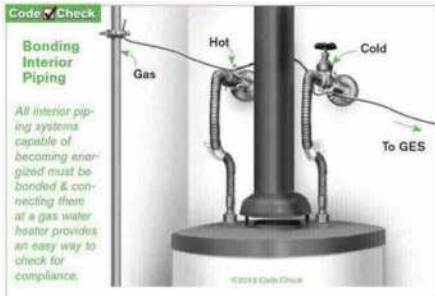


MAIN ELECTRICAL PANEL GROUNDING

SC 84: No observable grounding system noted for electrical panel, Recommend further review and repair by qualified Electrical Contractor.

MAIN ELECTRICAL BONDING

SC 85: Bonding is recommend at the gas and water lines near the water heater for safety. Bonding may be present at other locations but could not be seen or verified. Electrical bonding is the practice of intentionally electrically connecting all exposed metallic items not designed to carry electricity in a room or building as protection from electric shock. Recommend further review and repair by qualified Electrical Contractor.



EXTERIOR CONDUIT/WIRING

SC 86: Exposed live wires noted at rear room



SMOKE DETECTORS

SC 87: No Smoke detector(s) were present, recommended installing newer type photoelectric. To examine or test smoke detectors is outside the scope of the home inspection. We recommend further evaluation by a specialist in the appropriate trade to determine if this component will function as needed during a emergency situation.

CARBON MONOXIDE DETECTORS

SC 88: No carbon monoxide detectors installed at time of inspection. New california law requires homeowners of existing single-family dwelling units to install carbon monoxide detectors starting July 1, 2011. Every owner of a "dwelling unit intended for human occupancy" must install an approved carbon monoxide device in each existing dwelling. Some lenders require that units be installed as part of there loan process, recommend installation before appraisal is done in order to avoid delays and extra fees. For minimum security, a CO Alarm should be centrally located outside of each separate sleeping area in the immediate vicinity of the bedrooms. The Alarm should be located at least 6 inches (152mm) from all exterior walls and at least 3 feet (0.9 meters) from supply or return vents.

INTERIOR CONDUIT/WIRING

SC 89: Exposed splices are noted, junction box should be installed



SC 90: Junction box cover(s) are missing



Plumbing Systems

GAS PIPING TYPE/CONDITION

SC 91: Rusting lines noted on roof, We recommend further review and repairs by a qualified specialist in the appropriate trade.



SC 92: Rusting gas line noted at gas meter , We recommend the advice and services of a qualified Plumbing Contractor



Water Heater

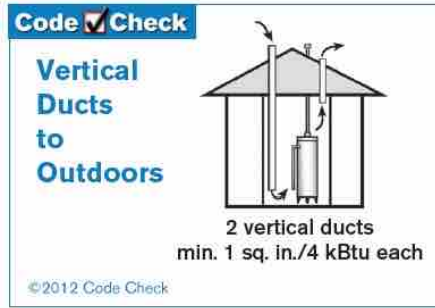
WATER HEATER SEISMIC BRACING

SC 93: Seismic straps missing, Seismic straps need to be installed per manufactures instructions, We recommend further review and repairs by a qualified specialist in the appropriate trade.



WATER HEATER COMBUSTION AIR

SC 94: Combustion air vents missing. We recommend further review and repairs by a qualified specialist in the appropriate trade.



WATER HEATER ENERGY SUPPLY

SC 95: Solid aluminum gas line noted, Modern standards recommend the installation/ upgrade of a flexible gas line. Recommend further review and repairs as needed by a Qualified, State Licensed Plumbing Contractor.



WATER HEATER TPR VALVE

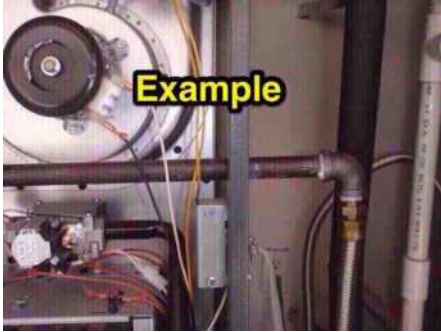
SC 96: No temperature pressure relief valve is installed at water heater, This is a Safety Hazard-Correction is needed. We recommend the advice and services of a qualified Plumbing Contractor



Heating System

HEATING SYSTEM GAS CONNECTION

SC 97: Flexible gas line connection shall not be concealed within or extended through any wall, floor, partition or appliance housing, this is a Fire Hazard due to Seismic Issues. The flexible gas line manufacture and the building code no longer permits this installation. We recommend the advice and services of a qualified Plumbing Contractor



Interior Areas

WALLS AND CEILINGS CONDITION

SC 98: Mold like substance noted



SC 99: Possible lead base paint in walls and ceilings, paint is peeling in several areas throughout home. We recommend further review and repairs by a qualified specialist in the appropriate trade.



FLOOR CONDITION

SC 100: Tripping hazards noted.



Windows & Doors

EXTERIOR DOOR CONDITION

SC 101: Glass tempered markings are not visible at some exterior doors, replacement should be considered to all non tempered sliding doors and fixed windows. Fed law requires companies to replace none tempered glass doors. They are not allowed to repair them.



Kitchen - Appliances

GARBAGE DISPOSAL WIRING CONDITION

SC 102: Missing wire clamp at disposal connection, wire should be clamped for safety. We recommend further review and repairs by a qualified specialist in the appropriate trade.



RANGE/COOK TOP/OVENS CONDITION

SC 103: The unit is equipped with a flexible gas line. The type of flexible gas line used is an uncoated brass. The Consumer Product Safety Commission issued a news warning in September 1997 that all uncoated brass flexible gas line connectors should be upgraded with newer stainless steel models. The older brass models are prone to cracking or leaking and can cause a serious gas leak, explosion or fire. We recommend the advice and services of a qualified Plumbing Contractor



Laundry

LAUNDRY ROOM FIXTURES & RECEPTACLES

SC 104: The washing machine receptacle(s) are not grounded, this is a safety hazard correction is needed. We recommend further review and repairs by a qualified specialist in the appropriate trade.



CEILINGS

SC 105: Mold like substance noted on ceiling. We recommend further review and repairs by a qualified specialist in the appropriate trade.



Bathroom

Master

CONDITION OF CABINETS

SC 106: Moisture damage and mold like substance noted at cabinet under sink. We recommend further review and repairs by a qualified specialist in the appropriate trade.



BATHROOM WALLS/CEILINGS CONDITION

SC 107: Mold like substance observed, We recommend further review and repairs by a qualified specialist in the appropriate trade.



Hallway

TUB PLUMBING FIXTURES CONDITION

SC 108: Rodent droppings noted in bathtub drain . We recommend further review and repairs by a qualified specialist in the appropriate trade.



CONDITION OF CABINETS

SC 109: Moisture damage and mold like substance noted at cabinet under sink. We recommend further review and repairs by a qualified specialist in the appropriate trade.



Pool & Equipment

POOL DECKING/COPING CONDITION

SC 110: The deck has cracked and lifted causing a trip hazard, We recommend further review and repairs by a qualified specialist in the appropriate trade.



DRAIN COVER TYPE/CONDITION

SC 111: Drain cover(s) are older type, recommend installation of a newer type vortex cover(s) and a safety vacuum release at the pool pump. This a major safety/entrapment hazard and the pool or spa should not to be used until repaired is complete. We recommend the advice and services of a qualified Pool Contractor.



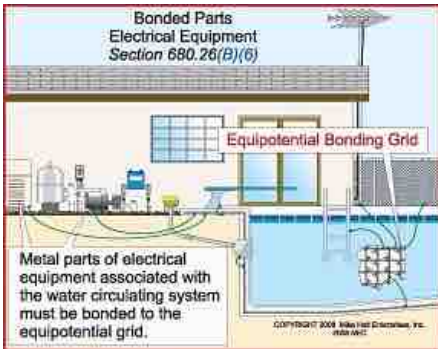
POOL LIGHT CONDITION

SC 112: Older type light with deck splice box, light and connection should be updated for safety. Pool lighting should be protected by a wet niche 4 ft min from pool water and 8 inch min max above water level. Pool/Spa should not be used until the light is updated due to the possibility of electrocution. We recommend the advice and services of a qualified Pool Contractor or Recommend further review and repair by qualified Electrical Contractor.



BONDING

SC 113: External bonding of equipment frames is lacking at the pool pump(s) and the pool heater, All metal pool equipment needs to be bonded to a pool structure. Pool/Spa should not be used until full bonding of the pool system is completed due to the possibility of electrocution. We recommend the advice and services of a qualified Pool Contractor



SC 114: If wire to pool shell can not be found. Contact a qualified Pool Contractor about installing a water bond system.



GROUND FAULT CIRCUIT INTERRUPTERS

SC 115: No GFCI protection for pool light installed. This constitutes a safety hazard. Recommend GFCI protection 120-volt underwater lighting fixtures; and receptacle outlets in the vicinity of pools, spas and hot tubs. Recommend electrical installations closer than five feet from water and GFCI protection for all electrical equipment, including 240-volt equipment located five to 10 feet from the water and for receptacles within a 20-foot perimeter. Pools older than about 30 years generally have unprotected underwater lights. Recommend further review and repair by qualified Electrical Contractor.



TIMERS

SC 116: Terminal protector is missing from within timer. this is a safety hazard, recommend installing a clock timer insulator.



POOL EQUIPMENT CONDUIT/WIRING

SC 117: Exposed splices are noted, junction box should be installed



Exterior Areas

DRIVEWAYS CONDITION

RM 118: Cracks noted to driveway, We recommend further review and repairs by a qualified specialist in the appropriate trade.



Exterior - Foundation

EXTERIOR WALL CONDITION

RM 119: Damaged stucco noted at front



Roof System

#1

ROOF CONDITION

RM 120: The only way to determine whether a roof is absolutely water tight is to observe it during a prolonged rainfall. Many times, this situation is not present during the inspection. Recommend asking the seller for further information on the roof and if they have had any leaks or modifications. Recommend roof be evaluated and certified by a qualified Roofing Contractor.



FLASHING CONDITION

RM 121: Clean debris from valley flashing to allow for proper drainage so roof does not leak when it rains. We recommend further review and repairs by a qualified specialist in the appropriate trade.



#2 ROOF CONDITION

RM 122: Recommend all unused nails be removed from roof by a roofing contractor.



Attic ATTIC INSULATION TYPE & CONDITION

RM 123: Uneven insulation noted, recommend adding addition insulation.



Electrical Systems

INTERIOR RECEPTACLES

RM 124: There is a receptacle with a missing cover plate at rear room



Plumbing Systems

WATER SUPPLY TYPE/CONDITION

RM 125: The home appears to contain some older galvanized steel water distribution pipes along with newer copper water supply. Galvanized pipes are outdated and subject to corrosion which will eventually result in restricted flow and leakage. We recommend the advice and services of a qualified Plumbing Contractor

RM 126: Discolored water noted from galvanized pipes if water is not run for periods of time, life expectancy of galvanized piping is around 40 years, Galvanized system appears to be nearing/at end of its useful life



WASTE LINES TYPE/CONDITION

RM 127: House appears to have original sewer drain lines, recommend the sewer drain lines be scoped with a camera to determine condition. Recommend the advice and services of a qualified Plumbing Contractor

Water Heater

WATER HEATER TANK

RM 128: Rusting is seen at exterior of tank.



Air Conditioning System

A/C BREAKER SIZE AT PANEL

RM 129: Dead front cover was missing , could not verify, recommend verifying breaker size is correct



Interior Areas

INTERIOR OCCUPIED

RM 130: Yes, note that stored items and furniture prevented viewing all areas of the house, while the inspector made every effort to inspect the house, the house needs to be re inspected by the inspector or the buyer at the final walkthrough when all items are removed by the seller/owner.

Kitchen - Appliances

SINKS, FAUCETS & DRAINS CONDITION

RM 131: Sink stained



CONDITION OF COUNTERS

RM 132: Caulking / re grouting needed at backsplash



CONDITION OF WALLS

RM 133: Damage noted to wall at near window



CONDITION OF CEILINGS

RM 134: Crack noted at ceiling.



Bathroom

Hallway

LIGHT FIXTURES CONDITION

RM 135: Bathroom light did not work



CONDITION OF SINK(S) AND DRAIN(S)

RM 136: Mechanical stopper needs adjustment at sink



SHOWER PLUMBING FIXTURES CONDITION

RM 137: Handles don't line up



Water Features/Fountains CONDITION

RM 138: Fountain was not filled with water could not test. Inquire with seller.



Pool & Equipment

POOL SURFACE CONDITION

RM 139: Pool was extremely dirty, could not fully inspect surface, recommend further review after pool is cleaned.



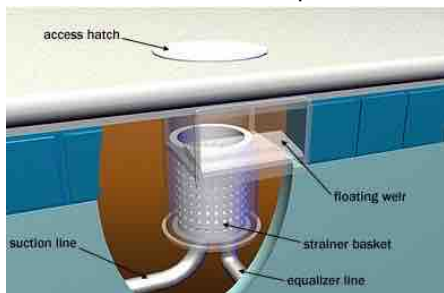
SKIMMER & BASKET CONDITION

RM 140: Debris in skimmer, cleaning is needed. Weekly cleaning is recommended.



WEIR DOOR

RM 141: Weir door or weir blade or American product skimmer is missing from the skimmer basket and no skimming action is taking place because no surface tension is being created. Recommend adding a weir door. We recommend the advice and services of a qualified Pool Contractor



VISIBLE PLUMBING LINE CONDITION

RM 142: Older type original copper piping noted for pool, Copper piping can be a major repair if it is corroded and needs to be replaced. We recommend the advice and services of a qualified Pool Contractor



Electrical Systems

DOOR BELL CONDITION

UG 143: No doorbell installed.

Plumbing Systems

WASTE LINES CLEAN OUTS

UG 144: Could not locate clean outs for drains , house may have been built before current requirements, recommend installation of a clean out, We recommend the advice and services of a qualified Plumbing Contractor

Water Heater

WATER HEATER PAN

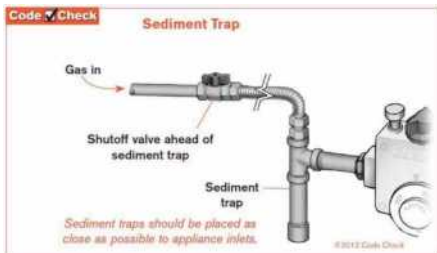
UG 145: Watertight pan recommended for this installation.



Heating System

GAS LINE SEDIMENT TRAP

UG 146: Sediment trap missing on gas line for furnace heater. Gas line sediment trap may have not been required when house was built, Recommend installation. Recommend the advice and services of a qualified Plumbing Contractor



HEATING SYSTEM THERMOSTAT CONTROLS

UG 147: Thermostat is old and outdated, recommend a new thermostat be installed, Recommend further review and repairs as needed by a qualified mechanical contractor



Kitchen - Appliances

RECEPTACLE(S) CONDITION

UG 148: All Kitchen receptacles should be GFCI Protected, GFCI protected receptacles were only required by water, the new standard is every receptacles in the Kitchen should be GFCI protected for your safety, installation recommended to all unprotected receptacles, Recommend further review and repair by qualified Electrical Contractor.



DISHWASHER(S) CONDITION

UG 149: No dishwasher installed.

Bathroom

Master

RECEPTACLE(S) CONDITION

UG 150: Bathroom outlets are not Ground Fault Circuit Interrupter (GFCI) protected, recommend upgrading outlet as a safety upgrade, home may have been built before current standards went into effect. Recommend further review and repair by qualified Electrical Contractor.



Hallway

RECEPTACLE(S) CONDITION

UG 151: Bathroom outlets are not Ground Fault Circuit Interrupter (GFCI) protected, recommend upgrading outlet as a safety upgrade, home may have been built before current standards went into effect. Recommend further review and repair by qualified Electrical Contractor.



Pool & Equipment

FILL DEVICE CONDITION

UG 152: No automatic fill device installed, recommend installation.

CONTROLS

UG 153: Pool is controlled manually at equipment, buyers may consider installation of wireless control system.