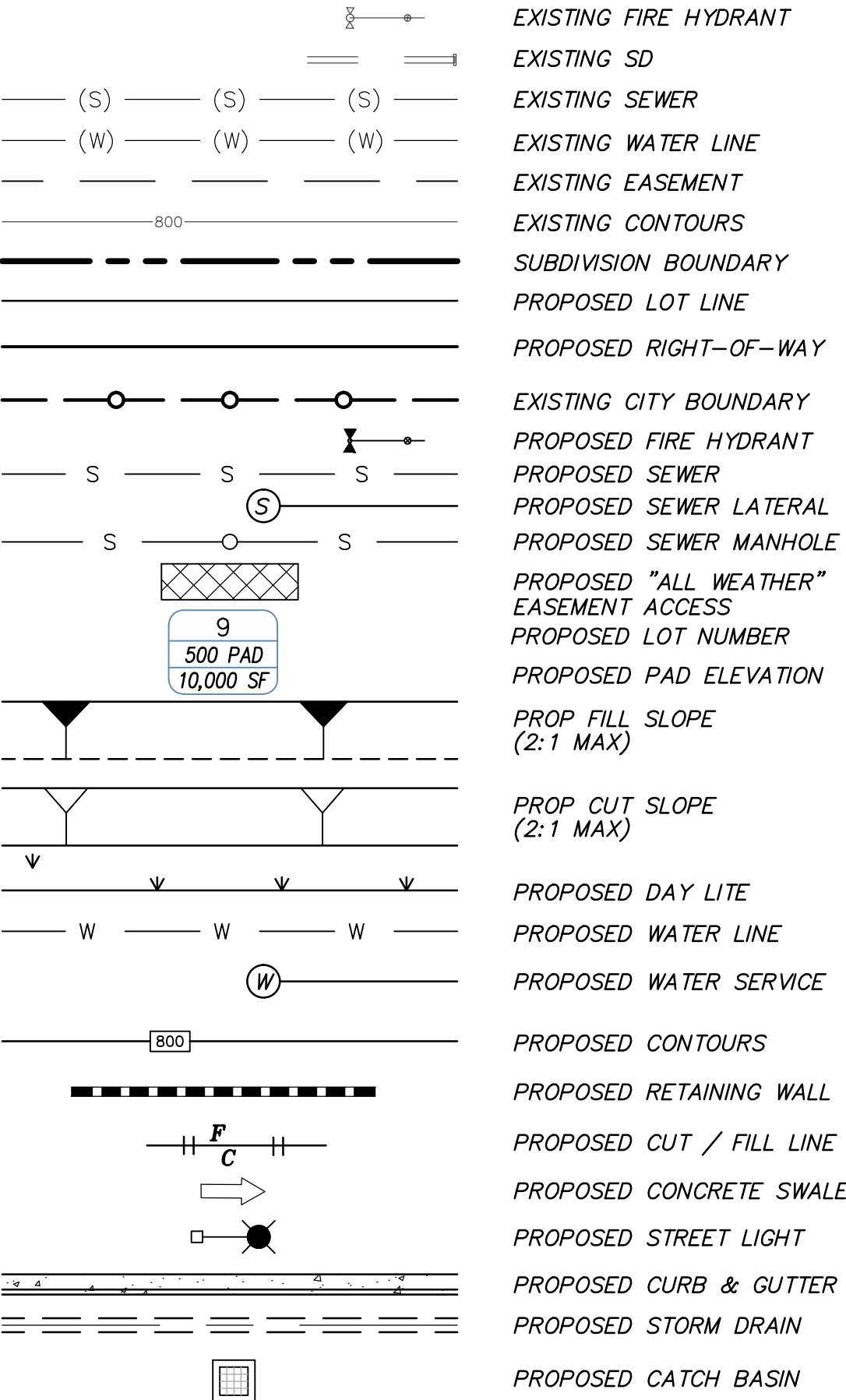


LEGEND:



AERIAL TOPOGRAPHY

AERIAL TOPOGRAPHY SUPPLIED BY: INLAND AERIAL SURVEYS, INC., 7117 ARLINGTON AVE, SUITE A, RIVERSIDE CA. 92503, AS JOB# 19-11665, FLOWN ON 9-20-2019.

ASSESSOR'S PARCEL NUMBERS

169-140-06, 169-140-07, 169-140-08 AND 169-140-12
TAX RATE AREA: 96005

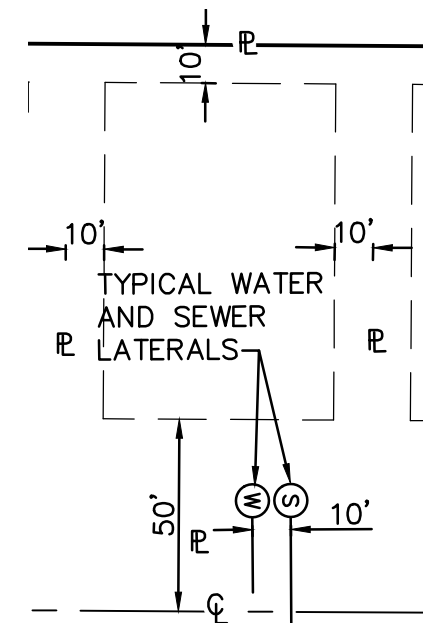
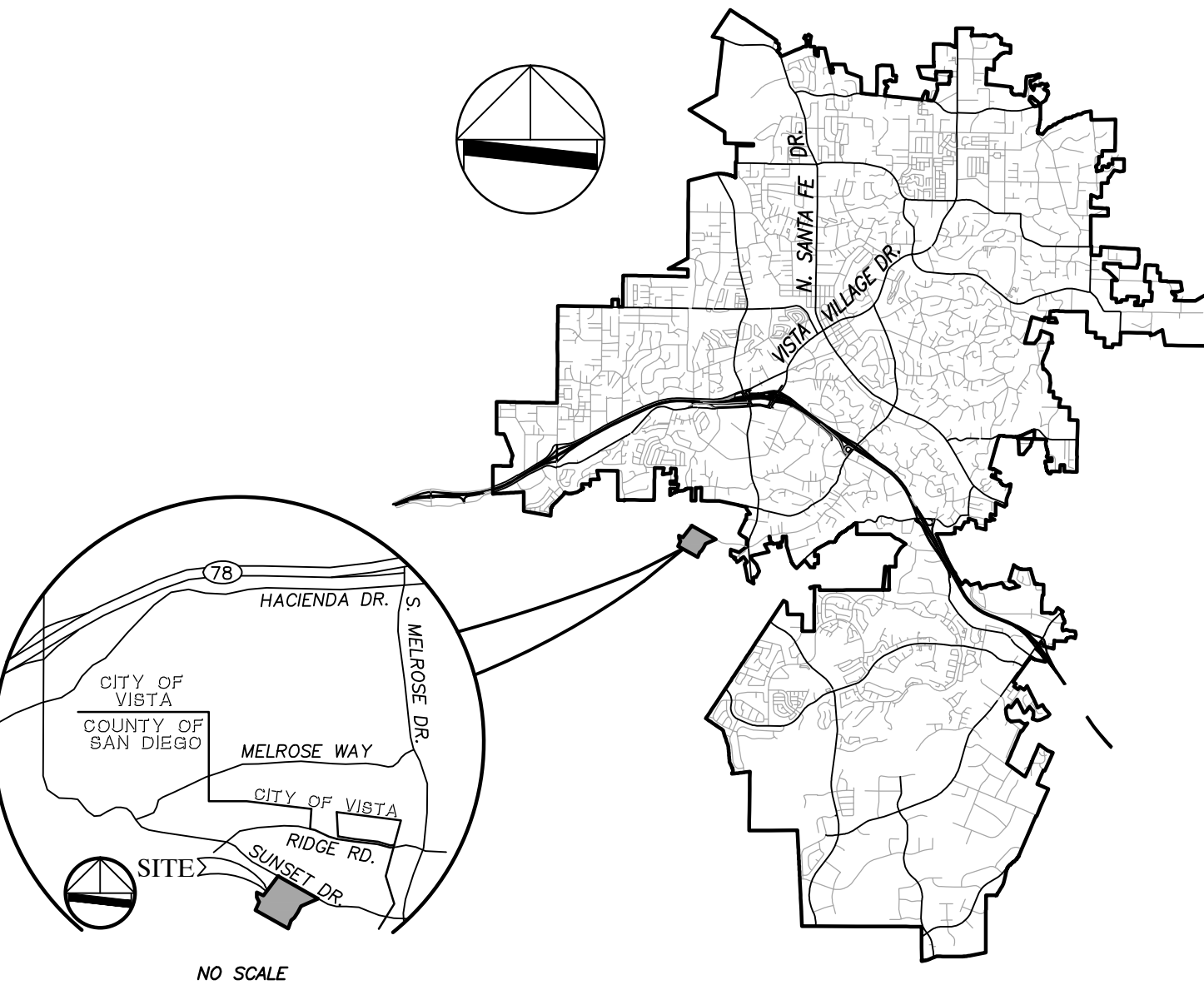
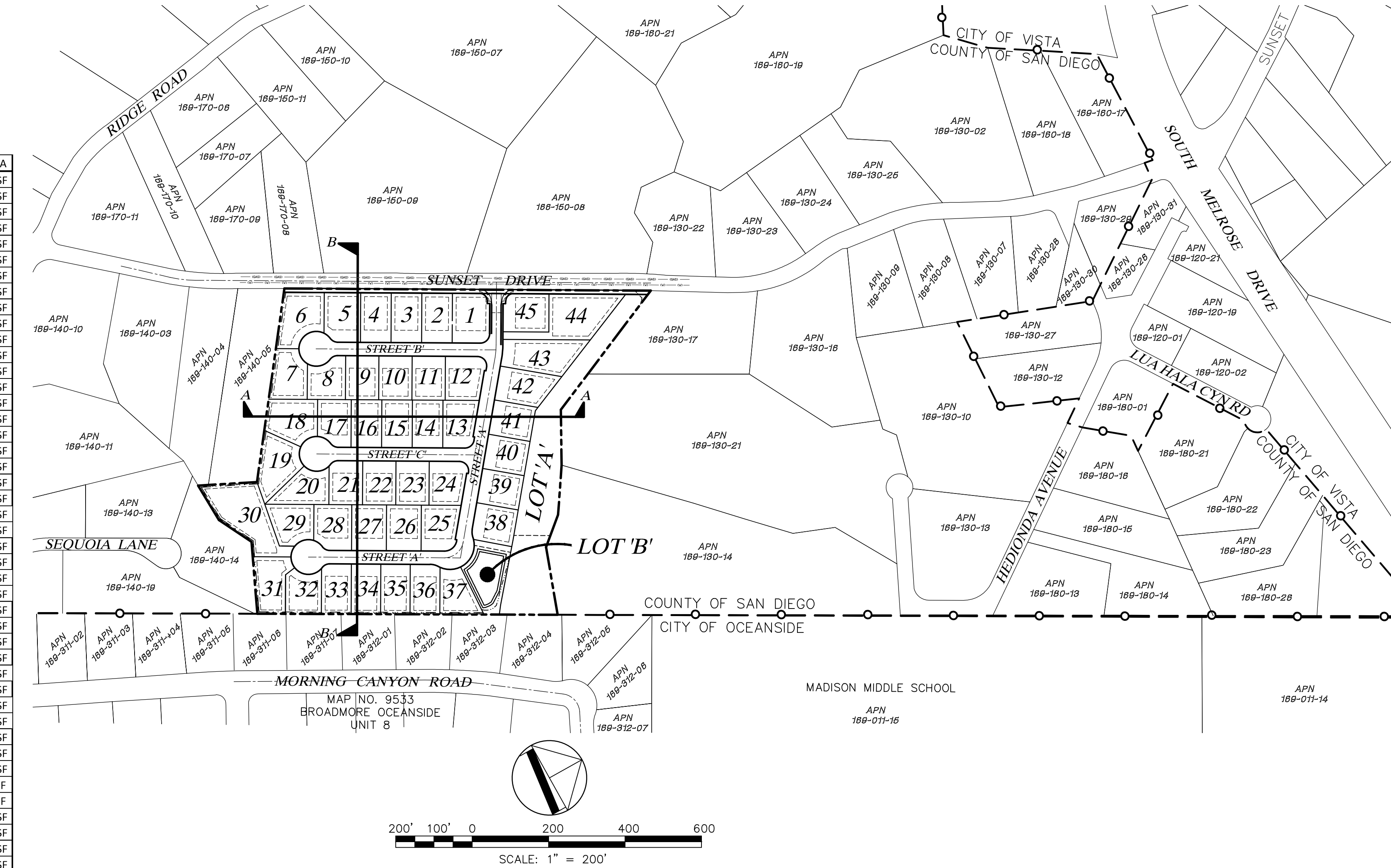
EASEMENTS

- ① AN EASEMENT FOR PIPE LINES AND INCIDENTAL PURPOSES TO VISTA IRRIGATION DISTRICT, RECORDED OCTOBER 6, 1925 IN BOOK 1125 OF DEEDS, PAGE 201. (NON-PLOTTABLE)
- ② AN EASEMENT FOR INGRESS AND EGRESS FOR THE PURPOSE OF CONSTRUCTING, MAINTAINING, OPERATING, REPAIRING AND REBUILDING OR INSPECTING ALL PIPE LINES AND MEASURING DEVICES AND INCIDENTAL PURPOSES TO VISTA IRRIGATION DISTRICT, RECORDED DECEMBER 20, 1944 AS BOOK 1785, PAGE 303 OF OFFICIAL RECORDS. (NON-PLOTTABLE)
- ③ AN EASEMENT FOR COUNTY HIGHWAY AND INCIDENTAL PURPOSES, RECORDED MARCH 06, 1986 AS INSTRUMENT NO. 1986-88356 OF OFFICIAL RECORDS.

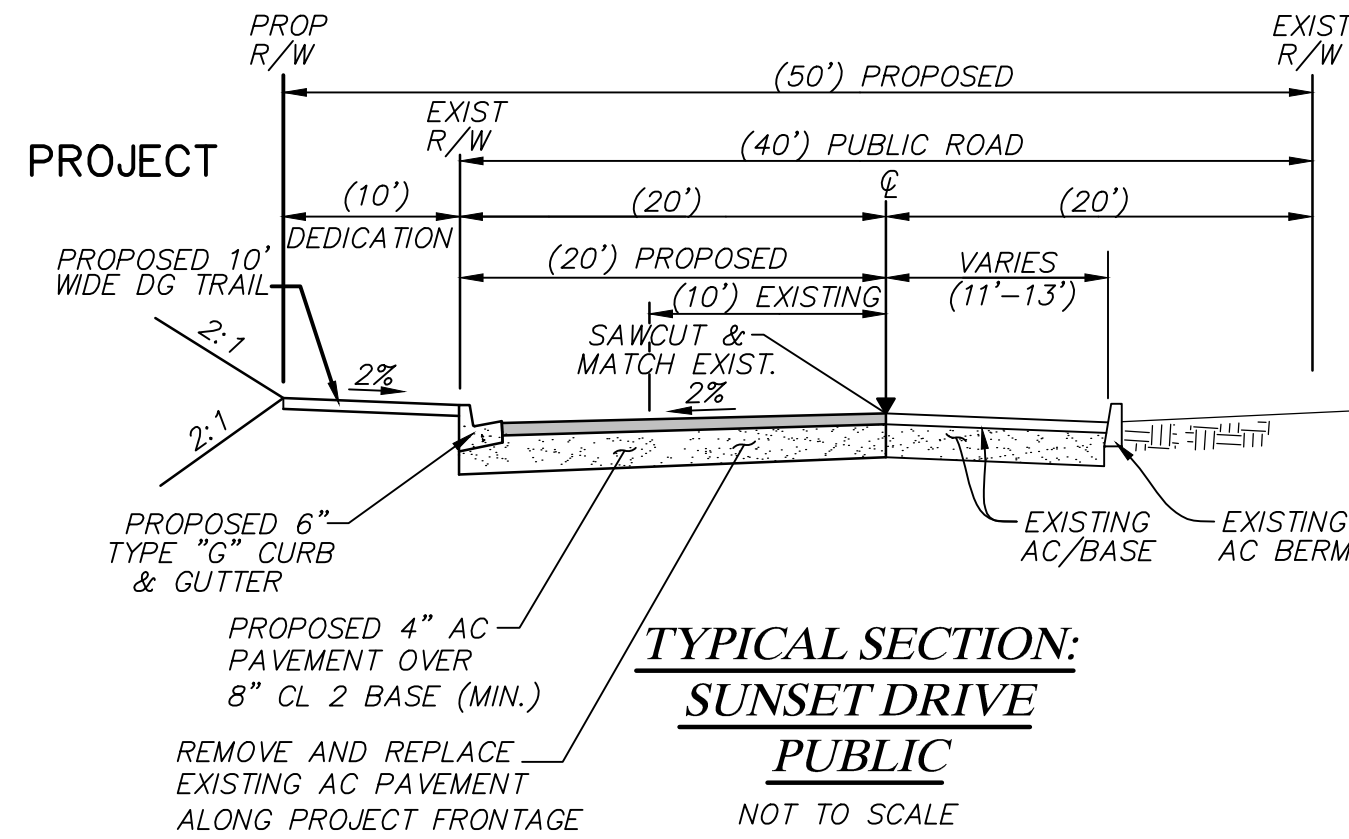
TENTATIVE SUBDIVISION MAP PC NO. X-XXX
SUNSET ESTATES

LOT NO	GROSS AREA	NET AREA
1	12,588 SF	12,588 SF
2	10,400 SF	10,400 SF
3	10,400 SF	10,400 SF
4	10,400 SF	10,400 SF
5	12,046 SF	12,046 SF
6	14,550 SF	14,550 SF
7	11,515 SF	11,515 SF
8	10,030 SF	10,030 SF
9	10,005 SF	10,005 SF
10	10,005 SF	10,005 SF
11	10,005 SF	10,005 SF
12	11,332 SF	11,332 SF
13	10,606 SF	10,606 SF
14	10,000 SF	10,000 SF
15	10,000 SF	10,000 SF
16	10,000 SF	10,000 SF
17	10,172 SF	10,172 SF
18	13,917 SF	13,917 SF
19	13,893 SF	13,893 SF
20	11,103 SF	11,103 SF
21	10,119 SF	10,119 SF
22	10,005 SF	10,005 SF
23	10,005 SF	10,005 SF
24	10,731 SF	10,731 SF
25	11,275 SF	11,275 SF
26	10,920 SF	10,920 SF
27	10,920 SF	10,920 SF
28	11,384 SF	11,384 SF
29	11,260 SF	11,260 SF
30	23,413 SF	23,413 SF
31	12,605 SF	12,605 SF
32	10,276 SF	10,276 SF
33	10,162 SF	10,162 SF
34	10,089 SF	10,089 SF
35	10,089 SF	10,089 SF
36	10,120 SF	10,120 SF
37	10,261 SF	10,261 SF
38	10,553 SF	10,553 SF
39	10,010 SF	10,010 SF
40	10,010 SF	10,010 SF
41	10,032 SF	10,032 SF
42	12,520 SF	12,520 SF
43	16,616 SF	16,616 SF
44	20,934 SF	20,934 SF
45	11,745 SF	11,745 SF
A	73,125 SF	73,125 SF
B	16,575 SF	16,575 SF

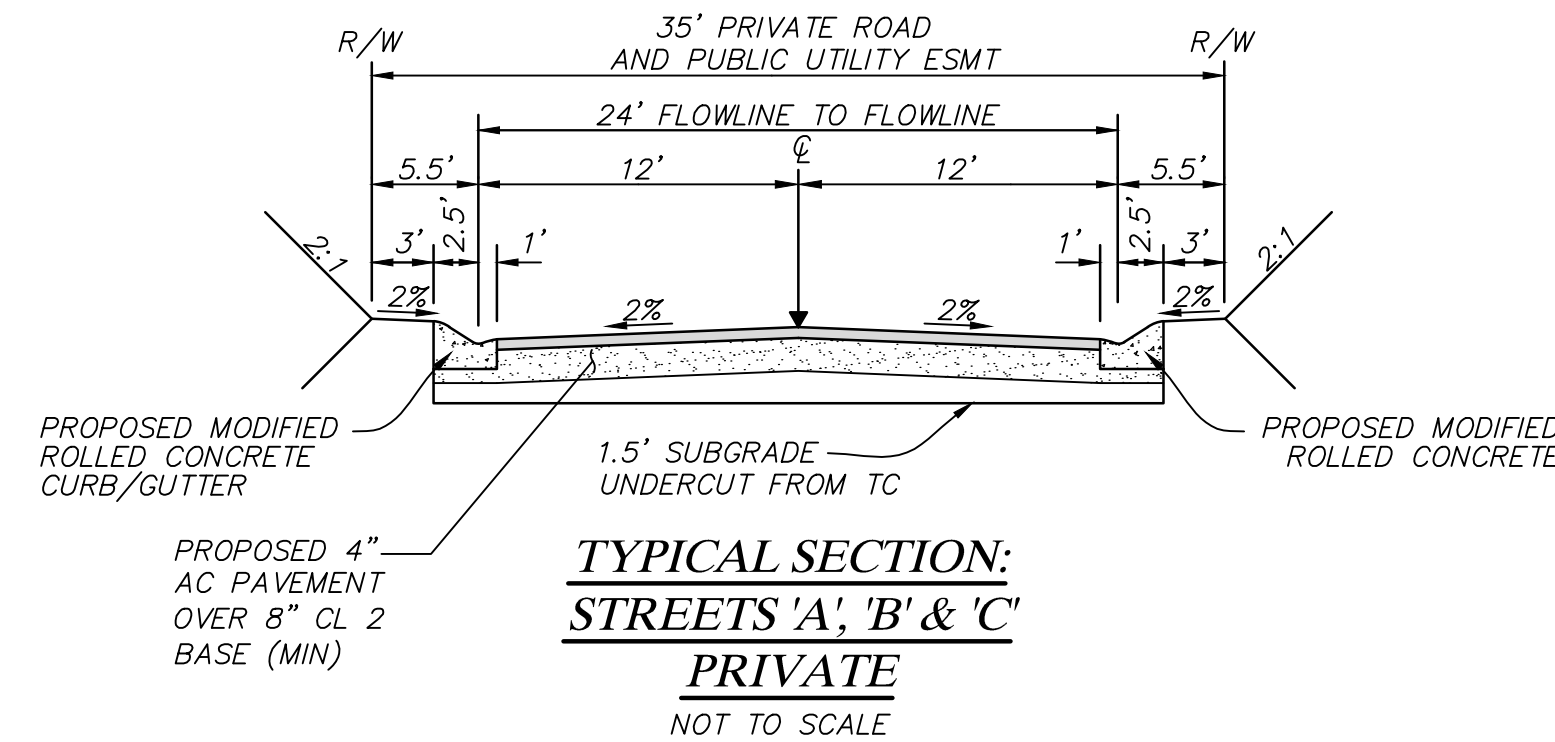
LOT TABLE



TYPICAL LOT SETBACK
AND LATERAL DETAIL
SCALE: 1"=50'



TYPICAL SECTION:
SUNSET DRIVE
PUBLIC
NOT TO SCALE



TYPICAL SECTION:
STREETS A, B & C
PRIVATE
NOT TO SCALE

OWNERS / SUBDIVIDER

WE HEREBY CERTIFY THAT WE ARE THE RECORD OWNERS OF THE PROPERTY SHOWN ON THIS TENTATIVE SUBDIVISION MAP AND THAT SAID MAP SHOWS OUR ENTIRE CONTIGUOUS OWNERSHIP (EXCLUDING SUBDIVISION LOTS). WE UNDERSTAND THAT PROPERTY IS CONSIDERED CONTIGUOUS EVEN IF IT IS SEPARATED BY ROADS, STREETS, UTILITY EASEMENTS OR RAILROADS RIGHTS-OF-WAY.

OWNER/SUBDIVIDER

ARNOLD S. MUELLER
1524 SUNSET DRIVE
VISTA, CA 92081

ARNOLD S. MUELLER, OWNER

ENGINEER OF WORK:

bha, Inc.
land planning, civil engineering, surveying
5115 AVENIDA ENCINAS
SUITE "1"
CARLSBAD, CA. 92008-4387
(760) 931-8700



RONALD L. HOLLOWAY RCE 29271 EXP. 3-31-21 DATE

LEGAL DESCRIPTION

LOTS 70, 71, 72, 73, AND 74 OF TRACT NO. 2 RANCHO MAR VISTA, IN THE COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 2069, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 31, 1927.

GENERAL NOTES:

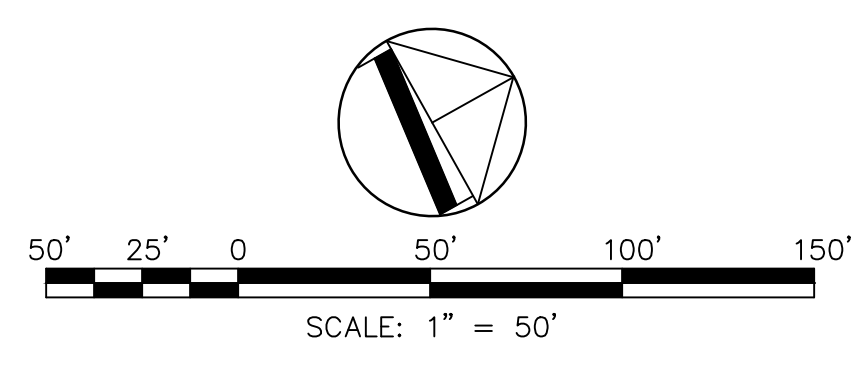
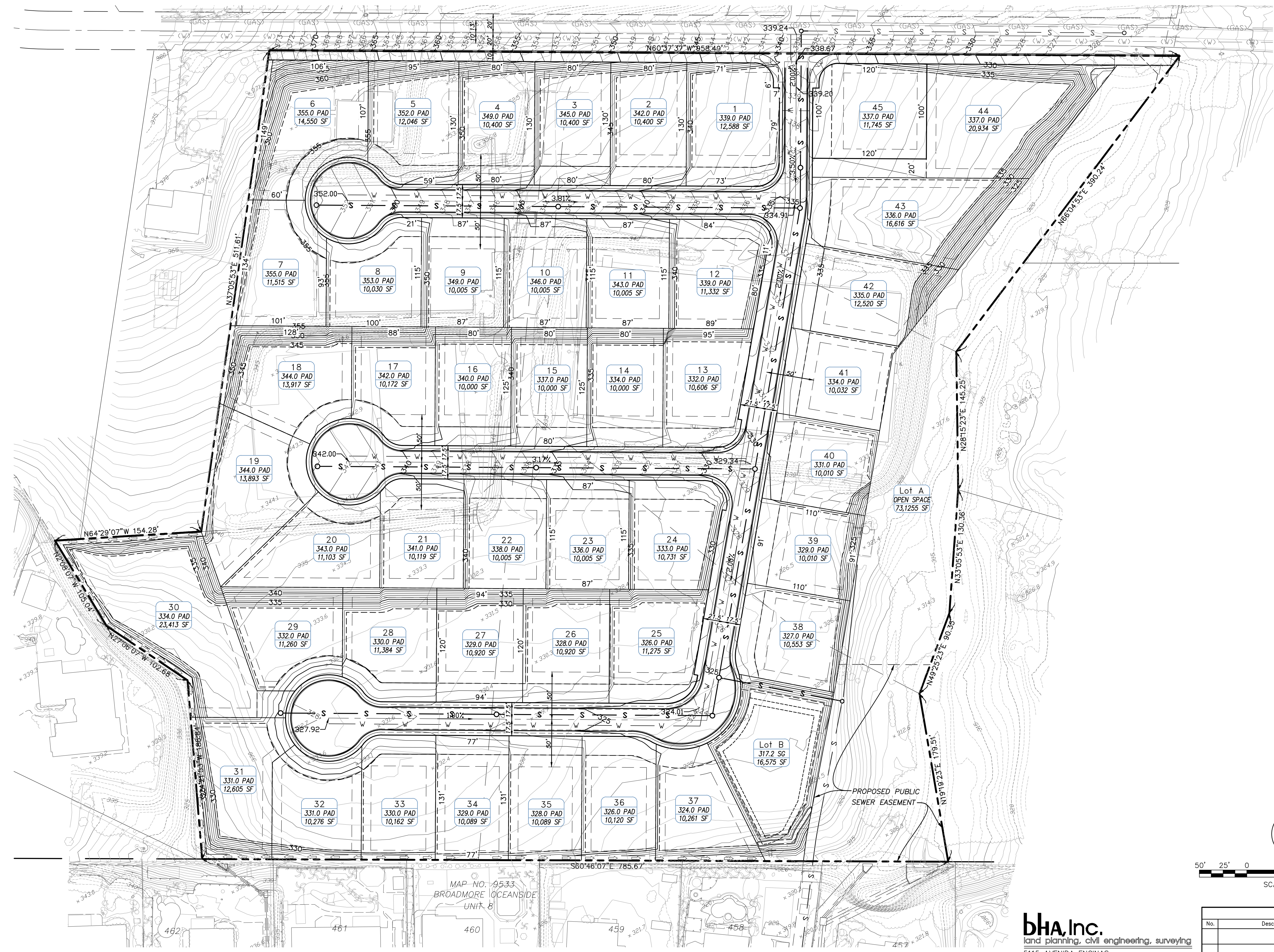
- TOTAL ACREAGE: 16.19 ACRES GROSS
- NUMBER OF LOTS: 47
- NUMBER OF DWELLING UNITS: 45
- EXISTING ZONING: RR (COUNTY OF SAN DIEGO)
PROPOSED ZONING: R-1 (CITY OF VISTA)
- EXISTING GENERAL PLAN: VILLAGE RESIDENTIAL (VR-43) (COUNTY OF SAN DIEGO)
PROPOSED GENERAL PLAN: MLD RESIDENTIAL 0-5 DU/AC (CITY OF VISTA)
- FINISH GRADES SHOWN HEREON ARE APPROXIMATE AND ARE SUBJECT TO CHANGE IN FINAL DESIGN.
- PROPOSED DENSITY: 2.8 DU/AC
- CUT AND FILL SLOPES NO STEEPER THAN 2:1
- PUBLIC SERVICES AND DISTRICTS:
 - GAS AND ELECTRIC : SAN DIEGO GAS AND ELECTRIC COMPANY
 - TELEPHONE : AT&T
 - WATER : VISTA IRRIGATION DISTRICT
 - SEWER : CITY OF VISTA
 - FIRE DISTRICT : CITY OF VISTA
 - SCHOOL DISTRICT : VISTA UNIFIED SCHOOL DISTRICT
- NO SPECIAL DISTRICTS ARE PROPOSED
- PROPOSED SETBACK: FRONT - 50' FROM CL
SIDE - 10'
REAR - 10' PLUS
- SEE STORM WATER MITIGATION PLAN PREPARED BY: BHA INC., DATED: XX-XX-19 TITLED: STORM WATER MANAGEMENT PLAN ON FILE WITH THE CITY ENGINEER.
- SEE PRELIMINARY DRAINAGE STUDY PREPARED BY: BHA INC., DATED: XX-XX-19 TITLED: HYDROLOGY & HYDRAULIC REPORT ON FILE WITH THE CITY ENGINEER.
- SEE PRELIMINARY GEOTECHNICAL EVALUATION PREPARED BY: GEOSOILS, INC. DATED: MAY 17, 2013 TITLED: PROPOSED 29-LOT SUBDIVISION, 1405 RIDGE VISTA, CA. (JOB # 6532-A-SC) ON FILE WITH THE CITY ENGINEER.
- APPLICATION FOR RE-ORGANIZATION FROM COUNTY OF SAN DIEGO TO CITY OF VISTA FILED CONCURRENTLY.
- THE ENTIRE WIDTH OF SUNSET DRIVE WILL BE ANNEXED TO THE CITY FROM THE WESTERLY PROPERTY LINE TO EXISTING CITY BOUNDARY WITHIN SUNSET DRIVE TO THE EAST.

EARTHWORK QUANTITIES

CUT: 58,650 C.Y.
FILL: 58,650 C.Y.
EXPORT: 0
C.Y. PER LOT 1,871 C.Y.

REVISIONS			
No.	Description	Approved by	Date

TENTATIVE SUBDIVISION MAP PC NO. X-XXX
SUNSET ESTATES

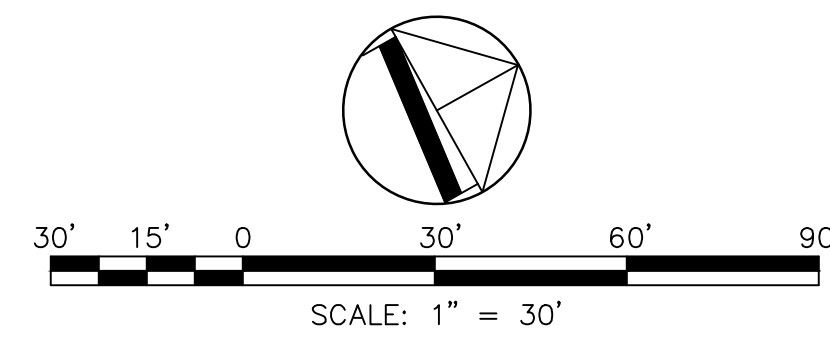
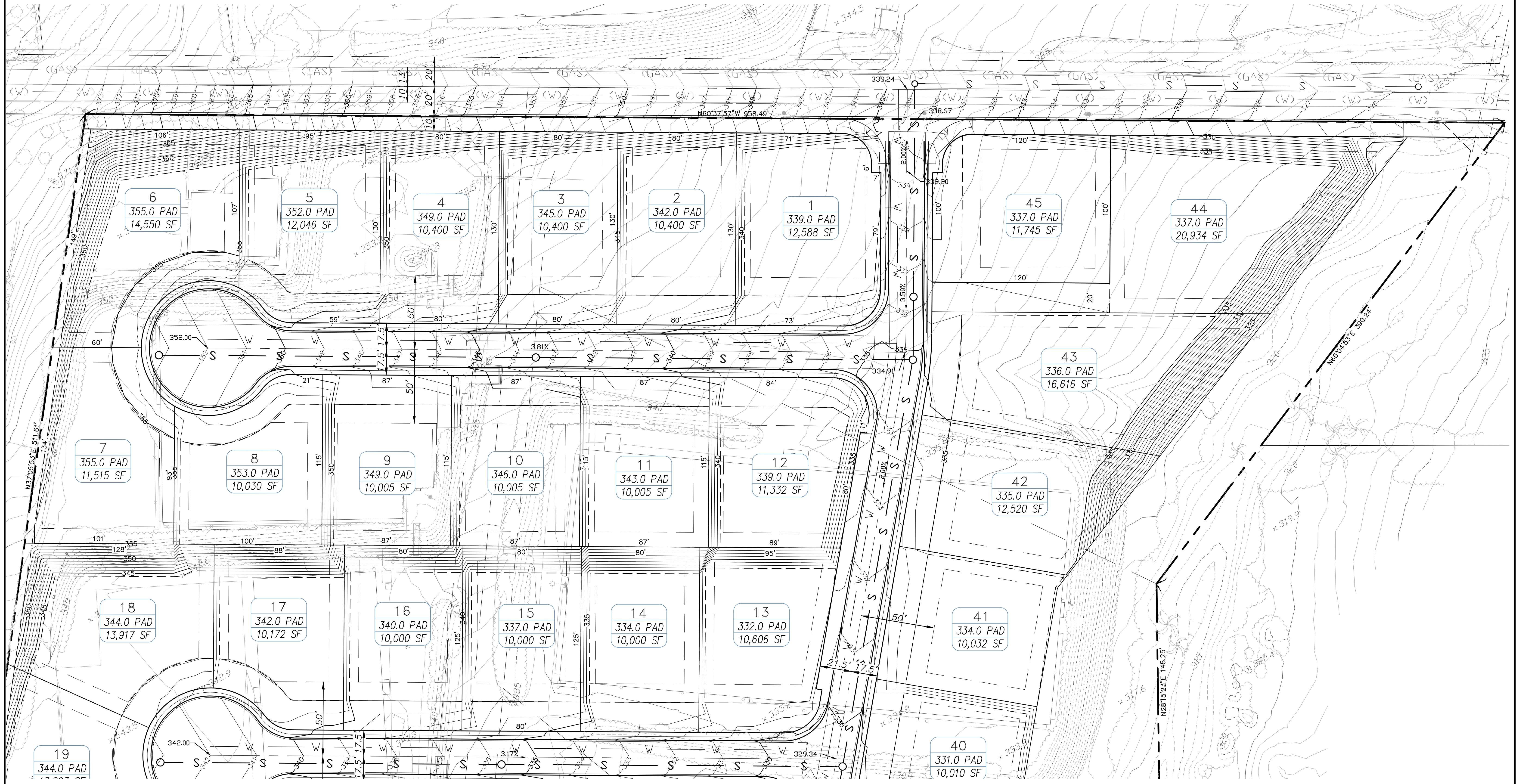


MAP NO. 9533
BROADMORE OCEANSIDE
UNIT 8

bha, Inc.
land planning, civil engineering, surveying
5115 AVENIDA ENCINAS
SUITE "L"
CARLSBAD, CA. 92008-4387
(760) 931-8700

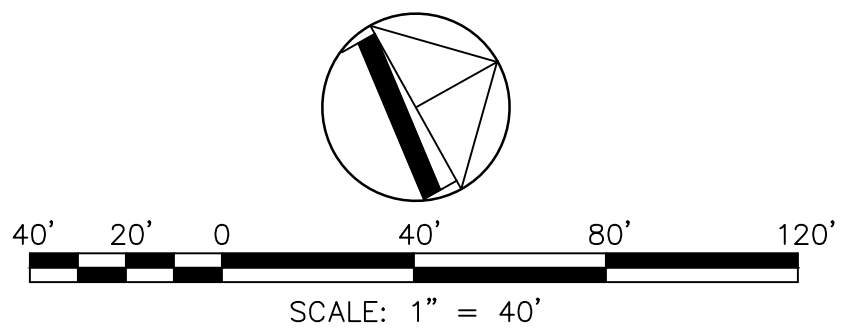
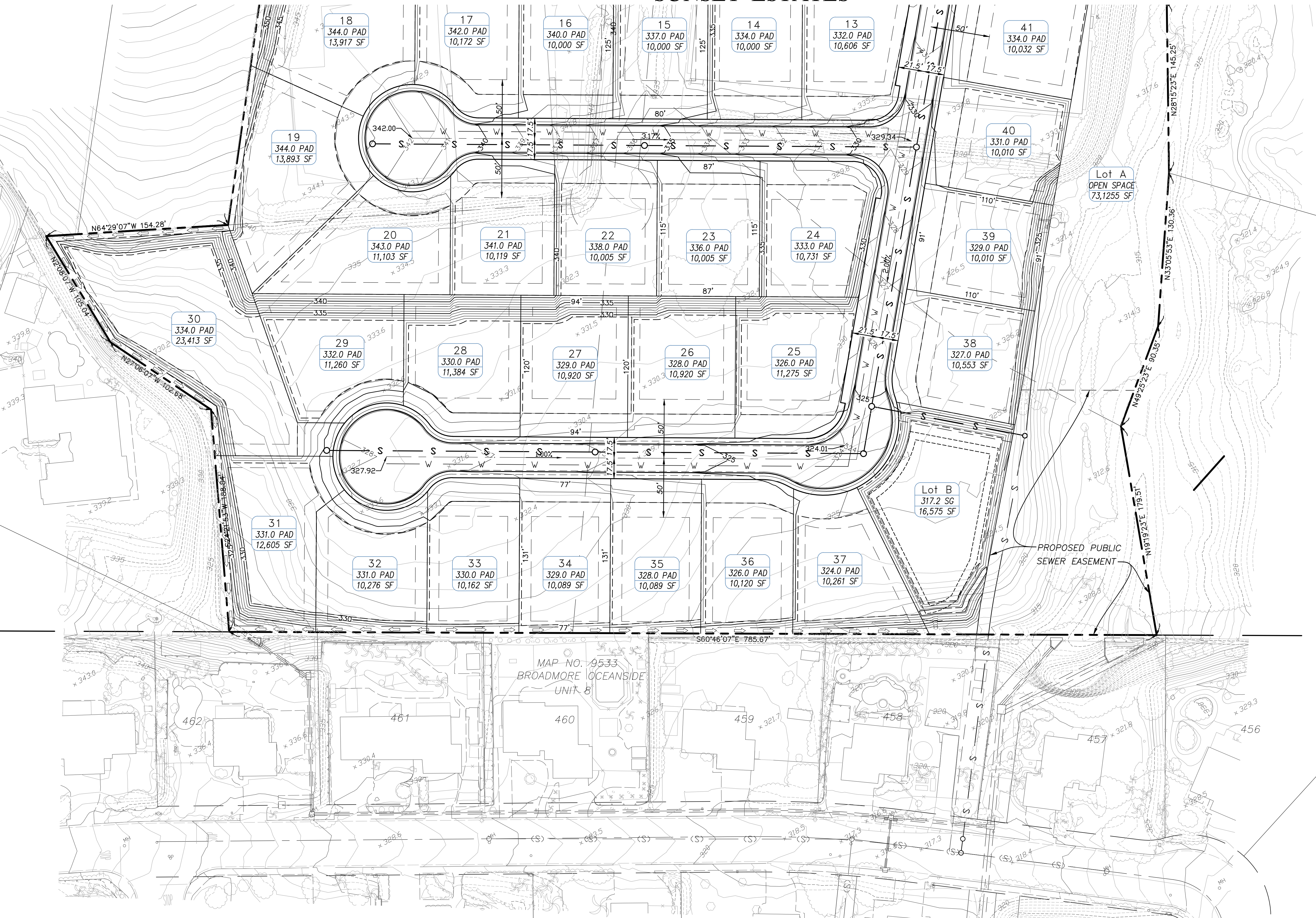
REVISIONS			
No.	Description	Approved by	Date

TENTATIVE SUBDIVISION MAP PC NO. X-XXX
SUNSET ESTATES



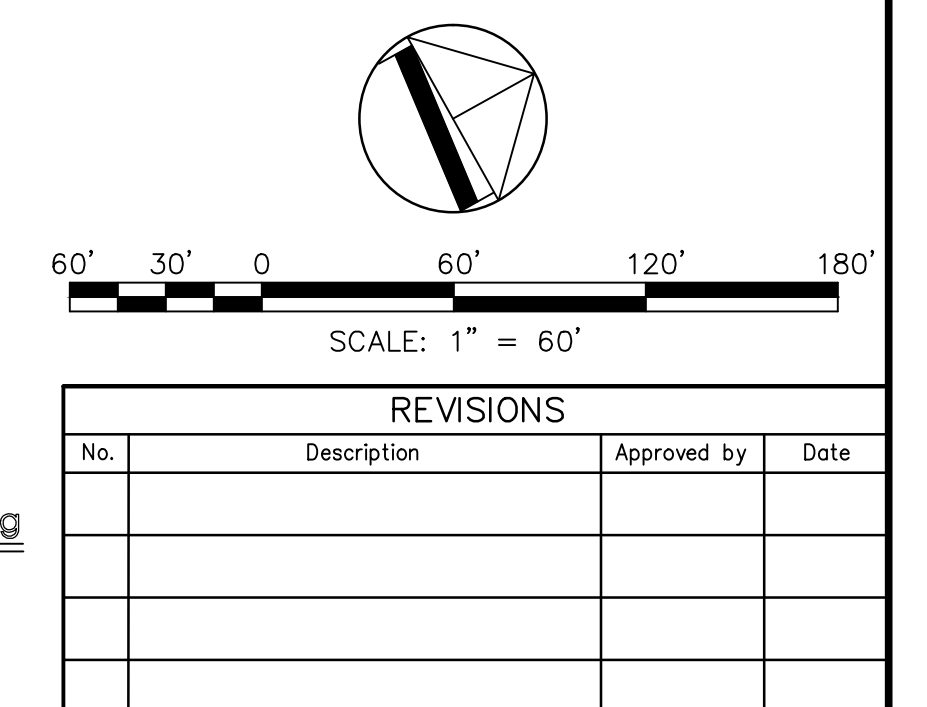
REVISIONS			
No.	Description	Approved by	Date

TENTATIVE SUBDIVISION MAP PC NO. X-XXX
SUNSET ESTATES



REVISIONS			
No.	Description	Approved by	Date

SHEET 5 OF 5



bHA, Inc.
land planning, civil engineering, surveying

5115 AVENIDA ENCINAS
SUITE "L"
CARLSBAD, CA. 92008-4387
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