





SIGNED
12/16/2021

CLIENT:

VICTOR GUIYONG ZHANG
4647 TORREY CIRCLE, SUITE L-203
SAN DIEGO, CA 92130

TEL: (909) 227-8028

PROJECT ADDRESS:

LOT 76 D
CIELO

17928 EL BRAZO
RANCHO SANTA FE, CA 92067
APN: 264 - 383 - 03 - 00

PROJECT:

SINGLE FAMILY
RESIDENCE

REVISIONS

NO.	DESCRIPTION	DATE
1	PLAN CHECK	APRIL 26, 2022

ALL DIMENSIONS AND CONDITIONS ARE TO BE
VERIFIED BY CONTRACTOR BEFORE START OF
CONSTRUCTION

JOB NO.:

DATE: DECEMBER 16, 2021

DRAWN BY: JEP

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SHEET TITLE:

PLOT PLAN

SHEET NO.:

AS-1.1

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SPECIAL INSPECTION

SPECIAL INSPECTION REQUIRED FOR THE FOLLOWING:
1. SHEAR WALLS
2. DIAPHRAGMS
3. DRAG STRUTS
4. BRACES - OF MAIN SEISMIC FORCE-RESISTING SYSTEMS
SEE SPECIAL INSPECTION FORM ON THIS SHEET (BELOW)

WORK REQUIRING SPECIAL INSPECTION	ITEM DESCRIPTION AND LOCATION	DESIGN STRENGTH	NAME OF SPECIAL INSPECTOR	PHONE NUMBER OF SPECIAL INSPECTOR
SPECIAL INSPECTIONS REQUIRED BY CBC SECTION 1705				
*FOR R-3 AND U OCCUPANCIES ACCESSORY TO RESIDENTIAL OCCUPANCIES				
SPECIAL INSPECTION IS NOT REQUIRED FOR: ITEMS 1b, 2a (WHEN $f_c \leq 3,000$ psi), 2c, 3a (WHEN $f_m \leq 1,500$ psi), and 3b (WHEN WALL HEIGHT IS ≤ 10 FT.).				
STRUCTURAL OBSERVATION IS PERMITTED IN LIEU OF SPECIAL INSPECTION FOR: ITEMS 1d, 3a, 3b (WHEN WALL HEIGHT IS > 10 FT.), 4a, AND 4b.				
1. Steel Construction				
a. Field welding				
b. Steel frame*				
c. High-strength bolts				
d. Cold-formed steel framing*				
2. Concrete Construction				
a. $f_c > 2,500$ psi*				
b. Post Installed Anchors				
c. Structural slabs*				
d. Pre-stressed / post-tensioned slabs				
3. Masonry Construction				
a. Masonry walls*				
b. Site walls other than County Standard plans*				
4. Wood Construction				
a. High-load diaphragms*				
b. Structural wood: Nailing, bolting, anchoring and other fastening of components within the lateral-force-resisting system where fastener spacing of sheathing is 4 inches o.c. or less*				
5. Foundations				
a. Driven deep foundations				
b. Cast-in-place deep foundations				
c. Helical pile foundations				
6. Sprayed fire-resistant materials				
7. Mastic and intumescent fire-resistant coatings				
8. Exterior insulation and finish systems (EIFS)				
9. Fire-resistant penetrations and joints in Risk Category III or IV buildings				
10. Smoke control systems				
11. Installation and anchorage of mechanical and electrical components				
a. Electrical equipment for emergency standby power systems				
b. Other electrical equipment in structures in Seismic Design Category E or F				
c. Piping systems or ductwork designed to carry hazardous materials				
d. Vibration isolation systems with 1/4 inch or less clearance required between support frame and restraint				
12. Storage racks				
13. Seismic isolation systems				

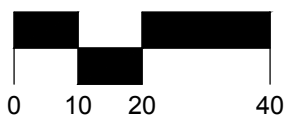
REQUIRED SPECIAL FEATURES:

THE FOLLOWING ARE FEATURES THAT MUST BE INSTALLED AS CONDITION FOR MEETING THE MODELLED ENERGY PERFORMANCE:
1. BATTERY SYSTEM: 5 kWh (SELF UTILIZATION CREDIT TAKEN)
2. CEILING HAS HIGH LEVEL OF INSULATION

HERS FEATURE SUMMARY:

A. VERIFIED SYSTEM REFRIGERANT CHARGE - TBD DURING CONSTRUCTION
B. MINIMUM AIRFLOW SHALL BE 350 CFM/TON
C. FAN EFFICACY - 0.45 W/TON
D. COOLING SEER - 14, SEER - 12.5
E. 140 FAN - 1200 CFM
F. KITCHEN RANGE HOODS, KITCHEN RANGE HOODS MUST BE RATED FOR SOUND IN ACCORDANCE WITH SECTION 12 OF ASHRAE 62.2. FIELD VERIFICATION AND DIAGNOSTIC TESTING. DUELLING UNIT VENTILATION AIRFLOW MUST BE VERIFIED IN ACCORDANCE WITH REFERENCE RESIDENTIAL APPENDIX K.3.4.3 TO CONFIRM IT IS RATED BY HVI TO COMPLY WITH THE AIRFLOW RATES AND SOUND REQUIREMENTS AS SPECIFIED IN SECTION 5 AND 12 OF ASHRAE 62.2.

PLOT PLAN SCALE: 1" = 30'





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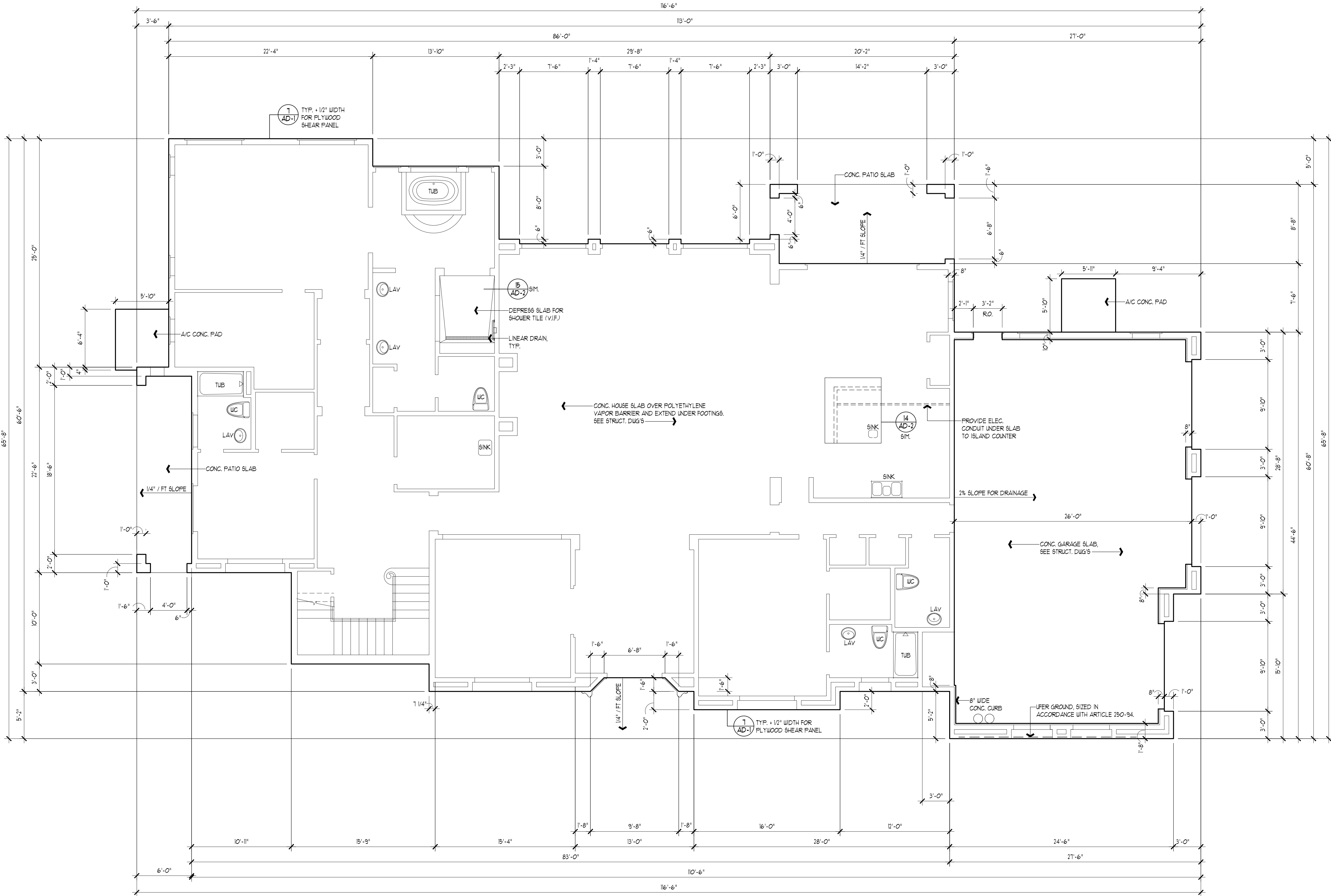
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FOUNDATION
DIMENSION PLAN

SHEET NO.:

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FOUNDATION DIMENSION PLAN SCALE: 3/16" = 1'-0"



NOTES:

- THIS PLAN IS FOR FOUNDATION PERIMETER ONLY. FOR STRUCTURAL INFORMATION REFER TO STRUCTURAL FOUNDATION PLAN. THE APPROVED SOILS REPORT SHALL BE A PART OF THE PLANS AND SHALL BE KEPT AT THE JOB SITE AT ALL TIMES.
- COORDINATE LOCATIONS OF SLEEVES FOR UNDERGROUND PLUMBING AND ELECTRICAL W/ PLUMBING AND ELECTRICAL DWGS.
- COORDINATE LOCATION OF UNDERGROUND UTILITIES W/ PLUMBING, ELECTRICAL, CIVIL, AND FIRE SPRINKLER DWGS. PROVIDE SLEEVES FOR NEW WORK.
- SEE STRUCTURAL DWGS FOR INSTALLATION OF SLEEVES.
- REFER TO STRUCTURAL DWGS ADDITIONAL SCOPE OF WORK. REPORT ALL DISCREPANCIES IN WRITING TO OWNER AND DESIGNER PRIOR TO COMMENCEMENT OF WORK.
- SEE SURVEY AND CIVIL DRAWINGS FOR DIMENSIONS OF PROPERTY LINES.
- SEE STRUCTURAL FOR ADDITIONAL FOUNDATION INFORMATION.
- COORDINATE COLUMN LOCATIONS WITH STRUCTURAL DWGS.
- PROVIDE ADDITIONAL 1/2" WIDTH TO PERIMETER OF FOUNDATION TO ACCOMMODATE PLYWOOD SHEAR PANEL THICKNESS. SEE DETAIL 1 / AD-1

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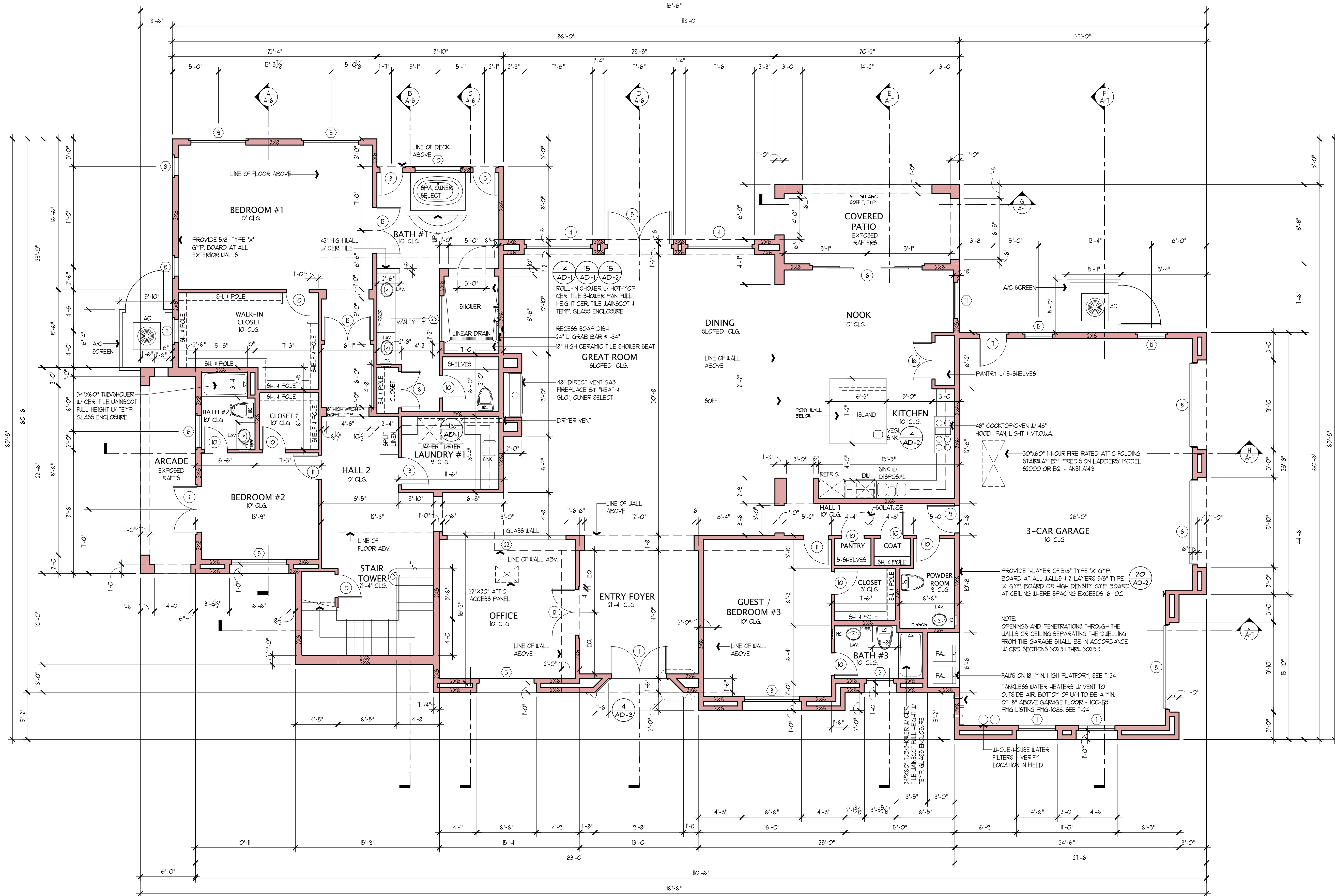
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FIRST FLOOR PLAN

SHEET NO.:

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FIRST FLOOR PLAN
 SCALE: 3/16" = 1'-0"

STUD WALL NOTES:

- FRONT WALLS: USE (2) 2X6 EXTERIOR STUDS w/ 6" AIR SPACE, U.N.O.
- SIDES & REAR WALLS: USE 2X8 EXTERIOR STUDS w/ 2" WINDOW RECESS, U.N.O.
- ALL INTERIOR WALLS: USE 2X4 STUDS, EXCEPT AT BEARING WALLS & PLUMBING WALLS WHICH ARE 2X6
- GARAGE WALLS WITH NO WINDOWS OR DOORS: USE 2X6 STUDS

NOTES:

- BATHROOM FANS TO PROVIDE 5 AIR CHANGES PER HOUR
- ALL WATER CLOSETS TO BE BY TOTO; WALL HUNG 1.6 GALLONS PER FLUSH - OWNER SELECT, INSTALL PER MANUFACTURER'S SPECIFICATIONS
- FREE-STANDING SOAKING TUB TO BE BY KOHLER OR EQUAL, TO BE FILLED FROM CEILING ON SINK SIDE, TO HIT ANGLE OF TUB SO AS TO NOT SPLASH - OWNER SELECT
- SHOWERS SHALL HAVE EITHER A PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE
- WALL COVERINGS OF SHOWERS OR TUBS WITH SHOWERS SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL, TO A HEIGHT OF NOT LESS THAN 70" ABOVE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. GLASS BELOW 60" A.F.F. TO BE TEMPERED. GLASS ENCLOSURE DOORS MUST BE LABELED CATEGORY II, SWING DOOR OUTWARD OR SLIDER. NET AREA OF SHOWER RECEPTOR NOT LESS THAN 1024 SQ. IN. OF FLOOR AREA AND ENCOMPASS 30 INCH DIA. CIRCLE.
- WATER RESISTANT GYPSUM BOARD IS NOT PERMITTED FOR TILE BACKING AT SHOWER / TUB - PROVIDE CEMENT BOARD (BACKERBOARD) AT ALL SHOWER AND TUB ENCLOSURES. PROVIDE TRAP AT SHOWER IN LINE OF PLUMBING ACCESS
- ALL APPLIANCES TO BE BY MIELE - OWNER SELECT
- ALL PRE-FAB FIREPLACES SHALL HAVE A MINIMUM CLEARANCE OF 1" FROM SIDES AND 1" FROM BACK, AND MINIMUM CLEARANCE OF 48" FROM THE FRONT AS PER MANUFACTURER'S REQUIREMENTS - (MAINTAIN SPECIFIED AIR SPACE CLEARANCES TO APPLIANCES AND VENT PIPES). ALSO, REFER TO MANUFACTURER'S INSTALLATION REQUIREMENTS.



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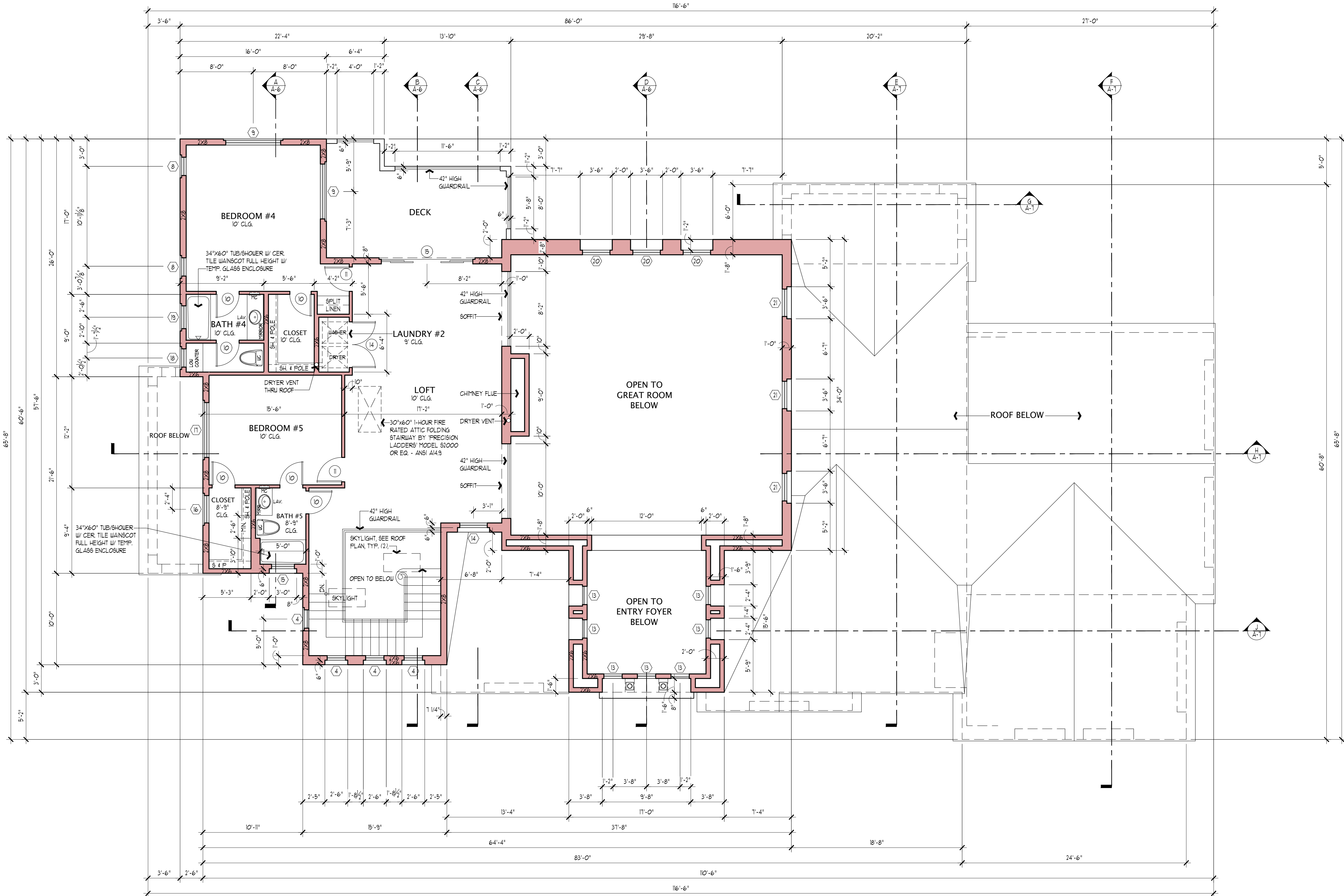
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SECOND FLOOR PLAN

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SECOND FLOOR PLAN

SCALE: 3/16" = 1'-0"



STUD WALL NOTES:

- FRONT WALLS: USE (2) 2X6 EXTERIOR STUDS w/ 6" AIR SPACE, U.N.O.
- SIDES & REAR WALLS: USE 2X8 EXTERIOR STUDS w/ 2" WINDOW RECESS, U.N.O.
- ALL INTERIOR WALLS: USE 2X4 STUDS, EXCEPT AT BEARING WALLS & PLUMBING WALLS WHICH ARE 2X6
- GARAGE WALLS WITH NO WINDOWS OR DOORS: USE 2X6 STUDS



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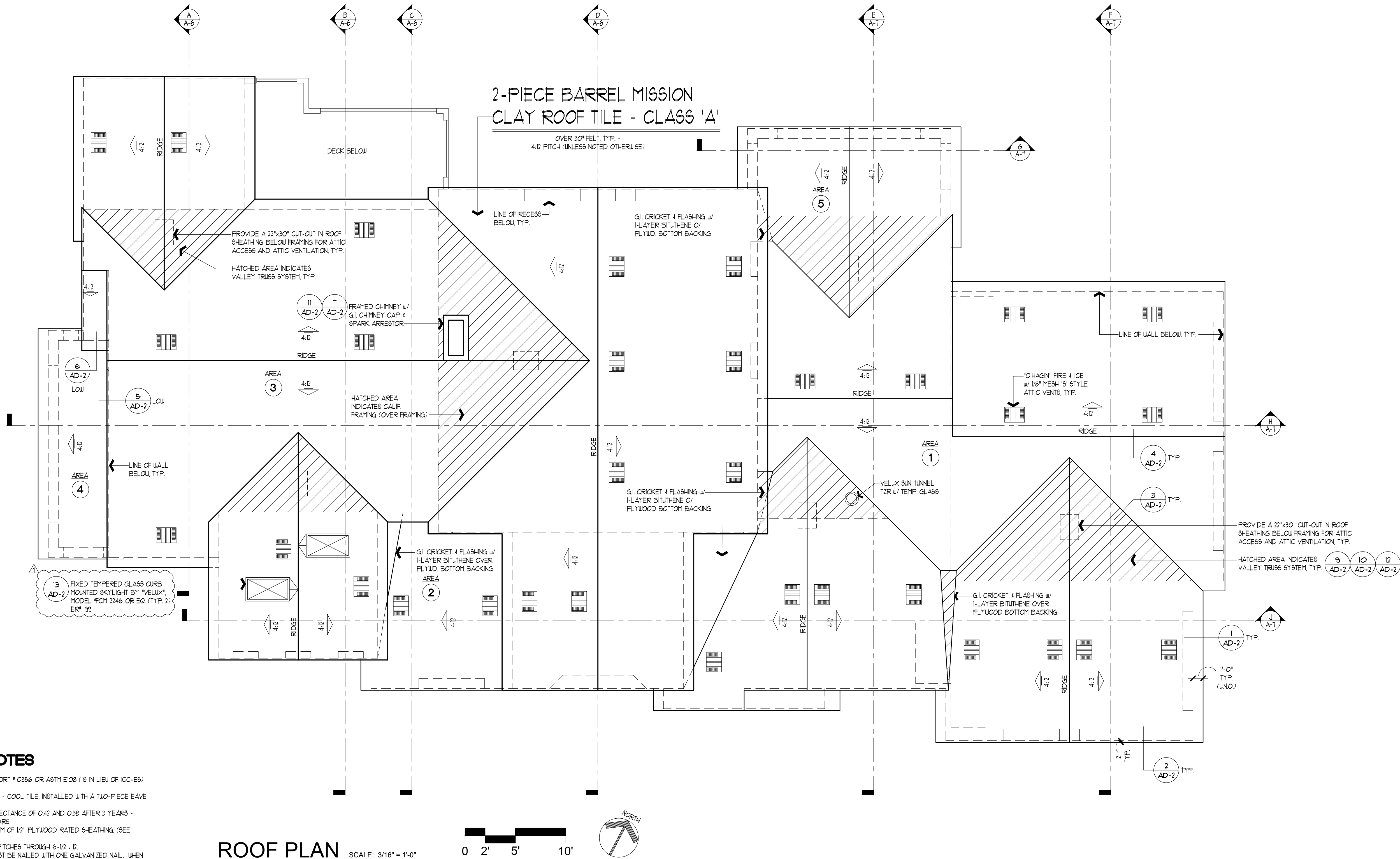
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ROOF PLAN

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ROOF INSTALLATION NOTES

ROOF TILE BY 'MCA CLAY ROOF TILE' - IAFMO E5 REPORT # 0356 OR ASTM E108 (15 IN LIEU OF ICC-E5)

- ROOF TILE TO BE '9" OLD MISSION BLEND TAPERED - COOL TILE, INSTALLED WITH A TWO-PIECE EAVE LINE - CLASS 'A' w/ SHARK SKIN PRODUCT.
- ROOF TO BE CORC-1 CERTIFIED w/ AGE SOLAR REFLECTANCE OF 0.42 AND 0.38 AFTER 3 YEARS - THERMAL EMISSION OF 0.86 AND 0.84 AFTER 3 YEARS
- SOLID SHEATHING: APPLICATION TO BE OVER MINIMUM OF 1/2" PLYWOOD RATED SHEATHING. (SEE STRUCTURAL DRAWINGS)
- BATTENS: 1x2 TREATED BATTENS OPTIONAL AT ALL PITCHES THROUGH 6:12 ; 12.
- NAILING - OVER BATTENS: ALL PERIMETER TILES MUST BE NAILED WITH ONE GALVANIZED NAIL. WHEN BATTENS ARE NOT USED ALL TILES MUST RECEIVE 10d GALVANIZED NAIL. IN ALL CASES, TILES INSTALLED ON CANTILEVERED ROOF ELEMENTS SUCH AS GABLES AND EAVES, REGARDLESS OF ROOF PITCH, AND EACH PERIMETER TILES ON ALL ROOFS ARE REQUIRED TO RECEIVE ONE NAIL.
- VERTICAL CHALK LINES FOR ALIGNMENT AND SPACING ARE USEFUL FOR 1" TILE ALIGNMENT.
- HIP PIECES MUST BE CUT NEAT AND TIGHT TO WITHIN A MAXIMUM OF 1/2" OF HIP BOARD, THOSE PIECES TOO SMALL TO NAIL MUST BE SET IN MASTIC.
- WHEN STARTING WITH A FULL TILE, RIGHT RAKES ONLY REQUIRE THE EQUIVALENT OF A 2"x2' STARTER. START TILE COURSE 1" MINIMUM BACK FROM FACE OF BARGE RAFTER. SEE SPECIFICATIONS FOR ALTERNATE STARTING PROCEDURE.
- PROVIDE MINIMUM 30 LB. ASTM APPROVED FELT UNDERLAYMENT.
- EAVE CLOSURES SHOULD BE INSTALLED IN ALL AREAS DESIGNATED AS FIRE ZONES.
- FLASHINGS: CHECK SPECIFICATIONS FOR PROPER SIZES.
- G.I. ROOFING NAILS.
- ROOF PITCH PER PLAN.
- SEE MANUFACTURER'S SPECIFICATIONS FOR MORE COMPLETE INFORMATION.
- MINIMUM NAILING SHALL COMPLY WITH THE FOLLOWING:
 - II GA. CORROSION-RESIST. 3/4" INTO SHEATHING PER TABLE NO. 15-D-1.
 - THE HEADS OF ALL TILES SHALL BE NAILED.
 - THE NOSES OF ALL EAVE COURSE TILES SHALL BE FASTENED WITH APPROVED CLIPS.
 - ALL RAKE TILES SHALL BE NAILED WITH TWO NAILS.
 - THE NOSES OF ALL RIDGES, HIP AND RAKE TILES SHALL BE SET IN A BEAD OF APPROVED ROOFER'S MASTIC.
- INSTALLED WEIGHT: 95 lbs. PER SQ. FOOT
- PROVIDE EAVE TILE CLIPS
- LOWER ROOF TO BE RE-FELTED AFTER REMOVING SCAFFOLD.
- DOUBLE WRAP HIPS AND RIDGES, VALLEY TO RECEIVE TWO LAYERS OF 30" FELT. FELT TO BE EXTENDED UP WALLS A MINIMUM OF 8" WITH ROOF TO WALL. NAILED # 16" O.C. ROOFER TO INSTALL ALL SHEET METAL FROM FASCIA UP.
- ROOFS SHALL BE INSTALLED PER THE MANUFACTURER'S HIGH WIND SPECS.
- PROVIDE MINIMUM OF 250 SF. AREA FOR FUTURE FREE-STANDING SOLAR PANELS - UNDER SEPARATE PERMIT.

ROOF PLAN

SCALE: 3/16" = 1'-0"

ROOF PLAN GENERAL NOTES

- ROOF IS CLAY TILE OVER 30 lb FELT OVER PLYWOOD SHEATHING AS PER STRUCTURAL DRAWINGS. ROOF FELT TO BE LAPPED 2" AND END LAPPED 6", AS PER C.B.C.
- WOOD TRUSSES (BY OTHERS) @ 24" O.C. - REFER TO STRUCTURAL DRAWINGS AND TRUSS MANUFACTURER'S LAYOUTS FOR EXACT SIZE.
- SPARK ARRESTORS SHALL BE INSTALLED PER MANUFACTURER'S SPECS IF REQUIRED
- 50% OF REQUIRED VENTILATORS LOCATED IN UPPER PORTION OF ATTIC AT LEAST THREE FEET ABOVE THE EAVES.
- PROVIDE CHIMNEY CAP w/ G.I. SADDLE - PAINT TO MATCH ADJACENT ROOFING FOR COMPLETE ROOFING NOTES AND DETAILS SEE SHEET D-2. OPENINGS INTO ATTICS SHALL BE COVERED WITH CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4 INCH (6.4mm).
- NO EAVE OR CORNICE VENTS ALLOWED
- EAVES SHALL BE PROTECTED - IGNITION RESISTANT AND NON-COMBUSTIBLE
- IN ROOF COVERINGS WHERE THE PROFILE CREATES SPACE BETWEEN THE ROOF COVERING AND COMBUSTIBLE ROOF DECKING, SPECIFY ONE OF THE FOLLOWING MEANS OF PROTECTING SPACES AT EAVE ENDS (COUNTY BUILDING CODE 92.1705A2):
 - FIRE-STOPPING WITH APPROVED MATERIALS (eg. NON-COMBUSTIBLE BIRDSTOPS FOR CURVED TILE)
 - ONE LAYER OF 12 POUND (32.4 KG) MINERAL-SURFACED NONPERFORATED CAP SHEET COMPLYING WITH ASTM D 3809 INSTALLED OVER THE COMBUSTIBLE DECKING.
 - OTHERWISE CONSTRUCTED TO PREVENT INTRUSION OF FLAMES AND EMBERS.
- EXPOSED VALLEY FLASHINGS SHALL BE CONSTRUCTED WITH NOT LESS THAN 0.019-INCH (NO. 26 GALVANIZED SHEET GAGE) CORROSION-RESISTANT METAL, INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF NO. 12 ASTM CAP SHEET RUNNING THE FULL LENGTH OF THE VALLEY. (COUNTY BUILDING CODE 92.1705A3).
- ANY ROOF GUTTERS SHALL BE PROVIDED WITH MEANS TO PREVENT ACCUMULATION OF LEAVES AND DEBRIS. (COUNTY BUILDING CODE 92.1705A4).
- SKYLIGHTS SHALL BE TEMPERED GLASS.
- 1/4" PER 12" MINIMUM ROOF PITCH FOR DRAINAGE REQUIRED.

ROOF PLAN LEGEND

- CHIMNEY W/ G.I. SADDLE - PAINT TO MATCH ADJACENT ROOFING
- TILE ROOFING VENT BY O'HAGIN
- 22 X 30 ACCESS CUTOUT IN CALIFORNIA FRAMING
- ROOF DIRECTION ARROWS

ATTIC VENTILATION TABULATIONS

NOTE: ALL ROOF VENTS SHALL BE O'HAGIN FIRE 4 ICE LINE - 1" STYLE VENT
NET FREE VENTILATION AREA = 86.25 SQUARE INCHES PER VENT
2020 ICC-E5 LEGACY REPORT 56CC1-3651A

- AREA
- ROOF AREA #1: TOTAL ATTIC AREA = 2200 SF.
1200' / 300' = 0.731 X 144 SQ.IN. = 106.13 SQ.IN.
106.13 / 86.25 = 14 VENTS REQUIRED
 - ROOF AREA #2: TOTAL ATTIC AREA = 221 SF.
231' / 300' = 0.771 X 144 SQ.IN. = 110.63 SQ.IN.
110.63 / 86.25 = 2 VENTS REQUIRED
 - ROOF AREA #3: TOTAL ATTIC AREA = 2838 SF.
2838' / 300' = 9.46 X 144 SQ.IN. = 1362.24 SQ.IN.
1362.24 / 86.25 = 16 VENTS REQUIRED
 - NO VENTILATION REQUIRED - EXPOSED RAFTERS
 - NO VENTILATION REQUIRED - EXPOSED RAFTERS

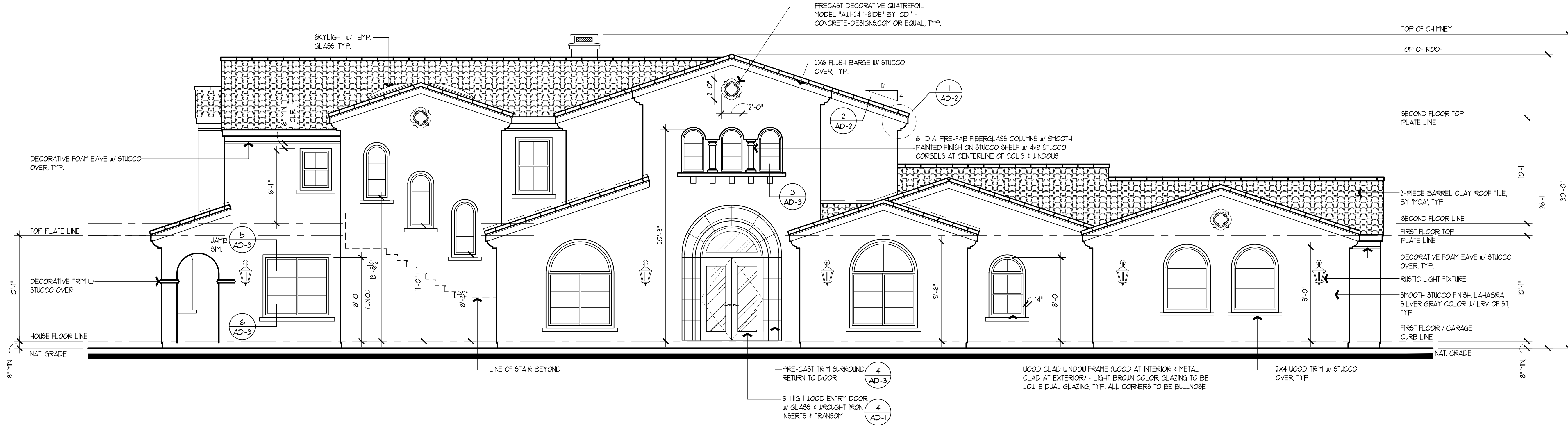
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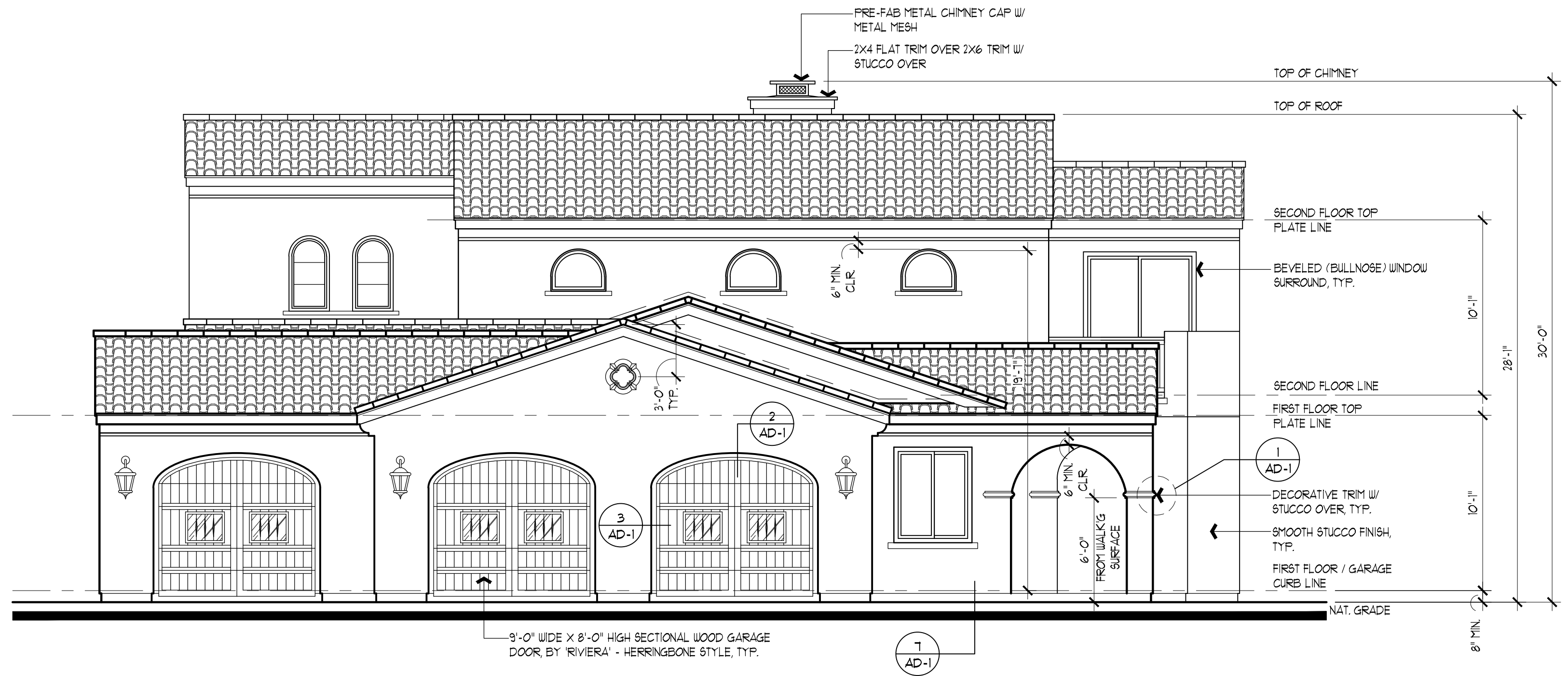
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EXTERIOR
ELEVATIONS

SHEET NO.:



FRONT ELEVATION



RIGHT ELEVATION

NOTE:
EXTERIOR GARAGE DOORS SHALL RESIST THE INTRUSION OF EMBERS INTO THE GARAGE BY LIMITING THE SIZE OF ANY GAPS AT THE BOTTOM, SIDES, AND TOP OF THE DOOR TO 1/8" OR LESS USING ONE OF THE FOLLOWING METHODS: (CRC R331&4, CBC 708A.4)
A. WEATHER-STRIPPING PRODUCTS WITH TENSILE STRENGTH AND FLAMMABILITY RATING PER CBC 708A.4.
B. DOOR OVERLAPS ONTO JAMBES AND HEADERS.
C. GARAGE DOOR JAMBES AND HEADERS COVERED WITH METAL FLASHING.





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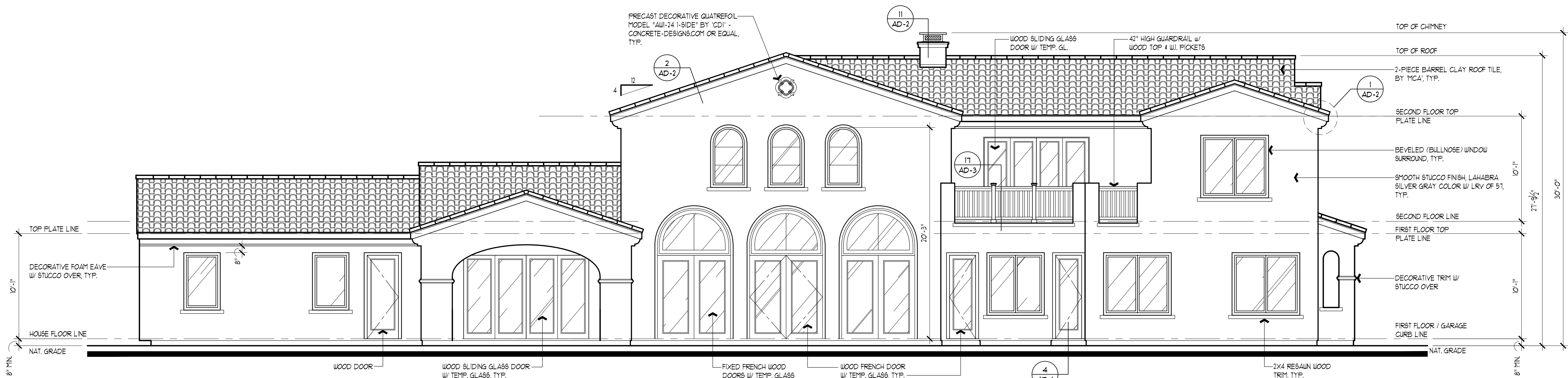
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EXTERIOR
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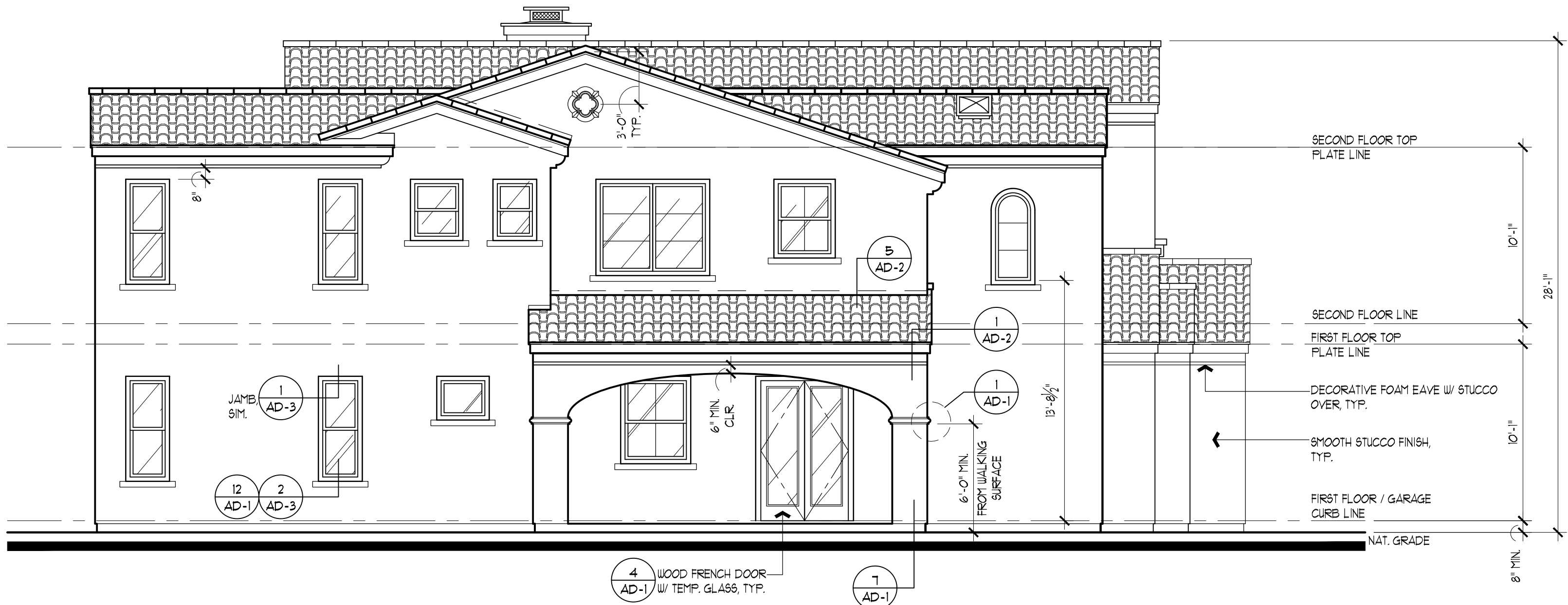
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REAR ELEVATION



LEFT ELEVATION

BUILDING ELEVATIONS - SANTA BARBARA / MEDITERRANEAN SCALE: 3/16" = 1'-0"



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A-6

BUILDING SECTION 'A'
SCALE: 3/16" = 1'-0"



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Peter Hsin-Pei Chou 12/16/2021

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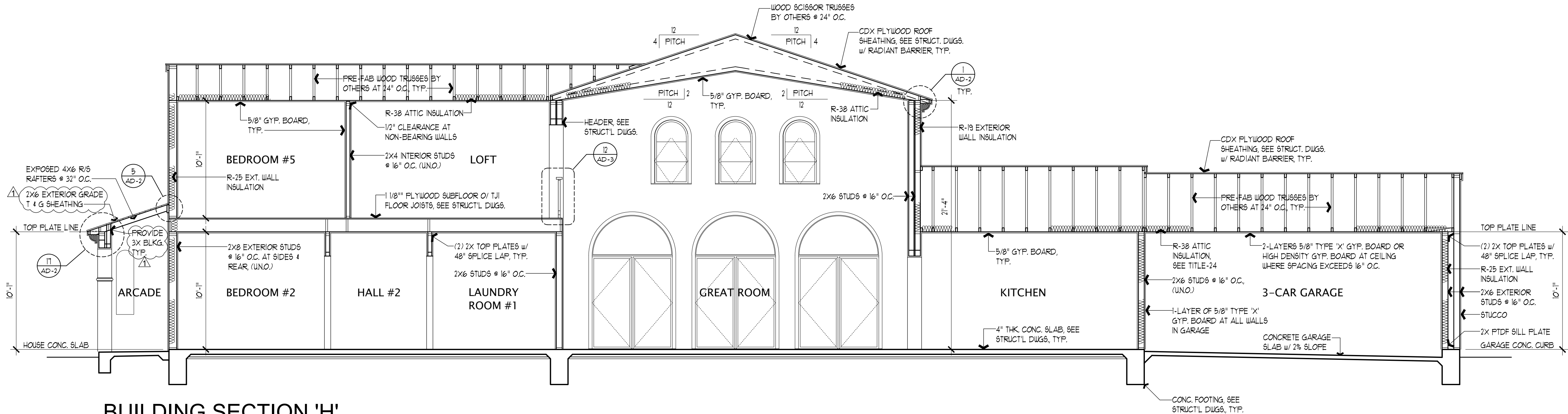
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BUILDING
SECTIONS

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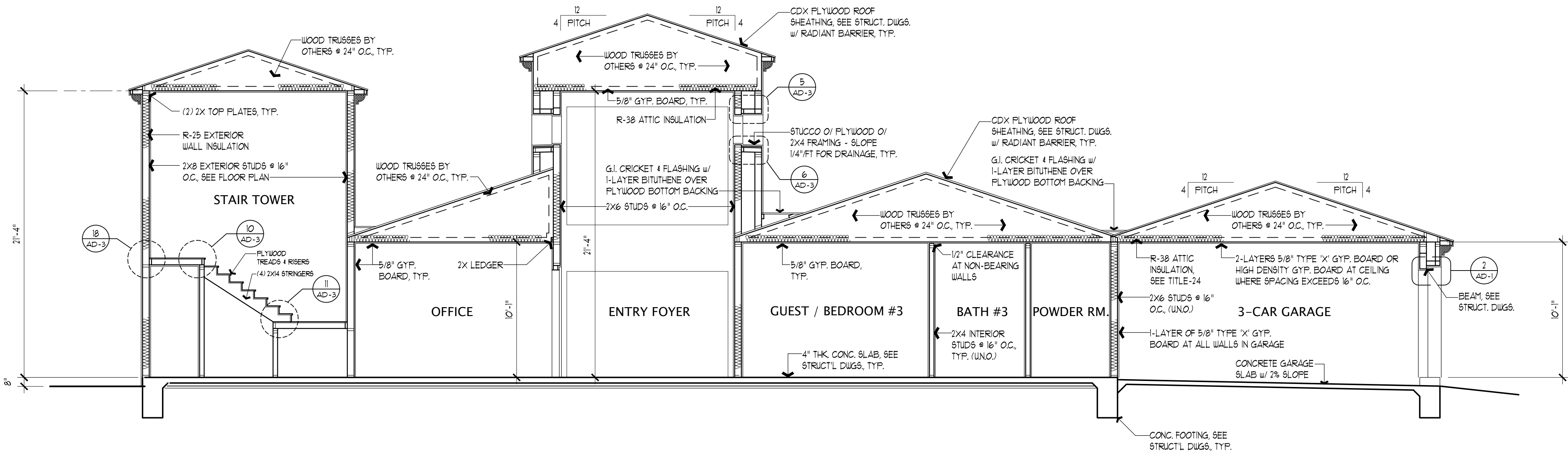
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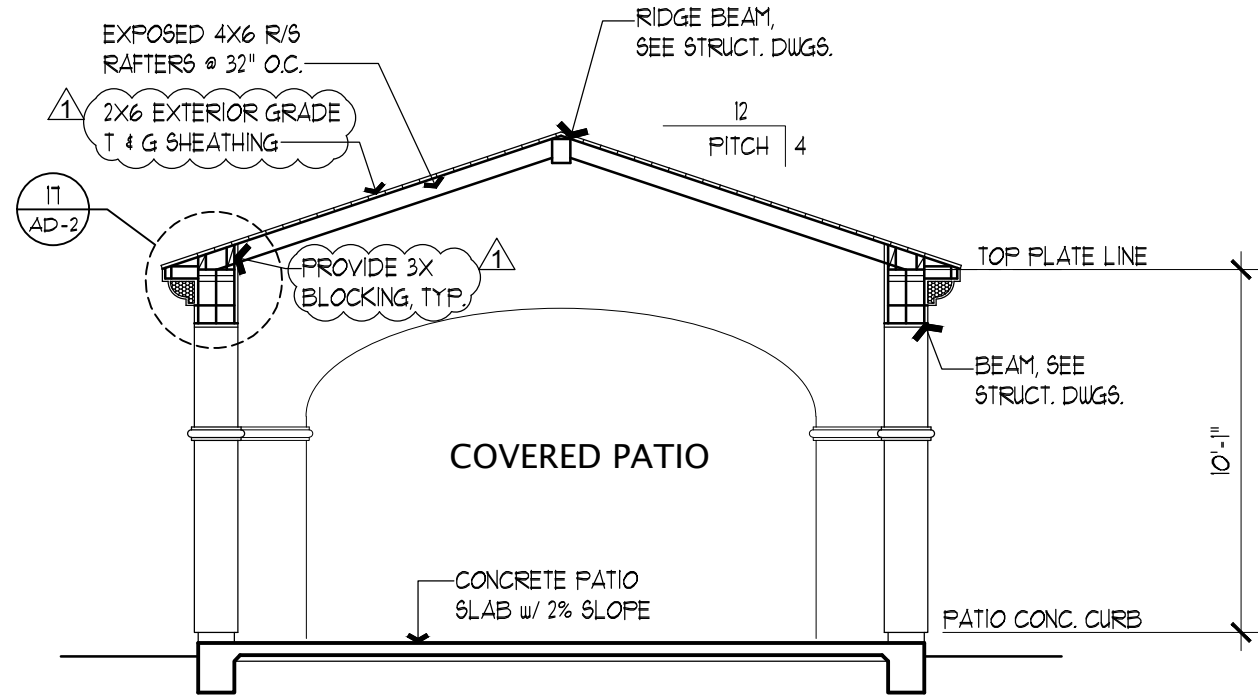
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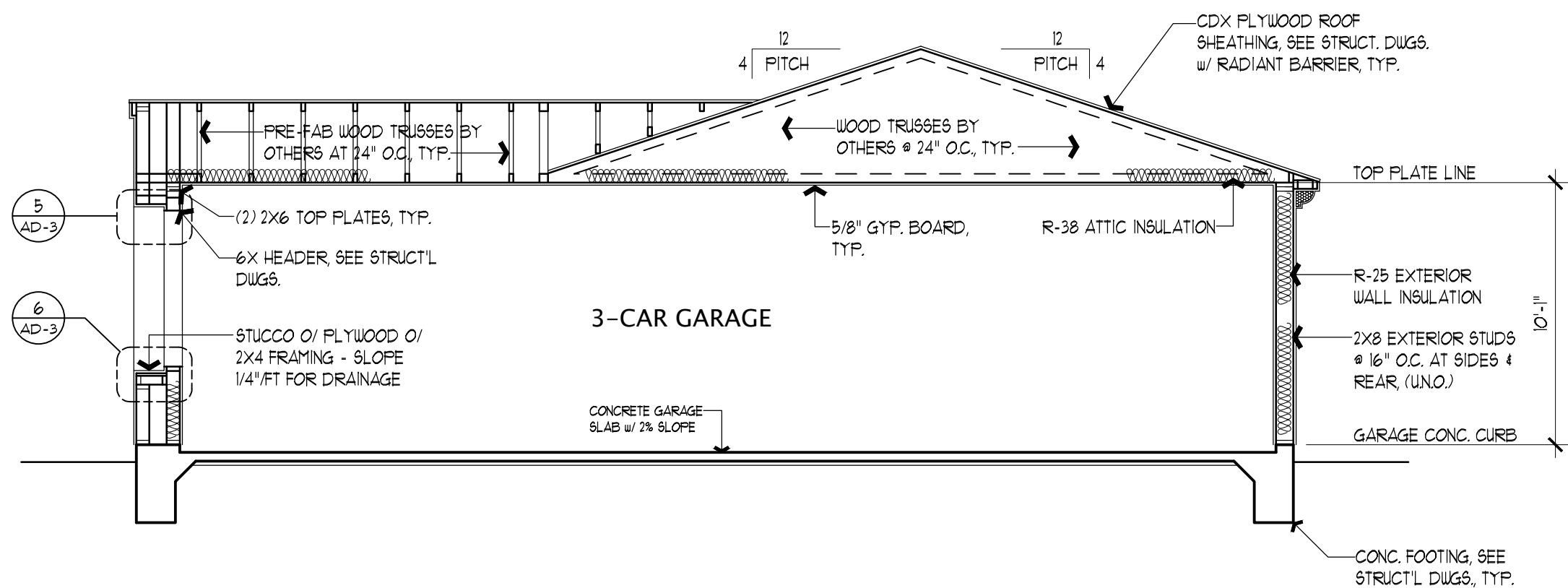
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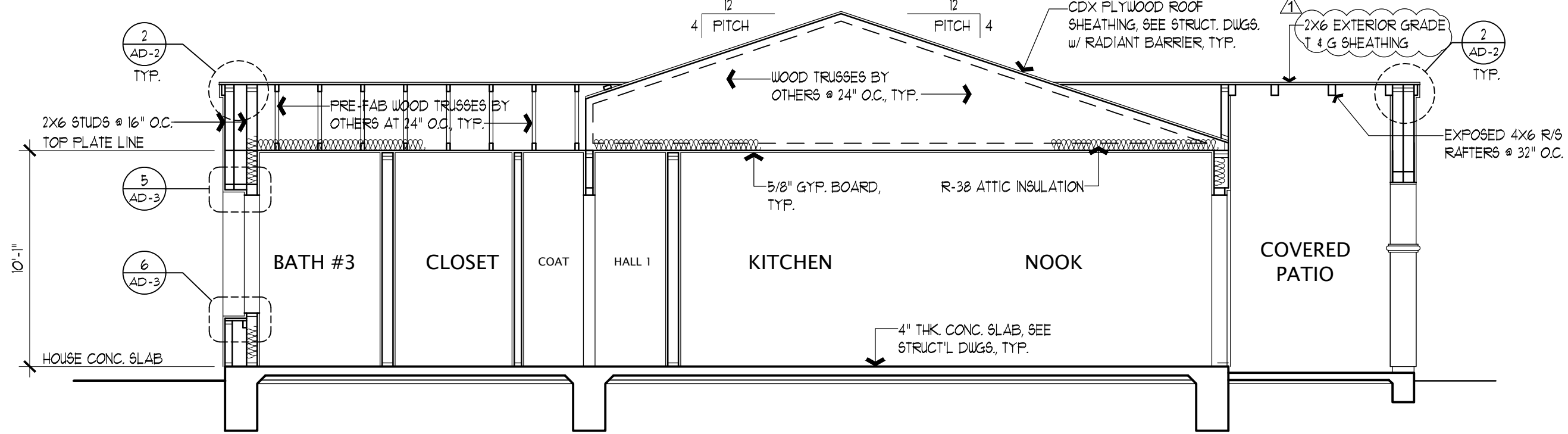
BUILDING SECTION 'G'

SCALE: 3/16" = 1'-0"



BUILDING SECTION 'F'

SCALE: 3/16" = 1'-0"



BUILDING SECTION 'E'

SCALE: 3/16" = 1'-0"

NOTES:

- REFER TO STRUCTURAL DRAWINGS FOR FRAMING MEMBER SPECIES, GRADES, SIZES, SPACING.
- CONNECTION ROOF SHEATHING, PLYWOOD SHEAR WALLS AND ADDITIONAL INFORMATION.
- SOLE PLATES OR MUD SILLS IN CONTACT WITH CONCRETE SLABS SHALL BE PRESURE TREATED.
- FOUNDATION IS TO BE A CONVENTIONAL SLAB-ON GRADE SYSTEM. REFER TO STRUCTURAL DRAWINGS.
- PROVIDE FIRE BLOCKS IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND AT (10) TEN FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. AND IN OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS, FIREPLACES AND SIMILAR WHICH AFFORD A PASSAGE FOR A FIRE AT CEILING LEVELS, WITH NONCOMBUSTIBLE MATERIALS.

TYPICAL SLOPED ROOF ASSEMBLY:

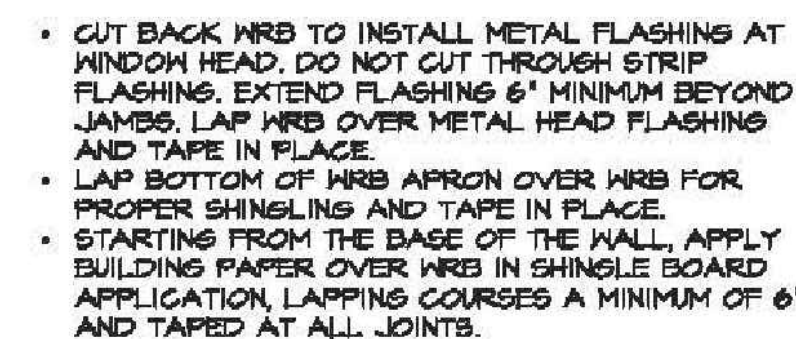
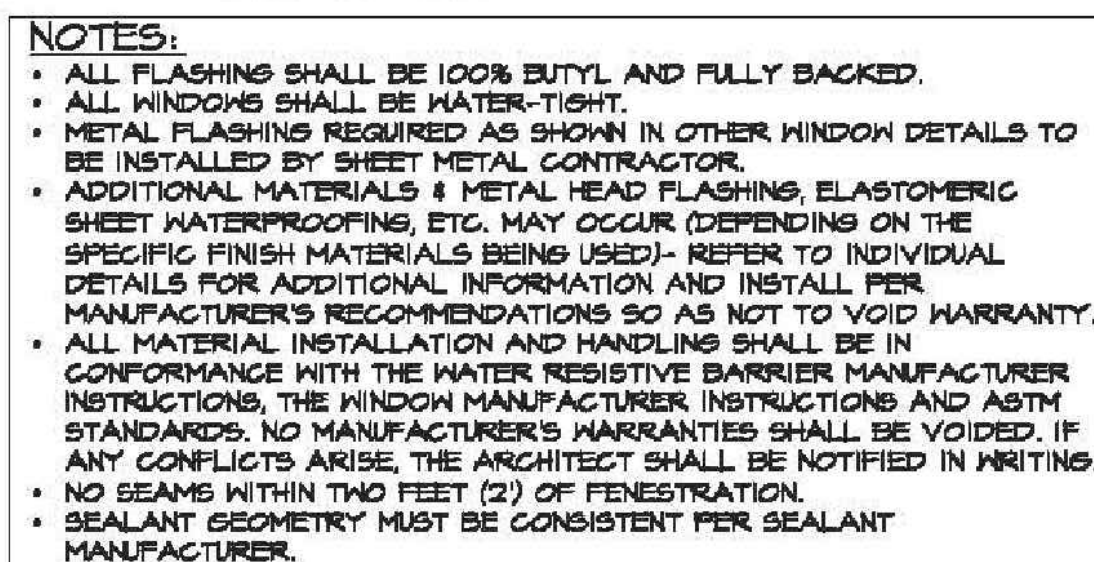
- ROOFING MATERIAL PER ROOF PLAN AND EXTERIOR ELEVATIONS
- ROOFING UNDERLAYMENT - PER MANUFACTURER'S RECOMMENDATIONS
- PLYWOOD SHEATHING - PER STRUCTURAL ENGINEER
- CALIFORNIA FILL FRAMING (WHERE OCCURS)
- ROOF RAFTERS OR MANUFACTURED WOOD TRUSSES - PER STRUCTURAL ENGINEER
- INSULATION PER T-24 CALCS. (WHERE OCCURS)
- 5/8" TYPE 'X' GYP. BRD. AT CEILING OR PLASTER OVER HIGH RIBBED LATH
- 2x WOOD FURRING (WHERE OCCURS)
- NON-STRUCTURAL WOOD BEAMS AND TRUSSES (WHERE OCCURS)

TYPICAL EXTERIOR WALL ASSEMBLY:

- THREE COAT, 1/2" EXTERIOR PLASTER - PER EXTERIOR ELEVATIONS
- WIRE LATH OVER TWO LAYERS GRADE 'D' BUILDING PAPER MINIMUM
- PLYWOOD SHEAR PANEL - PER STRUCTURAL ENGINEER
- 2x WALL FRAMING PER STRUCTURAL ENGINEER
- INSULATION PER T-24 CALCULATIONS
- 5/8" TYPE 'X' GYP. WALLBOARD

TYPICAL INTERIOR WALL ASSEMBLY:

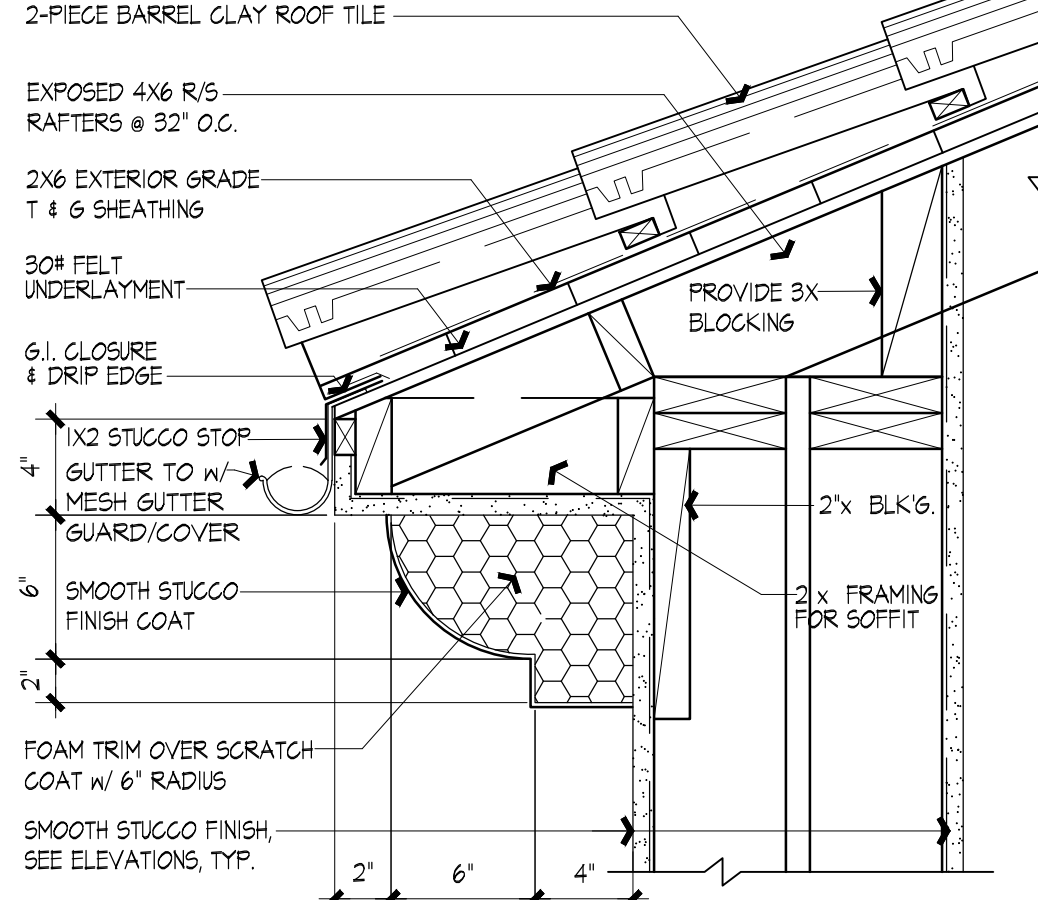
- 5/8" GYP. WALLBOARD
- PLYWOOD SHEAR PANEL - PER STRUCTURAL ENGINEER
- 2x WALL FRAMING PER STRUCTURAL ENGINEER
- INSULATION PER T-24 CALCULATIONS
- 5/8" TYPE 'X' GYP. WALLBOARD AT GARAGE



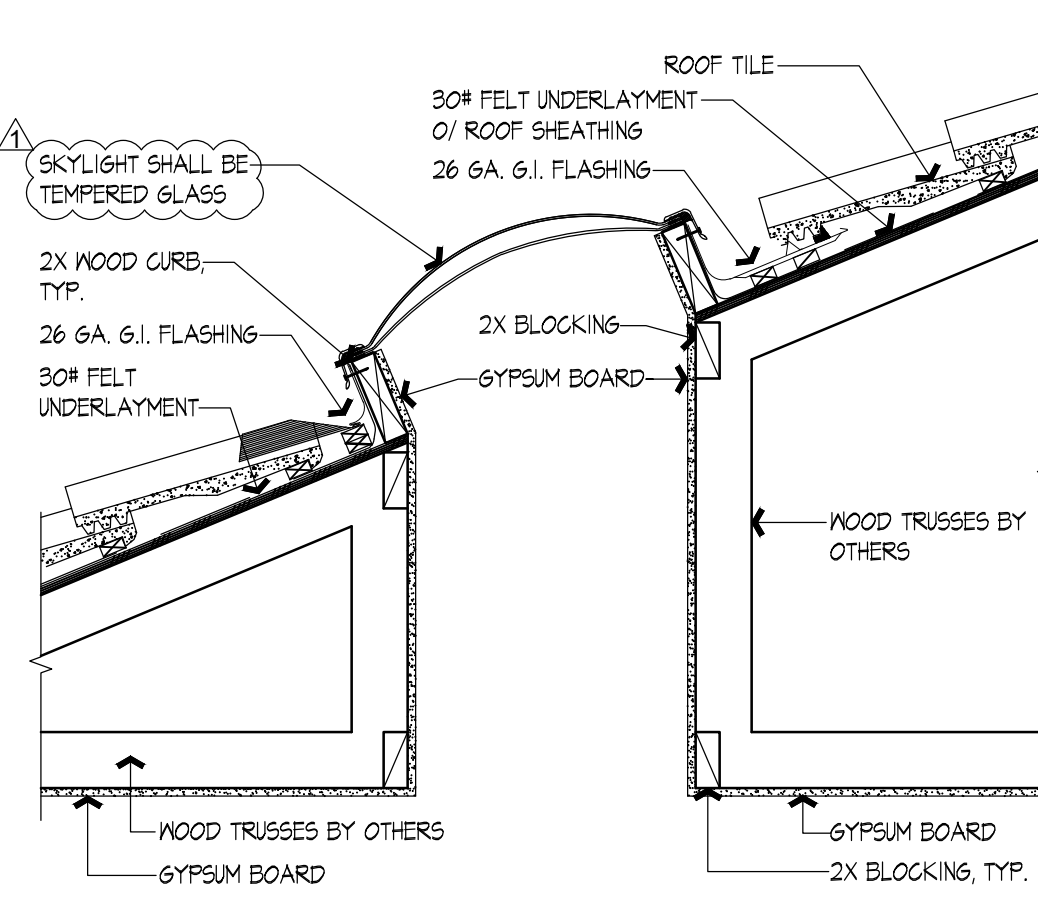
GENERAL NOTES

1. ALL APPLICABLE CURRENT CODES SHALL APPLY (CRC, CEC, CPC, CMC, CA ENERGY CODE, CALGREEN).
2. ANY DEVIATION FROM WHAT IS SHOWN IN THESE PLANS THAT IS STILL IN COMPLIANCE WITH CURRENT CODES (CRC, CEC, CPC, CMC, CA ENERGY CODE, CALGREEN, COUNTY / CITY MUNICIPAL CODE) BE ACCEPTABLE BY BUILDING AND SAFETY BUREAU.
3. ALL PRODUCTS (CARPETS, SEALANTS, WOOD, ETC.) MUST FOLLOW CALIFORNIA GREEN BUILDING CODE VOC AND FORMALDEHYDE LIMITS.
4. PROVIDE ANTI-SCALDING SHOWER AND TUB SHOWER VALVES.
5. PROVIDE WATER RESISTANT BACKING BOARD AS A BASE FOR TILE OR WALL PANELS FOR TUB OR SHOWER ENCLOSURES OR WATER CLOSET COMPARTMENT WALLS.
6. SHOWER COMPARTMENTS AND WALL ABOVE BATHTUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE DRAIN INLET.
7. THE CONTR. VALVES IN BATHTUBS, WHIRLPOOL, BATHTUBS, SHOWERS AND TUB-SHOWERS COMBINATIONS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES.
8. PER SB 407, ALL NON COMPLIANT PLUMBING FIXTURES SHALL BE REPLACED WITH WATER CONSERVING PLUMBING FIXTURES CONFORMING TO THE LIST BELOW:
MAXIMUM FLOW RATES:

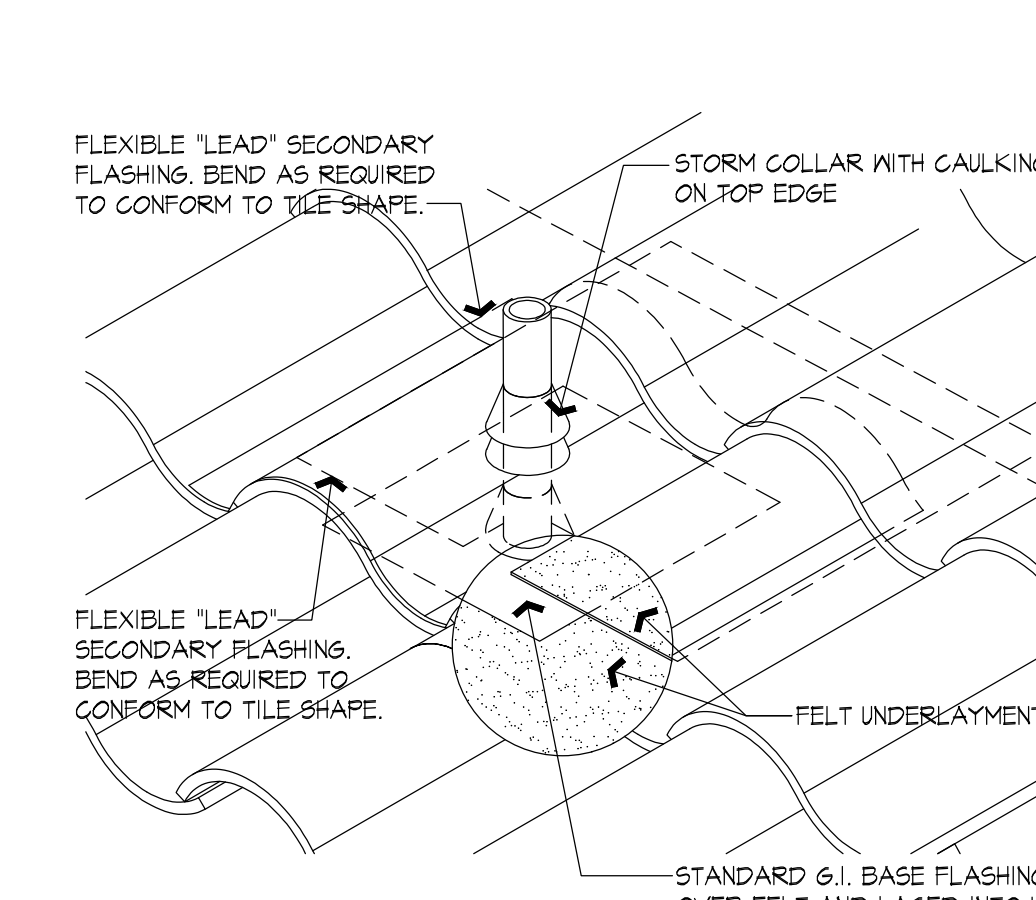
WATER CLOSETS	1.28 GAL/FLUSH
SHOWERHEADS	2.0 GPM MAX FLOW RATE AT 80 psi AND SHALL BE CERTIFIED TO THE PERFORMANCE OF THE U.S.EPA WATERSENSE SPECS.
LAVATORY FAUCETS	1.2 GPM AT 60 psi AND MIN FLOW OF 0.8 GPM AT 20 psi
KITCHEN FAUCETS	1.8 GPM AT 60 psi
9. CONVENTIONAL IONIZATION SMOKE ALARMS THAT ARE SOLELY BATTERY POWERED SHALL BE EQUIPPED WITH A 10 YEAR BATTERY AND HAVE A SILENCE FEATURE.
10. SMOKE ALARMS SHALL BE TESTED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURER INSTRUCTIONS. SMOKE ALARMS SHALL BE REPLACED AFTER 10 YEARS FROM THE DATE OF MANUFACTURED MARKED ON THE UNIT.
11. AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED.
12. COMBUSTION AIR FOR FUEL BURNING WATER HEATERS WILL BE PROVIDED IN ACCORDANCE TO THE PLUMBING CODE.
13. PROVIDE A.F.C.I. PROTECTION FOR ALL NEW INTERIORS.
14. PROVIDE BATHROOM A MINIMUM OF (1) 20 AMP CIRCUIT RECEPTACLE OUTLET. SUCH CIRCUIT SHALL HAVE NO OTHER OUTLETS. THIS CIRCUIT MAY SERVE MORE THAN ONE BATHROOM.
15. A 15 AMP BRANCH CIRCUIT SHALL SUPPLY ONLY LIGHTING FIXTURES AND A 20 AMP BRANCH CIRCUIT SHALL BE PERMITTED TO SUPPLY LIGHTING FIXTURES, RECEPTACLES, FIXED APPLIANCES.
16. PROVIDE RECEPTACLE OUTLETS AT EVERY 12' IN LIVING SPACE AND EVERY 4' IN KITCHEN WHERE THERE IS A COUNTER SPACE WIDER THAN 12".
17. TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED PER CURRENT CODE. ALL NONLOCKING-TYPE 12-VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
18. PROVIDE EXHAUST FAN AND VANITY LIGHTING IN EACH BATHROOM OR A COMBINATION FAN, MIN 50 CFM. EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50% AND 80% HUMIDITY.
19. ERODED SEDIMENTS AND POLLUTANTS SHALL BE RETAINED ON SITE AND SHALL NOT BE TRANSPORTED FROM THE SITE VIA DIRT FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE OR WIND.
20. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS SHALL BE COVERED AND/OR PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY WIND OR WATER.
21. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTE ON-SITE UNTIL IT CAN BE APPROPRIATELY DISPOSED OF OR RECYCLED.
22. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF STORM WATER AND DISPERSAL BY WIND.
23. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS SHALL BE STABILIZED AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE STREET/PUBLIC WAYS. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN Y RAIN OR BY ANY OTHER MEANS.
24. CLEANOUT IS REQUIRED FOR AN ADU BUILDING DRAIN/SEWER.
25. EXISTING LET-IN-BRACING SHALL REMAIN.
26. RANGE EXHAUST FAN FOR STOVE AT KITCHEN TO BE 100 CFM MIN.
27. EXHAUST FAN WITH HUMIDISTAT IN BATHROOM TO BE 50 CFM MIN.



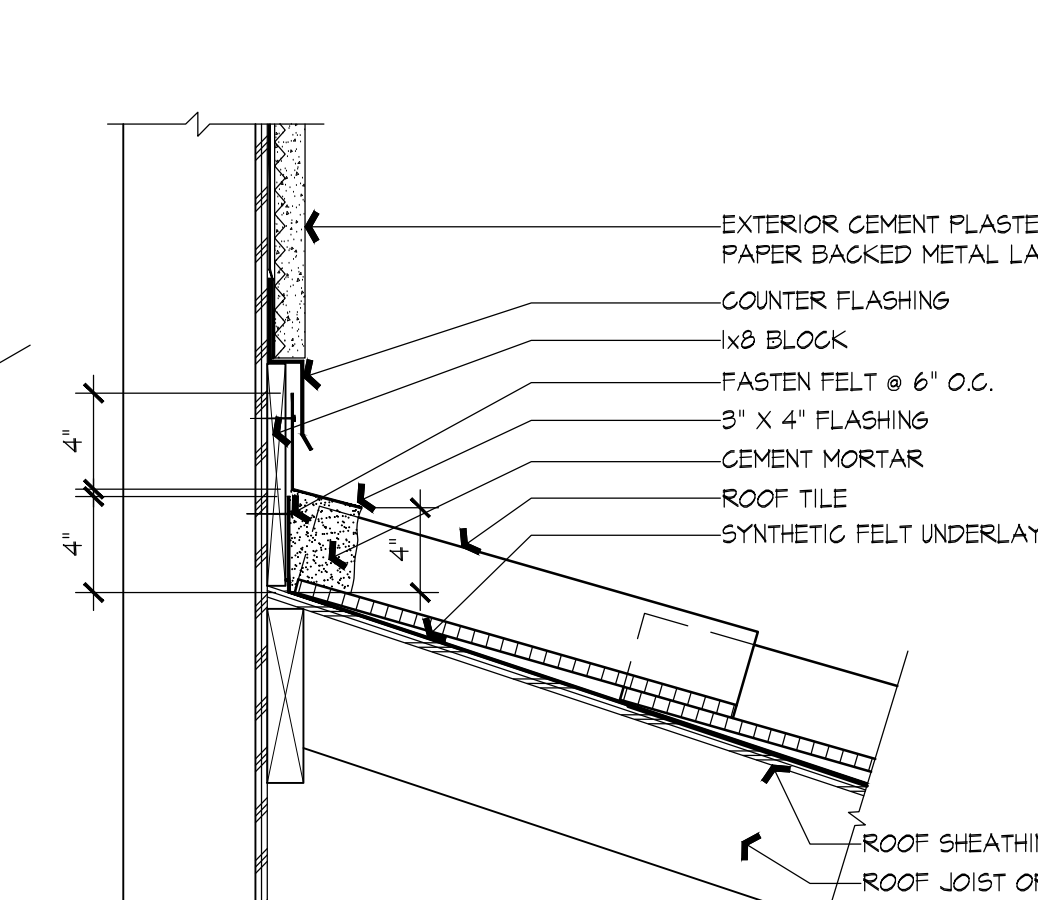
EAVE DETAIL
ROOF-EAVE-1.112



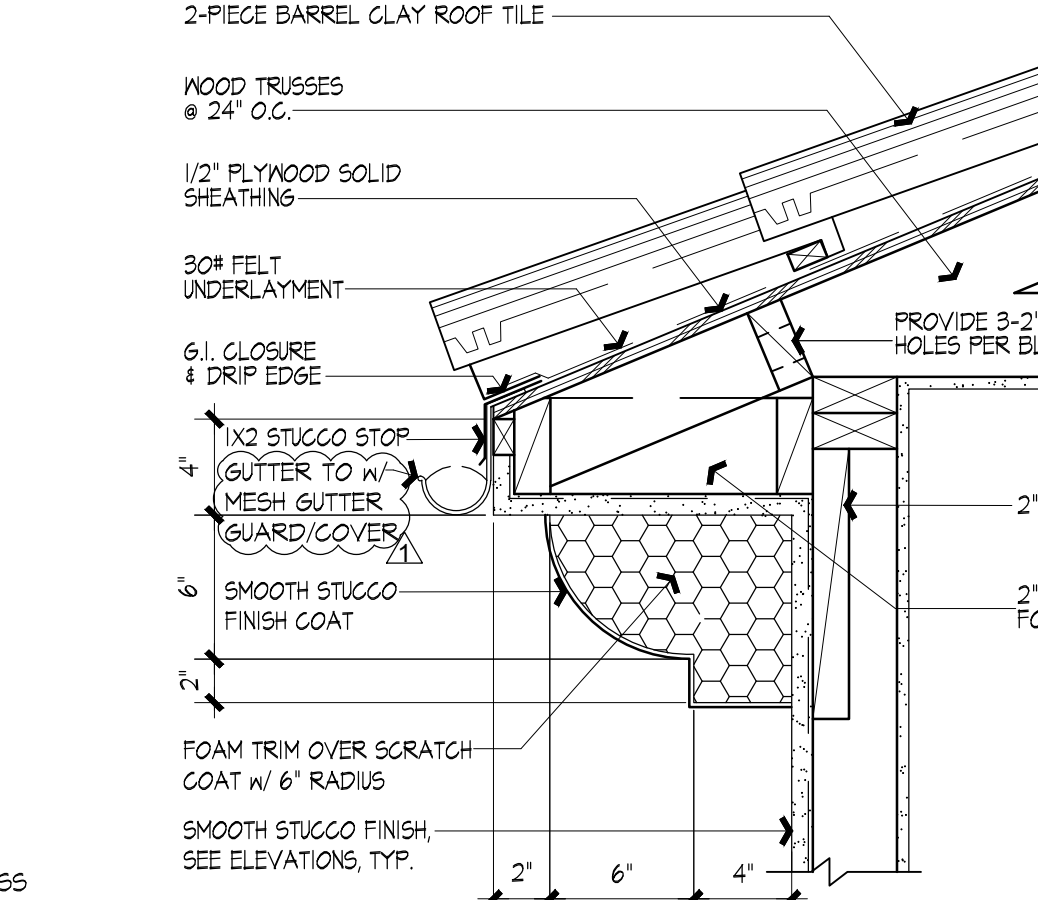
SKYLIGHT DETAIL
SCALE: 1" = 1'-0"



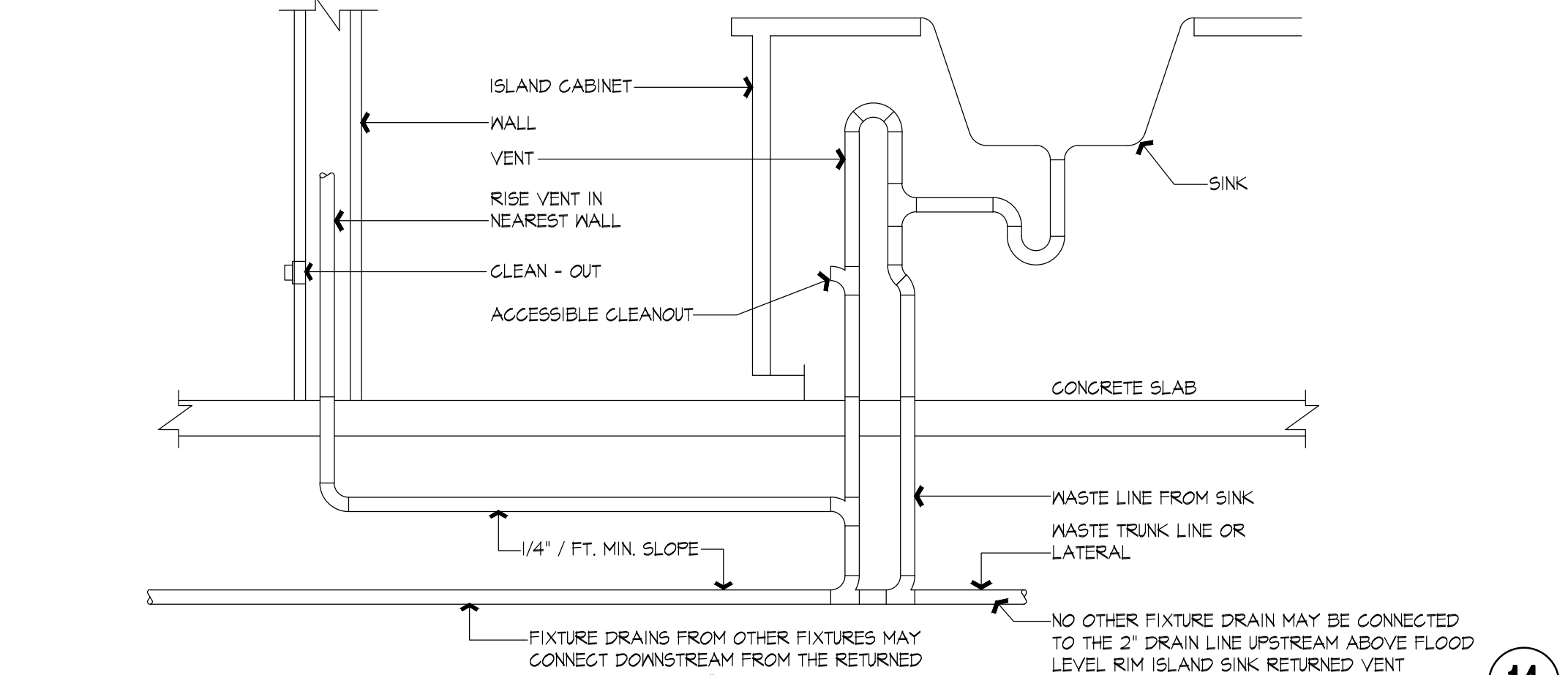
PLUMBING VENT FLASHING
ROOF_VENT_08.112



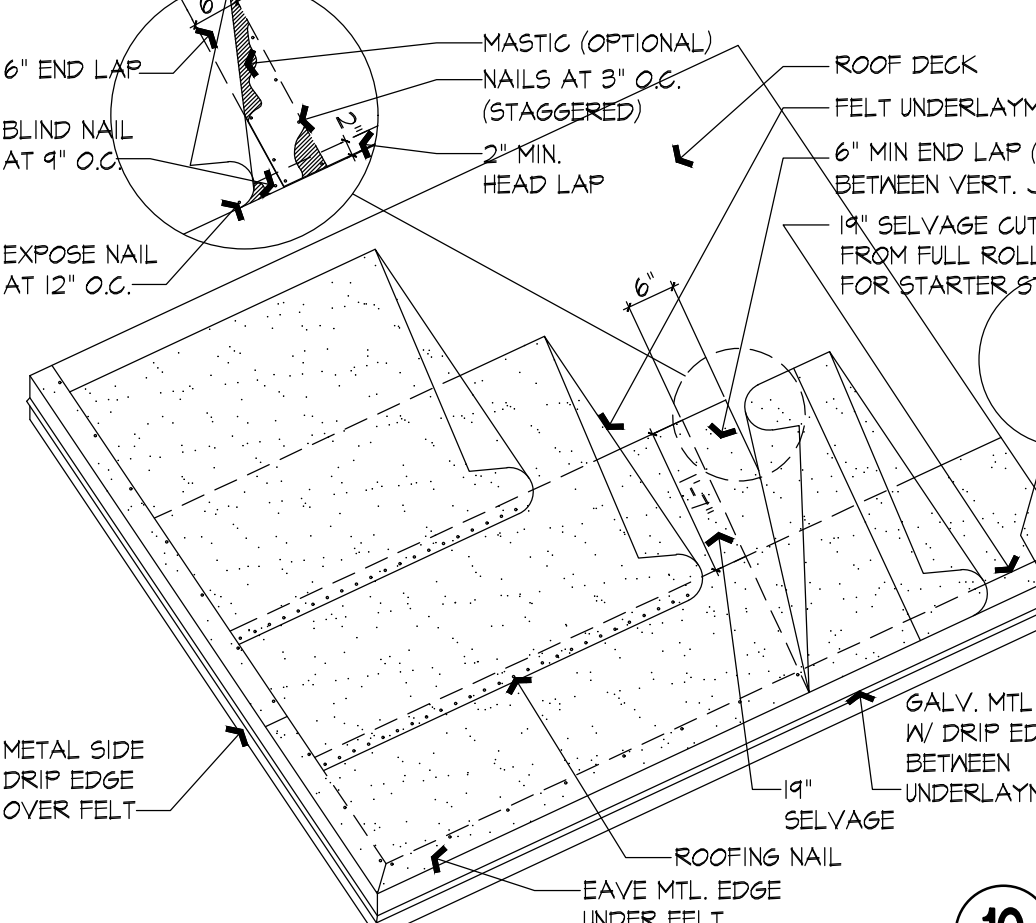
ROOF TO WALL DETAIL
ROOF_WALL_05.112



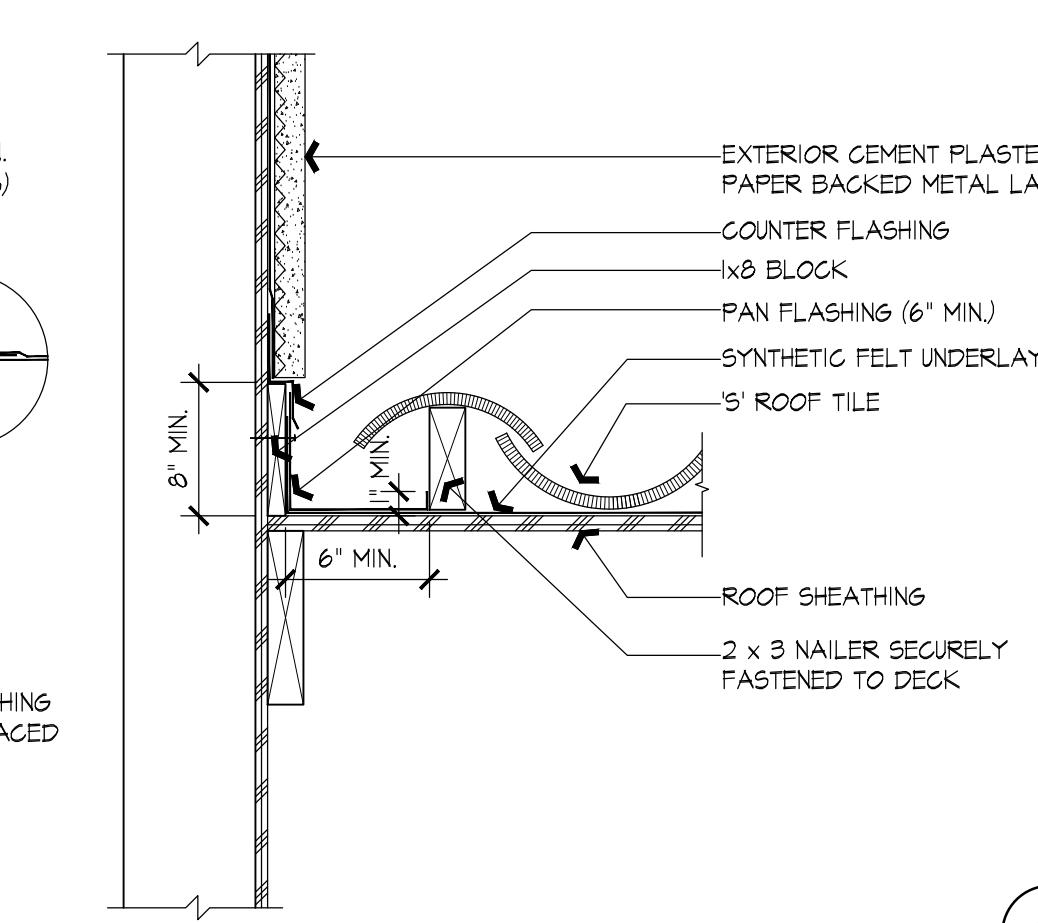
EAVE DETAIL
ROOF-EAVE-1.112



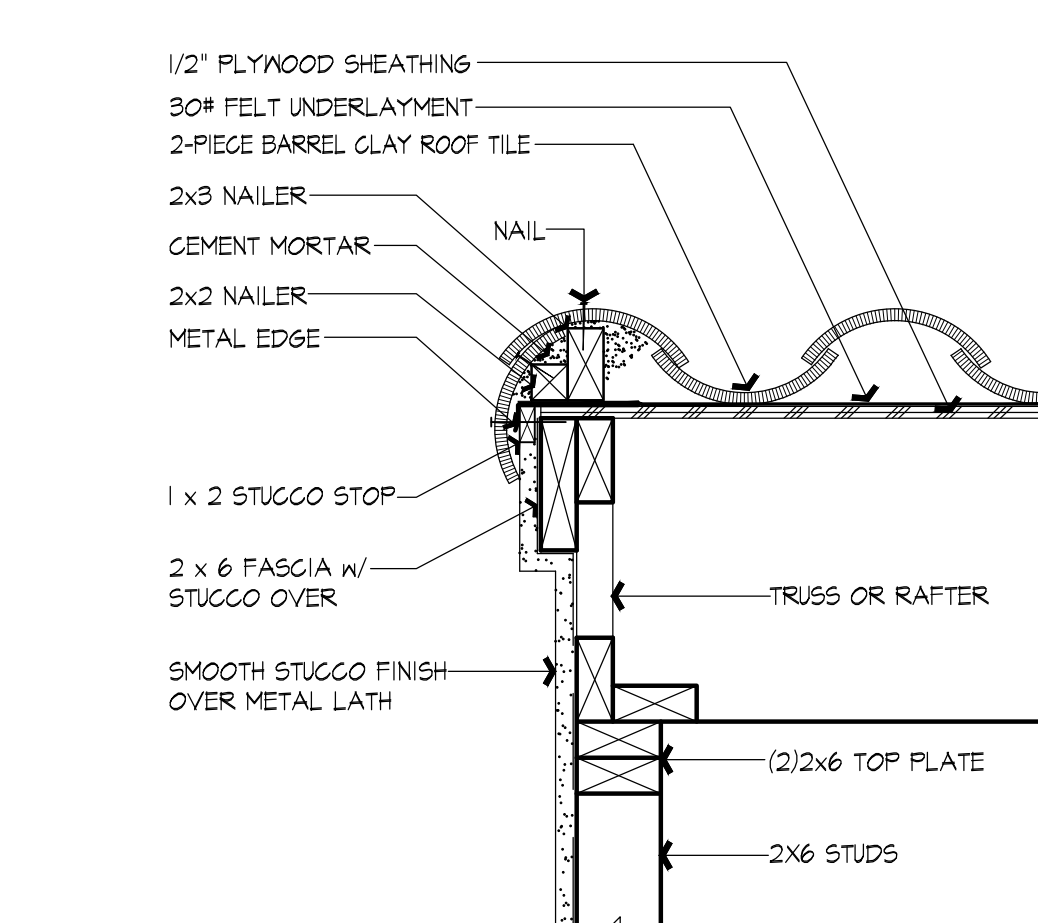
ISLAND VENT DETAIL
ISLAND_VENT_01.112



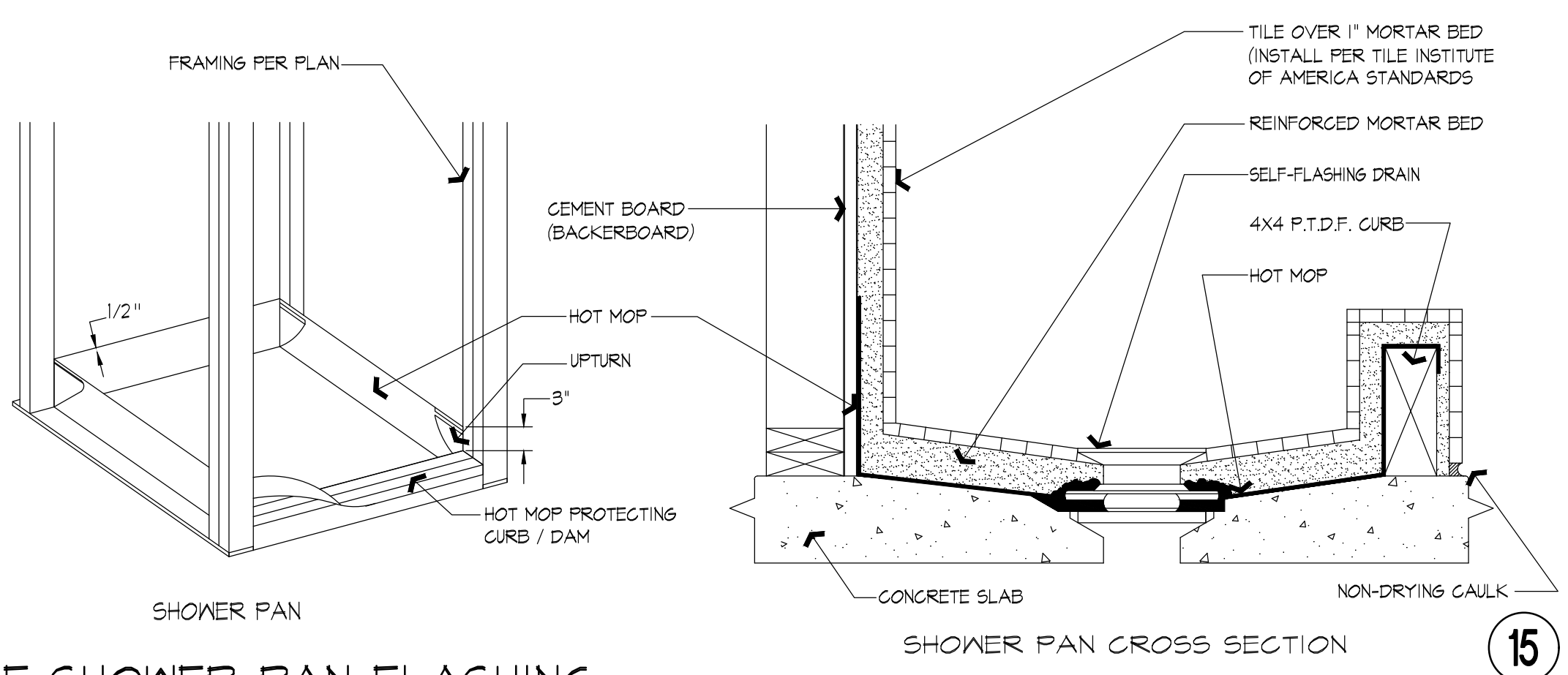
UNDERLAYMENT (SHIP LAP)
ROOF_FELT_08.112



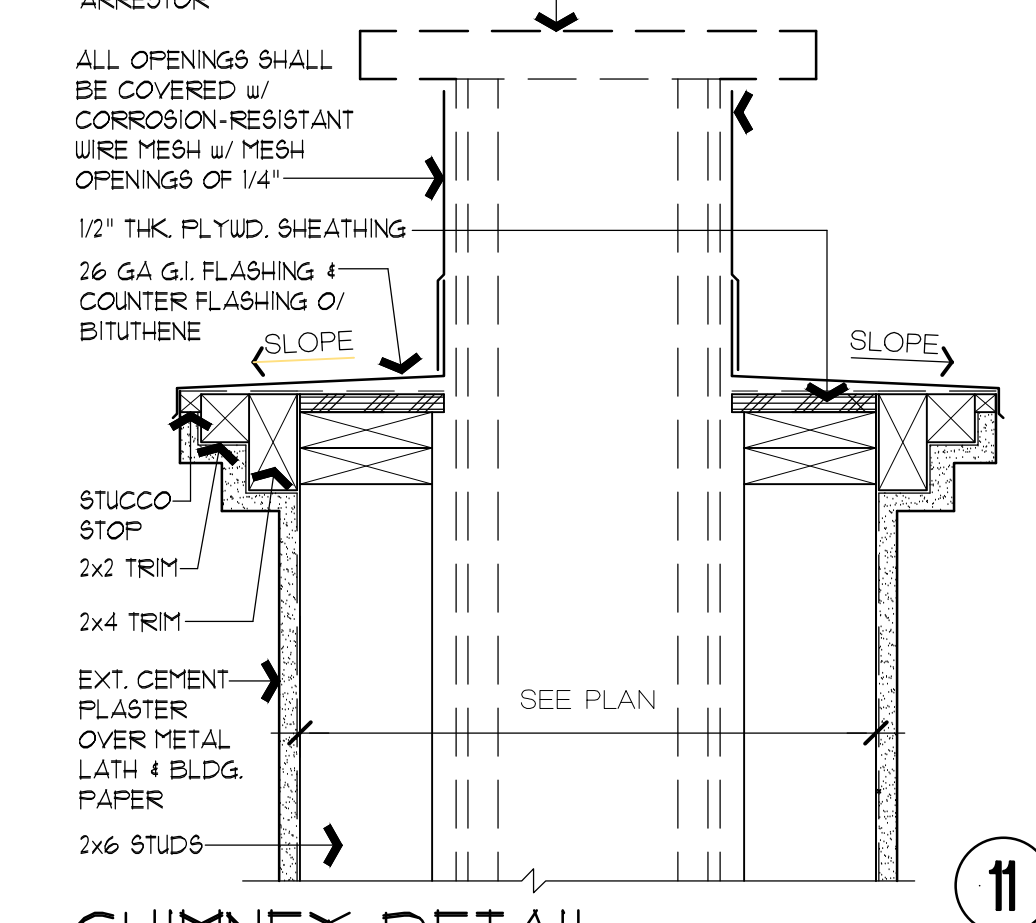
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ROOF_WALL_06.112



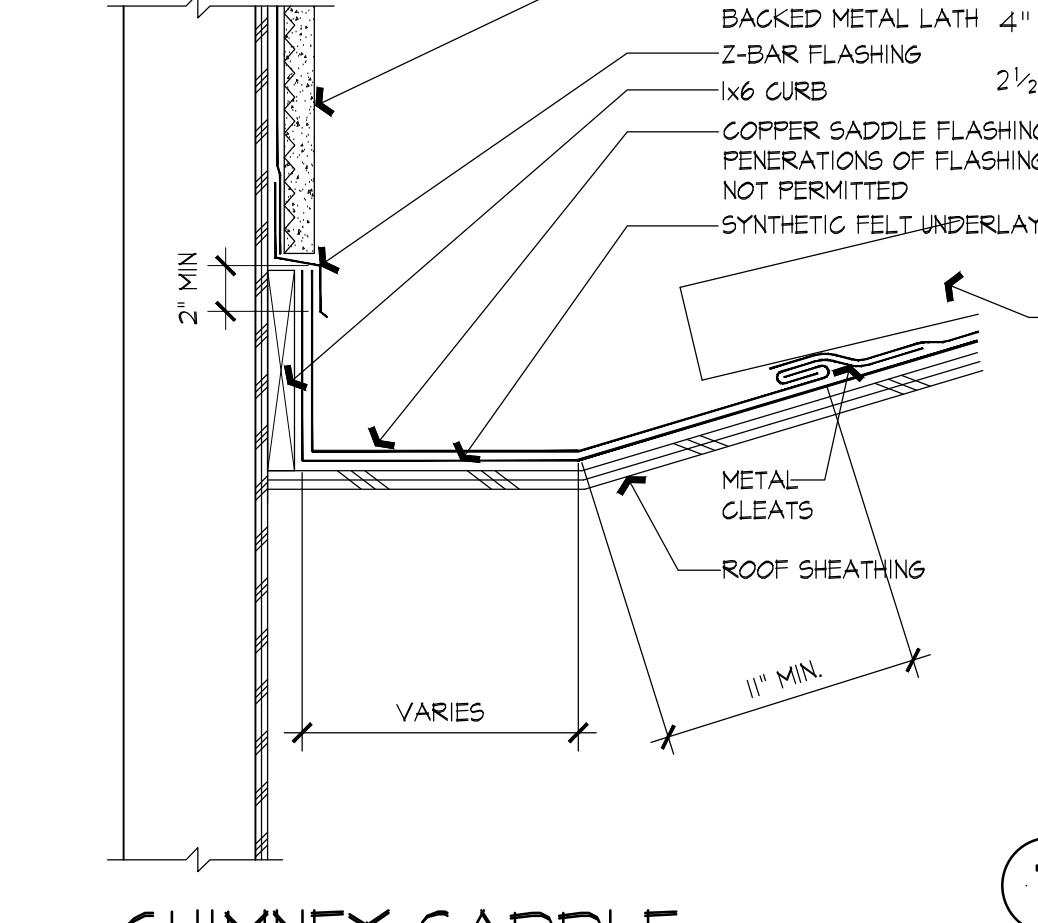
FLUSH RAKE
ROOF_FLUSH_RAKE-1.112



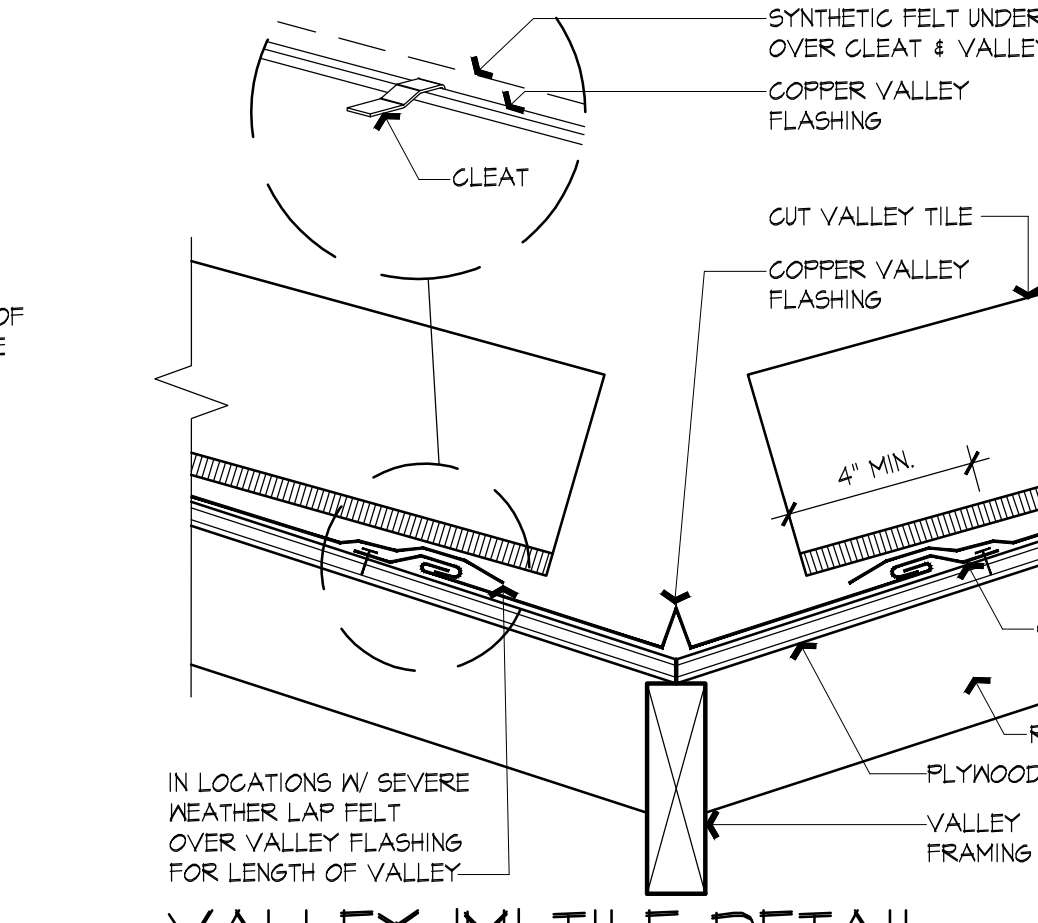
TILE SHOWER PAN FLASHING
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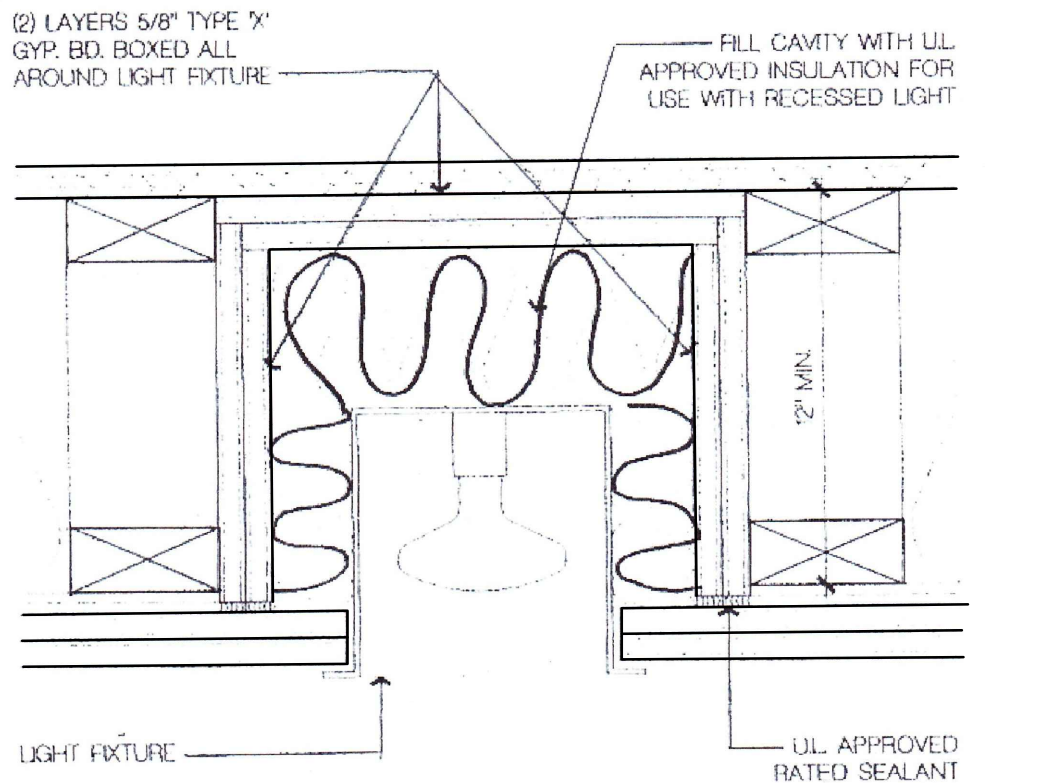
CHIMNEY DETAIL
CHIMNEY-CIELO.112



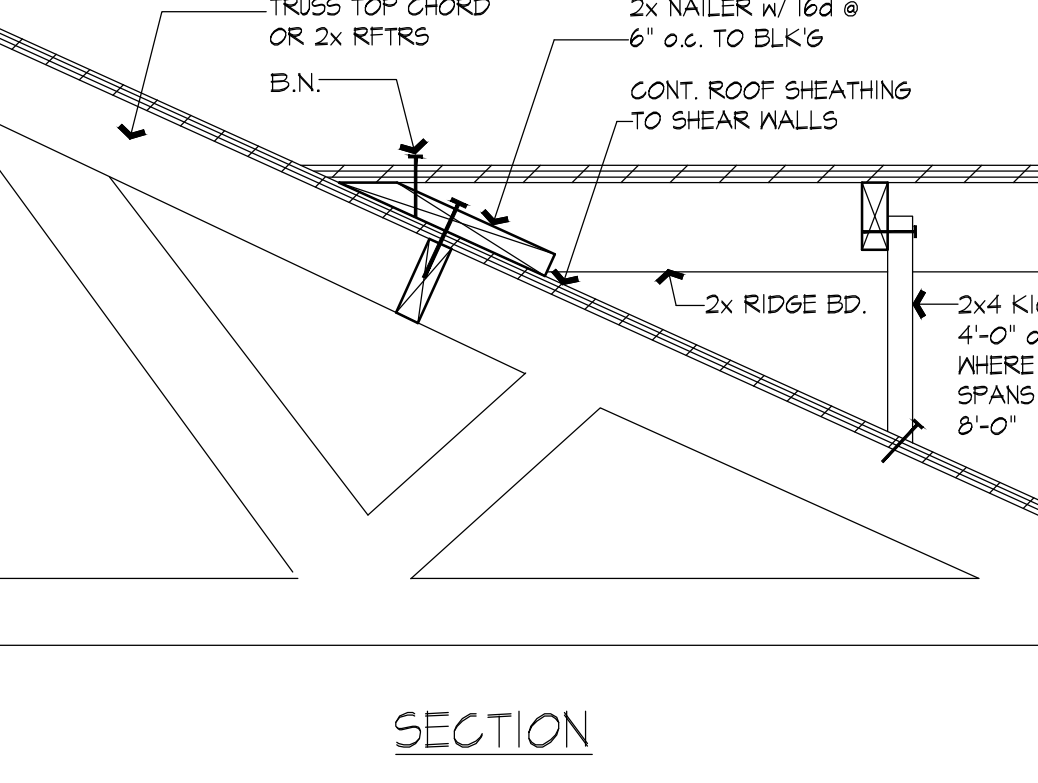
CHIMNEY SADDLE
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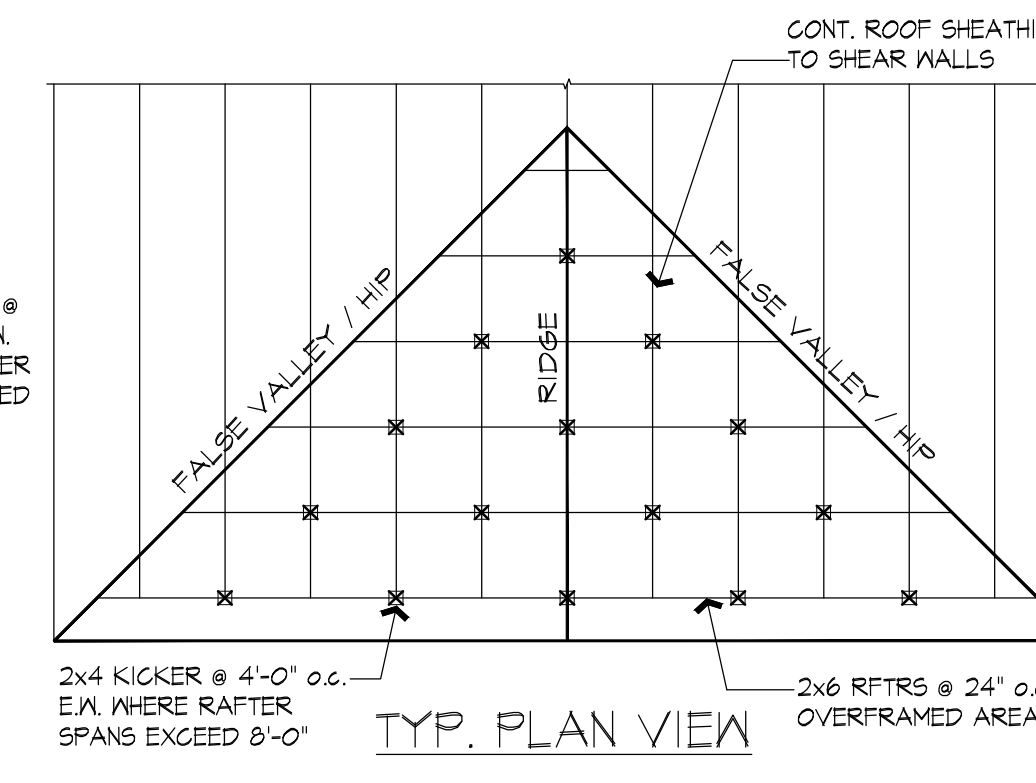
VALLEY 'M' TILE DETAIL
ROOF_VALLEY_02.112



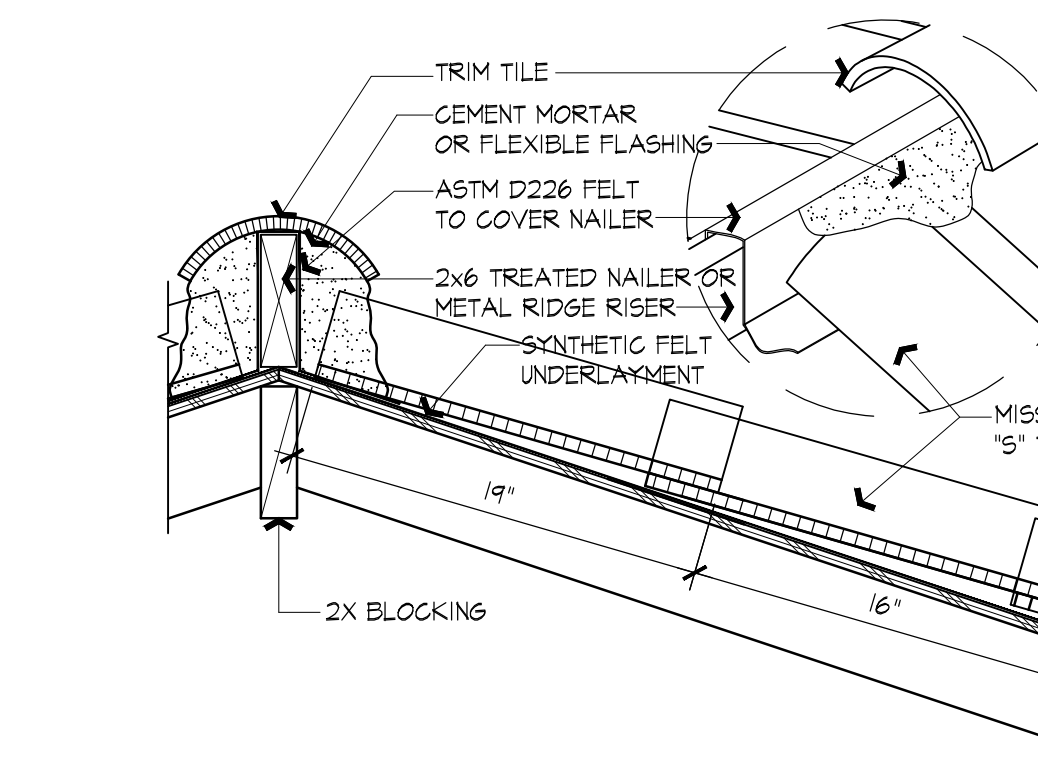
**RECESSED LIGHT @
RATED FLOOR-CEILING**
N.T.S.



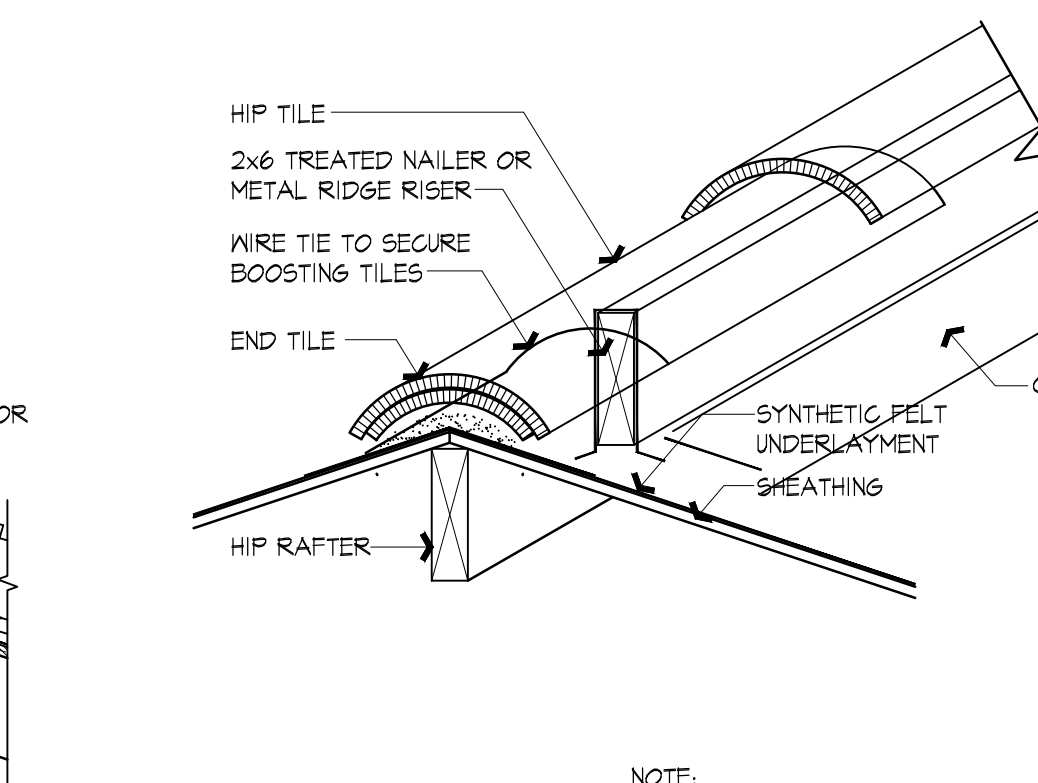
CALIFORNIA (OVER) FRAMING DETAIL
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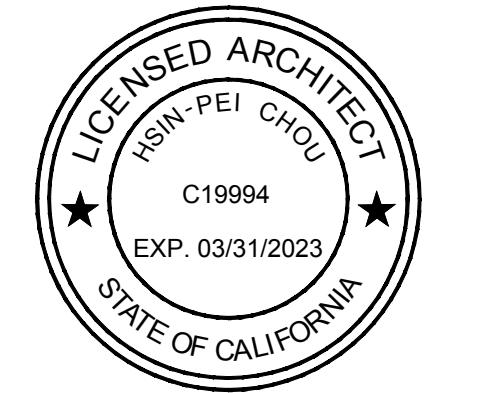
RIDGE / HIP 'M' TILE
ROOF_RIDGE_01.112



RIDGE / HIP 'M' TILE
ROOF_RIDGE_01.112



RIDGE / HIP 'M' TILE
ROOF_RIDGE_01.112



CLIENT:

VICTOR GUIYONG ZHANG
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SAN DIEGO, CA 92130

TEL: (909) 227-8028

PROJECT ADDRESS:
**LOT 76 D
CIELO**
**17928 EL BRAZO
RANCHO SANTA FE, CA 92067**
APN: 264 - 383 - 03 - 00

PROJECT:
**SINGLE FAMILY
RESIDENCE**

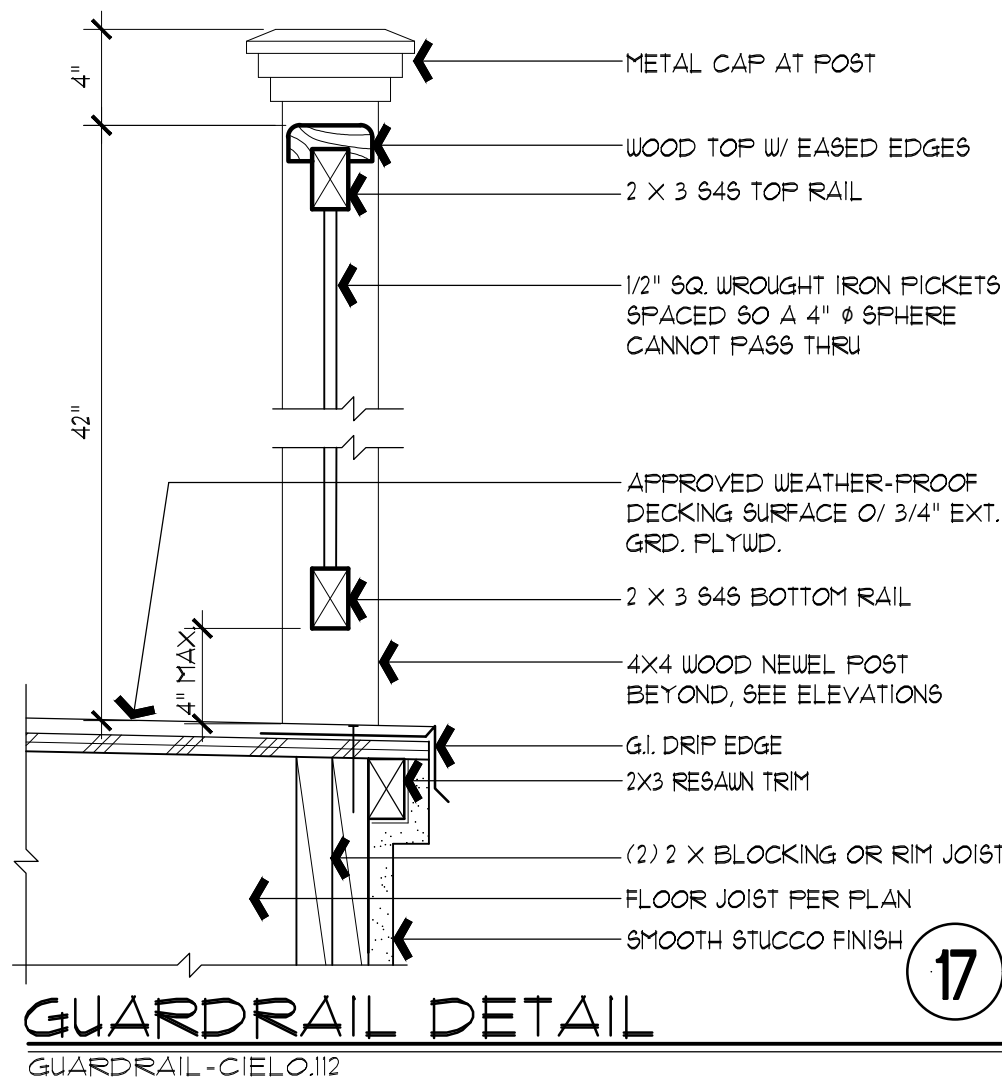
REVISIONS		
△	PLAN CHECK	APRIL 26, 2022

ALL DIMENSIONS AND CONDITIONS ARE TO BE
VERIFIED BY CONTRACTOR BEFORE START OF
CONSTRUCTION

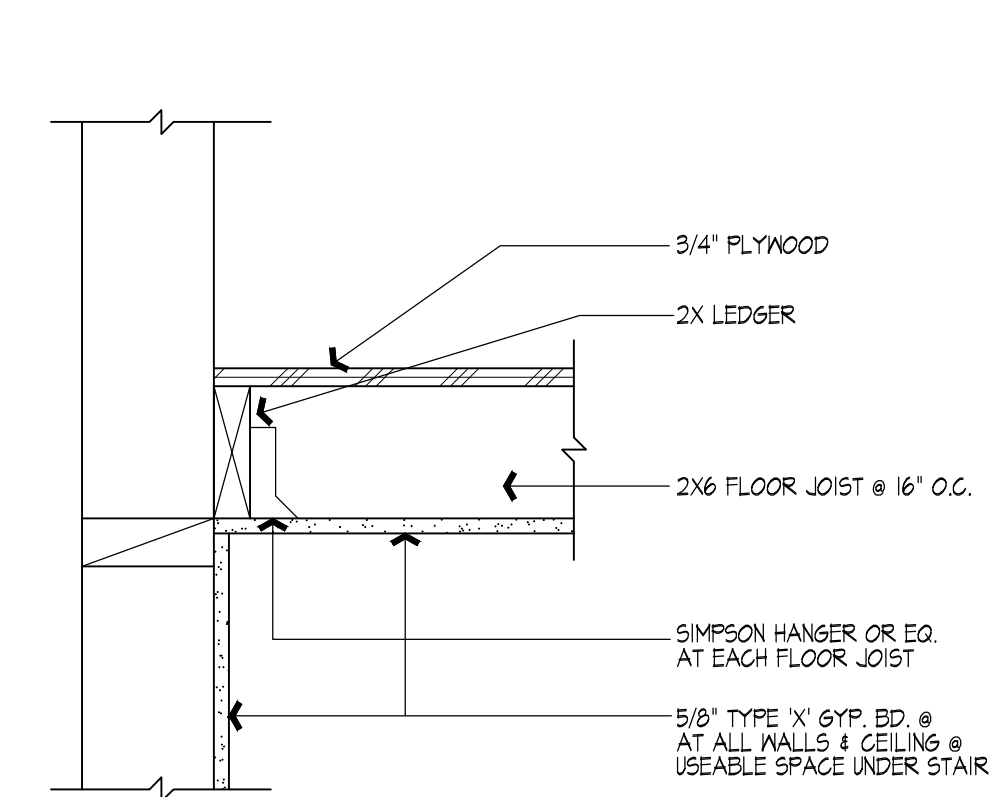
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DATE:	DECEMBER 16, 2021
DRAWN BY:	JEP
CHECKED BY:	
SHEET TITLE:	

**ARCHITECTURAL
DETAILS**

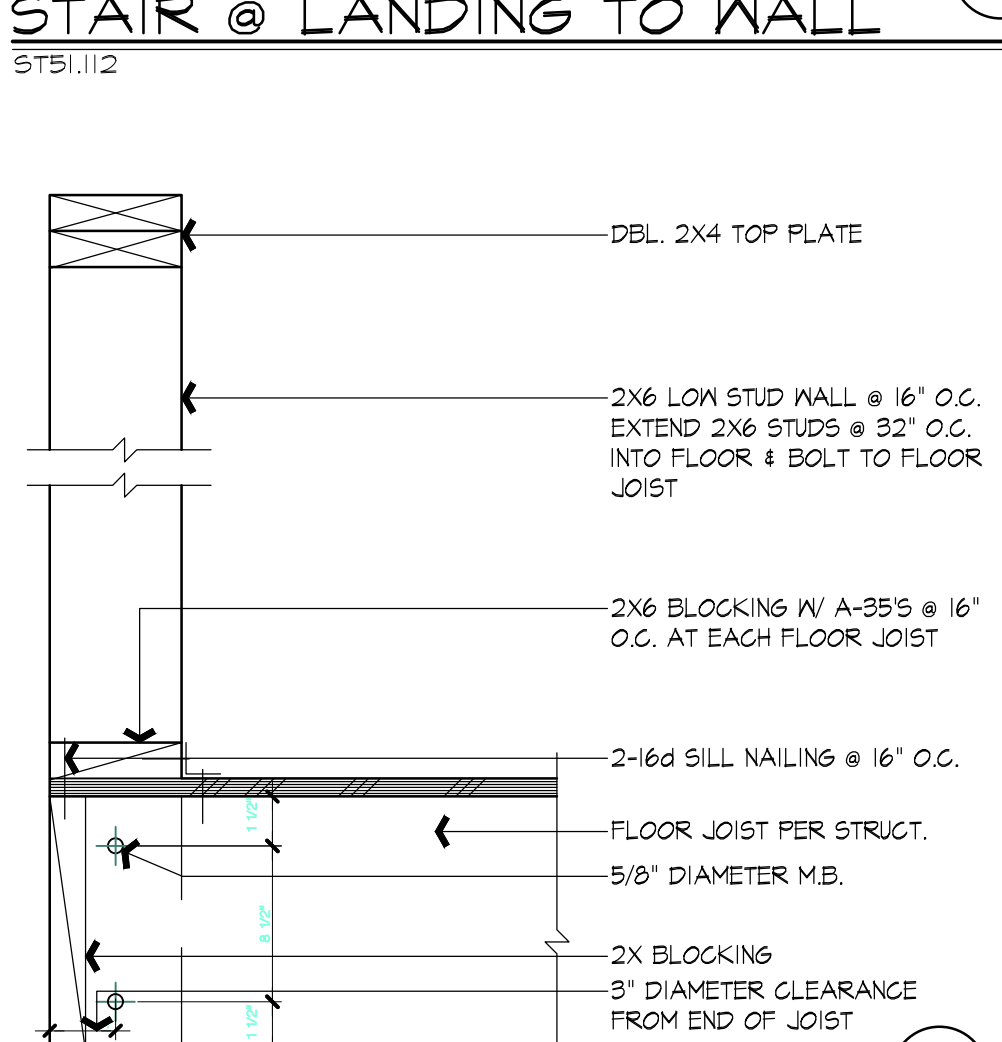
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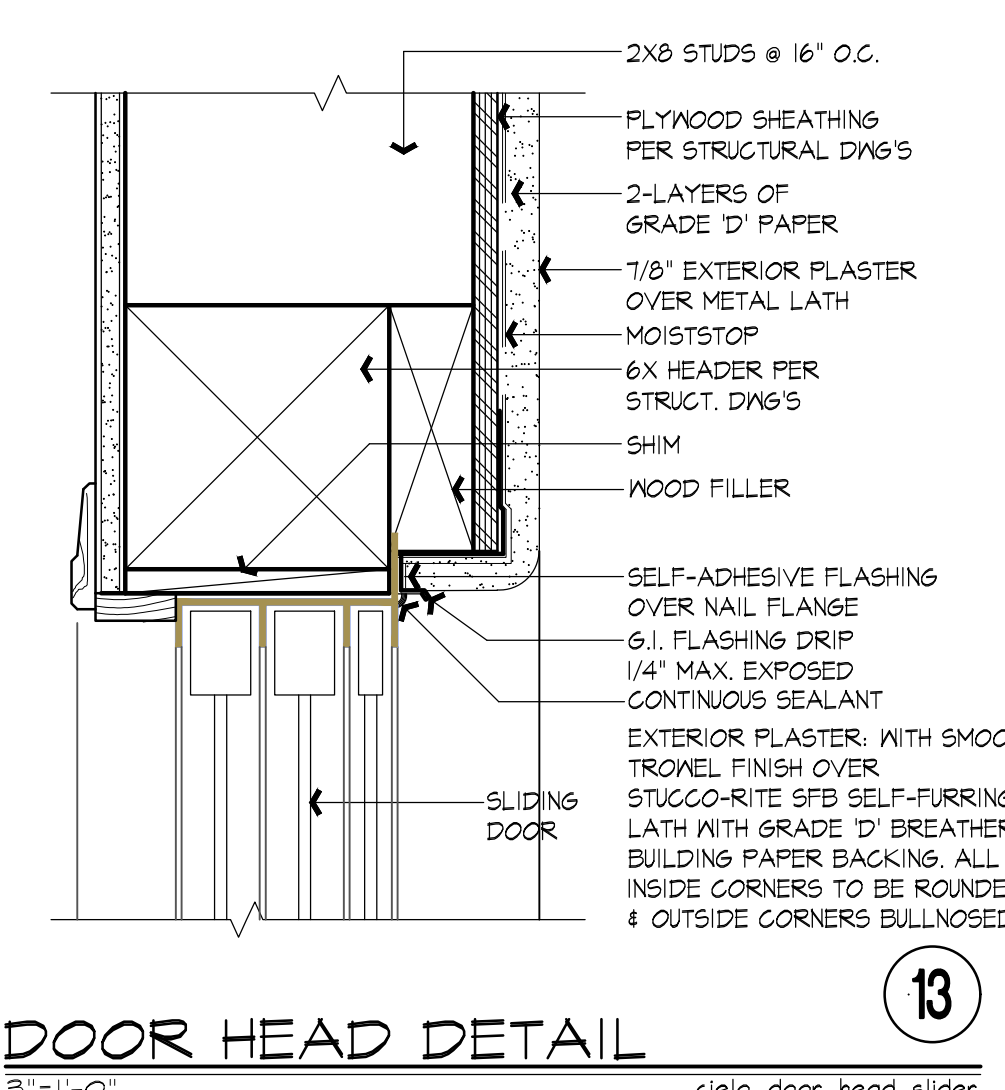
GUARDRAIL-CIELO.112



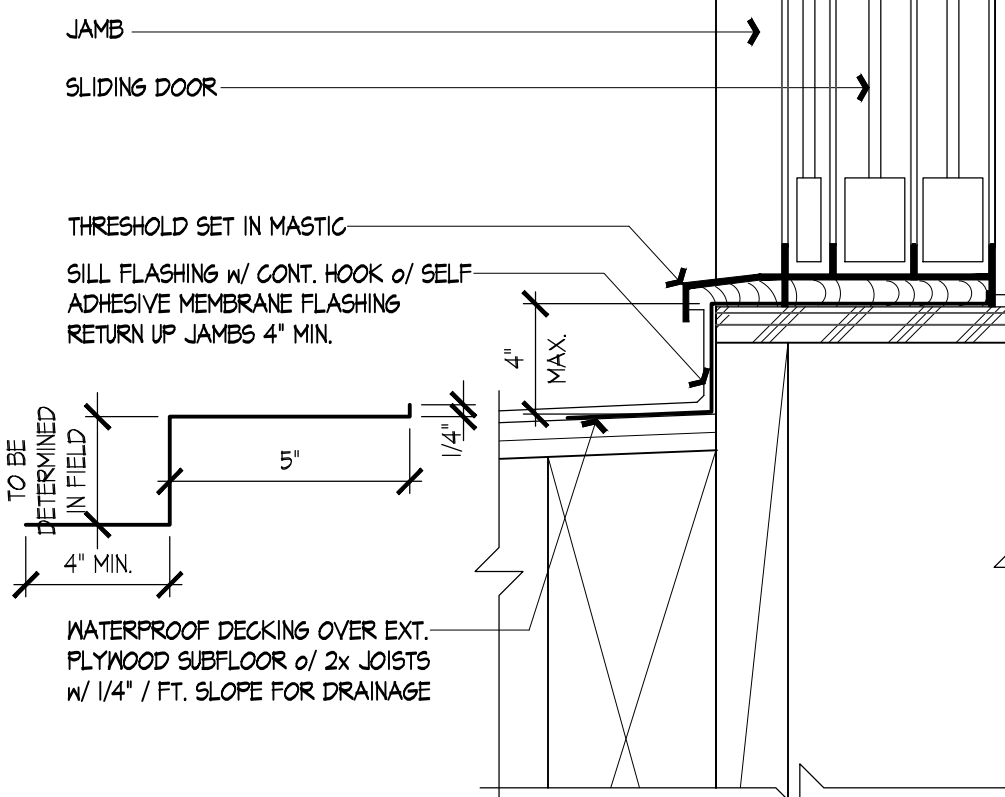
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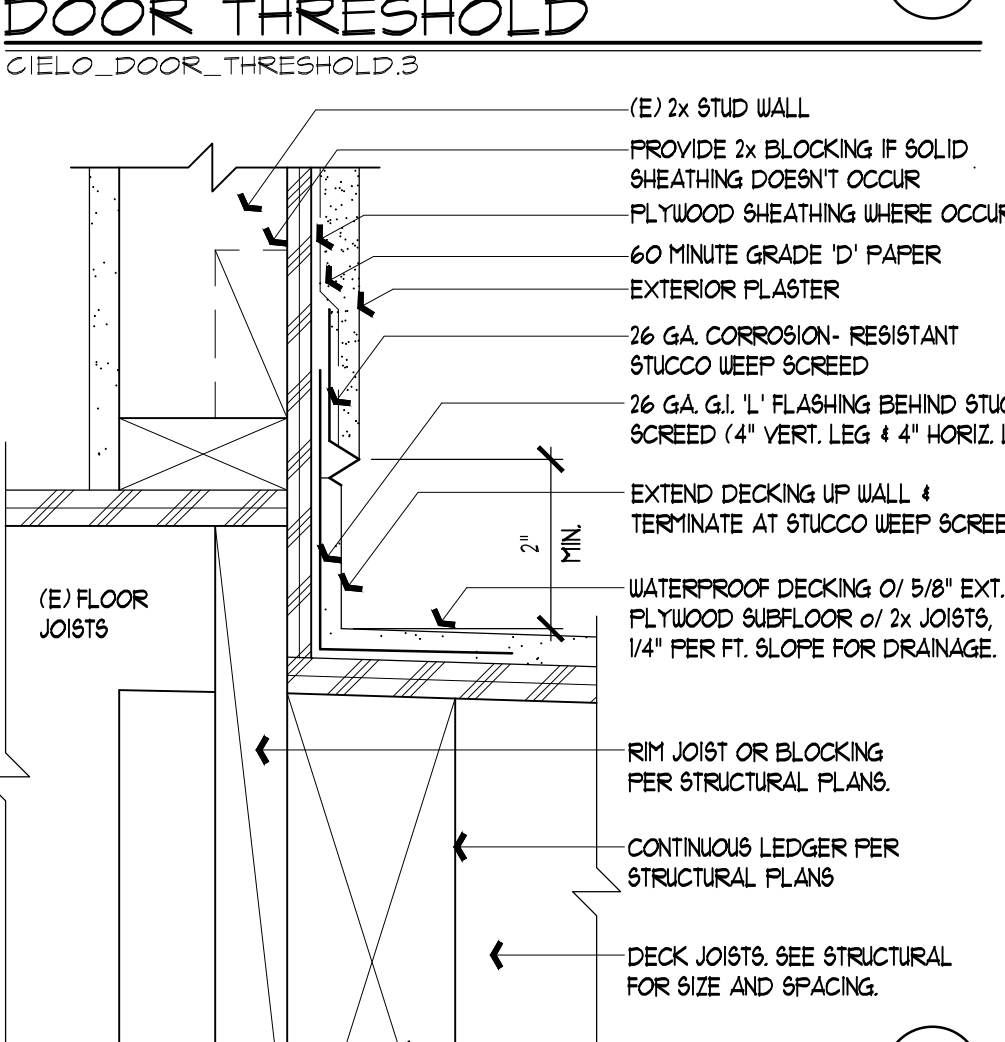
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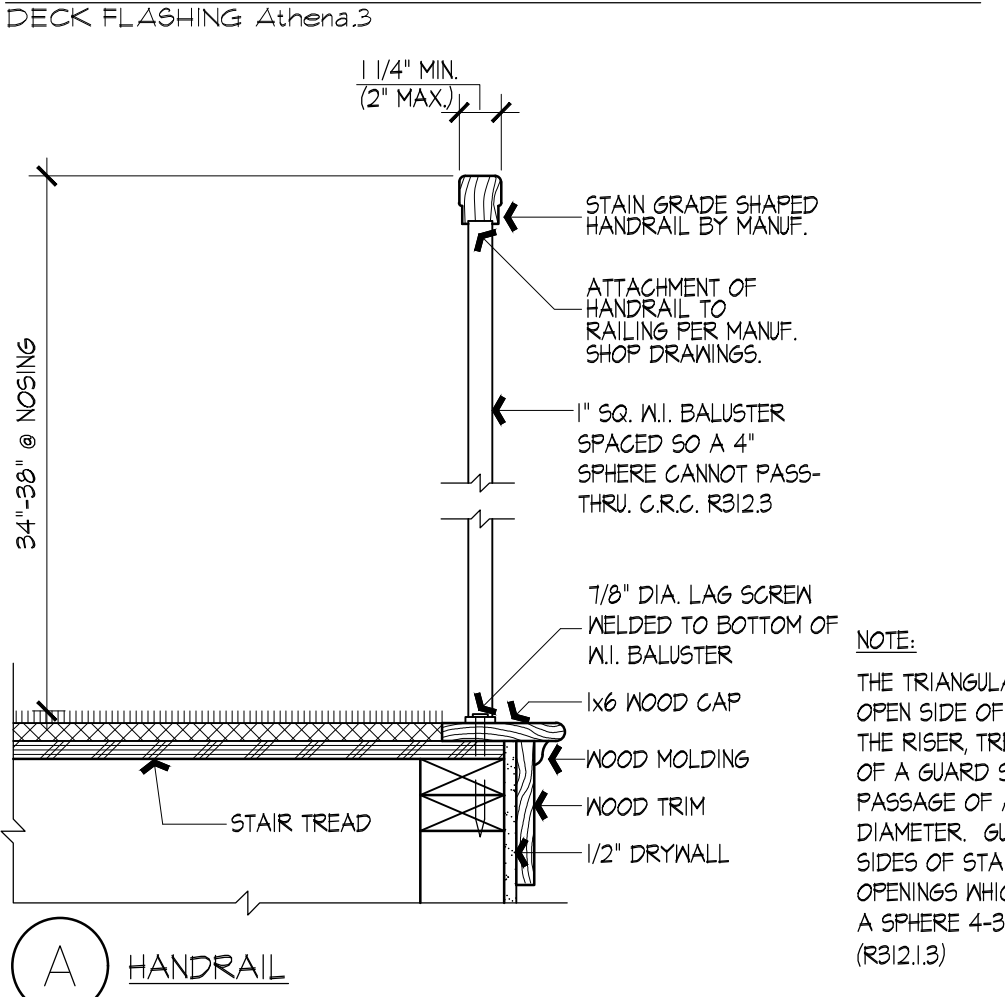
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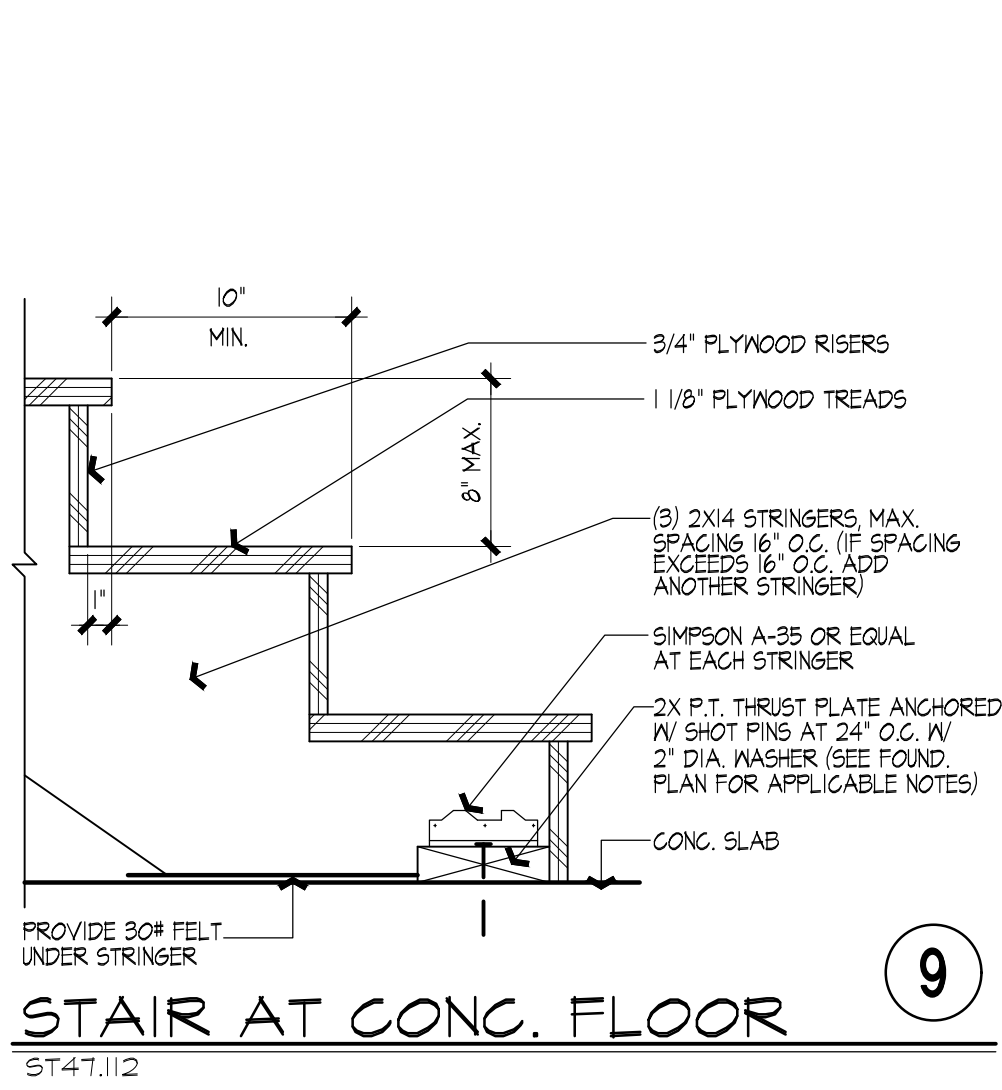
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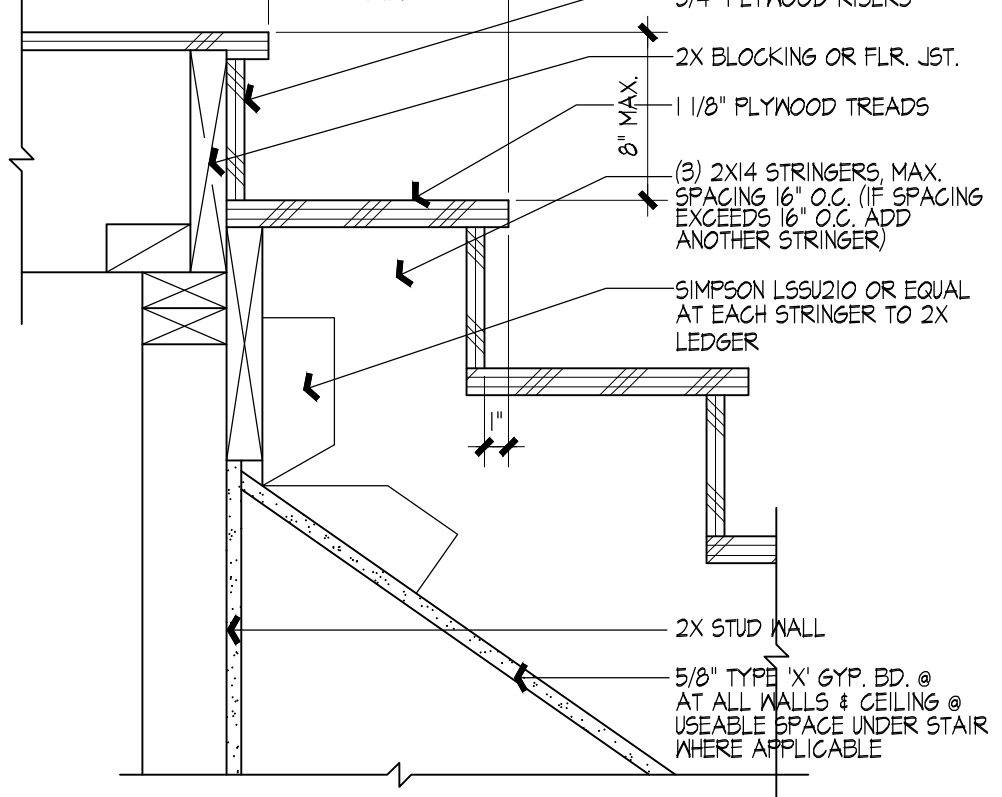
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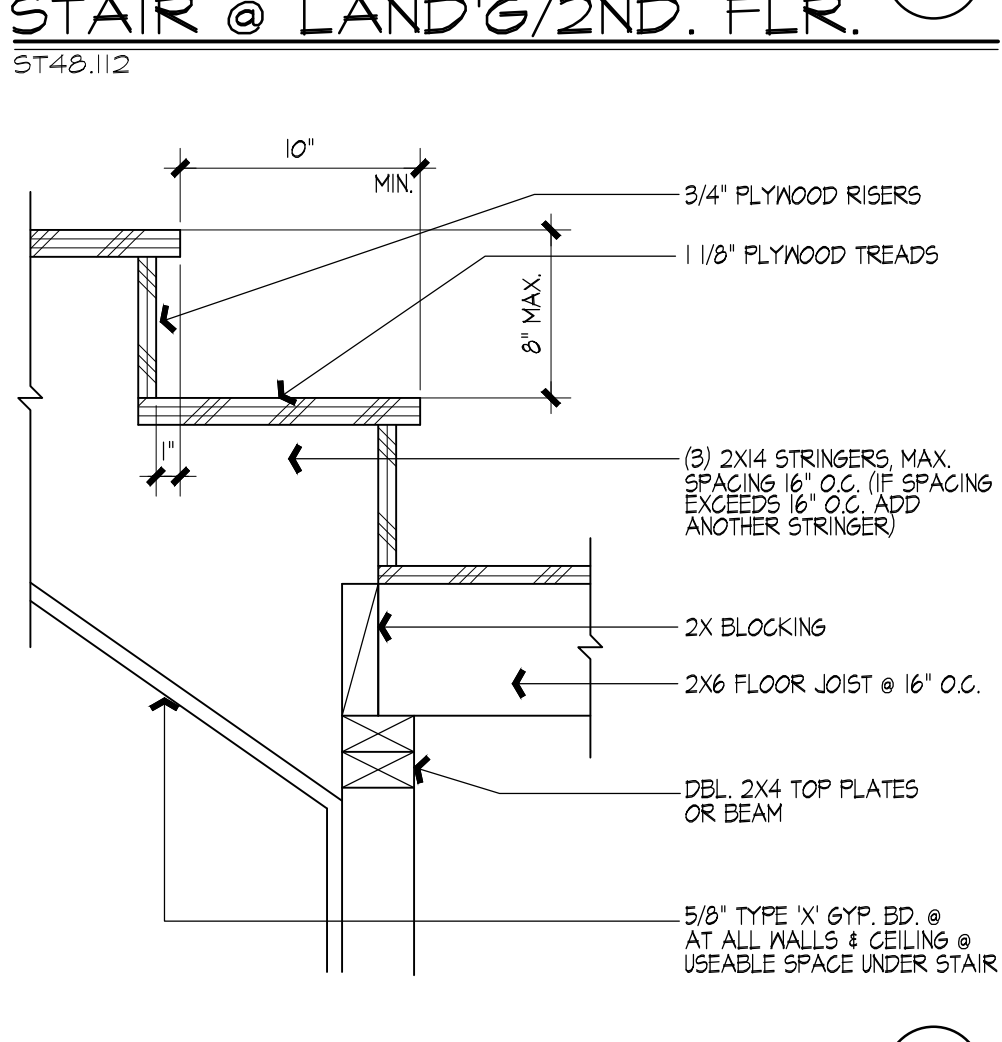
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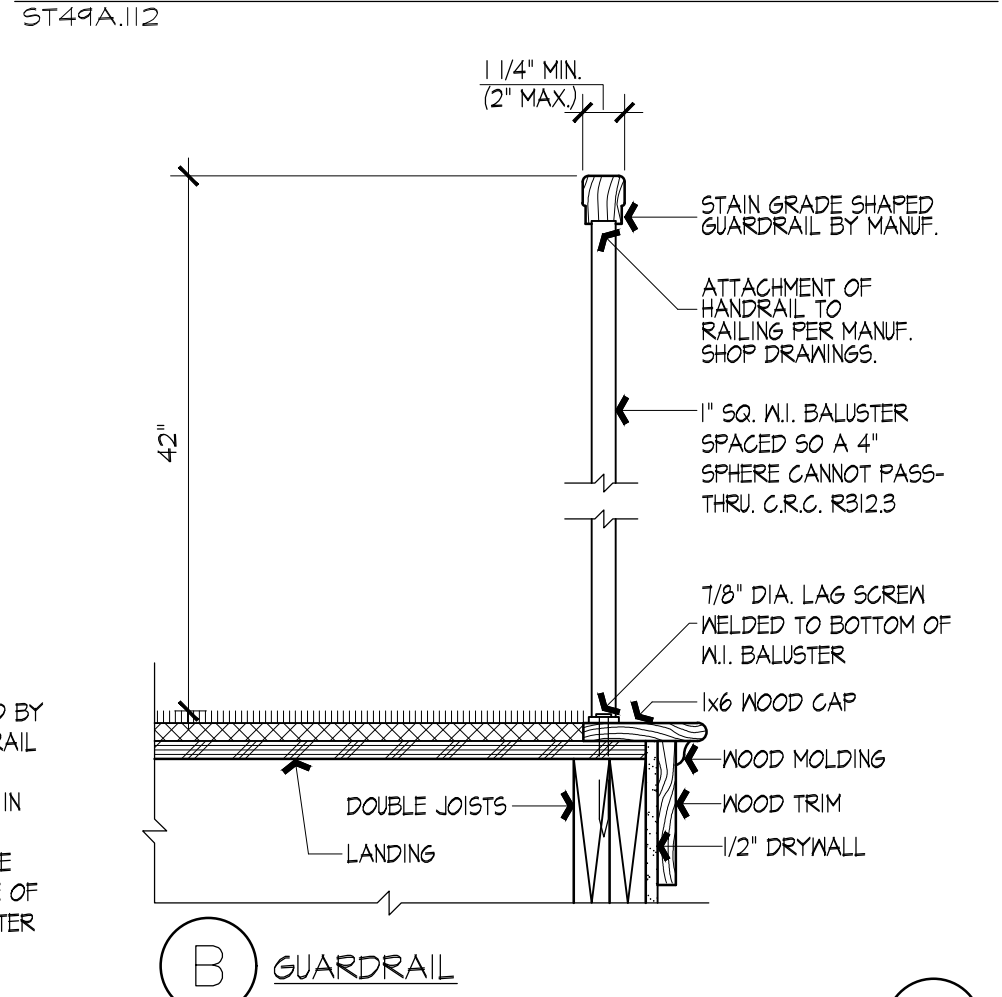
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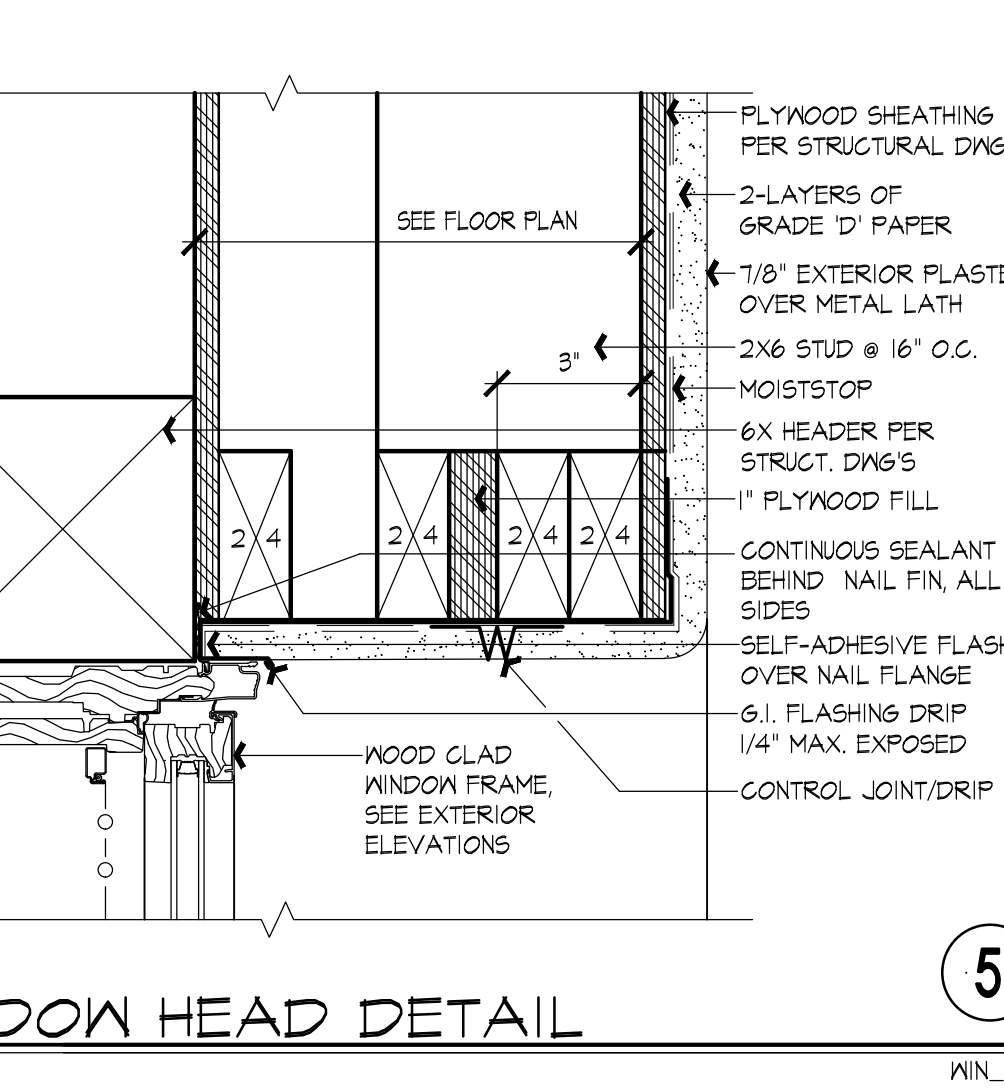
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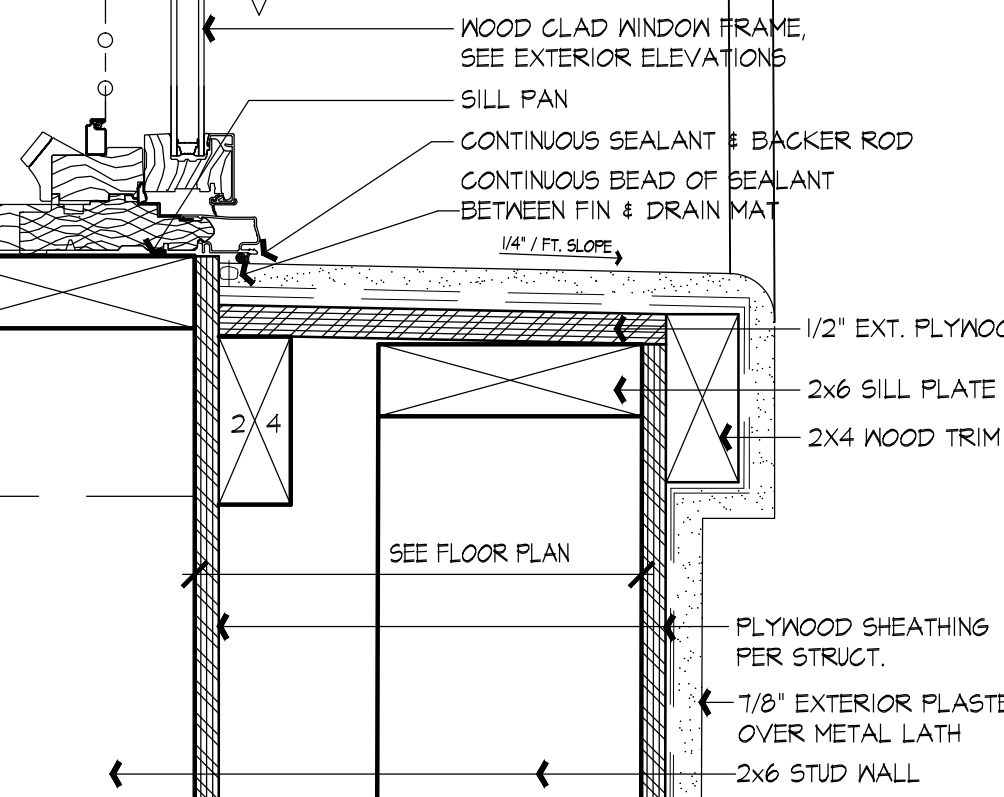
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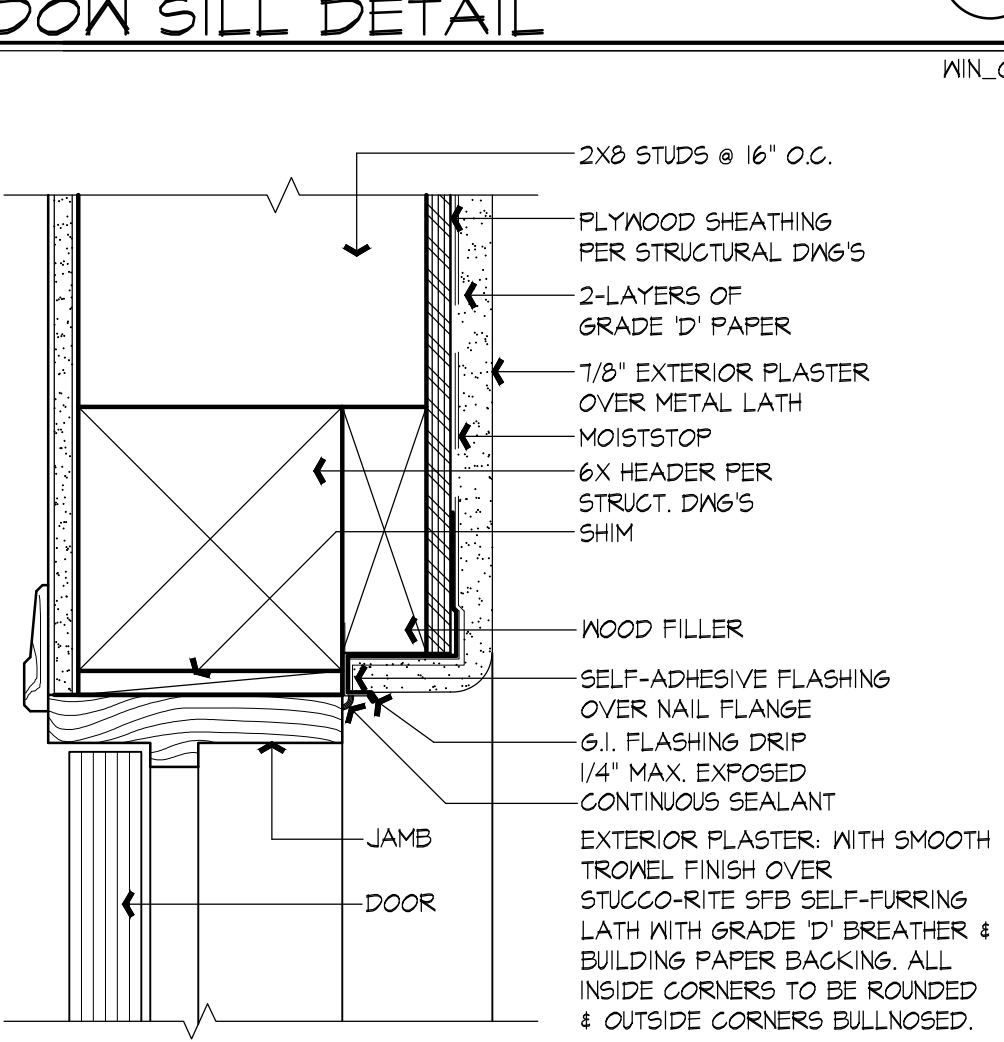
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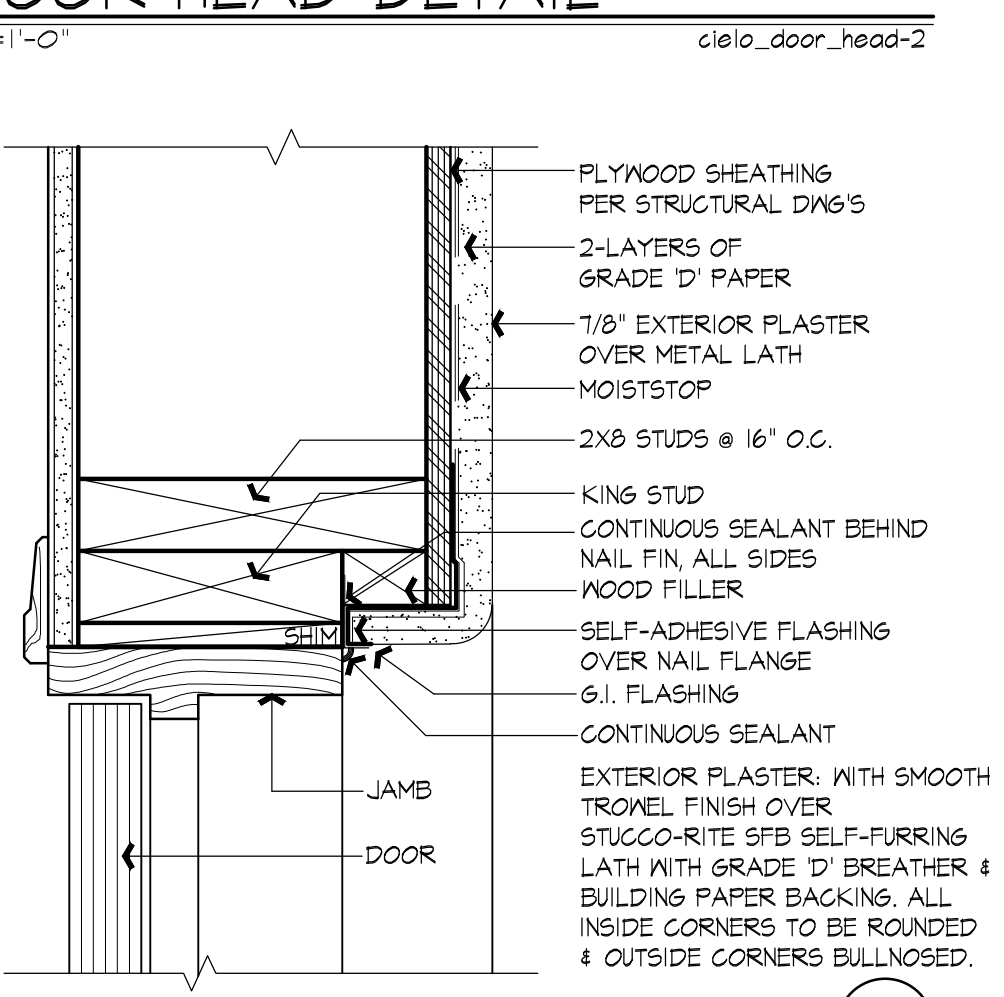
WIN_01



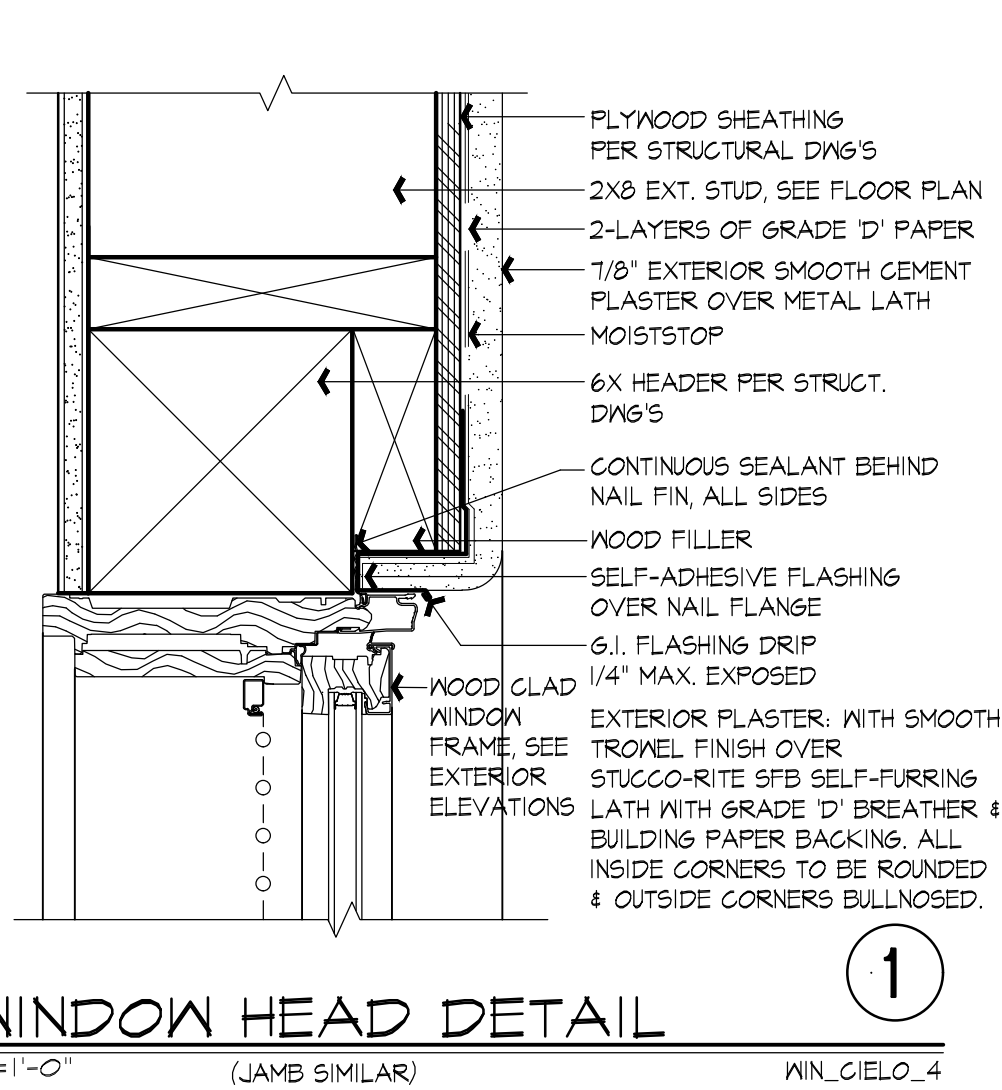
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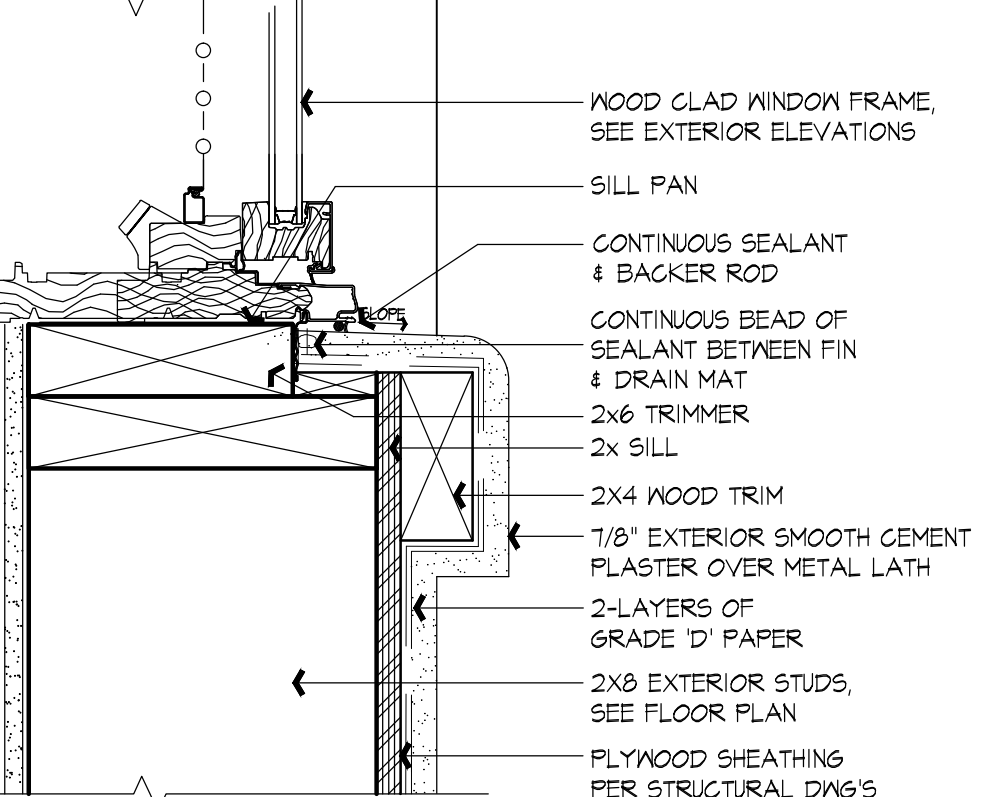
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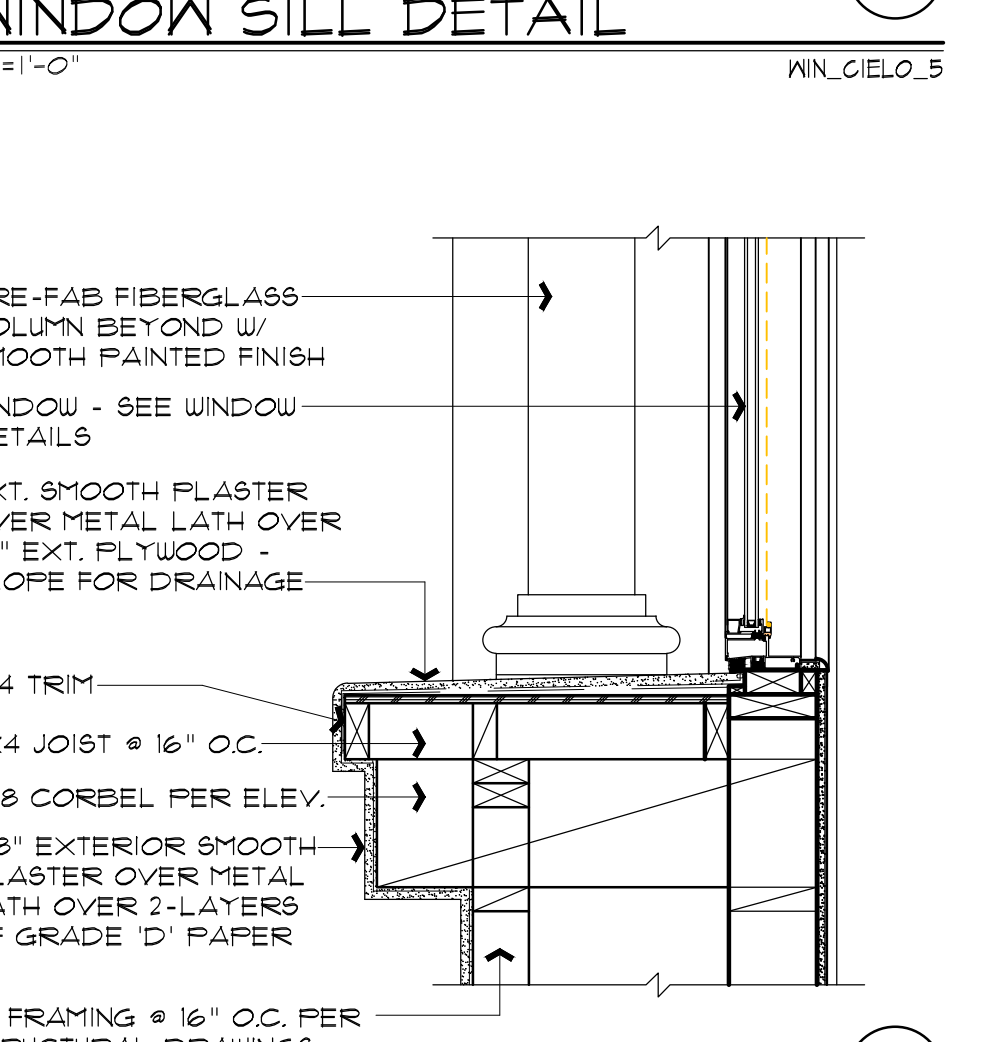
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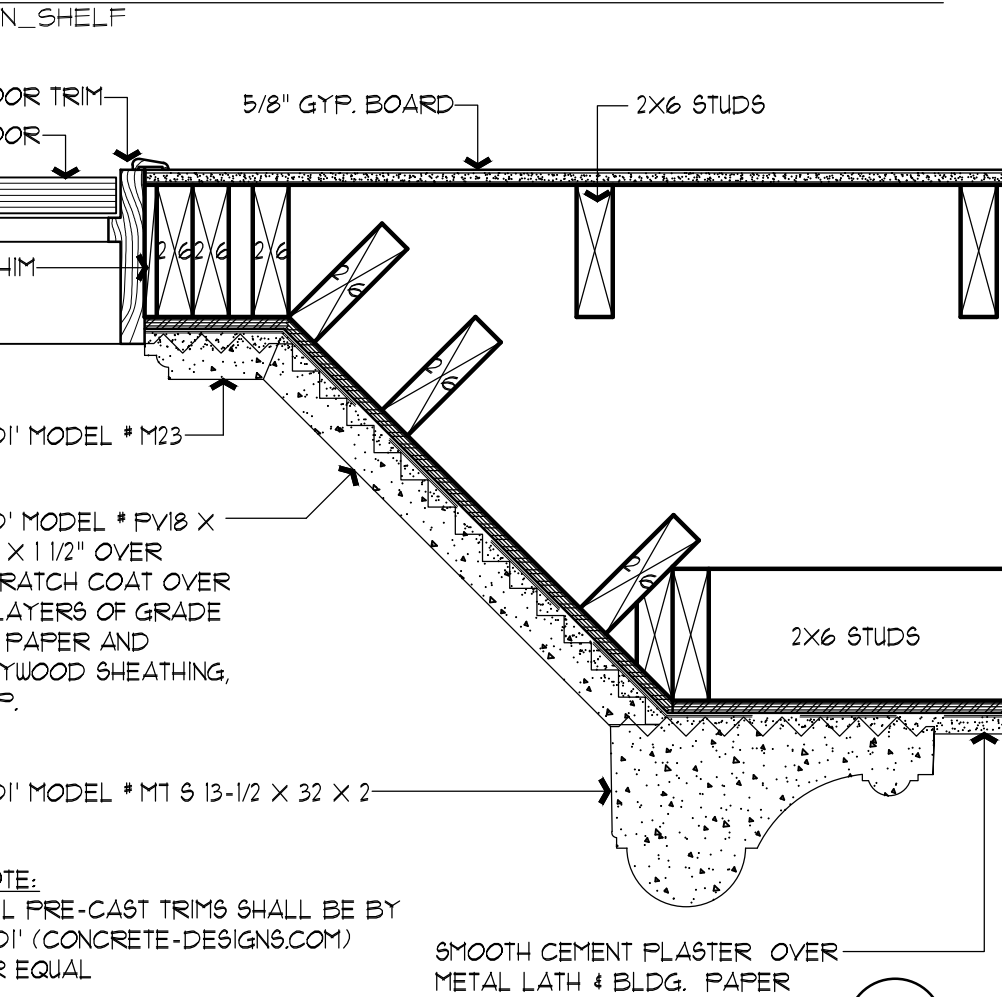
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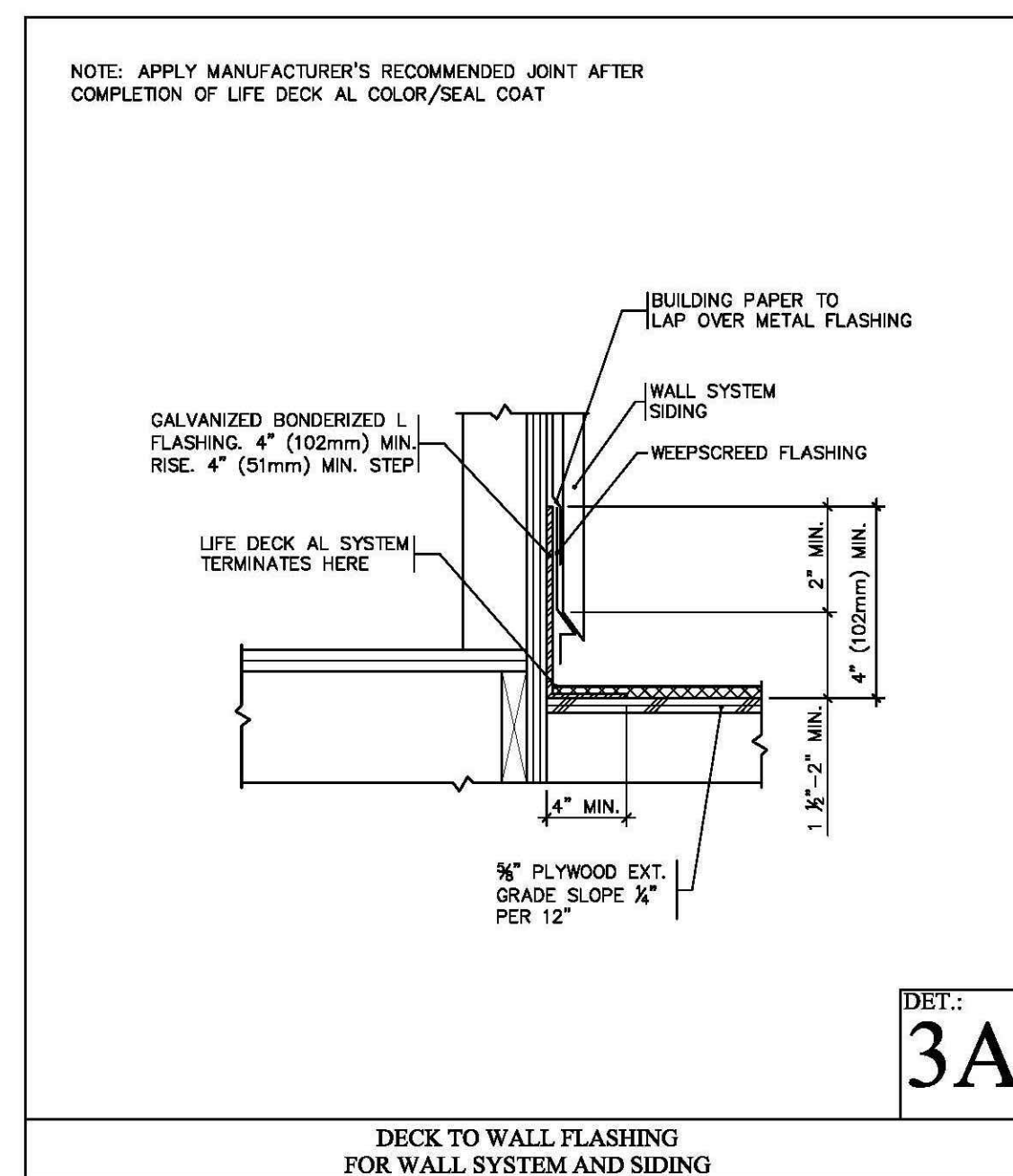
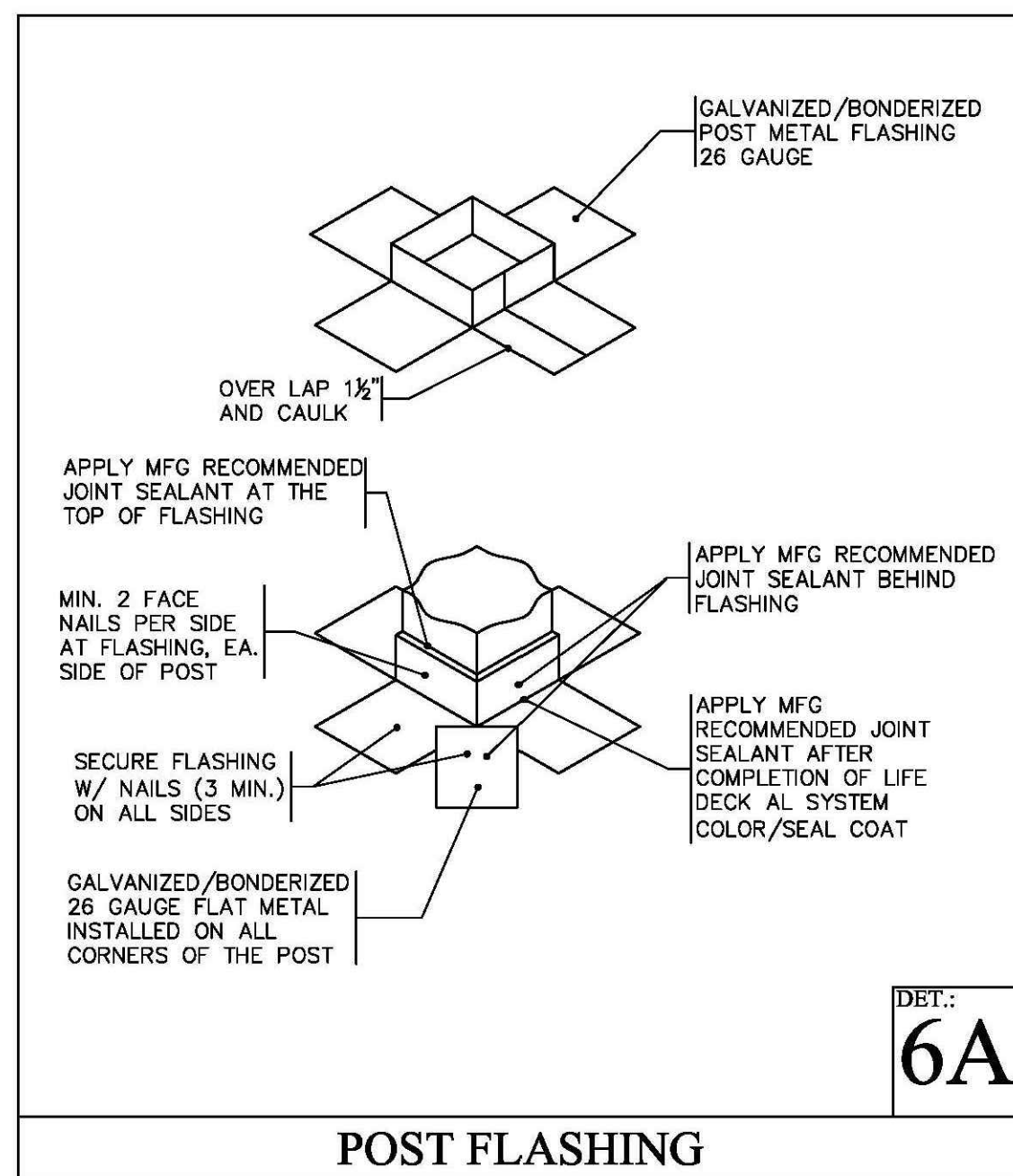
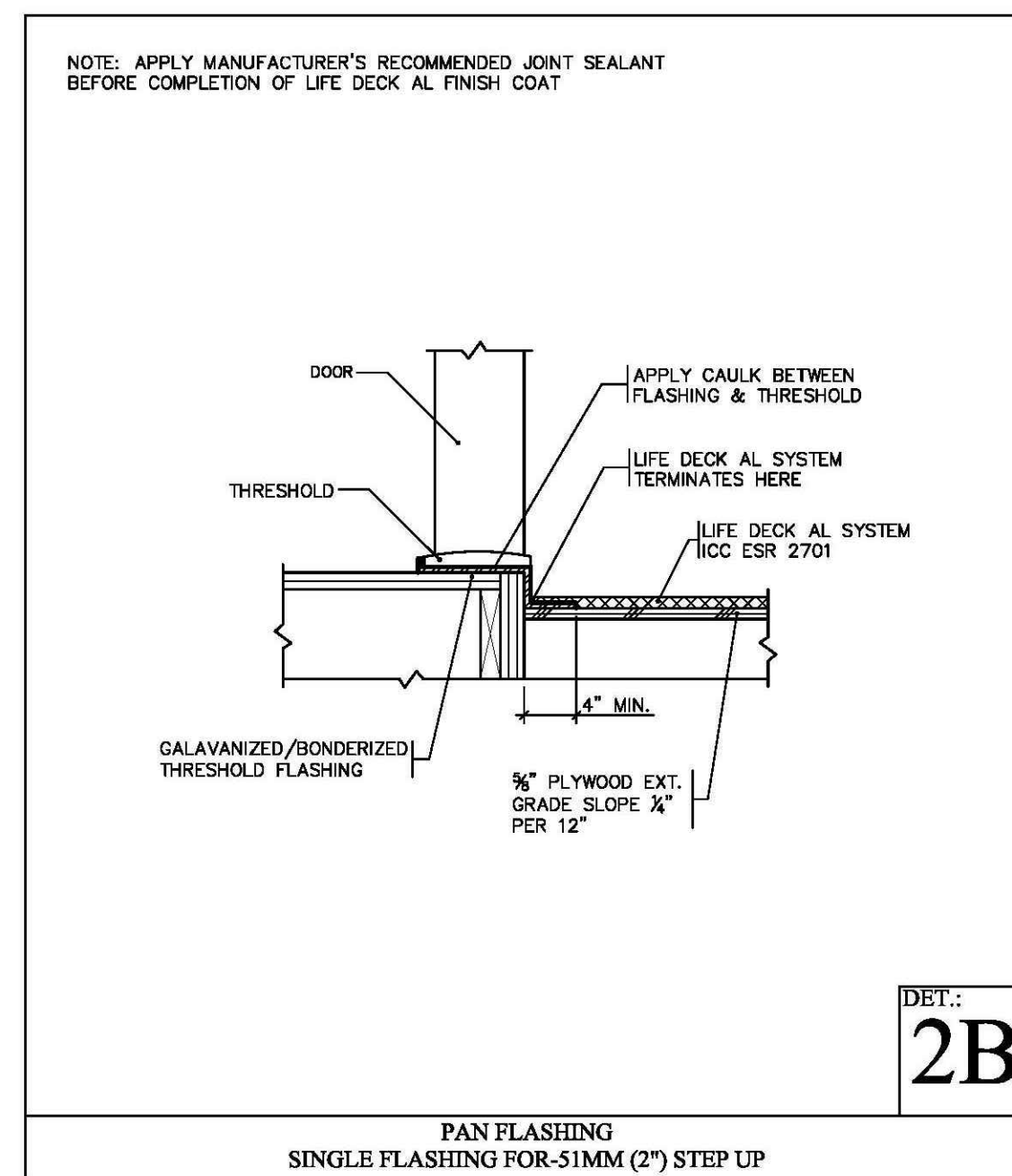
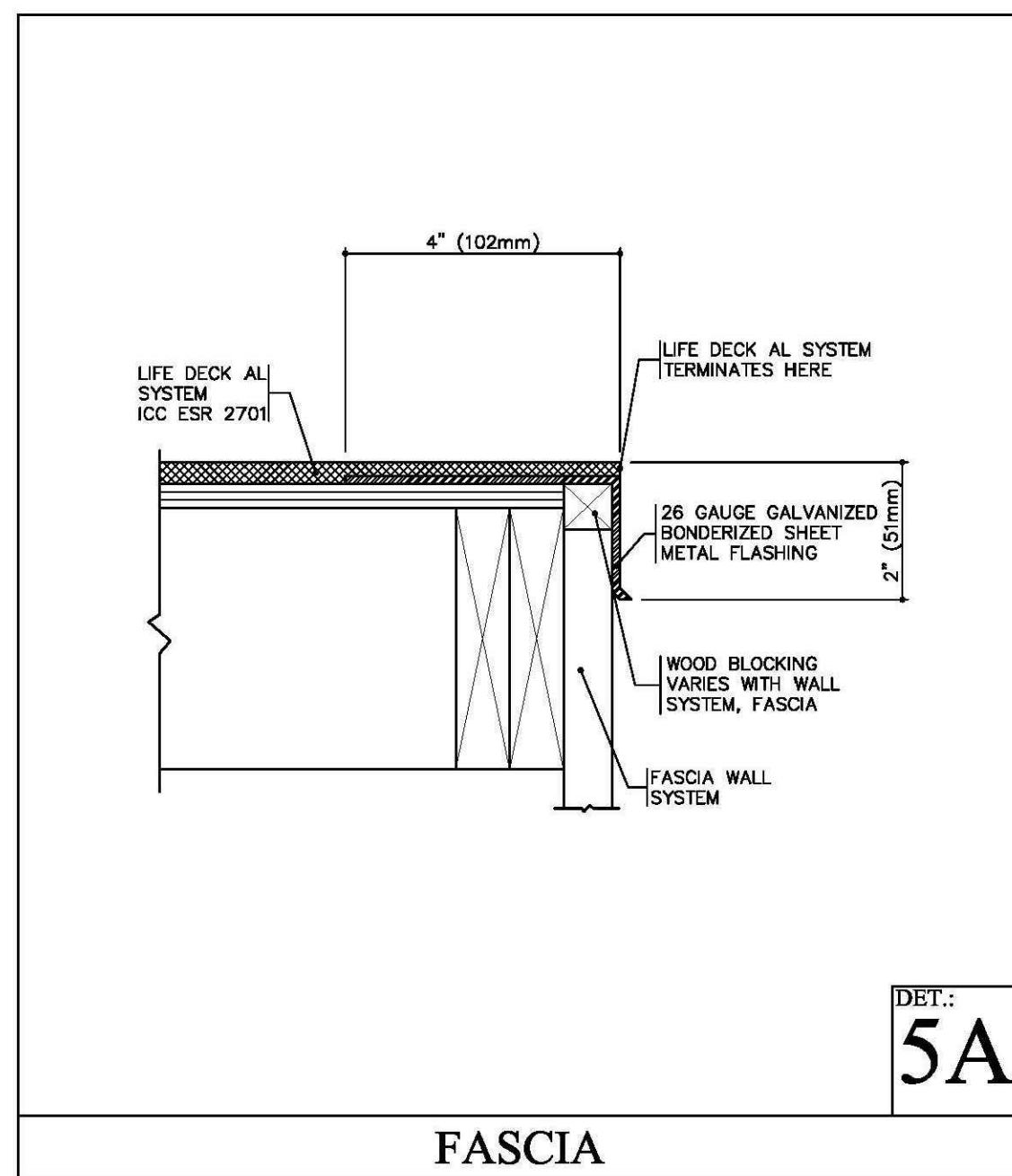
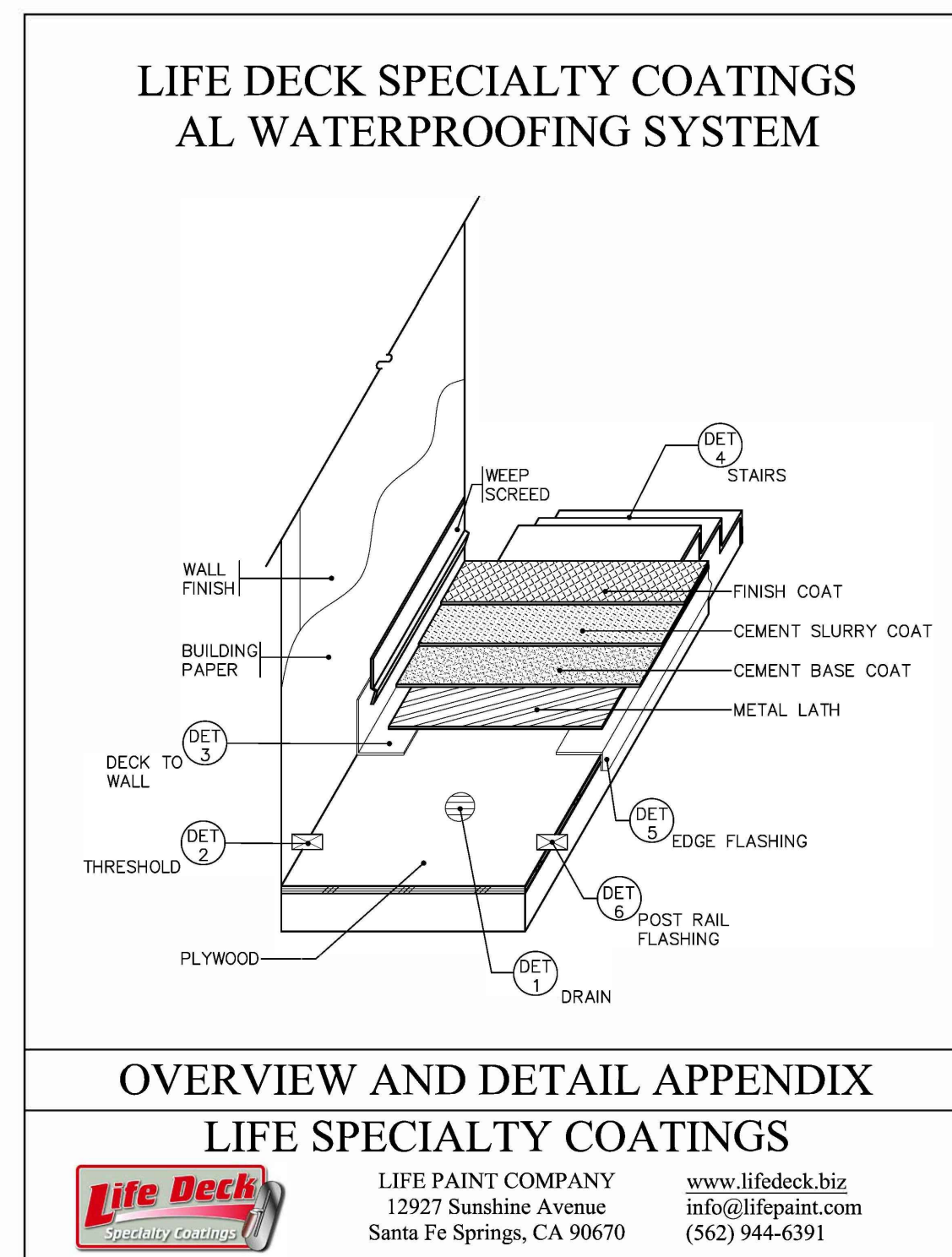
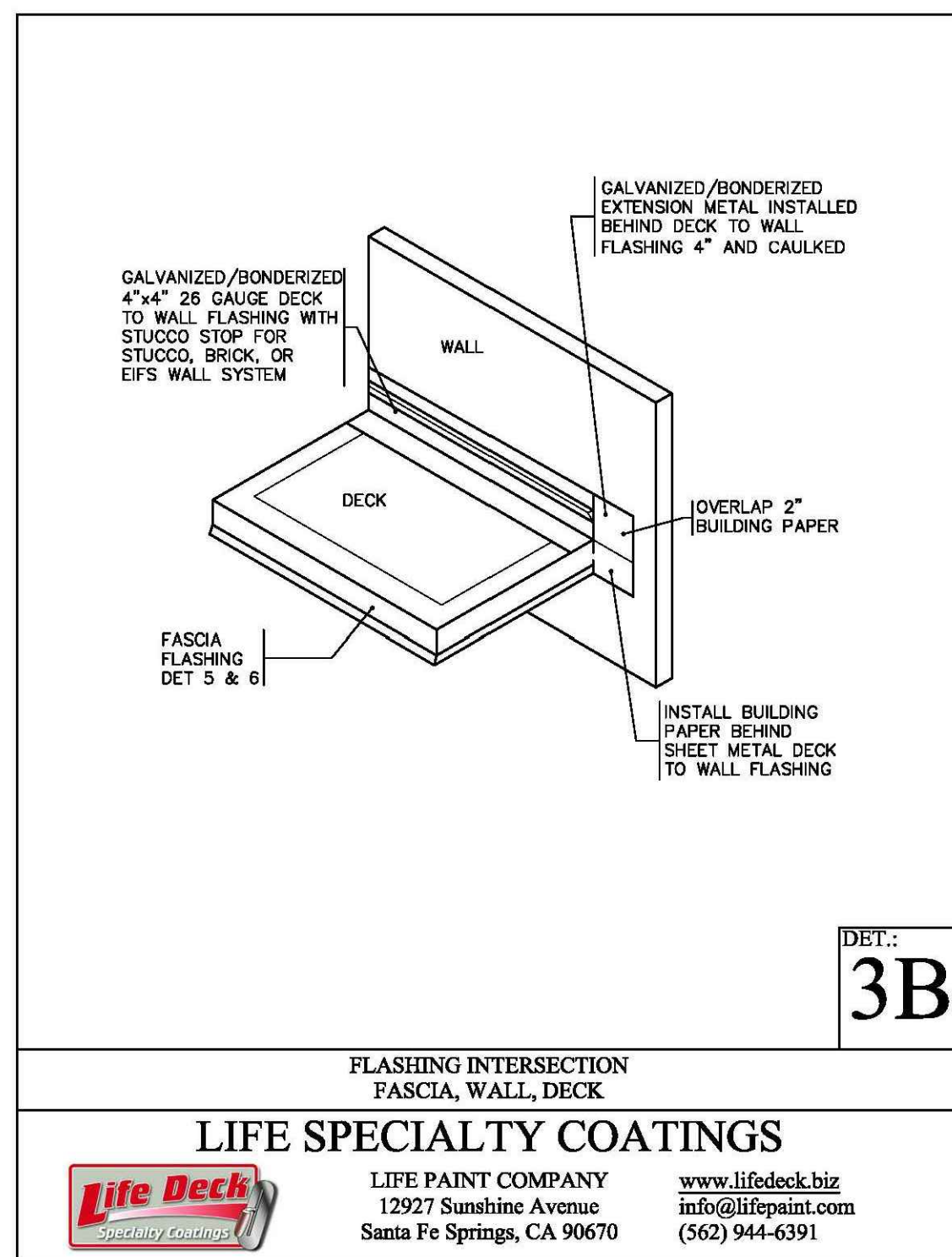
WIN_CIELO_5



WIN_SHELF



CIELO-door-jamb-2



LIFE **SPECIALTY COATINGS**

AL System

Waterproofing - Plywood

Specification Guide

Acrylic Cement

Description

Life Deck AL (Acrylic Lath) is a metal lath reinforced deck system installed with a series of three separate cementitious applications. It is bonded together with a specially formulated acrylic emulsion sealed with Life Deck 10 Series or 28 Series 100% acrylic top coat. When using the 28 Series top coat, the surface temperature can be reduced by up to 30°F as compared to the 10 Series.

Uses & Recommended Surfaces

The AL system works only on plywood walking decks. It is recommended for the discriminating contractor or building owner who demands the finest in design, strength and durability. The AL deck is ideal for areas with heavy traffic or in cases where elimination of plywood seams is essential. Life Deck AL has been designed for balconies, corridors, stairs and landings. It is regularly specified for hotels, condominiums, apartments and office buildings. It can be stapled through most old deck systems to provide an excellent method for the rehabilitation of problem surfaces.

Features

- 1-Hour Fire Rating
- Extremely Durable

■ Breezeways

- ICC ESR #2701
- 5 & 10 Year Warranties Available

■ Stairways

- Fast Drying

■ Patio Covers

- Sound Reduction

Products

- Metal Lath, 2.5 Galvanized- MTL
- Acrylic Cement Modifier- LD-81
- Cment Powder- LD-1
- Cement Powder- LD-3 (Optional)
- Top Coat- 10 Series Color Sealer (2 Coats)
- 28 Series Color Sealer (Optional)

The diagram illustrates the five layers of the AL System applied to a plywood substrate. From bottom to top, the layers are: PLYWOOD, METAL LATH, LD-1 BASE COAT, LD-1 SLURRY COAT, and TOP COAT (2 COATS). Each layer is represented by a rectangular block with its name written inside, and they are all shown in a perspective view.

LIFE SPECIALTY COATINGS (OR EQUIVALENT)

AL System

Waterproofing - Plywood

Specification Guide

Acrylic Cement

Texture Coat (Optional)

Combine one bag of Life Deck LD-3 cement with one gallon of LD-81 acrylic and mix thoroughly with a low rpm drill motor. Add up to one quart of water to achieve the desired consistency. Using an acoustical hopper gun, spray the texture onto the deck with a circular motion to achieve approximately 70% coverage at a rate of about 150 square feet per batch. After a few moments, dependent on the temperature, the texture must be "knocked down" using a 20" x 5" rounded pool trowel for best results. To avoid making impressions, the applicator should wear spiked shoes. Wipe trowel clean with a wet rag as needed. Spray continuously, do not stop in the middle of the deck.

Top Coat

Mix containers of the same color and same product (10 Series or 28 Series heat reflective) together to insure a consistent color. Product may be thinned by adding 1 pint of water per gallon to avoid streaks, especially in hot weather. Roll two coats of Life Deck Top Coat using a 1/2"-3/4" nap roller at a rate of 200-250 square feet per gallon per coat, allowing appropriate cure time between coats (2 hours @ 80°F, 4 hours @ 70°F. Shaded areas require longer cure times between coats or use). Spread the Top Coat in two directions to achieve a uniform finish. Coverage will vary according to texture. Allow 4 to 6 hours drying time (at 70 degrees) before permitting light pedestrian traffic. For best results, allow to cure 24 hours before direct traffic is permitted. Allow an additional 24 hours before heavy objects are placed on the surface.

Optional Materials

Additional Top Coats

- 4001 Clear water based urethane/acrylic sealer. Adds extra durability and protection to final color coat. Available in satin finish, 4002.

Note

- Please refer to individual product technical sheets for more detailed product information on all products within this specification.

Clean Up

Uncured material can be removed with water. Cured material can only be removed mechanically.

HPC
Architecture

Peter Hsin-Pei Chou,
Architect

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Murrieta, CA. 92563
Cell: (951) 252-4605
peterchou888@hotmail.com



Hsin-Pei Chou SIGNED
12/16/2021

VICTOR GUIYONG ZHANG
4647 TORREY CIRCLE, SUITE L-203
SAN DIEGO, CA 92130

TEL: (909) 227-8028

PROJECT ADDRESS:
LOT 76 D
CIELO
17928 EL BRAZO
RANCHO SANTA FE, CA 92067
APN: 264 - 383 - 03 - 00

[illegible]

ALL DIMENSIONS AND CONDITIONS ARE TO BE
VERIFIED BY CONTRACTOR BEFORE START OF
CONSTRUCTION

JOB NO.:	---
DATE:	DECEMBER 16, 2021
DRAWN BY:	JEP
CHECKED BY:	
SHEET TITLE:	

DECK WATERPROOFING SPECIFICATIONS

SHEET NO.:

AD-4

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