



WEST IVY INSPECTIONS

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RESIDENTIAL INSPECTION

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07/23/2026



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Residential Inspection Report

Thank you for choosing **West Ivy Home Inspections**. We really appreciate your business and want to ensure that you get the most out of our inspection and this inspection report. A lot of time and care have been taken to prepare this document for you. Please read the entire inspection report and call us immediately with any questions.

******Verbal statements or opinions expressed at the time of the inspection are not to be relied upon. Only the statements written in this report are the official opinions of your inspector and West Ivy Home Inspections!******

Very Important Next Steps:

Step 1: [Read the entire inspection report!](#)

Step 2: Call your inspector immediately at **619-796-9077**, if you have any questions, concerns, or need changes made to the inspection report.

Step 3: Make a list of all Discovery Items marked [Observation Items](#), [Attention Items](#), and [Safety Concerns](#) identified in this report as needing repair or further evaluation.

Step 4: Contact licensed contractors, specialist, and/or qualified professionals and have the Systems marked [Observation Items](#), [Attention Items](#), and [Safety Concerns](#) further evaluated or repaired **BEFORE THE END OF YOUR CONTINGENCY PERIOD**.

PLEASE BE ADVISED:

This inspection report is the exclusive and sole property of **West Ivy Home Inspections** and the Clients who's name appears in the Inspection Details section of the report labeled **Client**.

Unauthorized reproduction and/or distribution of this report is strictly prohibited. Subsequent buyers, real estate agents and/or sellers assume full responsibility for giving

this inspection report to anyone who does not have a signed contract or written agreement with **West Ivy Home Inspections**. Due to the natural aging process of the materials used in constructing a home, and the normal wear and tear on the mechanical items in the home, **THIS REPORT CAN ONLY REFLECT OBSERVATIONS MADE ON THE DAY OF THE INSPECTION**. Subsequent buyers should have a new inspection performed to protect their interests.

Inspectors working for **West Ivy Home Inspections** inspect properties in accordance with the Standards of Practice set forth by the International Association of Certified Home Inspectors and our inspection agreement which were emailed to you on the day and time this inspection was scheduled. This report is only view-able by the client unless he or she agrees to the terms and conditions of the inspection agreement. Items that are excluded (not inspected) are indicated in the inspection agreement and/or disclaimed in the aforementioned Standards of Practice. **The observations and opinions expressed within the report take precedence over any verbal comments.** It should be understood that the inspector is only on-site for a few hours and will not comment on insignificant deficiencies, but rather, confine the observations to truly significant defects or deficiencies that significantly affect the value, desirability, habitability or safety of the structure. The Client should consider all defects identified in this inspection report as significant.

The inspection shall be limited to those specific systems, structures and components that are present and accessible. Components and systems shall be operated with normal user controls, and not forced or modified to work. Those components or systems that are found not to work at time of inspection will be reported, and those items should be inspected and repaired or replaced by a qualified specialist in that field. You must obtain estimates for any items noted in the report that require further evaluation or repair. **The inspector cannot know what expense would be considered significant by client, as everyone's budget is different.** It is therefore client's responsibility to obtain quotations prior to the end of the contingency period. This is very important, as once you pass the contingency period, or purchase the house, repairs become your sole responsibility. If you have questions about the significance of a repair item, call a licensed professional immediately.

The recommendations that the inspector makes in this report for specialist evaluations should be completed within the contingency period by licensed professionals, who may well identify additional defects or recommend some upgrades or replacements that could affect your evaluation of the property. We caution you to be wary of anyone who has a vested interest, and particularly those who attempt to alarm you or denigrate others.

******* VERY IMPORTANT*******

We feel that everything in this inspection report is significant. Especially the Discovery items marked **Observation Items**, **Attention Items** and **Safety Concern**. We cannot assume liability for an item, system, or component the client did not feel was significant at time of inspection, but later feels is. For this reason, we are informing you that when as little as one **Component** is called out as **Observation Items**, **Attention Items**, or **Safety Concern** in any **System** of this home inspection report, **you must have that entire system further evaluated by a licensed specialist in that field before the end of your contingency period**. These licensed specialist may identify additional components within that system that need to be repaired/replaced or recommend some upgrades that could affect your evaluation of the property.

Definitions that may help you understand the above statement better:

System = a set of components working together as parts of a mechanism or an interconnecting network. Examples of a system would be; the Roofing system, the Plumbing system, the Electrical system.

Component = a part or an element of a system. Examples of components would be; a shingle in a Roofing system, a faucet in a Plumbing system, a circuit breaker in an Electrical system.

SCOPE OF WORK

You have contracted for us, **West Ivy Home Inspections**, to perform a general home inspection. We performed this inspection in accordance with standards of practice established by the International Association of Certified Home Inspectors (Inter-NACHI). A copy of these standards can be obtained by visiting nachi.org.

This inspection is distinct from a specialist inspection, which can be costly, take several days to complete, involve the use of specialized instruments, the dismantling of equipment, video-scanning, destructive testing, and laboratory analysis. By contrast, this general home inspection is completed on-site, at a fraction of the cost and within a few hours. **Consequently, this general home inspection and its report cannot and will not be as comprehensive as that generated by specialists and it is not intended to be.**

The purpose of this inspection is to identify systems that should be further evaluated by licensed contractors who through their evaluations may identify additional components, material defects or adverse conditions that could result in injury or lead to costs that would significantly affect your evaluation of the property. We strongly urge you to follow our further evaluation recommendations as stated in the inspection report prior to the end of your contingency period to prevent unexpected issues from arising after the close of escrow.

We evaluate conditions, systems, or components, and report on their condition, which does not mean that they are ideal but that they are either functional or met a reasonable standard at a given point in time. We do take into consideration when a house was built and allow for the predictable deterioration that would occur through time, such as the cracks that appear in concrete and in the plaster around windows and doors, scuffed walls or woodwork, worn or squeaky floors, stiff or stuck windows, and cabinetry that does not function as it did when new. Therefore, we tend to ignore insignificant and predictable defects, and do not annotate them, and particularly those that would be apparent to the average person or to someone without any construction experience. We are not authorized, or have the expertise, to test for environmental contaminants, or comment on termite, dry rot, fungus or mold, but may alert you to its presence. Similarly, we do not test the quality of the air within a residence. However, clean air is essential to good health, and we categorically recommend air sampling and the cleaning of supply ducts as a wise investment in environmental hygiene. Therefore, you should schedule any such specialized inspections with the appropriate specialist before the close of escrow.

A home and its systems and its components are complicated, and because of this and the limitations of an on-site report, we offer unlimited consultation and encourage you to

ask questions. In fact, we encourage candid and forthright communication between all parties, because we believe that it is the only way to avoid stressful disputes and costly litigation. Remember, we only summarized the report on-site and it is essential that you read all of it, and that any recommendations that we make for service or evaluation by specialists should be completed and documented well before the close of escrow, because additional defects could be revealed by specialists, or some upgrades recommended that could affect your evaluation of the property, and our service does not include any form of warranty or guarantee.

Definitions of Comments:

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. That professional should inspect the entire system or component, as problems at one area could indicate problems at other areas of the system. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and it appeared to be functioning as intended.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended.

Not Present (NP) = This item, component or unit is not in this home or building.

Discovery (D) = One of the following conditions exist: **Observation Items**, **Attention Item**, or **Safety Concern**.

Discovery Items Defined

Observation Items = May include one or more of the following conditions:

1. Items that may not be affecting the function or usability of a system or component. However, if not corrected, it may at some point in the future.
2. Items that may required repair due to age and/or normal wear and tear.
3. The items should be monitored; repair or replacement should be considered.

Attention Items = May include any one or more of the following conditions:

1. The item is not functioning as intended.
2. The item and its entire system need to be further evaluated by a licensed contractor in that field (Plumbing = Plumber, Electrical = Electrician, etc.). The item and/or other items within the system (not identified in this report) may need to be repaired or replaced.
3. Areas, systems or components that were not accessible by our company.

Safety Concern = May include the following condition:

1. Items or systems in which the current state poses a potential safety hazard to the occupants or structure (in the inspectors opinion). This item should be immediately further evaluated and repaired by a qualified technician/contractor to ensure safety.

Note: Damage or additional items in need of repair may exist that are not identified in this inspection report and/or are beyond the scope of this home inspection, may be discovered by the licensed contractor. This is why we strongly recommend that you seek

further inspections and evaluations **BEFORE THE END OF YOUR CONTINGENCY PERIOD. We cannot and will not be responsible for your failure to follow our recommendations listed in this inspection report.**

A home inspection and its report are only describing the condition of the systems and components of this house on the day of inspection. **This home inspection is not a home warranty or guarantee of any kind. Systems and components of this home may and probably will fail anytime after the inspection.**

We HIGHLY recommend that you purchase and maintain a comprehensive home warranty, including coverage for your home, swimming pool, roofing, heating and air conditioning, plumbing, and electrical systems and renew it each year you own this house.

Mold:

If you or a family member has health problems, or you are concerned about mold, **it is YOUR responsibility** to get an air quality or mold inspection completed, regardless of the findings in this report. **West Ivy Home Inspections** performs a free visual mold assessment with every general home inspection we perform. However, latent or hidden defects are outside the scope of this visual assessment. Also, please be advised that only surface and air samples can determine if mold is present. It is strongly recommended that you call our office at 619-796-9077 or your preferred mold inspection company to schedule mold testing if you or your loved ones are concerned about the presence of mold.

Environmental Hazards:

Our company and our inspectors are not licensed or trained to inspect for or test for environmental hazards. If you or anyone occupying or visiting this property are concerned about environmental hazards like; lead, radon, PCBs, mildew, urea-formaldehyde, asbestos, sulfur, contaminated drywall, Chinese drywall, or other toxins in the building, ground, water or air, **you need to contact a licensed environmental hygienist to have them visit the property and test for these issues.**

Pest:

Our company and our inspectors are **not licensed or trained to inspect for pest** to include but not limited to: rodents, insects, wood destroying organisms or the damage caused by these animals/organisms.

Pictures:

Pictures included in this report are not meant to represent every defect that has been found. Photographs are a tool to convey our findings and are not intended to enhance those findings or diminish any findings not photographed. There may be **Observation**, **Attention** and **Safety Concern** items that do not have a picture included. We suggest reading the entire report to discover all of the defects that have been reported on. Pictures, if included, represent only the finding associated with that picture. If you have any questions on the key findings, please contact the inspector for clarification.

Please Note: West Ivy Home Inspections hereby certifies that we have no interest present or prospective in the property, buyer, seller, lender or any other party involved in this transaction.

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ITEMS INSPECTED

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OBSERVATION ITEMS

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ATTENTION ITEMS

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SAFETY CONCERNS

- ⊖ 2.7.1 Kitchen Appliances - Built In - EXHAUST FAN/RANGE HOOD/DOWNDRAFT: Exhaust Fan - Inoperable
- ⊖ 3.3.1 Plumbing System - FIXTURES AND CONNECTED DEVICES: Toilet Loose
- ⊖ 3.5.1 Plumbing System - TUB/SHOWER FIXTURES: Drain Overflow - Information
- ⊖ 3.6.1 Plumbing System - PLUMBING DRAIN, WASTE AND VENT SYSTEMS: Drain Lines - Scope Recommended
- ⊖ 3.6.2 Plumbing System - PLUMBING DRAIN, WASTE AND VENT SYSTEMS: Cast Iron - In Use
- ⊖ 3.7.1 Plumbing System - WATER HEATERS: Sediment Trap - Not Installed
- ⊖ 3.7.2 Plumbing System - WATER HEATERS: Leak Pan - Not Installed
- ⚠ 3.8.1 Plumbing System - WATER HEATER FLUE: Transite Flue Pipe
- ⚠ 3.10.1 Plumbing System - WATER HEATER STRAPPING & BRACING: Straps- Inadequate or Not Installed
- ⊖ 3.13.1 Plumbing System - PRESSURE REGULATOR: Pressure Regulator - Not Found
- ⚠ 4.3.1 Electrical System - MAIN AND DISTRIBUTION PANELS: Twist Out - Missing
- ⊖ 4.3.2 Electrical System - MAIN AND DISTRIBUTION PANELS: Missing Wire Cap
- ⚠ 4.5.1 Electrical System - SYSTEM GROUNDING AND GROUNDING EQUIPMENT: Ground Wire - Not Found
- ⚠ 4.7.1 Electrical System - BRANCH CIRCUIT CONDUCTORS: Exposed Romex
- ⚠ 4.7.2 Electrical System - BRANCH CIRCUIT CONDUCTORS: Open Junction Box
- 🔧 4.9.1 Electrical System - EXTERIOR LIGHTING : Sensor Light Not Tested
- 🔧 4.9.2 Electrical System - EXTERIOR LIGHTING : Landscape Lighting
- ⚠ 4.10.1 Electrical System - POLARITY & GROUNDING OF RECEPTACLES: Receptacle - Ground Not Detected
- ⚠ 4.11.1 Electrical System - GFCI - (GROUND FAULT CIRCUIT INTERRUPTERS) : GFCI Upgrade Recommended - (Bathroom, Exterior and Garage)
- 🔧 4.12.1 Electrical System - AFCI - (ARC FAULT CIRCUIT INTERRUPTERS): AFCI's - Not Installed / Not Enough
- ⊖ 5.1.1 Insulation/Ventilation - ATTIC INSULATION: Add Insulation
- ⊖ 5.2.1 Insulation/Ventilation - FLOOR INSULATION: Floors Not Insulated
- ⊖ 6.2.1 Interiors - CEILINGS: Settlement Cracks
- ⚠ 6.2.2 Interiors - CEILINGS: Popcorn on Ceiling
- ⊖ 6.3.1 Interiors - WALLS: Settlement Cracks
- ⊖ 6.3.2 Interiors - WALLS: Damage - Peeling Paint
- ⊖ 6.8.1 Interiors - DOORS (REPRESENTATIVE NUMBER): Door - Does Not Latch
- ⊖ 6.9.1 Interiors - WINDOWS (REPRESENTATIVE NUMBER): Screens - Not Installed
- ⊖ 6.10.1 Interiors - ATTICS: Transite Flue

- ⊖ 7.3.1 Garage - GARAGE CEILINGS/ROOF FRAMING: Moisture Stain/Damage - Dry
- ⊖ 7.4.1 Garage - GARAGE WALLS (Including Firewall Separation): Water Stains / Damage
- ⊖ 7.4.2 Garage - GARAGE WALLS (Including Firewall Separation): Settlement cracks
- ⊖ 7.5.1 Garage - GARAGE FLOOR: Efflorescence at Floor
- ⊖ 8.3.1 Roofing - ROOF SHEATHING (As Observable From Attic): Stains at Sheathing/Framing
- ⊖ 8.4.1 Roofing - ROOF COVERINGS: Wear Due to Age
- ⊖ 8.6.1 Roofing - ROOF DRAINAGE SYSTEMS: Gutters / Drains - Cleaning
- ⊖ 9.2.1 Exterior - WALL CLADDING, TRIM AND FLASHING: Siding/Stucco - Ground Contact
- ⊖ 9.2.2 Exterior - WALL CLADDING, TRIM AND FLASHING: Stucco Deterioration and Cracks
- ⊖ 9.2.3 Exterior - WALL CLADDING, TRIM AND FLASHING: Siding - Blisters/Water Absorption
- ⚠ 9.4.1 Exterior - DOORS (Exterior): Lock - Door Lock Inoperable
- ⊖ 9.4.2 Exterior - DOORS (Exterior): Tempered Glass
- ⊖
- 9.6.1 Exterior - VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building): Vegetation Too Close to Building
- ⊖
- 9.6.2 Exterior - VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building): Vegetation -Planters/Planter Boxes
- ⊖
- 9.6.3 Exterior - VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building): Hardscape - Settlement Cracks
- ⊖
- 9.7.1 Exterior - DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/COVERS AND APPLICABLE RAILINGS: Patio Coverings - Loose or Damaged
- ⊖ 9.8.1 Exterior - FENCING AND GATES: Leaning/Damaged - Fencing/Gate(s)
- ⊖ 10.2.1 Structural Components - FOUNDATIONS, CRAWL SPACES & BASEMENTS : Efflorescence
- ⊖ 10.2.2 Structural Components - FOUNDATIONS, CRAWL SPACES & BASEMENTS : Slab - Stemwall cracks
- ⊖
- 10.2.3 Structural Components - FOUNDATIONS, CRAWL SPACES & BASEMENTS : Crawlspace Access - Damaged/Not Installed Door
- 🔧
- 10.2.4 Structural Components - FOUNDATIONS, CRAWL SPACES & BASEMENTS : Crawlspace - Debris/Belongings/Material
- ⊖ 10.3.1 Structural Components - POSTS, PIERS AND COLUMNS: Posts and Piers Not Strapped/Braced
- ⊖ 10.4.1 Structural Components - WALLS (Structural): Foundation Wall - Exposed Rebar
- ⊖
- 11.2.1 Heating/Central A/C - HEATING - EQUIPMENT: Furnace Turned On (thermal imaging photo) - Heat Exchanger Not Visible
- ⊖
- 11.2.2 Heating/Central A/C - HEATING - EQUIPMENT: Furnace 20 years plus (Approaching End Of Useful Life)
- ⚠ 11.3.1 Heating/Central A/C - HEATING - FLUE : Transite Flue Pipe
- ⚠ 11.10.1 Heating/Central A/C - FIREPLACES - FIRE BOX : Damper Clamp - Not Installed
- ⊖ 11.10.2 Heating/Central A/C - FIREPLACES - FIRE BOX : Clean Fireplace
- ⚠ 11.10.3 Heating/Central A/C - FIREPLACES - FIRE BOX : Fire Box - Cracks/Gaps
- ⊖ 11.11.1 Heating/Central A/C - FIREPLACE - CHIMNEY: Chimney Liner/Flu - Not Inspected

 11.12.1 Heating/Central A/C - FIREPLACE - STRUCTURE : Structure - Cracking

1: INSPECTION DETAILS

Information

Property: Type

Single Family Residence

Year: Built

1956

1956

Number of : Levels

1

Occupied: Is the Home Lived in

No

Parties : Present

Home Inspector

Weather: Conditions

Clear

Outside: Air Tempreture

75-80 Degrees

Home approx 40 Years Old or More

This home is approx older than 40 years and the home inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new home and this home cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that homes of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawl spaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult on an older home. Sometimes in older homes there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the home inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The home inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

Vacant Property

This Property was vacant at time of inspection. Vacant properties can develop problems that may not occur if the house was being lived in. Many systems in a property depend on regular use. Without regular use, adverse conditions can occur including, but not limited to: Sludge in waste lines can dry out creating blockage that would otherwise not occur if the plumbing system was being used regularly. Water can evaporate from the dishwasher leaving hard calcium, which can ruin the motor. Air conditioner compressor seals can dry out causing refrigerant leaks. Sediment and scale can accumulate in plumbing lines which would otherwise be flushed out. This debris can become dislodged when the plumbing is used causing valves to become clogged. You should be aware of these issues when buying a home that has been vacant for an extended period of time.

2: KITCHEN APPLIANCES - BUILT IN

Information

Dishwasher

None

Disposer

In Sink Erator

Built-in Microwave

Frigidaire

Range

-Gas-, General Electric

Oven

None

Exhaust/Range Hood

-Vented-

DISHWASHER: Not Present**KITCHEN GENERAL : Built-in Appliance Overview**

The home inspector shall observe and operate the **basic** functions of the following kitchen appliances: Permanently installed dishwasher (through its normal cycle), range, cooktop, and permanently installed oven, trash compactor, garbage disposal, ventilation equipment or range hood and permanently installed microwave oven. The home inspector is not required to observe: Clocks, timers, self-cleaning oven function or thermostats for calibration or automatic operation; Non built-in appliances like clothes washing and drying machines or refrigeration units. The home inspector is not required to operate: Appliances in use; or any appliance that is shut down or otherwise inoperable.

KITCHEN GENERAL : Appliances - Not Moved

Our company cannot inspect behind or beneath built-in appliances. We cannot move them to see behind or beneath them. We cannot see through any appliance or building materials. Damage that may include, but is not limited to; moisture damage, wood destroying organism damage, mold or other environmental hazards to the floor and/or wall behind the built-in appliances can be present and not reported on because of this limitation. You may wish to ask the sellers to disclose any known defects that may exist behind or below the built-in appliances in this home. You may also wish to have them moved to view these areas for yourself before the removal of contingencies.

KITCHEN GENERAL : Built-in Appliance Inspection Limitations

The built-in appliances of the home were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors or qualified professionals be used in your further inspection or repair issues as it relates to the comments in this inspection report.

DISHWASHER: Dishwasher Test - Limited Review

We test the dishwasher to introduce a load on the plumbing drain and waste system. We do not use soap. It is not intended to determine how well the dishwasher will clean and dry dishes. **Please note:** We cannot see behind or below the dishwasher. Past and/or current leaks can occur behind or below the dishwasher that would not be visible without removing the dishwasher which is outside the scope of this inspection.

DISHWASHER: Heating Element - Not Inspected

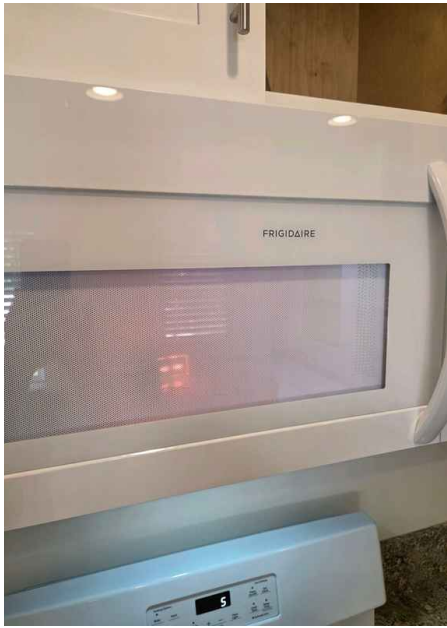
Determining if the heating element inside the dishwasher is functioning is outside the scope of this inspection. We strongly recommend that you confirm that this important component of the dishwasher is functional before the removal of contingencies by a qualified appliance repair professional.

GARBAGE DISPOSER: Efficiency - Not Inspected

Our inspection of the garbage disposer is to determine: It turns on when power is applied to it, it is installed properly and not leaking. Determining how efficient a garbage disposer is at functioning or grinding up debris is outside the scope of this inspection. Recommend asking the sellers to demonstrate this function or have further explored by a qualified appliance repair professional.

BUILT-IN MICROWAVE: Picture Showing Microwave Working

The operation of the microwave was tested using a microwave tester. This unit appeared to be functional at the time of the inspection.



RANGES AND COOKTOPS: Thermal Image Showing Range Working

Infrared picture of range/cooktop in operation. This unit appeared to be functional at the time of the inspection.



OVEN: Thermal Image Showing Oven Working

Infrared picture of oven(s) in operation. The unit(s) appeared to be functional at the time of the inspection.



REFRIGERATOR: Refrigerator - Not Inspected

Refrigerators are not inspected as they are outside the scope of a standard home inspection.

REFRIGERATOR: Refrigerators - Not Moved

Refrigerators are not moved as part of this inspection. Doing so can damage the flooring or adjacent cabinets and wall finishes. **Please note:** Damage can exist behind or below the refrigerator that is not visible because of this limitation. Recommend asking the seller to move the refrigerator to allow you to view the space behind and below the refrigerator before the removal of contingencies.



WASHER/DRYER: Laundry Equipment - Not Inspected

The clothes washer and dryer were not tested nor inspected. Testing these units is outside the scope of a standard home inspection.

WASHER/DRYER: Washing machine not moved

The washing machine and dryer are not moved as part of this inspection. Areas of the washing machine and dryer connections, and components may not be inspected. ie flooring, plumbing connections, dryer vent, Connection and fuel source connections. Moving of the washing machine and dryer can damage the flooring, plumbing connections, fuel source and dryer vent connections. **Please Note:** Damage can exist to these components that are not visible because of this limitation. Recommend asking the seller to move the washing machine and dryer to allow you to view the space behind and below the wash, washing machine and dryer before the removal of contingencies.

WASHER/DRYER: Washing mashine drain and Floor Drains - Not Tested

Washing machine drain and floor drains are not tested for proper function. You should consider having this further evaluated by a licensed plumbing contractor to ensure proper function.

Findings

2.7.1 EXHAUST FAN/RANGE HOOD/DOWNDRAFT



Attention Items

EXHAUST FAN - INOPERABLE

The kitchen exhaust system did not appear to be functional at the time of the inspection. Recommend further evaluation by a qualified appliance repair professional before the removal of contingencies and repair as necessary at this time to ensure proper function.

Recommendation

Contact a qualified appliance repair professional.



3: PLUMBING SYSTEM

Information

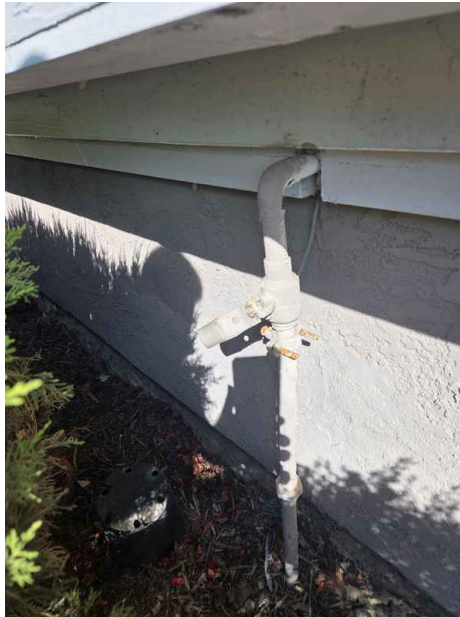
Water Source Public	Plumbing Supply Copper	Plumbing Distribution Copper
Water Pressure 80-85 psi, Too High	Washer Drain Size 2 Inches	Water Heater Fuel Source Natural Gas
		
Plumbing Waste Cast Iron	Water Heater Flue Pipe Material Single Wall Metal, Transite	Water Heater Manufacturer A.O. Smith
Water Heater Capacity 40 Gallons	Year Water Heater Was Made 2019	Water Filters None
Gas Distribution Piping Rigid Iron Pipe		

WATER HEATERS: Picture of Water Heater

Picture of water heater(s).

**MAIN WATER SHUT-OFF DEVICE (Describe Location): Main Water Shut-Off Location**

Front of the Building

**PRESSURE REGULATOR: Pressure Regulator**

Not found

MAIN GAS SHUT OFF VALVE (Describe Location): Main Gas Shut-Off Location

Left side of building

**PLUMBING GENERAL: Plumbing Overview**

Waste pipes are equally varied and are comprised of older ones, such as those made of clay, or others that are made of a material like cardboard coated with tar, and modern plastic ones referred to as ABS. Typically, the condition of these pipes is directly related to their age. ABS pipes, for instance, are virtually impervious to deterioration. However, some ABS pipes are alleged to have manufacturing defects. Regardless, inasmuch as most drainpipes are concealed, we can only infer their condition by observing the draw at drains. Nonetheless, blockages will occur at some point in the life of any system, but blockages in the waste lines, and particularly in a main sewer line, can be costly, and it would be prudent to have the main sewer line video scanned. This would also confirm that the house is connected to the public sewer system, which is important because such systems should be evaluated by a specialist before the removal of contingencies.

PLUMBING GENERAL: Completed House - Plumbing Concealed

A majority of the plumbing supply, distribution, drain, waste, and vent systems were concealed behind the wall and floor coverings, buried in the slab, routed through the attic below the insulation or in inaccessible sections of the attic or crawl space and were not visible at the time of the inspection. Our inspection of the plumbing system is non-intrusive and non-destructive and only included the visibly accessible components of the plumbing system. Please be advised: **THIS INSPECTION OF THE PLUMBING SYSTEM IS NOT A WARRANTY OR GUARANTEE THAT LEAKS OR BLOCKAGES WILL NOT OCCUR ANYWHERE IN THE PLUMBING SYSTEM AT ANY POINT IN TIME AFTER THIS HOME INSPECTION HAS BEEN COMPLETED.** We are informing you now that you should purchase a homeowner insurance policy and home warranty that covers the plumbing system in the event problems develop in this system. **West Ivy Home Inspection is not and will not be responsible for concealed defects and will be held harmless should any develop in this home.**

PLUMBING GENERAL: Plumbing Inspection Limitations

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines for example cannot be checked for leaks or the ability to handle the volume during a drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or for repair issues as it relates to the comments in this inspection report.

PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEM: General Plumbing Limitations

Please note: Due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire water supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the water supply and distribution system further explored by a licensed plumbing contractor before the removal of contingencies to determine if any latent defects exist.

FIXTURES AND CONNECTED DEVICES: Low Flow at Fixtures - Not Determined

Please be advised that determining if a plumbing fixtures flow is low/adequate is outside the scope of this standard home inspection. We recommend consulting with a licensed plumbing contractor or the property owner to determine if any plumbing fixtures you are concerned with are low flow.

PLUMBING DRAIN, WASTE AND VENT SYSTEMS: General Drain/Waste Pipes

We attempt to evaluate drain pipes by flushing every drain that has an active fixture while observing its draw and watching for blockages or slow drains, but this is not a conclusive test and only a video-scan of the main line would confirm its actual condition. However, you can be sure that blockages will occur, usually relative in severity to the age of the system, and will range from minor ones in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, or you may wish to have the main waste line video-scanned before the removal of contingencies. Failing this, you should obtain an insurance policy that covers blockages and damage to the main line. However, most policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

WATER HEATERS: Thermal Image of Hot Water

Thermal image(s) showing the water heater(s) producing hot water at the time of the inspection.



GAS STORAGE AND DISTRIBUTION SYSTEMS (Interior Fuel Storage, Piping, Venting, Supports, Leaks): General Gas Supply and Distribution Limitations

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines and/or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumbing contractor before the removal of contingencies to determine if any latent defects exist.

Findings

3.3.1 FIXTURES AND CONNECTED DEVICES

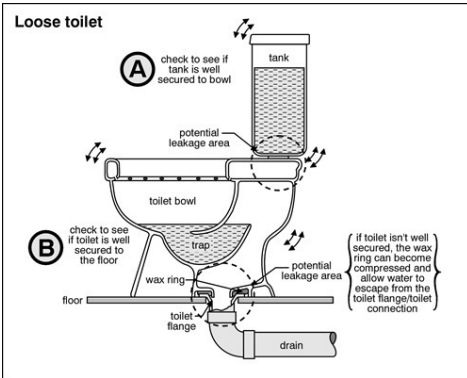


TOILET LOOSE

The toilet was noted loose to the floor. This can cause damage to the wax ring under the toilet. A damaged wax ring can allow water to leak. Left unchecked, leaking wax rings may cause other problems, to include, but not limited to: Damaging the flooring and adjacent wall materials, organic growth, and can even cause damage to the wood sub-floor or slab. Recommend further evaluation by a licensed plumbing contractor and repair as necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



Hall Bath

3.5.1 TUB/SHOWER FIXTURES

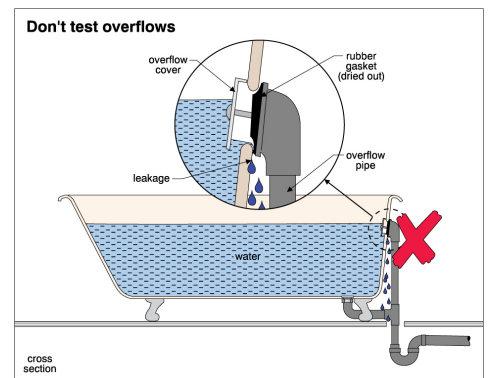
DRAIN OVERFLOW - INFORMATION

The drain overflow cover appeared to be installed properly at the bathtub(s). However, determining if the drain line is properly connected behind these covers is beyond the scope of this inspection. To ensure that this line is properly attached to the back of the bathtub, we recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine if latent defects exist.

Recommendation

Contact a qualified plumbing contractor.

Attention Items



3.6.1 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

DRAIN LINES - SCOPE RECOMMENDED

Our inspection of the drain waste lines is limited to running water down each sink, tub and shower drain to look for slow or clogged drains. This test is very limited and does not ensure that the main drain line is not blocked or clogged and is truly functional. Only a sewer line video camera scope can provide an accurate and detailed inspection of the main sewer line. Problems with the main sewer line can be very expensive to repair and should be identified during your contingency period. Because of this, we highly recommend contacting a qualified sewer line video inspection company and have the main drain line video camera scoped before the removal of contingencies.

Recommendation

Contact a qualified plumbing contractor.

Attention Items

3.6.2 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

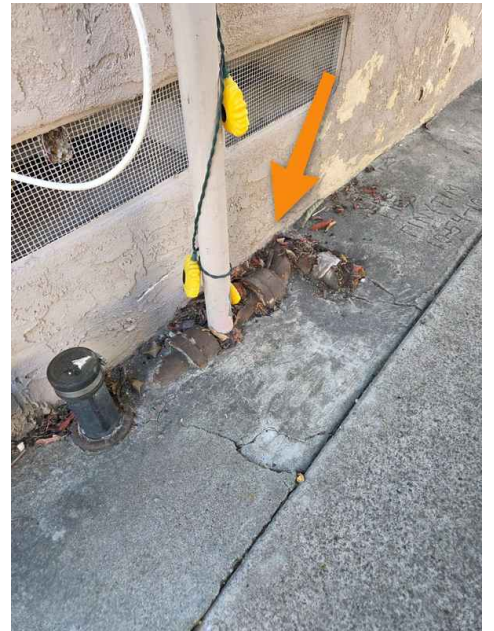
CAST IRON - IN USE

Attention Items

Some of the drain lines are older cast iron lines. These lines rust from the inside and fail. The life remaining can only be determined by a licensed plumbing contractor using a video camera scope. This is especially important to determine the condition of the main drain line between the house and the street. We recommend a video camera scope be performed by a licensed plumbing contractor before the removal of contingencies to determine if repairs or upgrades are necessary at this time to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Rear of building

3.7.1 WATER HEATERS

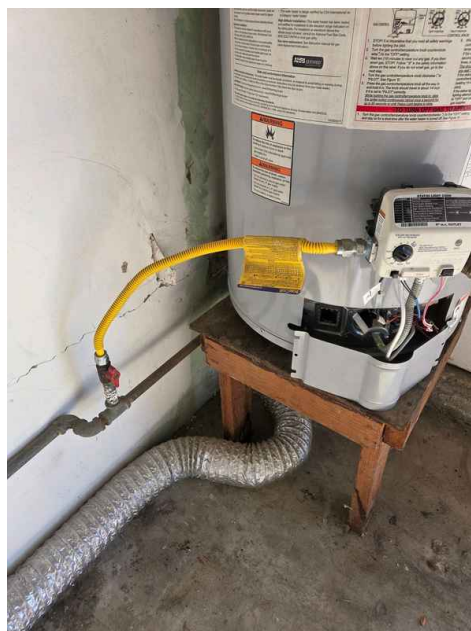
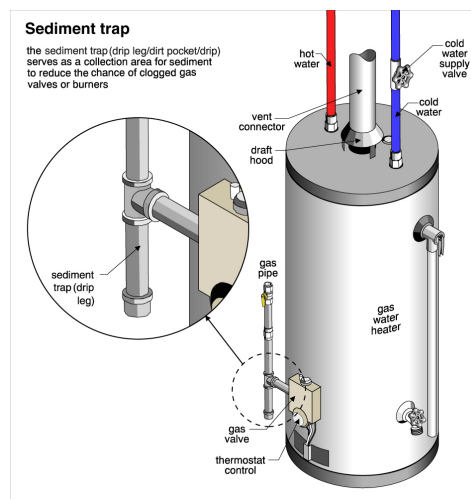
SEDIMENT TRAP - NOT INSTALLED



A sediment trap was not installed at the gas line for the water heater. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs/upgrades necessary at this time to comply with today's plumbing standards.

Recommendation

Contact a qualified plumbing contractor.



3.7.2 WATER HEATERS

LEAK PAN - NOT INSTALLED



The leak pan and drain line was noted not installed under the water heater. Recommend installation and further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs/upgrades necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



3.8.1 WATER HEATER FLUE

TRANSITE FLUE PIPE



Safety Concerns

The flue for the water heater may contain asbestos. Testing for asbestos is beyond the scope of a home inspection. These flues are typically considered safe if left undisturbed. However, if you have any concerns this should be further evaluated by a licensed environmental contractor or qualified asbestos abatement professional. Also, if the flue contains asbestos, there may be additional costs to remove and upgrade the flue to metal.

Recommendation

Contact a qualified environmental contractor



3.10.1 WATER HEATER STRAPPING & BRACING

STRAPS- INADEQUATE OR NOT INSTALLED



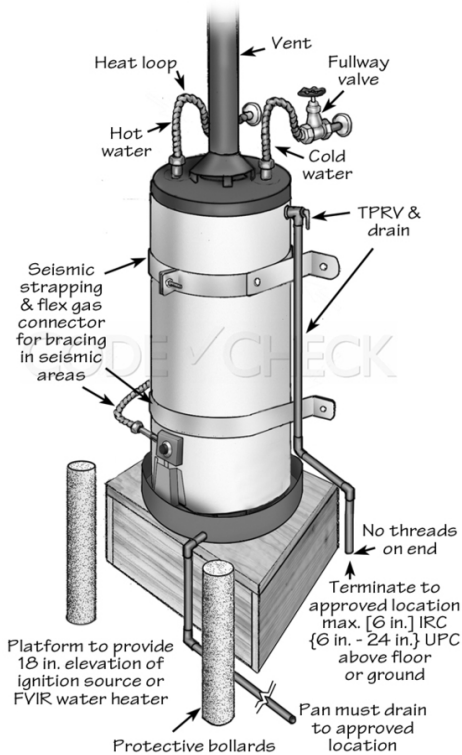
Safety Concerns

The water heater is inadequately braced and/or does not meet current seismic standards. Seismic strapping is typically a minimum 22ga. 5/8in. metal strap, installed at the top and bottom 1/3 of the tank, wrapped (one full revolution) around the tank and secured to the framing of the home using 1/4" lag screws or lag bolts. Recommend corrections by a licensed plumbing contractor or qualified professional as necessary at this time to comply with today's standards. Need more information? [Click here](#)

Recommendation

Contact a qualified plumbing contractor.

Water Heater in Garage



3.13.1 PRESSURE REGULATOR

PRESSURE REGULATOR - NOT FOUND

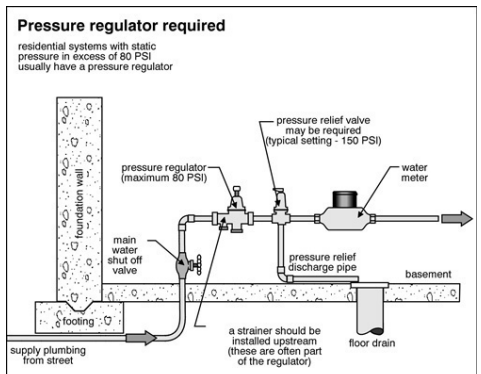


Attention Items

A pressure regulator was not found. If no pressure regulator is installed, a pressure surge in the water supply could adversely affect your plumbing system, and even lead to a leak. Recommend further evaluation by a licensed plumbing contractor before the removal of contingencies to determine repairs necessary at this time.

Recommendation

Contact a qualified plumbing contractor.



4: ELECTRICAL SYSTEM

Information

Panel Manufacturer UNLABELED	Panel Type Circuit Breakers	Panel Capacity 100 AMP
Service Conductors Overhead Service	Branch Wire 15 and 20 Amp Copper	Wiring Methods Romex
Exterior Lighting Control Standard Switched	LOCATION OF MAIN AND DISTRIBUTION PANELS: Main Panel Location Left Side of the Building	LOCATION OF MAIN AND DISTRIBUTION PANELS: Sub Panel Location Left

ELECTRICAL GENERAL: Electrical General

The home inspector shall observe: Service entrance conductors; service equipment, grounding equipment, main over-current device, main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over-current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every one that is unobstructed, but if a residence is furnished we will obviously not be able to test each one.

ELECTRICAL GENERAL: GFCI & Circuit Breakers - Not Tested For Load

Upon conducting a thorough inspection of the property, it's important to note that our assessment does not encompass the inspection of electrical circuit breakers and Ground Fault Circuit Interrupters (GFCIs) for load. Our inspection focuses primarily on identifying visible defects, safety hazards, and functionality of these components at the time of inspection.

Electrical circuit breakers and GFCIs are designed to protect against electrical hazards by interrupting power in the event of an overload, short circuit, or ground fault. However, evaluating these components for their specific load capacities and internal conditions requires specialized testing and knowledge beyond the scope of a standard home inspection.

It is recommended that a qualified electrician be consulted for a comprehensive evaluation of electrical circuit breakers and GFCIs, particularly if concerns regarding load capacities or operational integrity arise. This ensures that these critical safety devices are functioning as intended and can provide adequate protection to the property and its occupants.

ELECTRICAL GENERAL: Electrical Inspection Limitations

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. A load is not placed on each receptacle. Please be aware that the inspector has your best interest in mind. Faulty breakers are outside the scope of this inspection. Any repair and further evaluation recommendation items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

SERVICE ENTRANCE CONDUCTORS: Overhead Service Entrance

The service entrance is the point where electrical power from the utility company enters the home. An overhead service entrance uses above-ground conductors attached to the roof or exterior structure to deliver power to the electrical panel. This configuration is common in many areas and allows utility companies to service the connection without accessing the property interior.

MAIN AND DISTRIBUTION PANELS: Picture of Electrical Panel(s) / Type

Main Panel, Sub Panel(s)



BRANCH CIRCUIT CONDUCTORS: Additional Electrical Inspection Limitations

Please note: Due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the removal of contingencies to determine if any latent defects exist.

EXTERIOR LIGHTING : Sensor Lights - Not Tested

Testing sensor lights is beyond the scope of this standard home inspection. Recommend asking the seller to demonstrate operation/function and/or have further evaluated by a qualified professional, if necessary at this time, to ensure proper function.

SMOKE DETECTORS: Single Story - Smoke Detectors Present

Smoke detectors noted in the hallway and in each bedroom; units appeared functional at the time of the inspection.



SMOKE DETECTORS: Smoke Detector General Information

We recommend replacing all smoke detectors upon moving into the home. Smoke detectors that are 10 years old or older may have a failure rate as high as 30%, and smoke detectors that are 15 years old or older may have a failure rate as high as 50% according to the National Fire Protection Association www.nfpa.org. We also recommend that a smoke alarm be installed in each bedroom, and at least one on each level outside of bedrooms.

CARBON MONOXIDE DETECTORS : Single Story - CO Detector Present

A CO detector is located in the common hallway as required. The unit appeared to be functional at the time of the inspection.



CABLE AND TELEPHONE ENTRANCE: Internet/Audio/Television Equipment Not Inspected

The internet, audio and television equipment was not inspected at the time of the inspection. These items are considered outside the scope of a standard home inspection. Recommend a qualified professional to further evaluate.

Findings

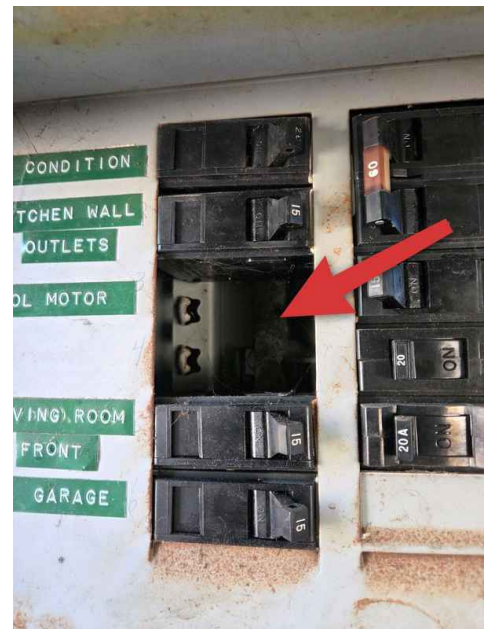
4.3.1 MAIN AND DISTRIBUTION PANELS

TWIST OUT - MISSING

Twist out(s) noted missing. Whenever a breaker space is left empty, a cover insert is required to be installed for fire/shock safety and to prevent pest intrusion. We recommend installing cover insert(s) by a licensed electrical contractor as necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



4.3.2 MAIN AND DISTRIBUTION PANELS

MISSING WIRE CAP



A wire cap is missing from a connection in the electrical panel. This leaves an exposed wire terminal unprotected. Exposed wire connections pose a shock hazard and can allow dust or debris to accumulate, potentially causing arcing or corrosion. An electrical contractor should install an appropriate wire cap to safely cover the exposed connection.

Recommendation

Contact a qualified professional.



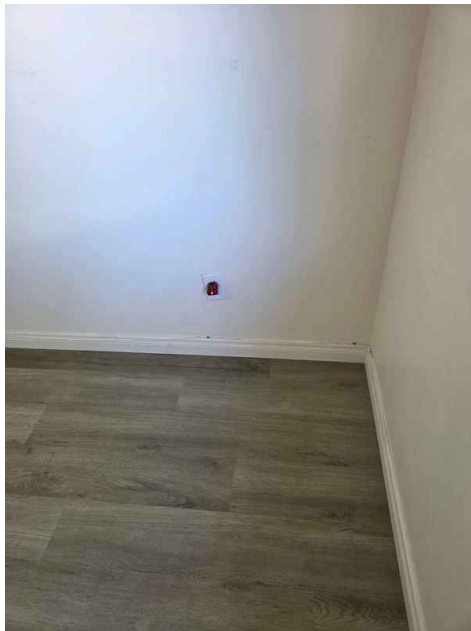
4.5.1 SYSTEM GROUNDING AND GROUNDING EQUIPMENT

GROUND WIRE - NOT FOUND

Unable to verify ground wire location/connection. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine location and if repairs are necessary at this time.

Recommendation

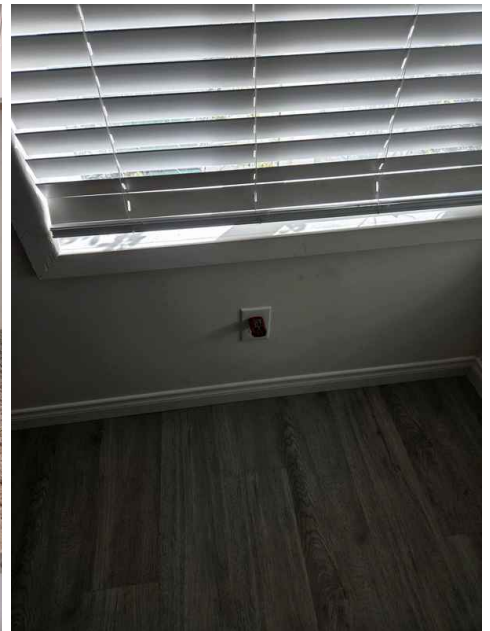
Contact a qualified electrical contractor.



Bedroom 3



Hallway



Bedroom 2

4.7.1 BRANCH CIRCUIT CONDUCTORS

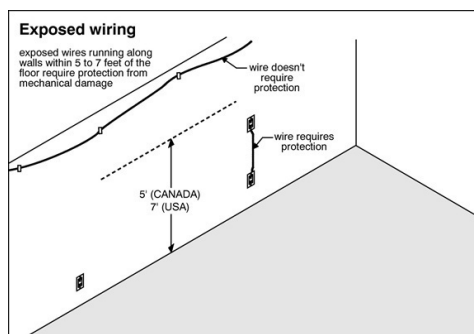
EXPOSED ROMEX



Exposed Romex type wire noted at one or more locations. This is a safety concern if used where it could be subject to physical damage (below 7ft.). Romex wire normally is used in attics and inside walls. Exposed wire is normally installed in conduit for protection. Recommend further evaluation by a licensed electrical contractor before the removal of contingencies to determine repairs necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Front of building

4.7.2 BRANCH CIRCUIT CONDUCTORS



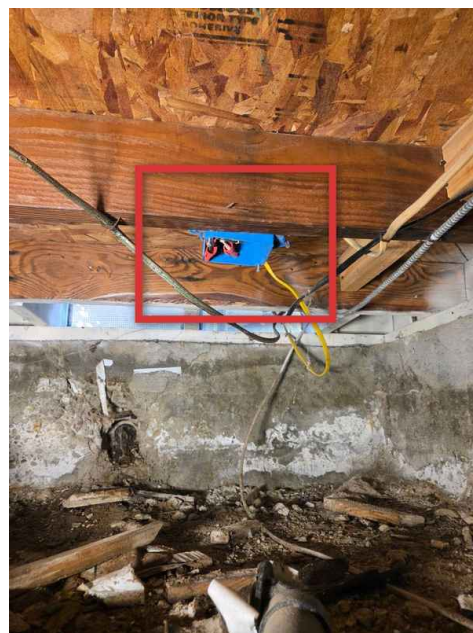
Safety Concerns

OPEN JUNCTION BOX

Open junction box(es) noted in one or more locations. Whenever wires are joined together, the junction box must have a cover for safety. We recommend installing an approved cover plate by a licensed electrical contractor as necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Crawlspace

4.9.1 EXTERIOR LIGHTING



Observation Items

SENSOR LIGHT NOT TESTED

Sensor lights are not tested. Recommend asking the seller to demonstrate that all exterior lighting is functional prior to the removal of contingencies and/or have further evaluated by a licensed electrical contractor to determine if corrections are necessary at this time.

Recommendation

Contact a qualified electrical contractor.

4.9.2 EXTERIOR LIGHTING

LANDSCAPE LIGHTING

Recommend asking the sellers to demonstrate that all exterior landscape lighting is functional, before the removal of contingencies.

Recommendation

Contact a qualified professional.

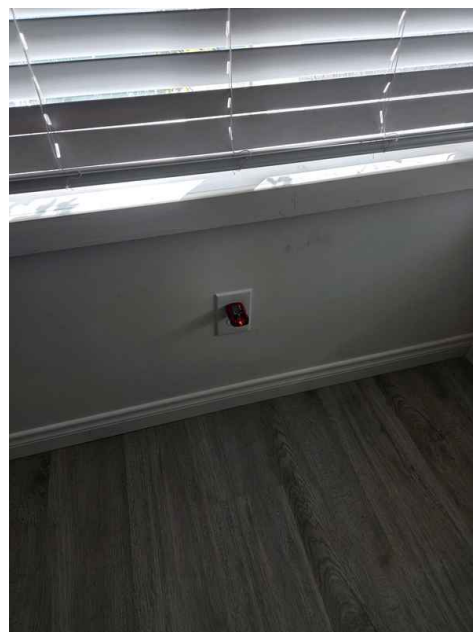
4.10.1 POLARITY & GROUNDING OF RECEPTACLES

**RECEPTACLE - GROUND NOT DETECTED**

The 3-pronged receptacle(s) appeared to have been wired without a ground or has a loose ground wire. This condition can prove to be a shock/safety hazard. Recommend further evaluation of all grounding by a licensed electrical contractor before the removal of contingencies to determine repairs necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Bedroom 2

4.11.1 GFCI - (GROUND FAULT CIRCUIT INTERRUPTERS)

**GFCI UPGRADE RECOMMENDED - (BATHROOM, EXTERIOR AND GARAGE)**

This home was built prior to the requirement for the installation of GFCI receptacles in certain locations in the home. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, laundry, all kitchen counter top outlets, and at exterior, to GFCI protected receptacles. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at [GFCI Requirements](#)

Recommendation

Contact a qualified electrical contractor.



Front of building



Patio

4.12.1 AFCI - (ARC FAULT CIRCUIT INTERRUPTERS)

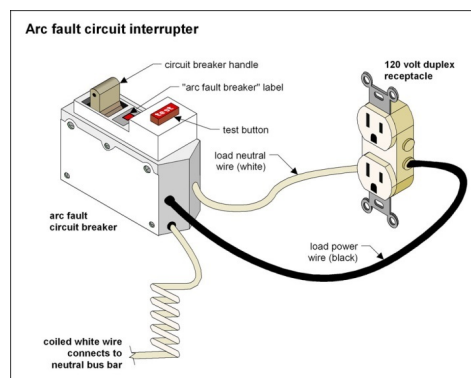
AFCI'S - NOT INSTALLED / NOT ENOUGH



The home did not appear to be equipped with AFCI protection in all areas required by today's electrical standards. The current installation may have been acceptable when the home was originally built. However, we recommend further evaluation by a licensed electrical contractor to determine repairs or upgrades necessary at this time for safety and to comply with today's standards. An AFCI is a breaker, usually installed in the main panel, for detecting electrical arcs. Please watch this [What is an AFCI Video](#) to learn more about what an AFCI is.

Recommendation

Contact a qualified electrical contractor.



5: INSULATION/VENTILATION

Information

Attic Insulation Cellulose	Floor System Insulation None	Ventilation Gable Vents
Exhaust Fans Window	Dryer Power Source Gas Connection	Dryer Vent Flexible Metal

Insulation and Ventilation General Information

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Insulation and Ventilation Inspection Limitations

The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

WALL INSULATION: Wall Covering- Not Visible

Most of the walls are covered and the insulation was not visible. I could not see behind these coverings. No obvious problems discovered at the time of the inspection.

Findings

5.1.1 ATTIC INSULATION

ADD INSULATION

Recommend increasing the amount of insulation in the attic to improve the thermal efficiency of the home.

Recommendation

Contact a qualified insulation contractor.





5.2.1 FLOOR INSULATION

FLOORS NOT INSULATED

The floor system is not completely insulated. Heat loss can occur more on this home than one that is properly insulated. Recommend further evaluation by a licensed insulation contractor to determine upgrades possible at this time.

Recommendation

Contact a qualified insulation contractor.



Attention Items



6: INTERIORS

Information

Ceiling Materials Plaster	Wall Materials Plaster	Floor Coverings Laminated T&G
Interior Doors Wood	Cabinetry Wood	Kitchen Countertop Quartz

ATTICS: Attic Access Location/
Interior photos
For Your Information.



Hallway

INTERIOR GENERAL: Interior General Information

The home inspector shall observe the visually accessible areas of the: walls, ceilings, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The home inspector shall: operate a representative number of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

INTERIOR GENERAL: General Limitations

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Please note: Determining if damage, the presence of organic growths, moisture or wood rot behind walls, floors and ceiling coverings is beyond the scope of this inspection. If you are concerned or believe that these conditions may exist in a non-visible or concealed area, we recommend that you have this home further examined by a qualified contractor or environmental hygienist.

ATTICS: Photos of The Attic

This is for your information



Findings

6.2.1 CEILINGS

SETTLEMENT CRACKS

The ceiling(s) appear to have cracks in one or more areas. The cause can vary from typical settlement to major structural movement. Recommend further evaluation by a licensed general contractor to determine the most likely cause and have repaired if necessary at this time.

Recommendation

Contact a qualified general contractor.



Attention Items



Living Room

6.2.2 CEILINGS

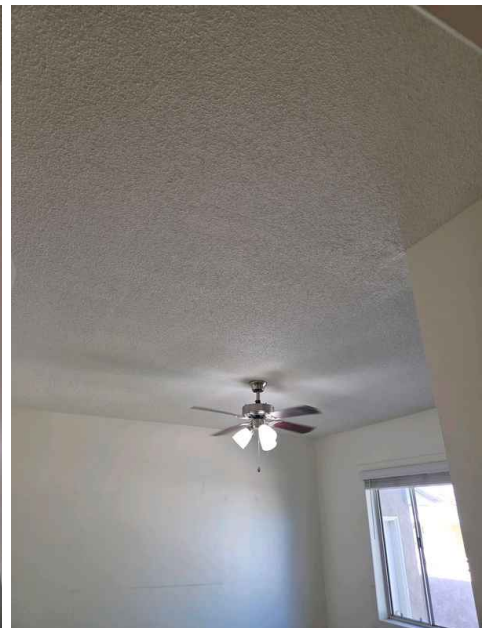
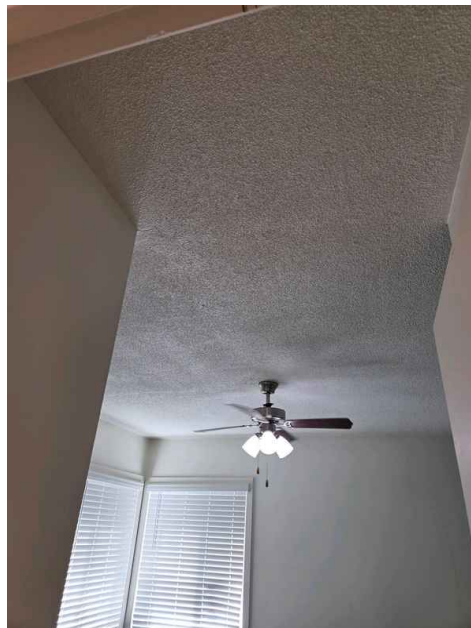
POPCORN ON CEILING

 Safety Concerns

Acoustic texture, also known as "popcorn", was present at the ceiling(s). This material was often used from the late 1950's into the 1980's in residential construction. Some of this material installed before the 1980's has been known to contain asbestos. It is beyond the scope of this inspection to test for asbestos. The only way to confirm the presence, or absence, of asbestos is by having a sample of the material tested in a lab. If client has any concerns regarding asbestos materials, a licensed environmental contractor and asbestos-testing lab should be consulted for further review.

Recommendation

Contact a qualified environmental contractor



6.3.1 WALLS



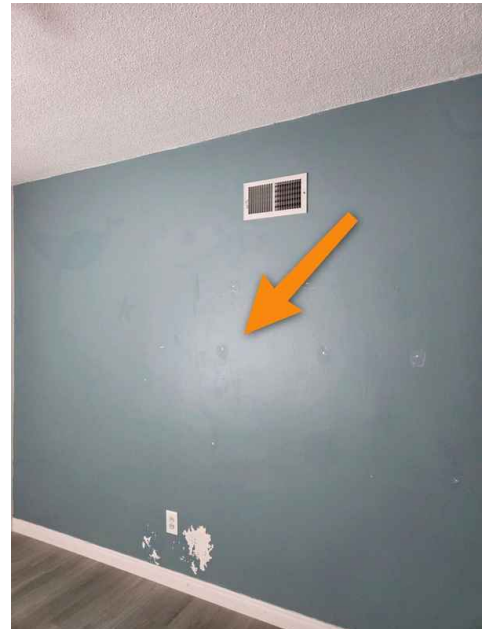
Attention Items

SETTLEMENT CRACKS

The wall(s) appear to have cracks in one or more areas. The cause can vary from typical settlement to major structural movement. Recommend further evaluation by a licensed general contractor to determine the most likely cause and have repaired as necessary at this time.

Recommendation

Contact a qualified general contractor.



Bedroom 2

6.3.2 WALLS



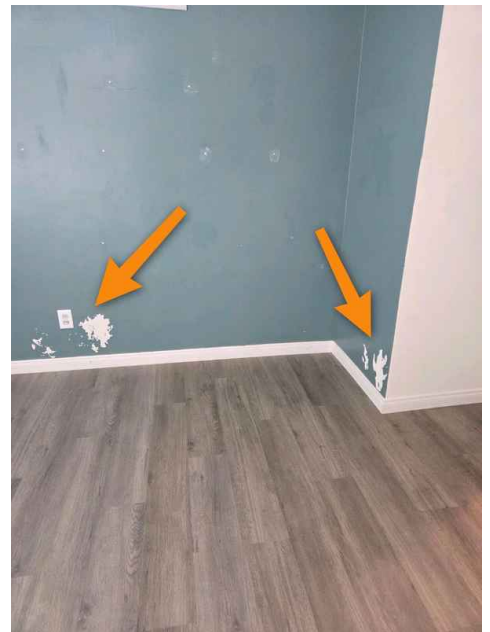
Attention Items

DAMAGE - PEELING PAINT

Peeling paint noted. The wall materials appeared to be dry at the time of the inspection. Unable to determine the exact cause. Recommend further evaluation and repair as necessary at this time by a qualified painting contractor.

Recommendation

Contact a qualified painting contractor.



Bedroom 2

6.8.1 DOORS (REPRESENTATIVE NUMBER)



Attention Items

DOOR - DOES NOT LATCH

Hardware at one or more interior doors appeared to be in need of adjustment or replacement to latch properly. Recommend further evaluation and correction as necessary at this time by a licensed door contractor to ensure proper function.

Recommendation

Contact a qualified professional.



Hallway

6.9.1 WINDOWS (REPRESENTATIVE NUMBER)

SCREENS - NOT INSTALLED

Attention Items

Screen(s) noted not installed. Recommend replacement as necessary at this time.

Recommendation

Contact a qualified professional.



Dining Room

6.10.1 ATTICS

TRANSITE FLUE

Attention Items

Possible asbestos flue pipe noted in the attic. The only way to confirm the presence or absence of asbestos is by having a sample of the material tested in a lab. If client has any concerns regarding asbestos materials, an asbestos-testing lab should be consulted for further review. Regardless, we recommend that the flue pipe be removed by a licensed environmental contractor or qualified professional.

Recommendation

Contact a qualified general contractor.



7: GARAGE

Information

Garage Door Type One automatic	Garage Door Material Metal	Auto-Opener Manufacturer LIFT-MASTER
--	--------------------------------------	--

Findings

7.3.1 GARAGE CEILINGS/ROOF FRAMING

MOISTURE STAIN/DAMAGE - DRY

Moisture stains/damage noted at the garage ceiling. This may be indicative of a prior leak. The area appeared to be dry at the time of the inspection. Recommend to ask the seller about repairs and or have further evaluated by a licensed general contractor as needed.

Recommendation
Contact a qualified professional.

—

Attention Items



7.4.1 GARAGE WALLS (Including Firewall Separation)

WATER STAINS / DAMAGE

Water/moisture staining observed at the garage wall(s). Unable to determine if this is new or older staining. The area(s) appeared to be dry at the time of the inspection. Recommend further evaluation by a licensed restoration contractor prior to the removal of contingencies to determine if latent defects exist.

Recommendation
Contact a qualified professional.

—

Attention Items



7.4.2 GARAGE WALLS (Including Firewall Separation)



Attention Items

SETTLEMENT CRACKS

The wall(s) appear to have cracks in one or more areas. The cause can vary from typical settlement to major structural movement. Recommend further evaluation by a licensed general contractor to determine the most likely cause and have repaired as necessary at this time.



7.5.1 GARAGE FLOOR



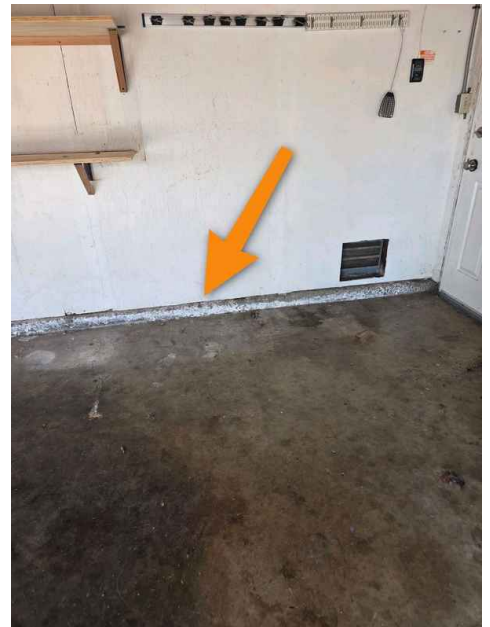
Attention Items

EFFLORESCENCE AT FLOOR

Efflorescence was noted at the floor in one or more locations. This condition can be indicative of past or ongoing moisture intrusion issues. Moisture intrusion can cause property damage, be conducive to the attraction of wood destroying organisms, encourage organic growths, and attract pests like rodents and insects. We recommend further evaluation by a licensed waterproofing contractor before the removal of contingencies to determine the cause and any corrections necessary at this time.

Recommendation

Contact a qualified waterproofing contractor



8: ROOFING

Information

STYLES AND MATERIALS: Roof Covering

Asphalt/Fiberglass Composition Shingle

STYLES AND MATERIALS: Chimney (Exterior)

Masonry Stucco

STYLES AND MATERIALS: Roof Covering Observed From

Walked roof



STYLES AND MATERIALS: Roof Underlayment Inspection Limitation

Due to lack of visibility as a result of the installed roof coverings, we are not able to inspect, evaluate or comment on the condition or installation of the roof underlayment system. Deficiencies with the underlayment can include, but are not limited to: Premature failure, shrinkage, not installed, improper installation or physical damage. As a result of these limitations, we recommend further evaluation by a licensed roofing contractor to determine if latent defects exist.

ROOF GENERAL: Roof Overview

The home inspector shall observe: Roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or observe attached accessories including, but not limited to; solar systems, antennae, and lightning arrestors.

If this home is identified as having a tile roof covering, it was inspected from the ground and attic to avoid damaging the roof covering, and possibly voiding the warranty. This is in accordance with the CREIA and ASHI standards of practice. The entire roof was not visible and we cannot guarantee that all of the tiles are in good condition. We recommend that you have the roof inspected by a licensed roofing contractor if you are concerned that there may be tiles that are broken or have slipped out of position.

We recommend that you include "roof" coverage on a home warranty. To guarantee this roof will not leak, you would need to have a roofing company perform a water test and issue a roof certification, which is beyond the scope of a home inspection. However, the sellers or the occupants will generally have the most intimate knowledge of the roof, and you should ask them about its history and then schedule a regular maintenance service.

Please note that a home inspection is neither a guarantee of any kind against leaking, nor a warranty of the longevity of the roof. It is a visual evaluation of the roof and the attic below. We strongly recommend that you purchase and maintain a roof rider with your home warranty.

ROOF GENERAL: Roof Inspection Limitations

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during the inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes can not. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

FLASHINGS, ROOF PENETRATIONS, CHIMNEYS AND SKYLIGHTS: Roof Penetrations - Limited Inspection

My inspection of the roof penetrations/flashings was limited to what could be seen from our vantage points. We cannot guarantee that all the roof penetrations/flashings are in good condition. We highly recommend contacting a licensed roofing contractor or qualified professional for further evaluation.

FLASHINGS, ROOF PENETRATIONS, CHIMNEYS AND SKYLIGHTS: Water Test Not Performed

Performing a water test on a roof (spraying water onto the roof for a period of time to determine if it leaks) is outside the scope of this standard home inspection. The inspector inspects the roof in accordance with the Standards of Practice set forth by the Inter-National Association of Certified Home Inspectors (InterNACHI). Because of this limitation, we strongly urge you to consult a licensed roofing contractor before the removal of contingencies to determine if latent defects exist.

Findings

8.3.1 ROOF SHEATHING (As Observable From Attic)

— Attention Items

STAINS AT SHEATHING/FRAMING

Stain(s) noted at the roof sheathing and/or framing structure in one or more locations. Determining if these stains are due to an active or past leak is outside the scope of this standard home inspection. Recommend asking the seller if repairs have been performed, and/or further evaluation by a licensed roofing contractor prior to the removal of contingencies to determine if repairs are necessary at this time.

Recommendation

Contact a qualified roofing professional.



8.4.1 ROOF COVERINGS

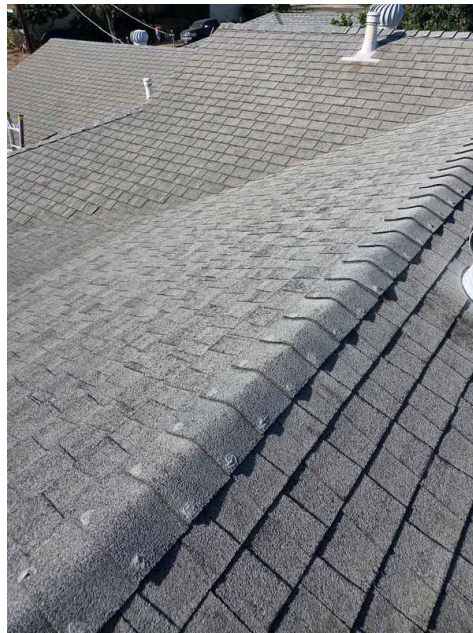
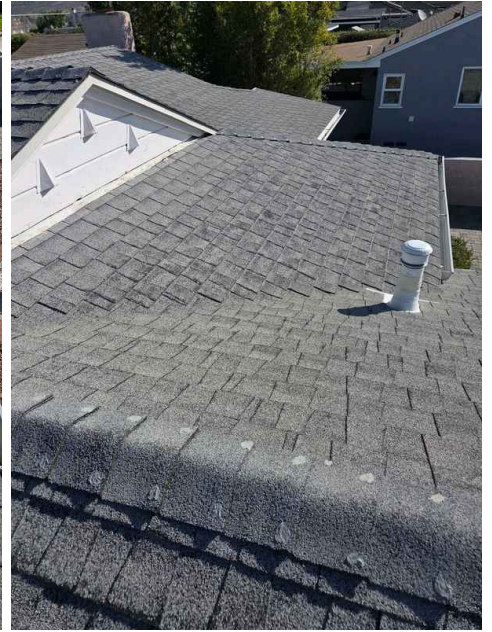
— Attention Items

WEAR DUE TO AGE

Wear noted at the roof covering due to age and sun exposure. This appears to be normal deterioration. However, we recommend consulting with a licensed roofing contractor prior to the removal of contingencies to review the roof, give estimates of life remaining, and to determine any necessary repairs to prevent leaks. This is important because a home inspection is not a guarantee against roof leaks.

Recommendation

Contact a qualified roofing professional.



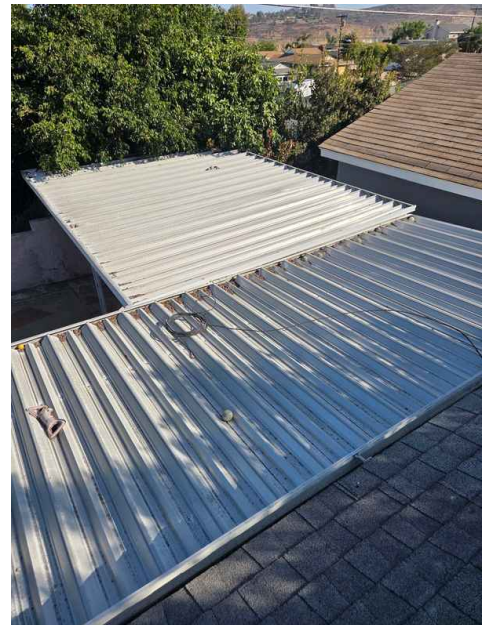
8.6.1 ROOF DRAINAGE SYSTEMS

GUTTERS / DRAINS - CLEANING

Debris noted in the gutters/drains. Recommend cleaning and servicing the gutters by a licensed gutter contractor to ensure proper function.

Recommendation

Contact a qualified gutter contractor



9: EXTERIOR

Information

SIDING MATERIAL

STUCCO

EXTERIOR ENTRY DOORS

WOOD

APPURTENANCE

PATIO

DRIVEWAY

PAVERS

EXTERIOR GENERAL : Exterior General Information

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse when photo eye sensors are tripped; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

EXTERIOR GENERAL : Exterior Limitations

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues, as it relates to the comments in this inspection report.

VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS

(With Respect to their Effect on the Condition of the Building): Sub Surface Drains - Not Inspected

Subsurface drainage were not water tested for function. Testing exterior yard drains are out side the scope of this home inspection. We are unable to determine the condition and drainage of the system. Recommend to keep free of debris and have further evaluation by a licensed landscape contractor to ensure these drains function properly.

Findings

9.2.1 WALL CLADDING, TRIM AND FLASHING

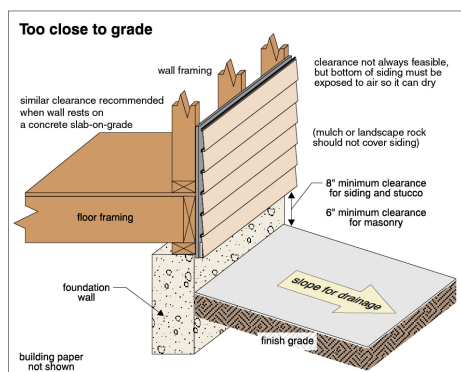
SIDING/STUCCO - GROUND CONTACT



Siding noted in contact with ground. Because siding is in contact with ground it is possible for moisture intrusion to occur and framing to be deteriorated. Recommend further evaluation by a licensed siding contractor and repairing as necessary at this time. **Please note:** Determining if damage exists behind the walls of the siding is outside the scope of this standard home inspection.

Recommendation

Contact a qualified siding specialist.



9.2.2 WALL CLADDING, TRIM AND FLASHING

Attention Items

STUCCO DETERIORATION AND CRACKS

Stucco cracks and deterioration noted in areas. These areas may be prone to moisture intrusion issues. Recommend further evaluation by a licensed stucco contractor and repair as necessary at this time to ensure proper function.

Recommendation

Contact a stucco repair contractor



Left of building

9.2.3 WALL CLADDING, TRIM AND FLASHING

Attention Items

SIDING - BLISTERS/WATER ABSORPTION

The siding is failing at nail heads and/or at end cuts. Evidence of water absorption, blisters and/or deterioration noted in areas. Recommend further evaluation and repair as necessary by a licensed siding contractor to ensure proper function.

Recommendation

Contact a qualified siding specialist.



Front of building

9.4.1 DOORS (Exterior)



Safety Concerns

LOCK - DOOR LOCK INOPERABLE

The locking mechanism at the exterior door(s) appeared inoperable. Recommend further evaluation and repair by a licensed door repair contractor as necessary at this time for safety.

Recommendation

Contact a qualified door repair/installation contractor.



Living Room

9.4.2 DOORS (Exterior)



Attention Items

TEMPERED GLASS

The glass at the door(s) or required window(s) does not appear to have safety tempered glass. I could not find any markings on the glass which would confirm this safety feature. Having standard plate glass could cause serious injury if the glass breaks. Recommend further evaluation by a licensed window contractor and upgrading for safety as necessary at this time.

Recommendation

Contact a qualified professional.



Foyer

9.6.1 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building)

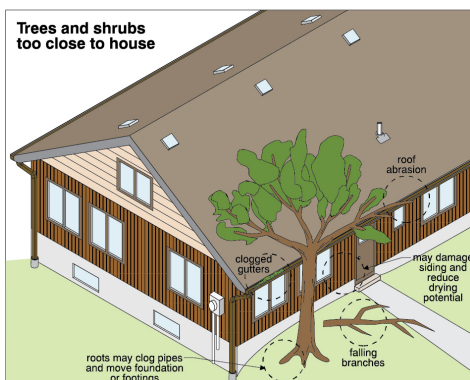


VEGETATION TOO CLOSE TO BUILDING

Vegetation is growing too close to, and/or is in contact with, the exterior walls. This prevented full access and proper inspection of the entire exterior wall surfaces. This condition is also conducive to moisture related issues, damage to the siding and the attraction of wood destroying organisms and pests, to include but not limited to, rodents. Recommend trimming the vegetation away from the exterior walls by a licensed landscaping contractor to prevent damage, and to allow a proper inspection of the areas currently blocked by the vegetation.

Recommendation

Contact a qualified landscaping contractor



9.6.2 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building)



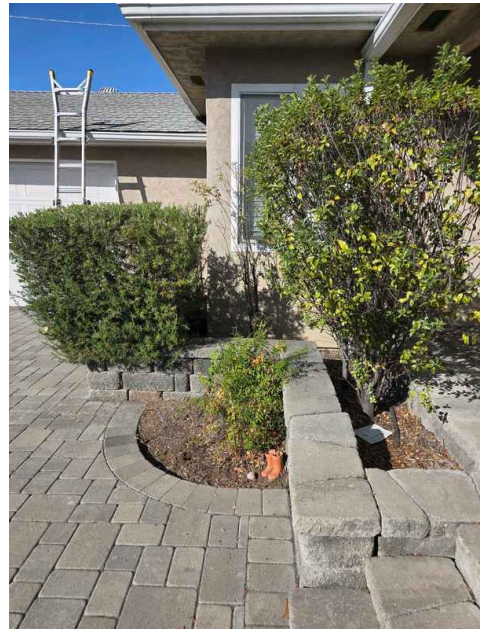
Attention Items

VEGETATION -PLANTERS/PLANTER BOXES

Planters/planter boxes noted located near the home. This condition can prevent moisture from draining away from the home. Instead, moisture can be absorbed into the home's foundation and soil which can cause damage to the foundation and can also be conducive to moisture intrusion/damage to the home.

Recommendation

Contact a qualified landscaping contractor



Front of building

9.6.3 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOORS, WALKWAYS AND RETAINING WALLS (With Respect to their Effect on the Condition of the Building)



Attention Items

HARDSCAPE - SETTLEMENT CRACKS

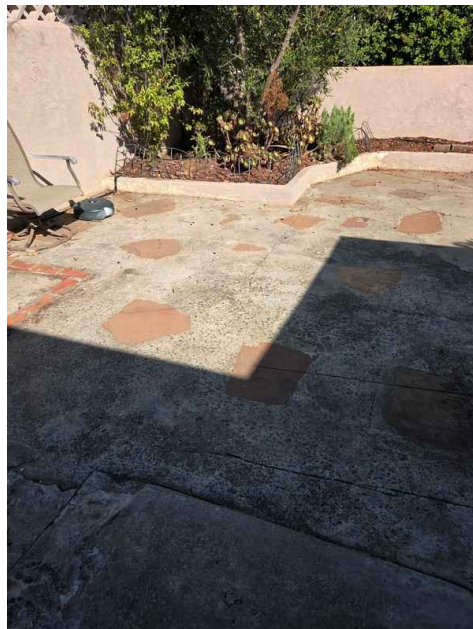
Settlement crack(s) noted in areas of the hardscape. settlement cracks are common and can range in severity. Recommend monitoring and repair when necessary by a licensed concrete contractor.

Recommendation

Contact a qualified concrete contractor.



Patio



Rear of building

9.7.1 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/COVERS AND APPLICABLE RAILINGS

PATIO COVERINGS - LOOSE OR DAMAGED

The roof coverings at the patio cover(s) appeared to be loose, separating and/or damaged in areas. This condition can allow moisture intrusion below the coverings and cause damage to the structure over time. Recommend further evaluation by a licensed roofing contractor to determine repairs necessary at this time.

Recommendation

Contact a qualified roofing professional.

⊖

Attention Items



9.8.1 FENCING AND GATES

LEANING/DAMAGED - FENCING/GATE(S)

Sections of the fencing or gate(s) noted leaning and/or damaged. The fencing or gate is likely in need of repair or possible replacement. Recommend consulting a licensed fence contractor for any repairs necessary at this time.

Recommendation

Contact a qualified fencing contractor

⊖

Attention Items



Front of building



Right of building



Rear of building

10: STRUCTURAL COMPONENTS

Information

Method Used to Observe Crawl Space Crawled	Foundation Poured concrete	Columns or Piers Concrete Piers, Wood Post
Wall Structure 2 X 4 Wood	Floor Structure Wood Beams	Ceiling Structure Not visible
Roof Structure Stick-Built	Roof Type Gable	Attic Info Attic Access
Method Used to Observe Attic From Entry	FOUNDATIONS, CRAWL SPACES & BASEMENTS : Crawlspace access Crawlspace access location.	PRESENCE OF FOUNDATION BOLTS: Foundation Bolts Visible This home appeared to be equipped with foundation bolts.
		
Rear of building		

STRUCTURAL GENERAL : Structural General Information

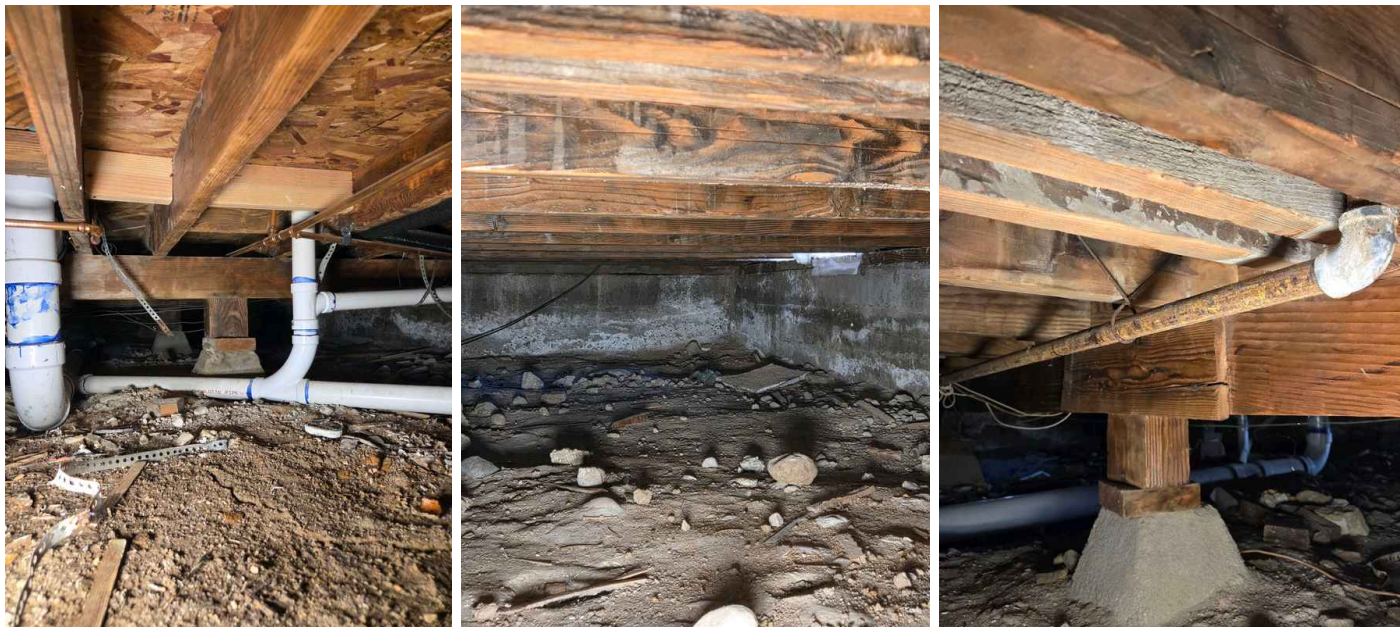
The Home Inspector shall observe structural components including foundations, floors, walls, columns and piers, ceilings and roof. The home inspector shall describe the type of foundation, floor structure, wall structure, columns and piers, ceiling structure, roof structure. The home inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to, or adversely effect the health of the home inspector or other persons.

STRUCTURAL GENERAL : Structural Inspection Limitations

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

FOUNDATIONS, CRAWL SPACES & BASEMENTS : Photos of CrawlSpace

This is for your information.



FOUNDATIONS, CRAWL SPACES & BASEMENTS : Limited Inspection -

Due to floor coverings, vegetation, siding, plumbing, inaccessible openings in the foundation walls, and/or slab foundation, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

FLOORS (Structural): Floor/Foundation Inspection Limitations

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

CEILINGS (Structural): Ceiling Inspection Limitations

Most of the walls and ceilings are covered and structural members are not visible. I could not see behind these coverings. No obvious problems discovered at the time of the inspection.

ROOF / ATTIC (Structural) : Limited Roof Structure Inspection

Most of the roof and ceilings are covered and structural members are not visible. I could not see behind these coverings. No obvious problems discovered at the time of the inspection.

Findings

10.2.1 FOUNDATIONS, CRAWL SPACES & BASEMENTS

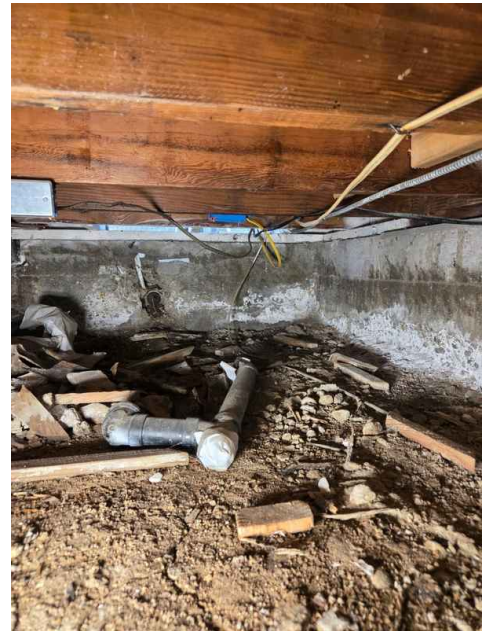
EFFLORESCENCE



White efflorescence (powder substance) on concrete walls indicates moisture is in contact with the masonry. This does not necessarily indicate that intrusion will occur, (efflorescence is found on many homes without water intrusion occurring inside the home) however, it should alert you to the possibility that future steps may be necessary. This is typically a result of over-watering, poor downspout termination points or improper site drainage. Recommend further evaluation by a licensed foundation contractor, waterproofing contractor and/or grading and drainage contractor to determine repairs necessary at this time. We also recommend installing gutters if this home is not currently equipped with them.

Recommendation

Contact a foundation contractor.



10.2.2 FOUNDATIONS, CRAWL SPACES & BASEMENTS

SLAB - STEMWALL CRACKS

Cracking noted at the foundation wall(s) in one or more locations. Recommend further evaluated by a licensed foundation contractor or licensed structural engineer before the removal of contingencies to determine the cause and if repairs are necessary at this time.

Recommendation

Contact a foundation contractor.



Rear of building



Rear of building

10.2.3 FOUNDATIONS, CRAWL SPACES & BASEMENTS

CRAWLSPACE ACCESS - DAMAGED/NOT INSTALLED DOOR



Damaged or not installed crawlspace access door noted. This may allow pest and unwanted small animals. Recommend a qualified professional to repair as needed

Recommendation

Contact a qualified professional.



10.2.4 FOUNDATIONS, CRAWL SPACES & BASEMENTS



Observation Items

CRAWLSPACE - DEBRIS/BELONGINGS/MATERIAL

Excessive construction debris, belongings and other materials was noted the crawlspace. This makes our inspection of the crawlspace limited to certain vantage points due to due to our safety. Recommend removal by a qualified professional. If further inspections are necessary we recommend either contacting a licensed professional or contacting us for a re-inspection.

Recommendation

Contact a qualified professional.



10.3.1 POSTS, PIERS AND COLUMNS



Attention Items

POSTS AND PIERS NOT STRAPPED/BRACED

The post and piers are not strapped/braced. Adding metal straps to the posts and piers may improve the overall stability and longevity of this home's foundation. This may have been common practice when the home was built. However, newer standards require additional support. The home was built properly and these supports may be considered an upgrade. Recommend further evaluation by a licensed foundation contractor to determine repairs or upgrades necessary at this time.

Recommendation

Contact a foundation contractor.



10.4.1 WALLS (Structural)

FOUNDATION WALL - EXPOSED REBAR



Attention Items

Cracking exposed aggregate and rusting rebar noted at the foundation wall(s). Exposed metals can potentially rust which can lead to foundation damage and other issues. Recommend further evaluation by a licensed foundation contractor prior to the removal of contingencies to determine repairs necessary at this time.

Recommendation

Contact a foundation contractor.



Front of building

11: HEATING/CENTRAL A/C

Information

Number of Heating Systems (Excluding Wood) One	Heating Equipment Type Forced Air	Heating Equipment Manufacturer GOODMAN
Heating Equipment Energy Source Natural gas	Filter Type Disposable	Ductwork Insulated
Number of Air Conditioning Systems None	Cooling Equipment Type None	Cooling Equipment Manufacturer NONE
Cooling Equipment Energy Source No AC in this Home	Types of Fireplaces Gas / Wood Burning	HEATING - EACH ROOM: Type In Wall
HVAC AUTOMATIC SAFETY CONTROLS: Type Service Door	THERMOSTAT: Type Thermostat	THERMOSTAT: Thermostat Location(s) Hallway Thermostat Location(s).

FIREPLACES - FIRE BOX : Fireplace
- Photo



HVAC GENERAL: Heating and Cooling System General Information

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating and cooling systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

HVAC GENERAL: Heating and Cooling System Limitations

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heating and cooling contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

HVAC GENERAL: HVAC Distribution System Limitations

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. You may wish to have the HVAC distribution system further explored by a licensed HVAC contractor before the end of your contingency period to determine if any latent defects exist.

HEATING - EQUIPMENT: Picture of Heater(s)

Photo of the heater



COOLING - EQUIPMENT: A/C Condensation - Limited

A/C condensation drain is often within the wall or behind insulation. If so we are unable to verify the condition of the entire span of the air conditioner condensation drain line due to insulation, wall/floor coverings and other finishes and/or obstructions. We recommend you ask the seller of any prior repair or issues, or have further evaluated by a licensed HVAC contractor to determine if latent defects exist.

Findings

11.2.1 HEATING - EQUIPMENT



Attention Items

FURNACE TURNED ON (THERMAL IMAGING PHOTO) - HEAT EXCHANGER NOT VISIBLE

The furnace(s) appeared to turn on and produce heat at time of inspection. However, due to the many components that are not visible (like the heat exchanger and the entire length of the flue pipe), our inspection of the system(s) is limited. Because of this, we recommend further evaluation/safety check be performed by a licensed HVAC contractor or the local gas company before the removal of contingencies.

Recommendation

Contact a qualified heating and cooling contractor



11.2.2 HEATING - EQUIPMENT



Attention Items

FURNACE 20 YEARS PLUS (APPROACHING END OF USEFUL LIFE)

The furnace is over 20 years old. Most furnaces have an expected lifespan of 15-20 years, so this unit is at or beyond the end of its typical service life. Older furnaces become less efficient, require more frequent repairs, and may eventually fail completely. Consider having an HVAC professional evaluate the furnace's current condition, efficiency, and remaining useful life to determine if replacement should be planned.

Recommendation

Contact a qualified HVAC professional.



11.3.1 HEATING - FLUE



Safety Concerns

TRANSITE FLUE PIPE

The flue for the furnace may contain asbestos. Testing for asbestos is beyond the scope of a home inspection. These flues are typically considered safe if left undisturbed. However, if you have any concerns this should be further evaluated by a licensed environmental contractor or qualified professional. Also, if the flue contains asbestos, there may be additional costs to remove and upgrade the flue to metal.

Recommendation

Contact a qualified environmental contractor



11.10.1 FIREPLACES - FIRE BOX

DAMPER CLAMP - NOT INSTALLED



The fireplace is not equipped with a damper clamp as required by today's safety standards. They are required whenever gas is supplied to a fireplace to prevent the damper from closing completely. Recommend installing a damper clamp as a safety upgrade.

Recommendation

Contact a qualified professional.



11.10.2 FIREPLACES - FIRE BOX

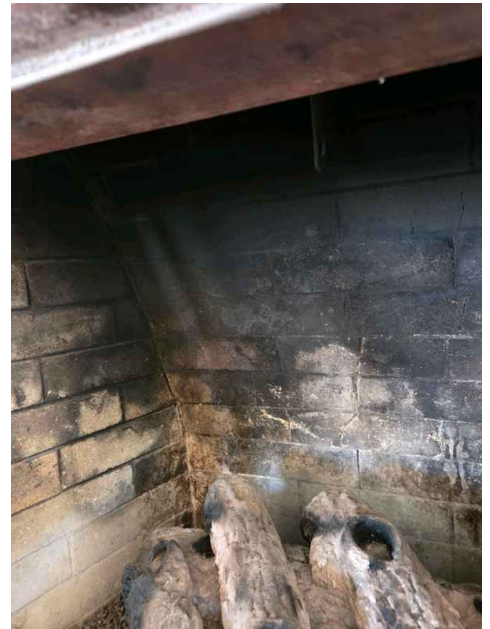
CLEAN FIREPLACE



The fireplace and/or chimney appeared to require professional cleaning before use. Recommend further evaluation by a licensed fireplace contractor to clean and repair as necessary at this time.

Recommendation

Contact a qualified chimney contractor.



11.10.3 FIREPLACES - FIRE BOX

FIRE BOX - CRACKS/GAPS

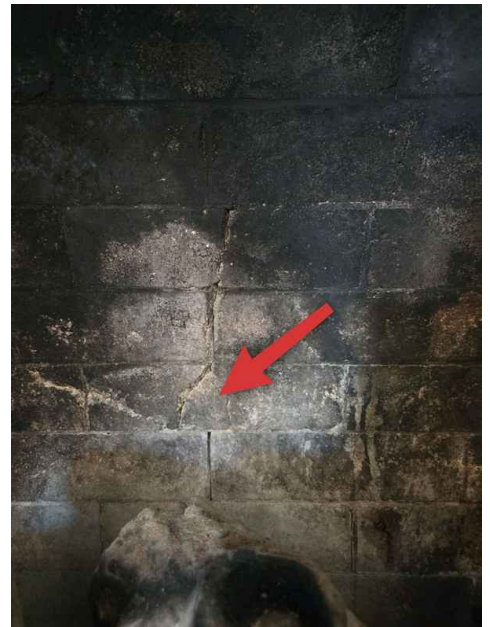


Safety Concerns

Cracks and/or gaps noted at one or more areas of the fireplace. This can be a fire safety concern. Recommend further evaluation by a licensed fireplace contractor before the removal of contingencies to determine any repairs necessary at this time for safety.

Recommendation

Contact a qualified fireplace contractor.



11.11.1 FIREPLACE - CHIMNEY

CHIMNEY LINER/FLU - NOT INSPECTED



Attention Items

We do not inspect the chimney liner or flu because often it would require disassembly of vent pipes either at the fireplace or at the vent hood on roof. Also, black powder dust is expected and should be cleaned from inner walls of the liner in order to properly inspect for cracks or loose sections. We recommend a licensed chimney contractor or licensed chimney sweep to clean and inspect for safety.

Recommendation

Contact a qualified chimney contractor.

11.12.1 FIREPLACE - STRUCTURE

STRUCTURE - CRACKING



Attention Items

Cracking and/or deterioration noted at the masonry chimney. If left uncorrected, this condition can lead to additional damage. Recommend further evaluation by a licensed chimney contractor before the removal of contingencies to determine repairs necessary at this time.

Recommendation

Contact a qualified chimney contractor.



12: REPAIR QUOTES

Information

Get a Quote For Repairs

Upload your reports into  and get real repair cost for these defects in 24 hours.

1. **Upload** this or any inspection report (Home, Sewer, Pool, Roof or any Specialty Report)
2. Receive an accurate, itemized **quote** that you can use. Backed by licensed contractors.
3. Then use it to negotiate **credits**, plan your **budget**, or get work scheduled **before you close**.

West Ivy Home Inspections client's save \$20.



<https://theqwikfix.com/qfp/q1850426>

13: COMPLEMENTARY PICTURES

Information

Interior: Kitchen



Interior: Dining Room/Area



Interior: Living Room



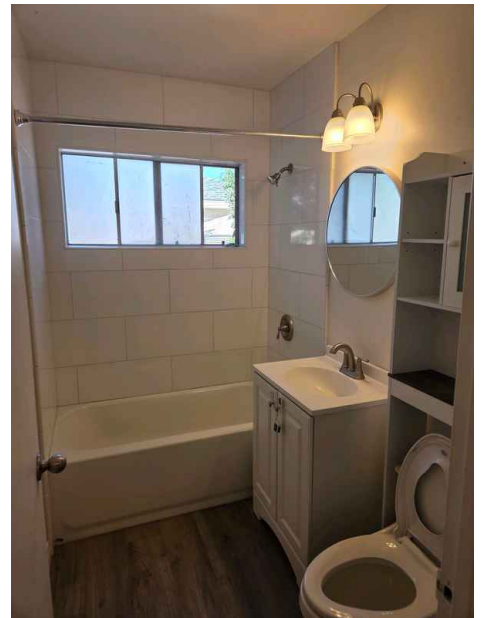
Interior: Foyer



Interior: Garage / Carport



Interior: Hall bath



Interior: Bedroom #2



Interior: Bedroom #3



Exterior : Front of Home



Exterior : Right Side of Home



Exterior : Left Side of Home



Exterior : Rear Of Home



Exterior : Patio



Complimentary Photographs

The photographs in this section of this inspection report are not intended to point out defects. These photographs have been provided to you as a complimentary service and are for your information. Only a limited representative number of rooms or locations are included in this Complimentary Photographs section.

STANDARDS OF PRACTICE

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