

PROJECT DATA:

OWNER:
KIMBERLY AUSTCHULSKA
17432 CALLE MAYOR
FAIRBANKS RANCH, CA 92001

BUILDING:

SITE AREA	41,100 SF.	1.13 AC.
FIRST FLOOR LIVING AREA	4,322.5 SF.	6,804 SF. 100% BLDG. COV. 117,160 SF.
SECOND FLOOR LIVING AREA	2,181.5 SF.	
GARAGE	757 SF.	
DUNGEON	475 SF.	
POOL CABANA	378 SF.	

NEW WORK:
ADDITION DRIVING 170' OF
ADDITION NEW BRKMS = 90' OF
ADDITION NEW LAUNDRY = 40' OF
NEW LIVING SPACE = 612.0' OF
NEW CONDITIONS ABOVE IN PARAGRAPHS = 3246' OF

ENERGY NOTES:

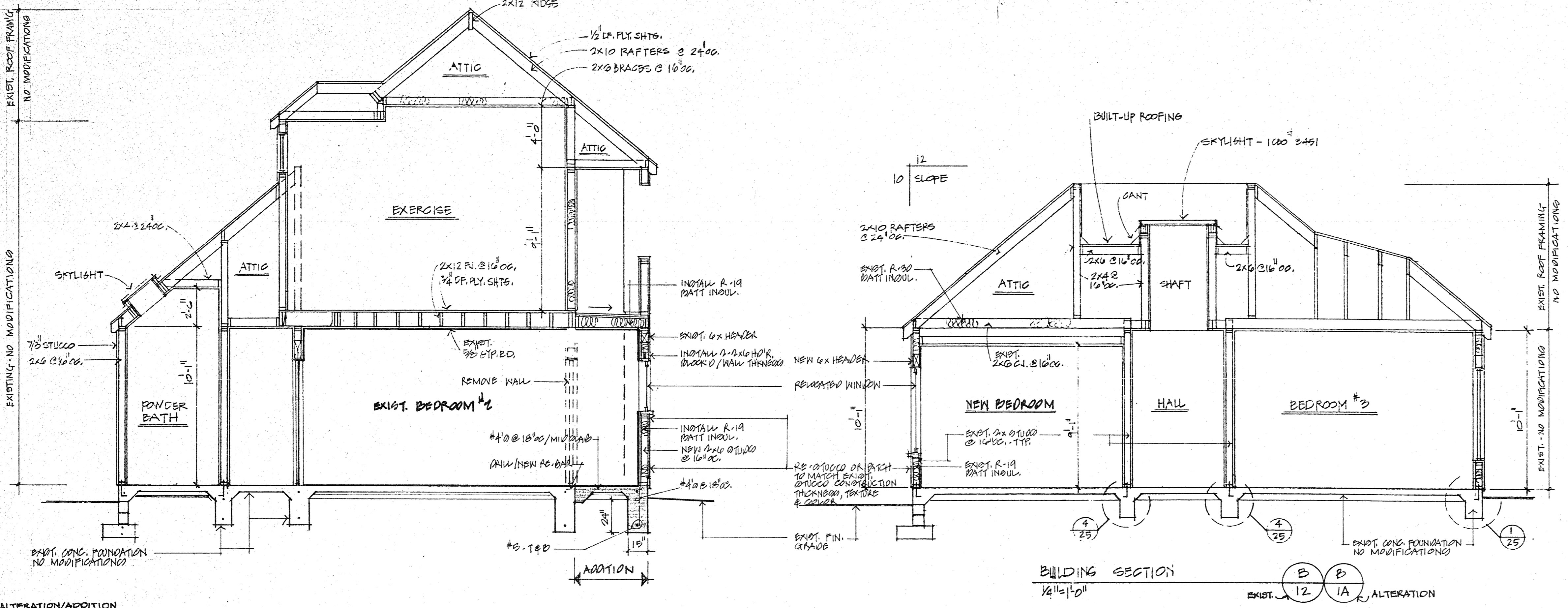
1. ALL EXTERIOR DOORS AND WINDOWS TO BE FULLY WEATHERSTRIPPED, OPENINGS SEALED AND SEALED - AROUND ALL JOINTS IN WINDOWS / WALL SOFT PLATES / OPENINGS FOR UTILITY PIPING AND WIRING.
2. MANUFACTURED DOORS AND WINDOWS SHALL MEET APPLICABLE MFG. STANDARDS.
3. PROVIDE SOFT DRAFT DAMPERS ON EXHAUST FANS.
4. MASONRY / FACTORY BUILT FIREPLACES MUST HAVE TIGHT FITTING, CLOSABLE DOORS COVERING FIREBOX OPENING AS WELL AS COMBUSTION AIR INTAKE DUCT (530. N.M.N.) WITH TIGHT FITTING DAMPERS AND FITTING FUEL DAMPERS.
5. AUTOMATIC SETBACK CAPABILITY FOR THE PERIODS DURING 24 HOURS REQUIRED AT THERMOSTATS ON GAS FIRED P.A.U.
6. PROVIDE R-2 INSULATION WRAPPING ON STORAGE TYPED WATER HEATERS AND R-2 INSULATION WRAPPING ON FURNACE, BOILER PIPING UNCONDITIONED SPACE.
7. GAS COOKING APPLIANCES SHALL NOT HAVE CONTAINED BURNING PILOTS.
8. GENERAL LIGHTING IN KITCHENS / BATHROOMS MUST PROVIDE 20 LUMENS PER SQ. FT. ON CEILING. EXCEPTION: KITCHEN COUNTER-SINK & DINING TABLE, BATHROOM MIRROR.
9. GAS FURNACES SIZED TO 1.5X DESIGN LOAD - 10 BTU/H, 95 EF. FT.

SHEET INDEX:

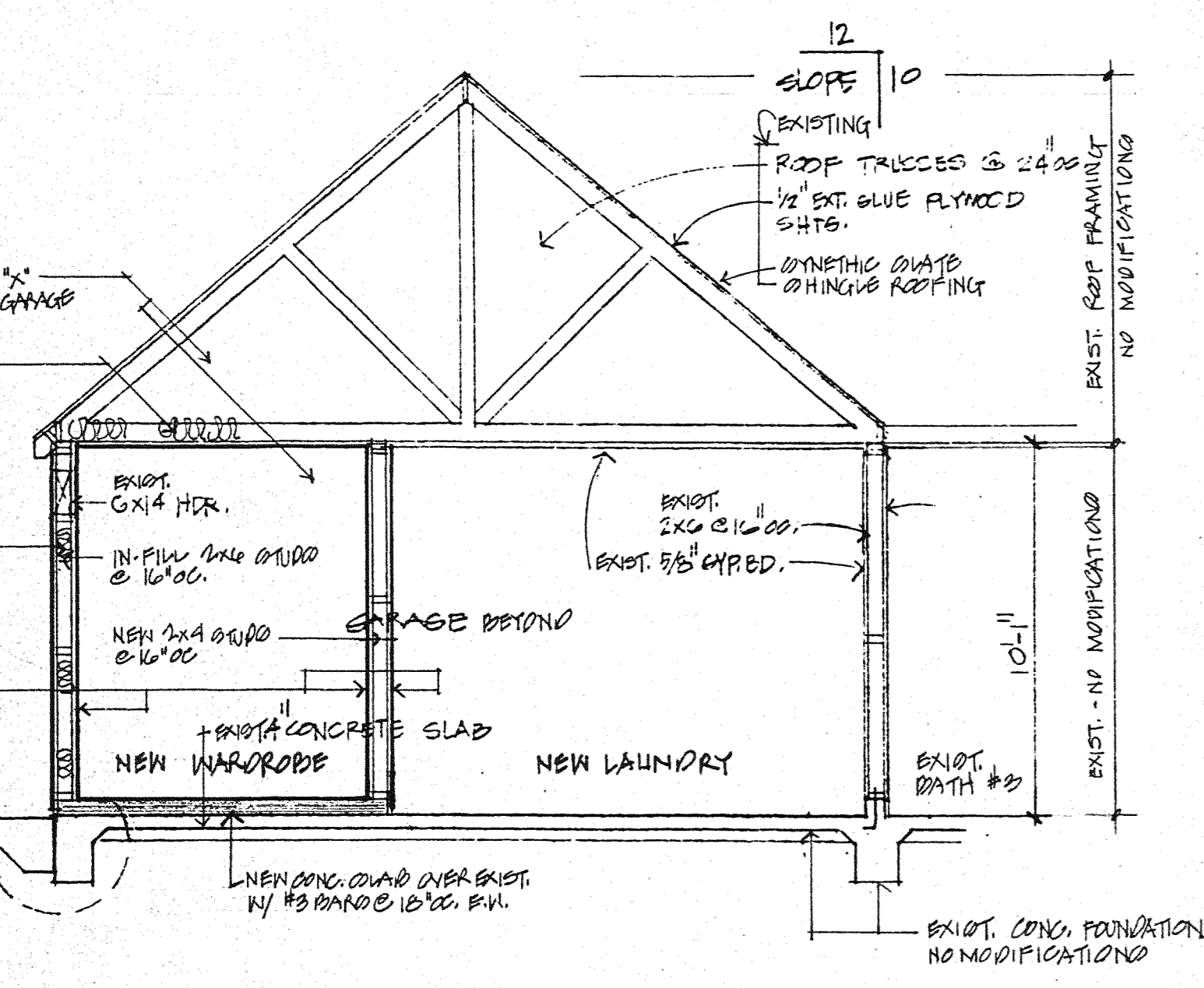
1. SITE PLAN - MAP, NOTES.
2. SPECIFICATIONS
3. SPECIFICATIONS
4. SCHEDULES
5. ARCHITECTURAL FLOOR PLAN - 1ST FLOOR
6. ARCHITECTURAL FLOOR PLAN - 2ND FLOOR
7. EXTERIOR ELEVATIONS
8. EXTERIOR ELEVATIONS
9. ELECTRICAL FLOOR PLAN - 1ST FLOOR
10. ELECTRICAL FLOOR PLAN - 2ND FLOOR
11. ROOF PLAN
12. BUILDING SECTIONS
13. KITCHEN FLOOR PLAN
14. OMITTED FROM PLANS
15. INTERIOR ELEVATIONS
16. FIREPLACE DRAWINGS
17. REFLECTED CEILING PLAN - 1ST FLOOR
18. REFLECTED CEILING PLAN - 2ND FLOOR
19. FOUNDATION PLAN
20. CEILING JOIST PLAN - 1ST FLOOR
21. CEILING JOIST PLAN - 2ND FLOOR
22. SECOND FLOOR FRAMING PLAN
23. ROOF FRAMING PLAN - 1ST STORY
24. ROOF FRAMING PLAN - 2ND STORY
25. DETAILS
26. SCHEMATIC HEATING PLAN - 1ST FLOOR
27. SCHEMATIC HEATING PLAN - 2ND FLOOR
28. DUNGEON TUNNEL PLAN
29. POOL CABANA PLAN

LEGAL DESCRIPTION:
LOT #399 MAP #1787 FAIRBANKS RANCH, REF. PLAN. 204-173-15 SANTA FE COUNTY.

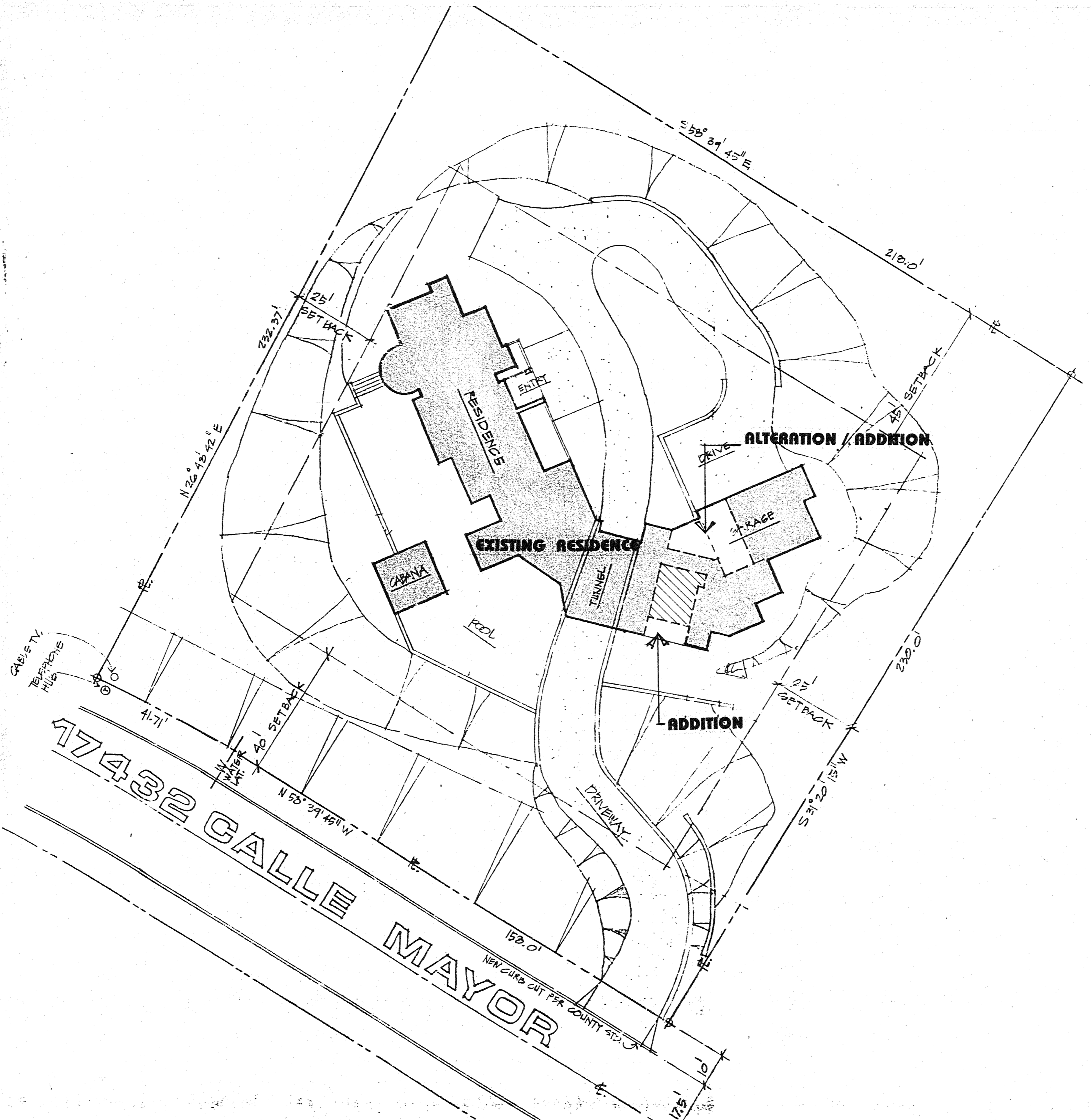
JOVENHAIN MUNICIPAL WATER DISTRICT - SEWER
SANTA FE IRRIGATION DISTRICT - WATER



ALTERATION/ADDITION
C BUILDING SECTION
1A 1/4" = 1'-0"

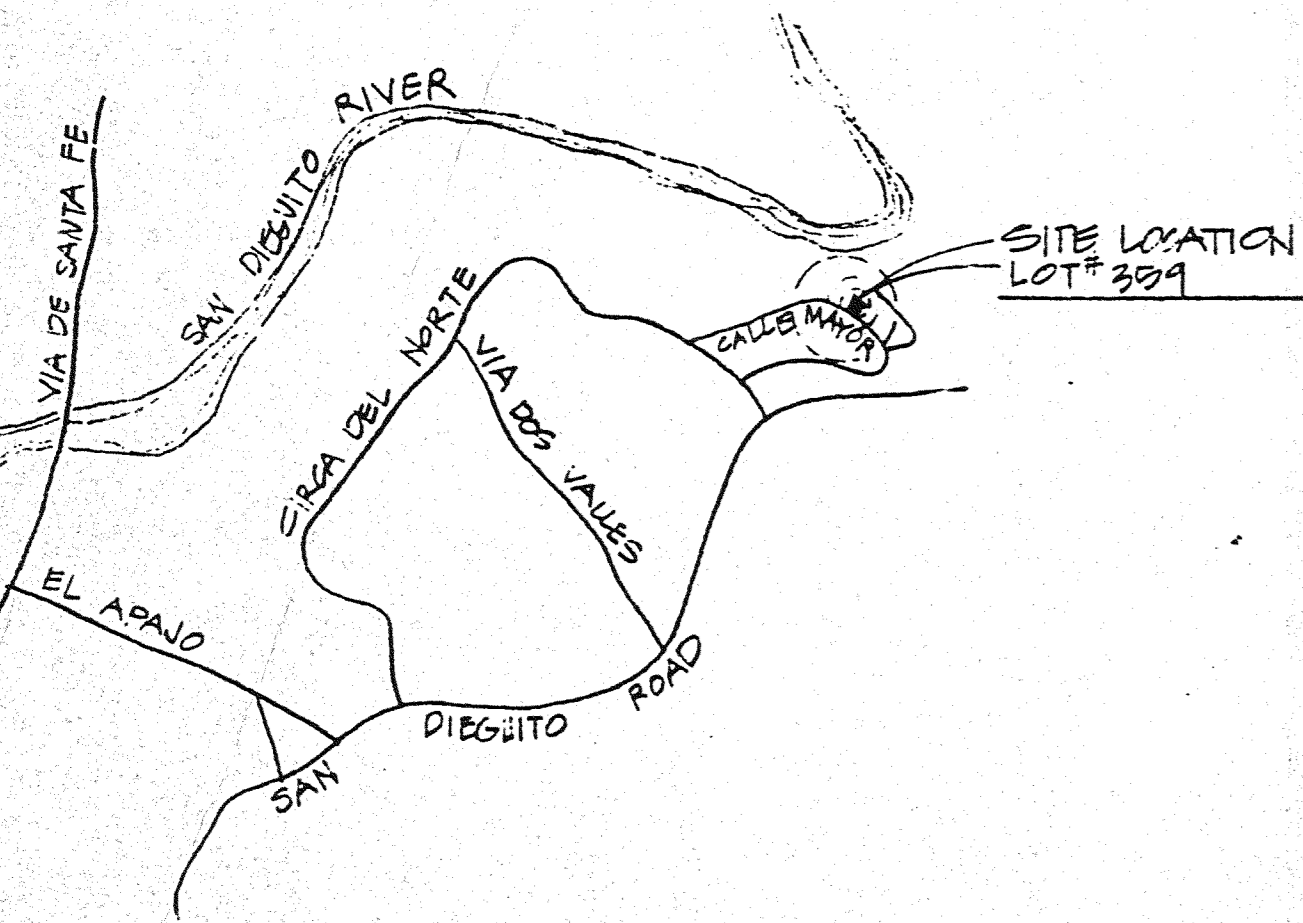


BUILDING SECTION
A BUILDING SECTION
1A 1/4" = 1'-0"



SITE PLAN
SCALE: 1" = 20'

FENDER DESIGN GROUP
5251 HOLIDAY CT. #203
LA JOLLA, CA 92037
619-458-9122



VICINITY MAP

ALTERATION ONLY
Roy A. Blackford - Architect
Architecture and Land Planning
2042 Harding St., Corbin, CA 92008
Tel. 760 729-0553 Fax 760 729-4149

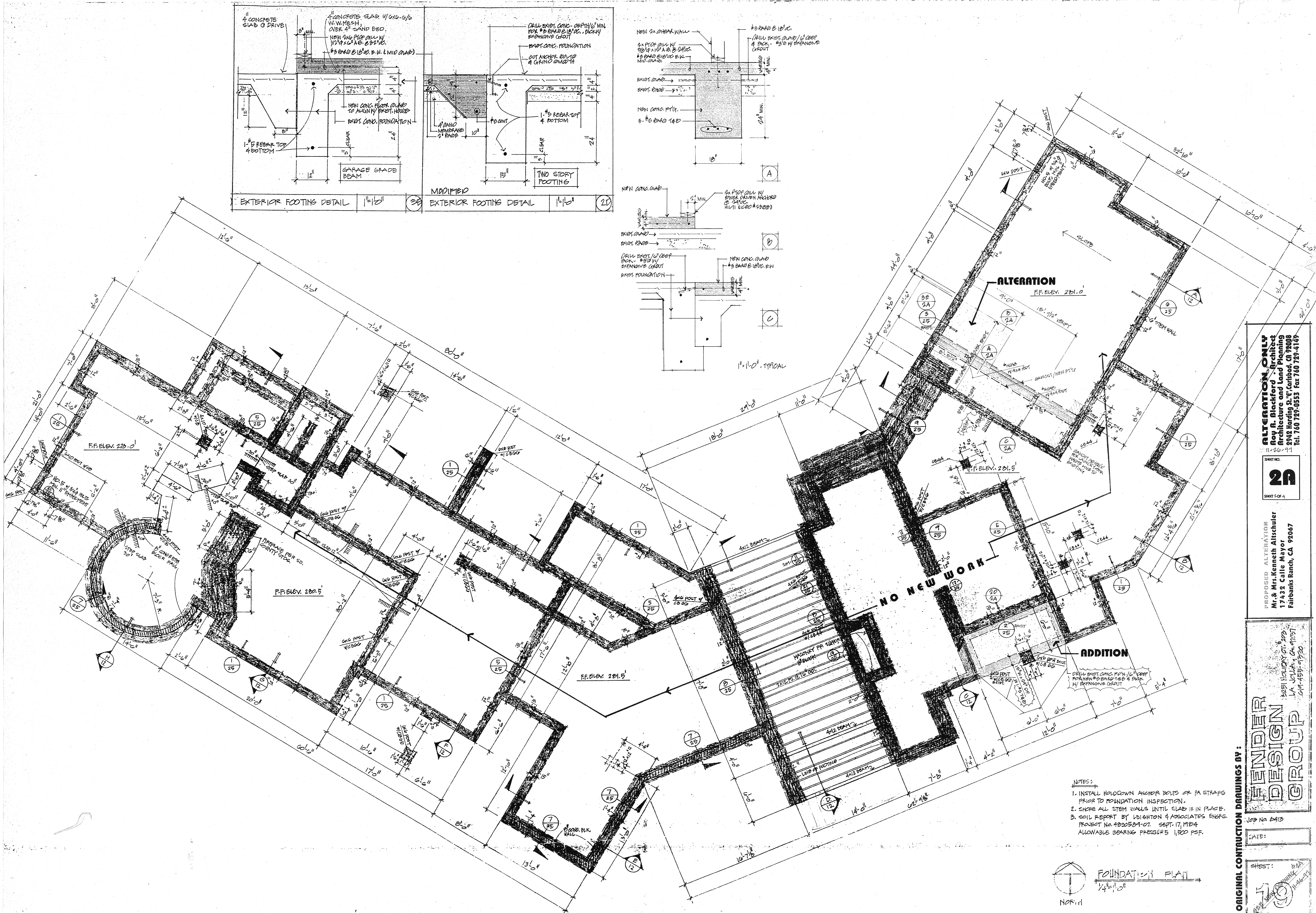
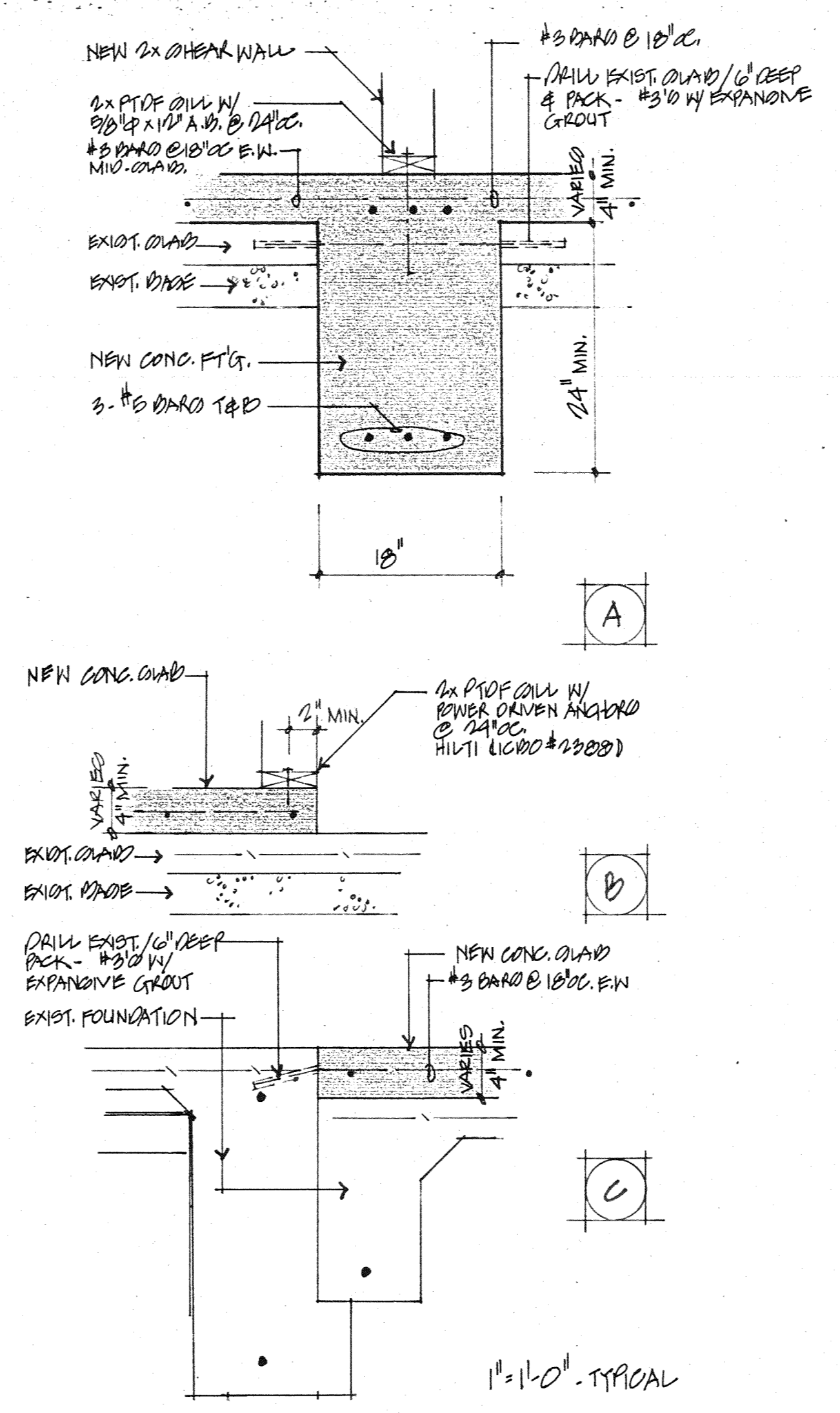
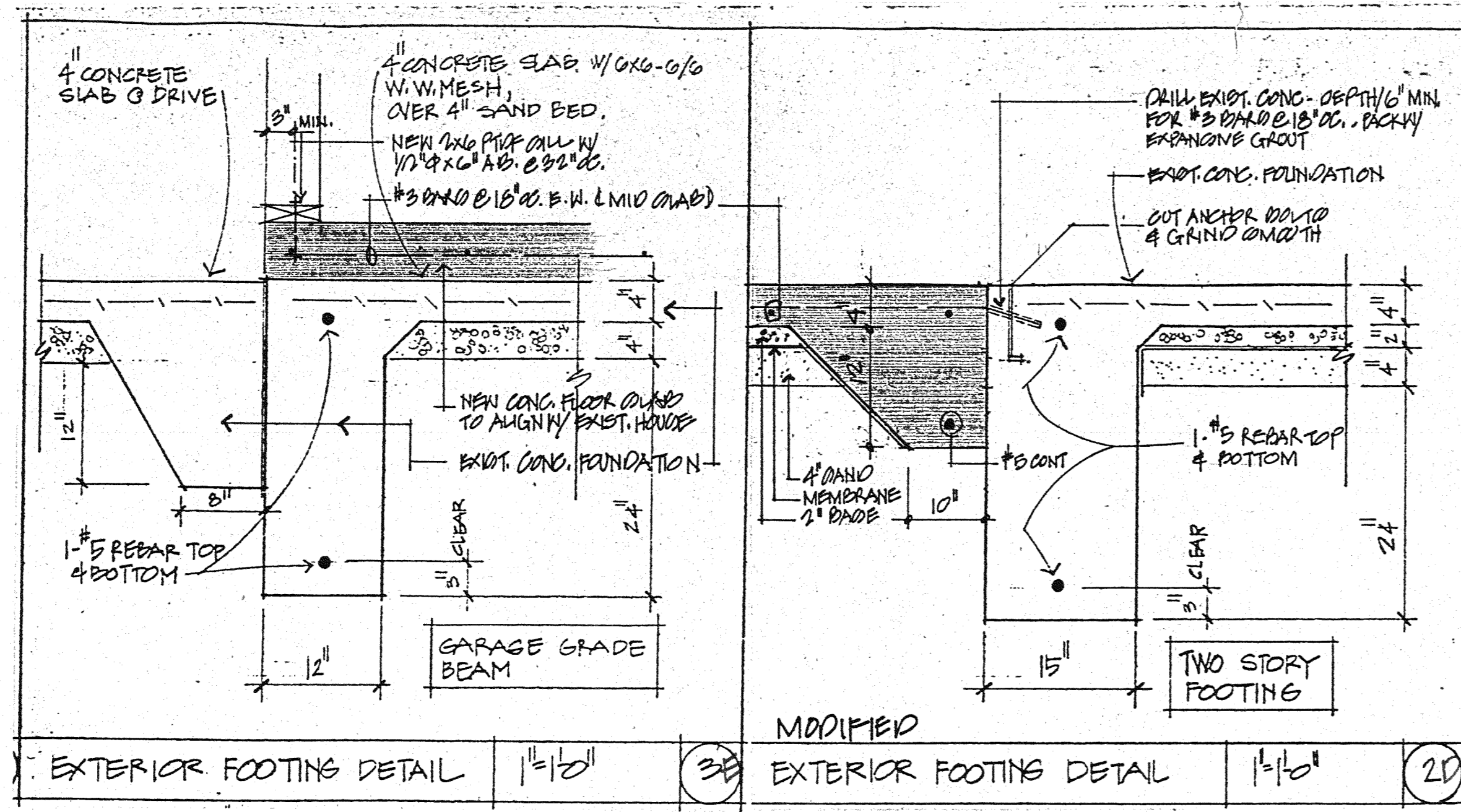
PROPOSED ALTERATION
Mr. & Mrs. Kenneth Altschuler
17432 Calle Mayor
Fairbanks Ranch, CA 92007

LOT 399 FAIRBANKS
DAVE MURPHY CONSTRUCTION

ORIGINAL CONSTRUCTION DRAWINGS BY:
FENDER DESIGN GROUP
5251 HOLIDAY CT. #203
LA JOLLA, CA 92037
619-458-9122

359

359



- NOTES:**
1. INSTALL HOLDDOWN ANCHOR BOLTS OR PA STRAPS PRIOR TO FOUNDATION INSPECTION.
 2. SHORE ALL STEM WALLS UNTIL SLAB IS IN PLACE.
 3. SOIL REPORT BY LEIGHTON & ASSOCIATES ENGR. PROJECT NO. 4820584-02. SEPT. 17, 1984. ALLOWABLE BEARING PRESSURE 1,800 PSF.

ALTERATION ONLY
 Roy R. Blackford - Architect
 Architecture and Land Planning
 2942 Harding St., Carlsbad, CA 92008
 Tel. 760 729-0553 Fax 760 729-4189

SHEET NO. **2A**
 SHEET 2 OF 4

PROPOSED ALTERATION
 Mr. & Mrs. Kenneth Altshuler
 17432 Calle Mayor
 Fairbanks Ranch, CA 92067

2251 HOLLY CT 202
 LA JOLLA, CA 92037
 619-455-0700

FENDER DESIGN GROUP

ORIGINAL CONSTRUCTION DRAWINGS BY:

FOUNDATION PLAN
 14'-11" x 14'-11"

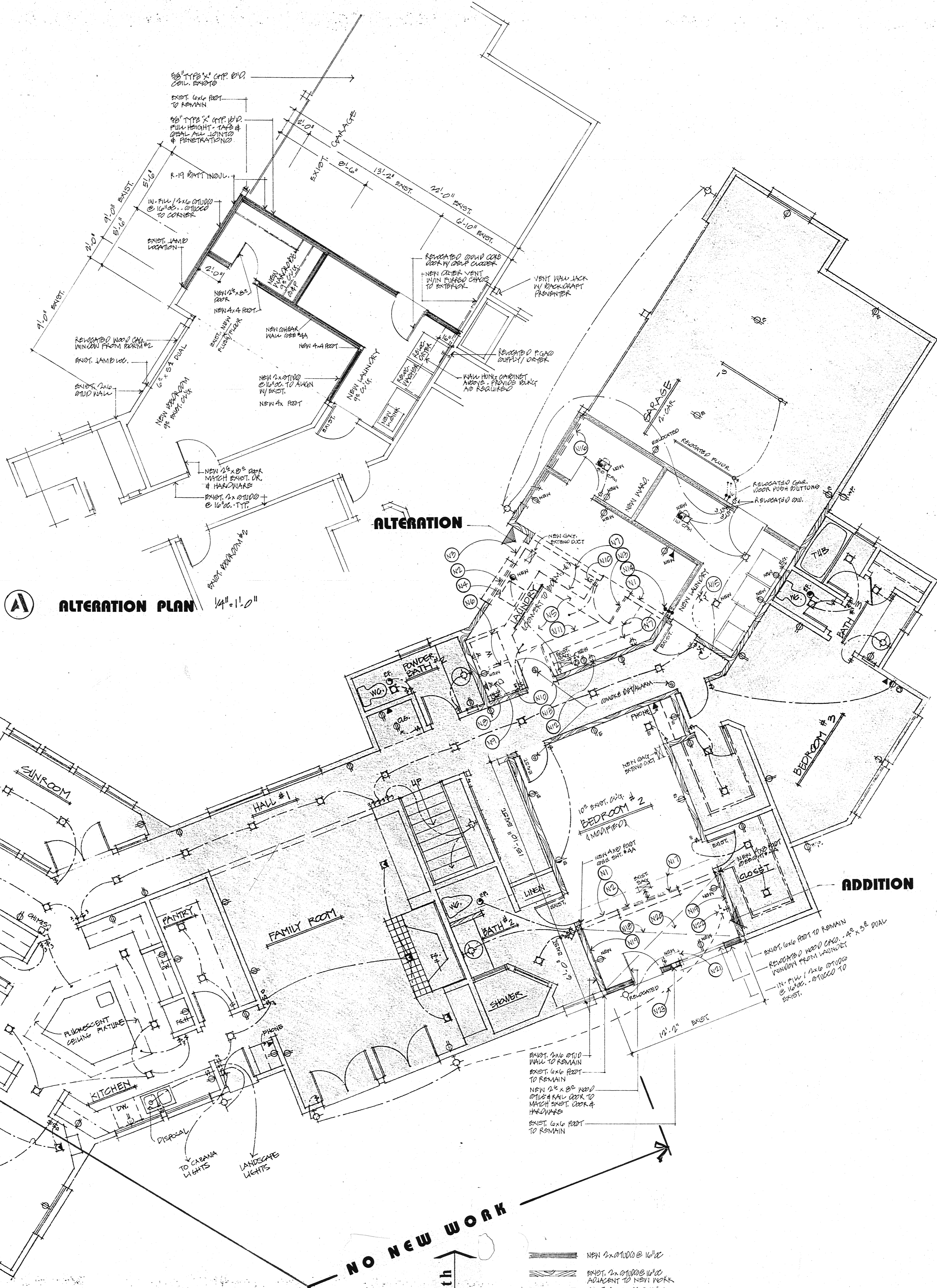
JOB NO. 0413
 DATE:
 SHEET:
 2A

DEMOLITION NOTES :

1. All construction, demolition, and excavation shall conform to currently adopted Uniform Building Code, State and Local codes and Ordinances enforce at the time of permit application.
2. The Contractor shall verify the location of existing utilities before beginning work and shall protect existing utilities from damage. The Contractor shall arrange with the proper jurisdiction any required disconnection, removal and/or temporary re-route of utilities.
3. The Contractor shall verify the project site and acquaint himself with the work to be done, check and verify all conditions and dimensions at the site and notify the Owner and architect of any errors, omissions or discrepancies before beginning work.
4. The Contractor shall keep the project free from accumulations of debris and refuse caused by his employees or work executed. The Contractor and/or Sub-Contractor shall remove all debris and refuse to a legal dump site or a re-cycling facility upon completion of each phase of work, and shall prevent the encroachment of materials on Public and other Private properties.
5. The Contractor and Sub-Contractors shall provide and maintain adequate shoring and bracing of the project during demolition and construction phases, until final supports and connections have been completed, and the project is self-supporting.
6. The Contractor and Sub-Contractors shall be responsible for the accuracy of all lines, levels, and layout of new and existing conditions. Notify the Owner and architect of any discrepancies prior to inclusion in the work.

DEMOLITION PLAN

- N1 REMOVE WALL, COMPLETE.
- N2 REMOVE WINDOW WITH CARE, STORE FOR RE-INSTALLATION.
- N3 REMOVE PORTION OF WALL FOR RELOCATED WINDOW AND NEW HEADER.
- N4 REMOVE LAUNDRY SINK, STORE FOR RE-INSTALLATION - REMOVE ALL PLUMBING AND PERMANENTLY CAP FOR PROPER ABANDONMENT.
- N5 REMOVE FINISH FLOORING, COMPLETE.
- N6 REMOVE WASHER AND DRYER, STORE FOR RE-INSTALLATION - REMOVE ALL PLUMBING AND PERMANENTLY CAP FOR PROPER ABANDONMENT.
- N7 REMOVE CABINET, COMPLETE.
- N8 REMOVE FUEL GAS LINE BACK TO MAIN RUN, CAP FOR PERMANENT CLOSER.
- N9 REMOVE DRYER OUTLET AND MODIFY CIRCUIT FOR RELOCATION.
- N10 REMOVE WALL SWITCH AND MODIFY CIRCUIT FOR RELOCATION.
- N11 REMOVE FLUORESCENT LIGHTING FIXTURE AND MODIFY CIRCUIT.
- N12 REMOVE REMOVE ELECTRICAL DUPLEX OUTLET AND MODIFY CIRCUIT.
- N13 REMOVE DOOR, FRAME AND HARDWARE WITH CARE FOR RE-INSTALLATION.
- N14 REMOVE GARAGE DOOR OPERATOR PUSH BUTTON, SAVE ONE AND RE-USE TWO.
- N15 REMOVE CEILING LIGHTING FIXTURE AND RELOCATE WALL SWITCH / NEW CIRCUIT.
- N16 REMOVE REMOVE GARAGE DOOR, COMPLETE WITH TRIM.
- N17 REMOVE CEILING DRYWALL AS REQUIRED TO INSTALL NEW BEAM.
- N18 REMOVE STUCCO SOFFIT, COMPLETE.
- N19 REMOVE STUCCO / WALL, COMPLETE.
- N20 REMOVE CONCRETE PAVING AND CONCRETE POST BASE TO ACCOMMODATE NEW WALL.
- N21 REMOVE FURRED COLUMN, STRUCTURAL GIG POST TO REMAIN.
- N22 REMOVE REMOVE WALL LIGHTING FIXTURE STORE FOR RE-INSTALLATION.
- N23 REMOVE PORTION OF LIGHTING CIRCUIT FOR NEW SWITCH AND FIXTURE LOCATION.



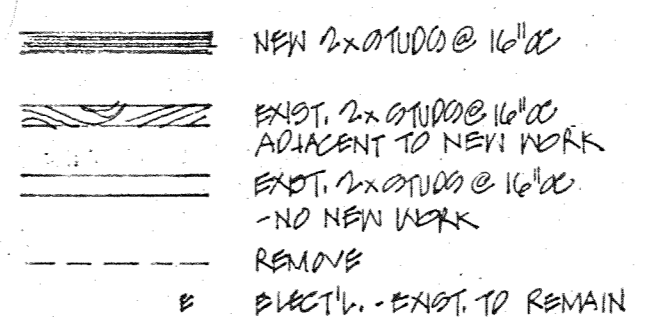
ALTERATION PLAN 1/4"=1'-0"

WITH 1" ADJUSTMENT TO BALL BEARS FIRED
 IN-HOUSE TO BE 1/2" IN-HOUSE
 TO BE 1/2" IN-HOUSE TO BE 1/2" IN-HOUSE
 TO BE 1/2" IN-HOUSE TO BE 1/2" IN-HOUSE

ELECTRICAL FIXTURE SCHEDULE	
⊖	DUPLEX OUTLET
⊖	HALF HOT OUTLET
⊖	FLOOR OUTLET (VERIFY LOCATION)
⊖	OUTLET BELOW CABINET
⊖	RECESSED CEILING FIXTURE (HALO H-7)
⊖	SURFACE MOUNTED FIXTURE
⊖	220 V. OUTLET
⊖	EXHAUST FAN
⊖	UNDERCABINET FLUORESCENT FIXTURE
⊖	TELEPHONE
⊖	TELEVISION
⊖	FLUORESCENT CEILING MTD. FIXTURE
⊖	PIG TAIL
⊖	JUNCTION BOX
⊖	WATER PROOF OUTLET
⊖	INTERCOM UNIT (INDIVIDUAL CONTROL PANEL)
⊖	INTERCOM MAIN CONTROL PANEL
⊖	DB, DOOR BELL BUTTON
⊖	CHIMBES
⊖	SMOKE DETECTOR

- NOTE:**
1. ADD AMP. SERVICE FOR RESIDENCE.
 2. GENERAL CONTRACTOR TO COORDINATE W/ ELECTRICAL SUB FOR THE INSTALLATION OF A CENTRAL VACUUM SYSTEM AND PRE-WIRE APPROVED OPENINGS FOR SECURITY - VERIFY ALL SYSTEMS AND INSTALLATIONS OF SMOKE SYSTEMS PRIOR TO BEGINNING ANY WORK.
 3. ALL RECESSED CAN FIXTURES TO BE "HALO" BRAND.
 4. "NITEONE" DOOR CHIMBES #1B-2 CONT'DR - WHITE
 5. "NITEONE" EXHAUST FANS #2814

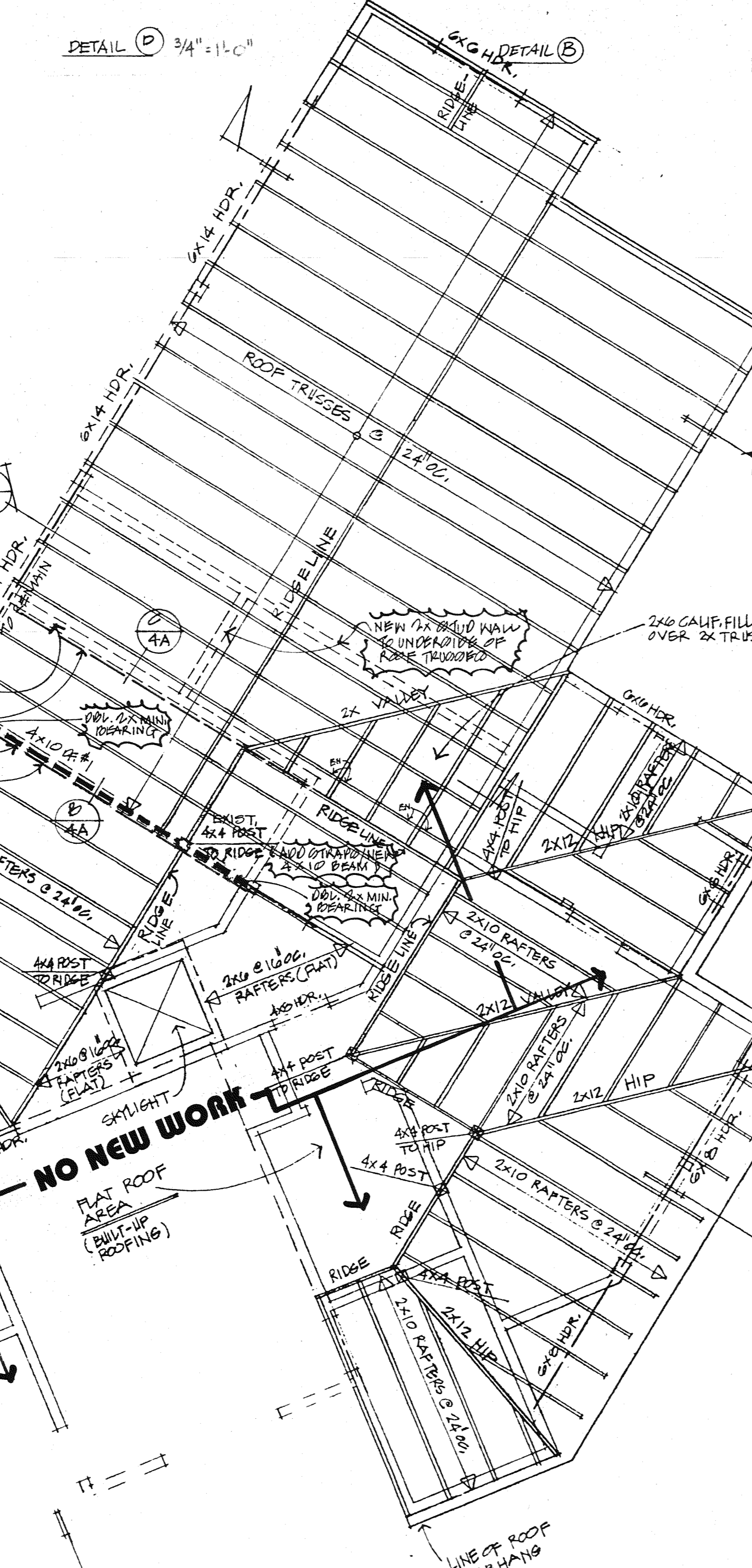
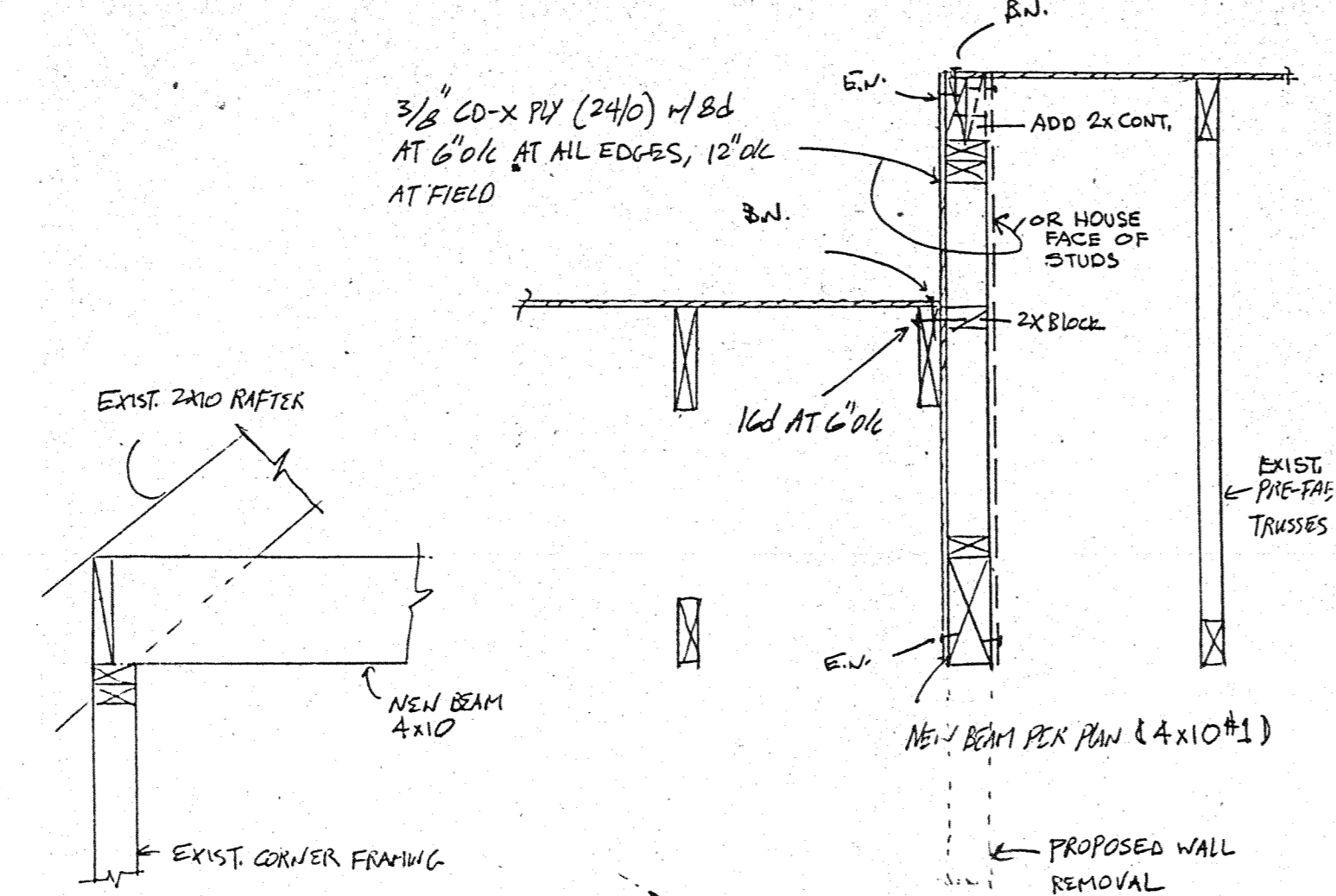
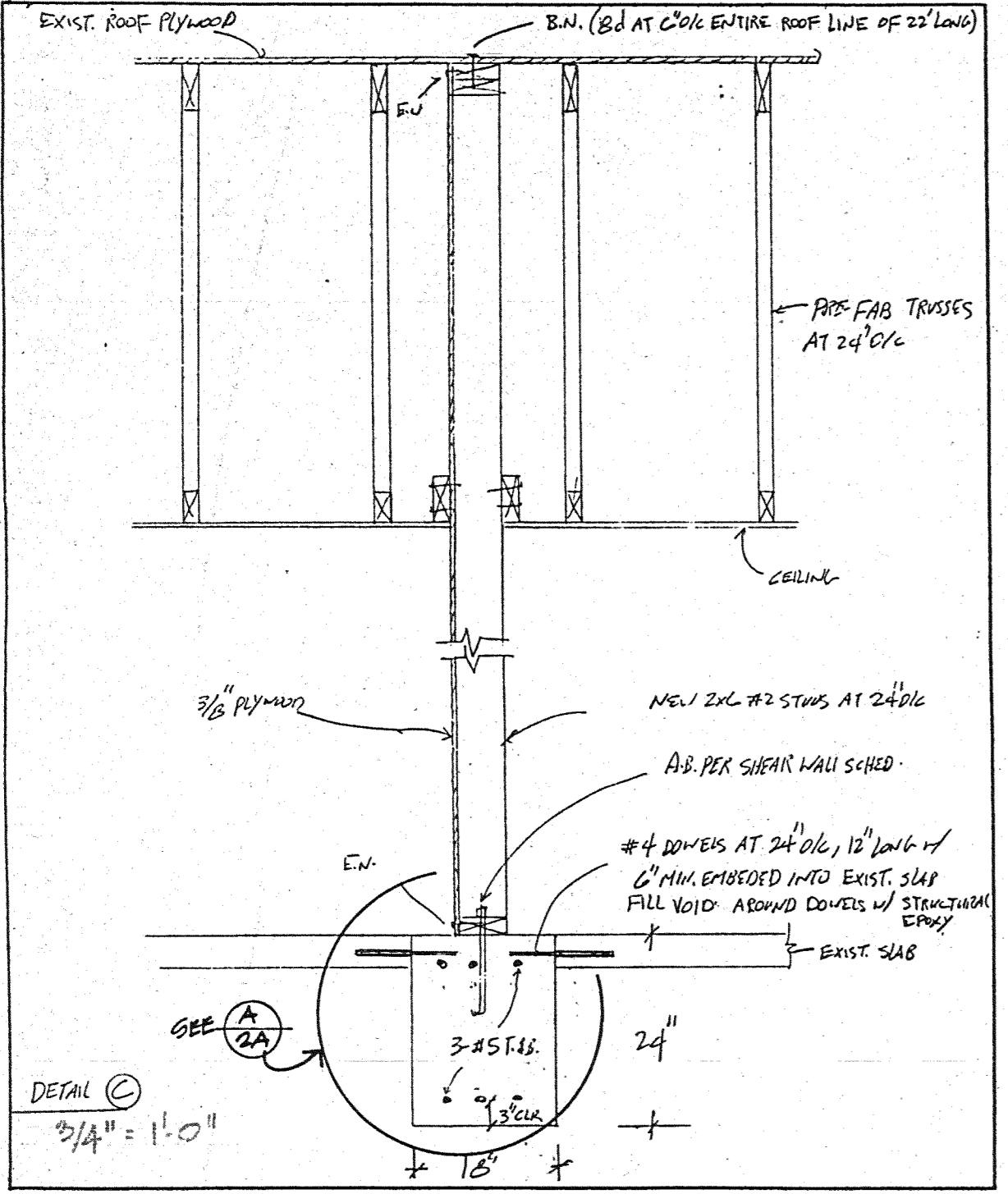
NO NEW WORK



FIRST FLOOR PLAN

ALTERATION ONLY
 Roy A. Blackford - Architect
 Architect and Land Planning
 2942 Harding St., E. Colton, CA 92308
 Tel. 760 729-0553 Fax 760 729-4149
 11-26-91
 SHEET NO.
3A
 SHEET 2 OF 4
 PROPOSED ALTERATION
 Mr. & Mrs. Kenneth Altschuler
 17432 Calle Mayor
 Fairbanks Ranch, CA 92067

ORIGINAL CONTRACTOR DRAWINGS BY:
FENDER DESIGN GROUP
 2221 HOLIDAY CT. #203
 LA JOLLA, CA 92037
 (619) 451-1120
 DB NO. 2413
 DATE:
 SHEET 2
 SEE NEW DRAWING #24
 11-26-91



CERTIFICATE OF COMPLIANCE: RESIDENTIAL Page 1 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

ISSUE DATE: 11/16/97
ISSUED BY: DAVID MCKINLEY
FOR: MICHAEL J. HENNING
MICHAEL J. HENNING
17432 CALLE MAYOR
FAIRBANKS RANCH, CA 92008

GENERAL INFORMATION

Conditioned Floor Area: 221.6 sq ft
Building Type: Single Family Detached
Construction Type: Addition Along Front Facing 189 sq ft (S)
Number of Dwelling Units: 1
Number of Stories: 1
Floor Construction Type: Slab On Grade
Floor Area: 10.8 sq ft Floor area
Average Glazing (GVA): 0.6 Btu/hr-ft²-F

BUILDING SHELL INSULATION

Component	Type	R-Value	Assembly	Location/Comments	
1	Wood	R-11	R-19	R-30	0.001
2	Wood	R-5	R-5	R-10	0.230
3	Wood	R-5	R-5	R-10	0.001
4	Wood	R-5	R-5	R-10	0.001
5	Wood	R-5	R-5	R-10	0.001

MANDATORY MEASURES CHECKLIST: RESIDENTIAL Page 1 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

DESIGNER OF RECORD: Roy Blackford, David McKinley
COMPANY: Roy Blackford & David McKinley, Inc.
ADDRESS: 2842 Harding St. Suite E, 9255 James Drive, Carlsbad, CA 92008
PHONE: (760) 732-0553, (760) 732-0553
SIGNATURE: Roy Blackford, David McKinley
DATE: 11-16-97

ENFORCEMENT AGENCY

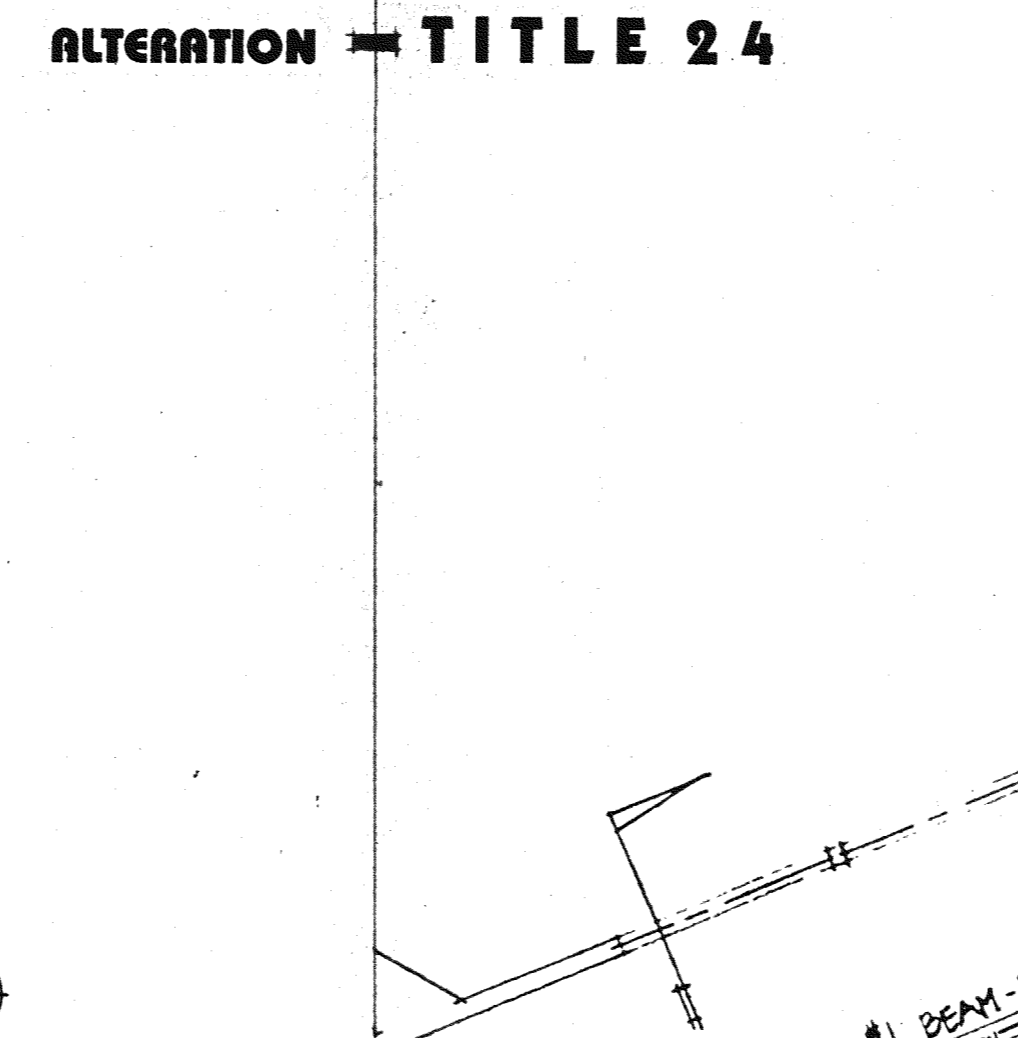
Name: _____
Title: _____
Agency: _____
Phone: _____
Signed: _____
DATE: _____

MANDATORY MEASURES CHECKLIST: RESIDENTIAL Page 2 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

SPACE CONDITIONING, WATER HEATING AND PLUMBING SYSTEM MEASURES

Section	Requirement	Design/Enforcement
110-13	HVAC equipment, water heaters, showstubs and faucets certified by the CEC.	X
150(1)	Shutoff thermostats on all applicable heating systems.	X
150(2)	Pipe and tank insulation.	X
150(3)	Indirect hot water tanks (e.g., unfired storage tanks or backup solar hot water tanks) have insulation blanket (R-10 or greater) or combined jacket/insulation (R-10 or greater).	X
2	Five 5 feet of pipes closest to water heater tank, non-recirculating system, insulated (R-4 or greater).	X
3	All buried or exposed piping insulated in recirculating sections of hot water system.	X
4	Cooling system piping below 55 degrees insulated.	X
5	Piping insulated between heating source and indirect hot water tank.	X
150(1)	Joints and fan ducts constructed, installed and sealed to comply with USC sections 1003 and 1004; ducts insulated to a minimum installed value of R-4.2 or ducts enclosed entirely within conditioned space.	X
2	Exhaust fan systems have backdraft or automatic dampers.	X
3	Gravity venting systems serving conditioned spaces have either automatic or readily accessible, manually operated dampers.	X
114	Pool and Spa Heating Systems and Equipment operation is certified with 78% thermal efficiency, on/off switch, waterproof operating instructions, no electric resistance heating and no pilot light.	X
2	System installed with: a. At least 36 inches pipe between filter and heater for secure solar heating. b. Cover for outdoor portion and/or outdoor spa. c. Thermostat for outdoor portion and/or outdoor spa. d. Thermostat for pool heater. e. Thermostat for heater or household cooking appliance have no continuously burning pilot light (Exception: non-electrical cooking appliance with pilot < 150 Btu/hr).	N/A
116	Gas control furnace, pool heater or heater or household cooking appliance have no continuously burning pilot light (Exception: non-electrical cooking appliance with pilot < 150 Btu/hr).	X
LIGHTING MEASURES		
150(k)	40 lumens/watt or greater for general lighting in kitchens and rooms with water closets and recessed ceiling fixtures (IC insulation cover) approved.	N/A



FENDER DESIGN GROUP

12251 HOLLYWOOD CT. #209
LA. VILLA, CA. 91097
619-455-9130

JOB NO. 0413
DATE: / /
SHEET: 23

CERTIFICATE OF COMPLIANCE: RESIDENTIAL Page 3 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

HVAC SYSTEMS

Equipment Type	Minimum Efficiency	Duct	R-Value	Duct Thermostat
Water Heater <td>10.00 SEER <td>Attic <td>R-4.2 <td>Setback</td> </td></td></td>	10.00 SEER <td>Attic <td>R-4.2 <td>Setback</td> </td></td>	Attic <td>R-4.2 <td>Setback</td> </td>	R-4.2 <td>Setback</td>	Setback

SPECIAL FEATURES/REMARKS

1. Compliance with Title 24, Part 6 of the California Energy Code, 1995, shall be as follows:
a. All heating systems shall be equipped with shutoff thermostats.
b. All heating systems shall be equipped with automatic or readily accessible, manually operated dampers.
c. All heating systems shall be equipped with water cutoff devices.
d. All heating systems shall be equipped with water cutoff devices.
e. All heating systems shall be equipped with water cutoff devices.

MANDATORY MEASURES CHECKLIST: RESIDENTIAL Page 2 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

SPACE CONDITIONING, WATER HEATING AND PLUMBING SYSTEM MEASURES

Section	Requirement	Design/Enforcement
110-13	HVAC equipment, water heaters, showstubs and faucets certified by the CEC.	X
150(1)	Shutoff thermostats on all applicable heating systems.	X
150(2)	Pipe and tank insulation.	X
150(3)	Indirect hot water tanks (e.g., unfired storage tanks or backup solar hot water tanks) have insulation blanket (R-10 or greater) or combined jacket/insulation (R-10 or greater).	X
2	Five 5 feet of pipes closest to water heater tank, non-recirculating system, insulated (R-4 or greater).	X
3	All buried or exposed piping insulated in recirculating sections of hot water system.	X
4	Cooling system piping below 55 degrees insulated.	X
5	Piping insulated between heating source and indirect hot water tank.	X
150(1)	Joints and fan ducts constructed, installed and sealed to comply with USC sections 1003 and 1004; ducts insulated to a minimum installed value of R-4.2 or ducts enclosed entirely within conditioned space.	X
2	Exhaust fan systems have backdraft or automatic dampers.	X
3	Gravity venting systems serving conditioned spaces have either automatic or readily accessible, manually operated dampers.	X
114	Pool and Spa Heating Systems and Equipment operation is certified with 78% thermal efficiency, on/off switch, waterproof operating instructions, no electric resistance heating and no pilot light.	X
2	System installed with: a. At least 36 inches pipe between filter and heater for secure solar heating. b. Cover for outdoor portion and/or outdoor spa. c. Thermostat for outdoor portion and/or outdoor spa. d. Thermostat for pool heater. e. Thermostat for heater or household cooking appliance have no continuously burning pilot light (Exception: non-electrical cooking appliance with pilot < 150 Btu/hr).	N/A
116	Gas control furnace, pool heater or heater or household cooking appliance have no continuously burning pilot light (Exception: non-electrical cooking appliance with pilot < 150 Btu/hr).	X
LIGHTING MEASURES		
150(k)	40 lumens/watt or greater for general lighting in kitchens and rooms with water closets and recessed ceiling fixtures (IC insulation cover) approved.	N/A

MANDATORY MEASURES CHECKLIST: RESIDENTIAL Page 3 of 18

PROJECT TITLE: ALTBILDER HOME ADDITION Date: 11/16/97
SITE ADDRESS: 17432 CALLE MAYOR
COUNTY: LOS ANGELES
CITY: FAIRBANKS RANCH
CALIFORNIA, CA 92008
BUILDING PERMIT # 97-061

SPACE CONDITIONING, WATER HEATING AND PLUMBING SYSTEM MEASURES

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2	Five 5 feet of pipes closest to water heater tank, non-recirculating system, insulated (R-4 or greater).	X
3	All buried or exposed piping insulated in recirculating sections of hot water system.	X
4	Cooling system piping below 55 degrees insulated.	X
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116	Gas control furnace, pool heater or heater or household cooking appliance have no continuously burning pilot light (Exception: non-electrical cooking appliance with pilot < 150 Btu/hr).	X
LIGHTING MEASURES		
150(k)	40 lumens/watt or greater for general lighting in kitchens and rooms with water closets and recessed ceiling fixtures (IC insulation cover) approved.	N/A

TABLE NO. 25-P - NAILING SCHEDULE

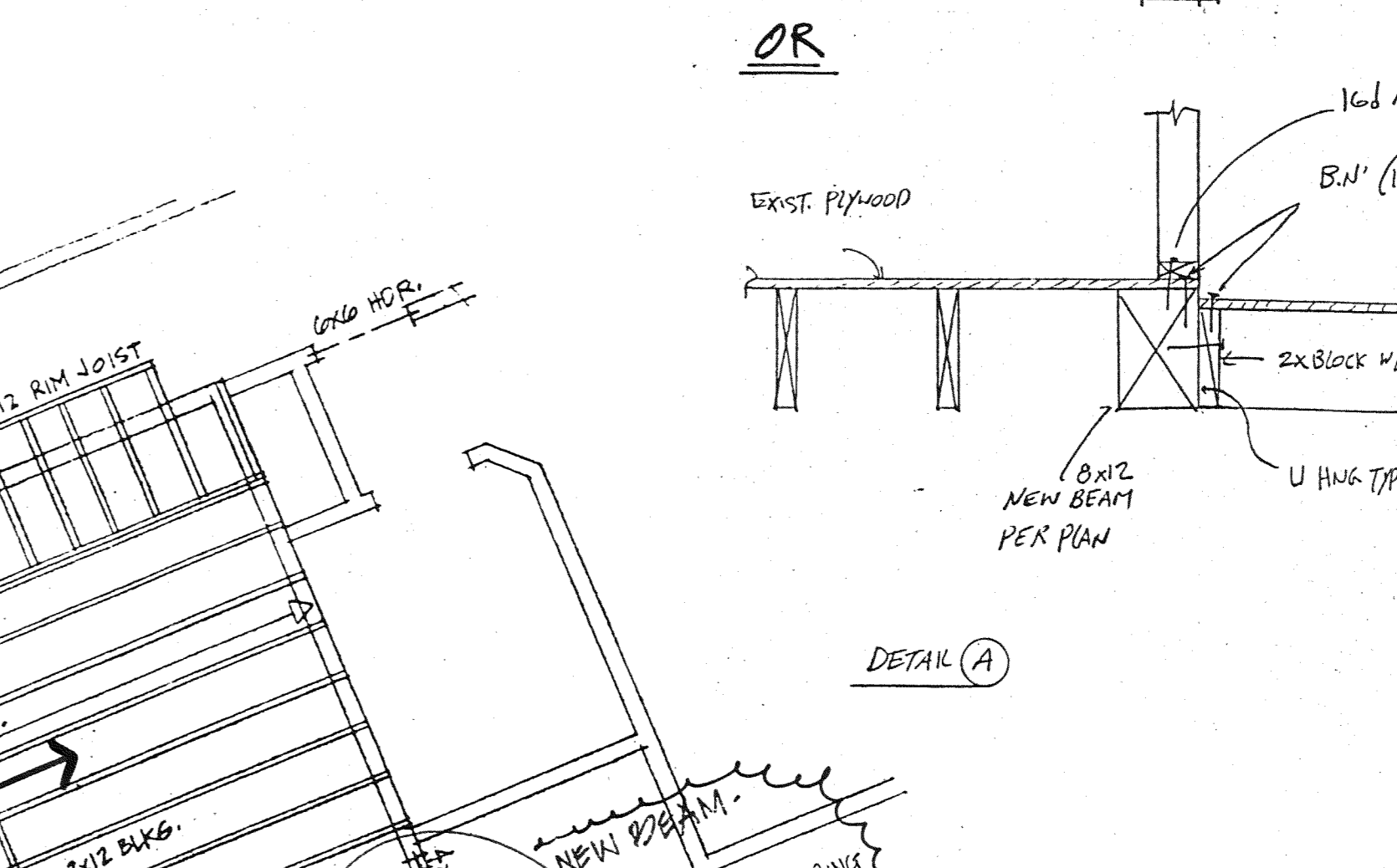
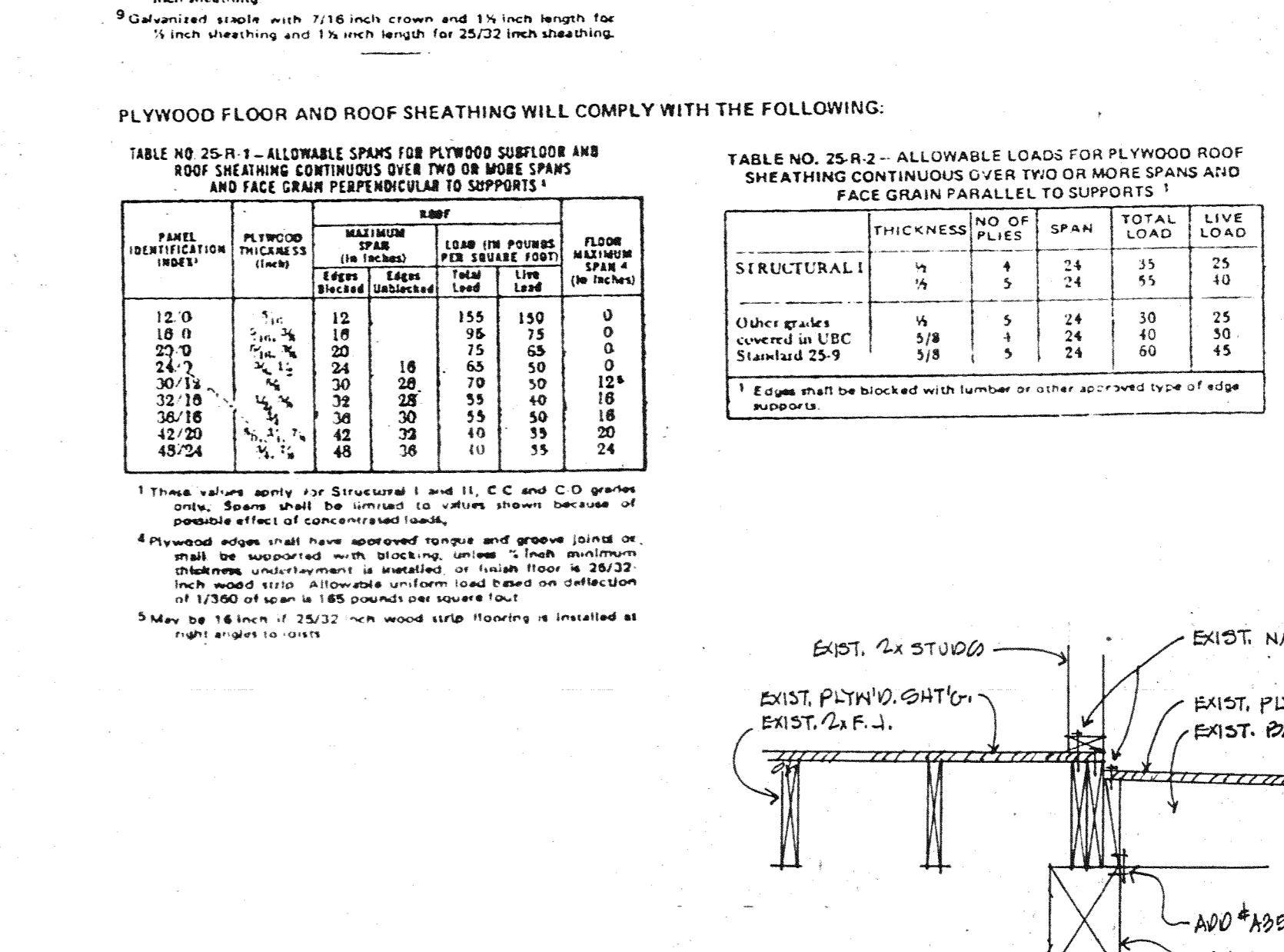
CONNECTION	NAILING
Joint to sill or girder, toe nail	3-8d
Brace to joint, toe nail	2-8d
1" x 6" sillplate or less to each post, face nail	2-8d
2" x 4" sillplate or less to each post, face nail	2-16d
2" x 6" sillplate or less to each post, face nail	2-16d
2" x 8" sillplate or less to each post, face nail	2-16d
2" x 10" sillplate or less to each post, face nail	2-16d
2" x 12" sillplate or less to each post, face nail	2-16d
2" x 14" sillplate or less to each post, face nail	2-16d
2" x 16" sillplate or less to each post, face nail	2-16d
2" x 18" sillplate or less to each post, face nail	2-16d
2" x 20" sillplate or less to each post, face nail	2-16d
2" x 22" sillplate or less to each post, face nail	2-16d
2" x 24" sillplate or less to each post, face nail	2-16d
2" x 26" sillplate or less to each post, face nail	2-16d
2" x 28" sillplate or less to each post, face nail	2-16d
2" x 30" sillplate or less to each post, face nail	2-16d
2" x 32" sillplate or less to each post, face nail	2-16d
2" x 34" sillplate or less to each post, face nail	2-16d
2" x 36" sillplate or less to each post, face nail	2-16d
2" x 38" sillplate or less to each post, face nail	2-16d
2" x 40" sillplate or less to each post, face nail	2-16d
2" x 42" sillplate or less to each post, face nail	2-16d
2" x 44" sillplate or less to each post, face nail	2-16d
2" x 46" sillplate or less to each post, face nail	2-16d
2" x 48" sillplate or less to each post, face nail	2-16d
2" x 50" sillplate or less to each post, face nail	2-16d
2" x 52" sillplate or less to each post, face nail	2-16d
2" x 54" sillplate or less to each post, face nail	2-16d
2" x 56" sillplate or less to each post, face nail	2-16d
2" x 58" sillplate or less to each post, face nail	2-16d
2" x 60" sillplate or less to each post, face nail	2-16d
2" x 62" sillplate or less to each post, face nail	2-16d
2" x 64" sillplate or less to each post, face nail	2-16d
2" x 66" sillplate or less to each post, face nail	2-16d
2" x 68" sillplate or less to each post, face nail	2-16d
2" x 70" sillplate or less to each post, face nail	2-16d
2" x 72" sillplate or less to each post, face nail	2-16d
2" x 74" sillplate or less to each post, face nail	2-16d
2" x 76" sillplate or less to each post, face nail	2-16d
2" x 78" sillplate or less to each post, face nail	2-16d
2" x 80" sillplate or less to each post, face nail	2-16d
2" x 82" sillplate or less to each post, face nail	2-16d
2" x 84" sillplate or less to each post, face nail	2-16d
2" x 86" sillplate or less to each post, face nail	2-16d
2" x 88" sillplate or less to each post, face nail	2-16d
2" x 90" sillplate or less to each post, face nail	2-16d
2" x 92" sillplate or less to each post, face nail	2-16d
2" x 94" sillplate or less to each post, face nail	2-16d
2" x 96" sillplate or less to each post, face nail	2-16d
2" x 98" sillplate or less to each post, face nail	2-16d
2" x 100" sillplate or less to each post, face nail	2-16d

TABLE NO. 25-R - ALLOWABLE LOADS FOR PLYWOOD ROOF SHEATHING

THICKNESS	NO. OF PLIES	SPAN	TOTAL LOAD	LIVE LOAD
5/8"	4	24	35	20
5/8"	5	24	45	30
5/8"	5	24	30	15
5/8"	5	24	40	20
5/8"	5	24	50	30

TABLE NO. 25-S - ALLOWABLE LOADS FOR PLYWOOD ROOF SHEATHING CONTINUOUS OVER TWO OR MORE SPANS

THICKNESS	NO. OF PLIES	SPAN	TOTAL LOAD	LIVE LOAD
5/8"	4	24	35	20
5/8"	5	24	45	30
5/8"	5	24	30	15
5/8"	5	24	40	20
5/8"	5	24	50	30



FENDER DESIGN GROUP

12251 HOLLYWOOD CT. #209
LA. VILLA, CA. 91097
619-455-9130

JOB NO. 0413
DATE: / /
SHEET: 22

ALTERATION ONLY
Roy B. Blackford - Architect
Architecture and Land Planning
2042 Harding St., Carlsbad, CA 92008
Tel. 760 729-0553 Fax 760 729-4149

PROPOSED ALTERATION
Mr. & Mrs. Kenneth Altschuler
17432 Calle Mayor
Fairbanks Ranch, CA 92007

ORIGINAL CONSTRUCTION DRAWINGS BY:

JOB NO. 0413
DATE: / /
SHEET: 22

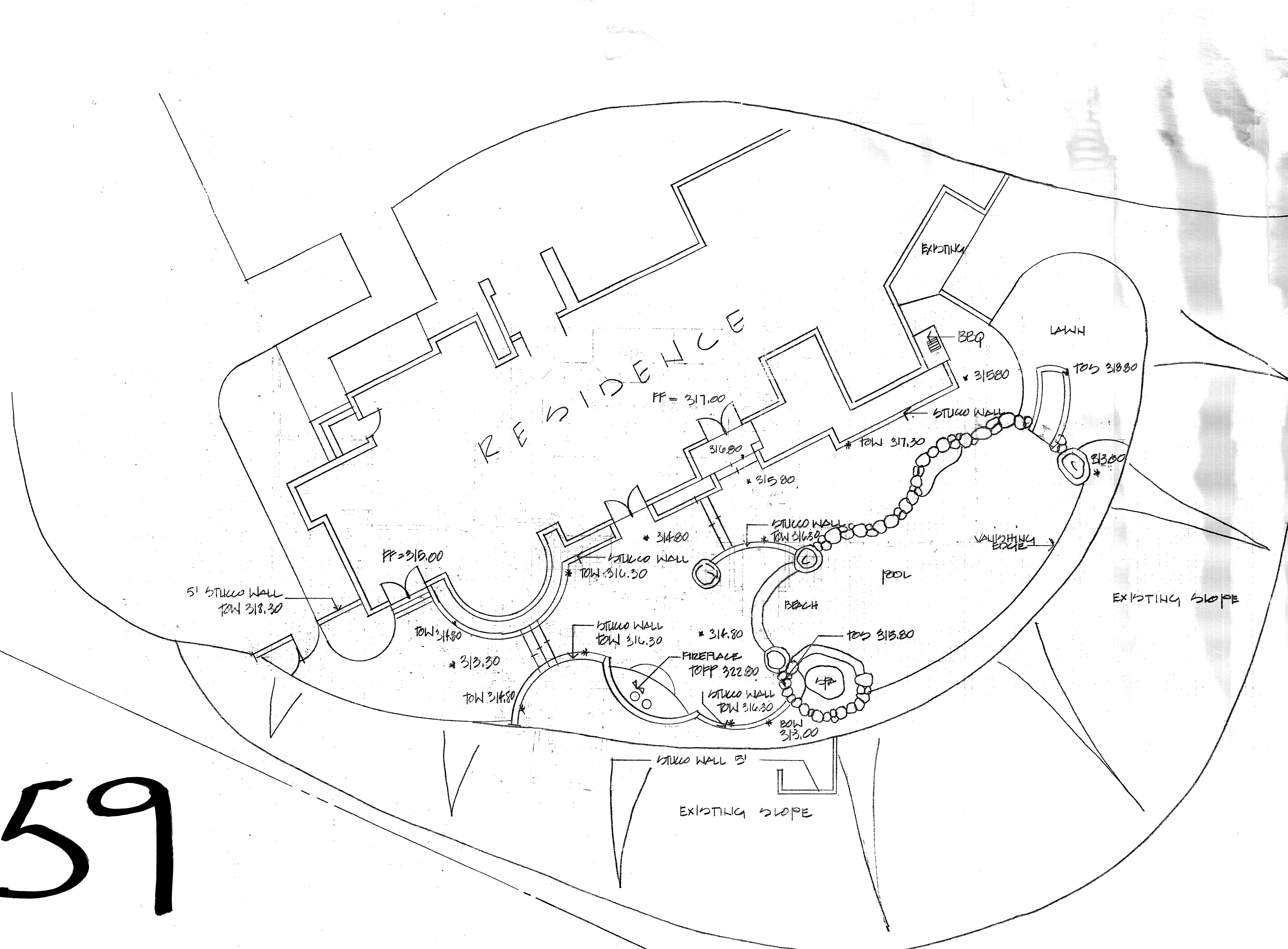


ARCHITECTURAL SECOND FLOOR PLAN
 1/4" = 1'-0"

FENDER DESIGN GROUP
 1221 HOLLYWOOD BL. #100
 LOS ANGELES, CA 90028
 TEL: 213-475-1100
 FAX: 213-475-1101
 WWW.FENDERDESIGN.COM

JOB NO. 649
 DATE:
 R202
 GHDBT:
6
 0"

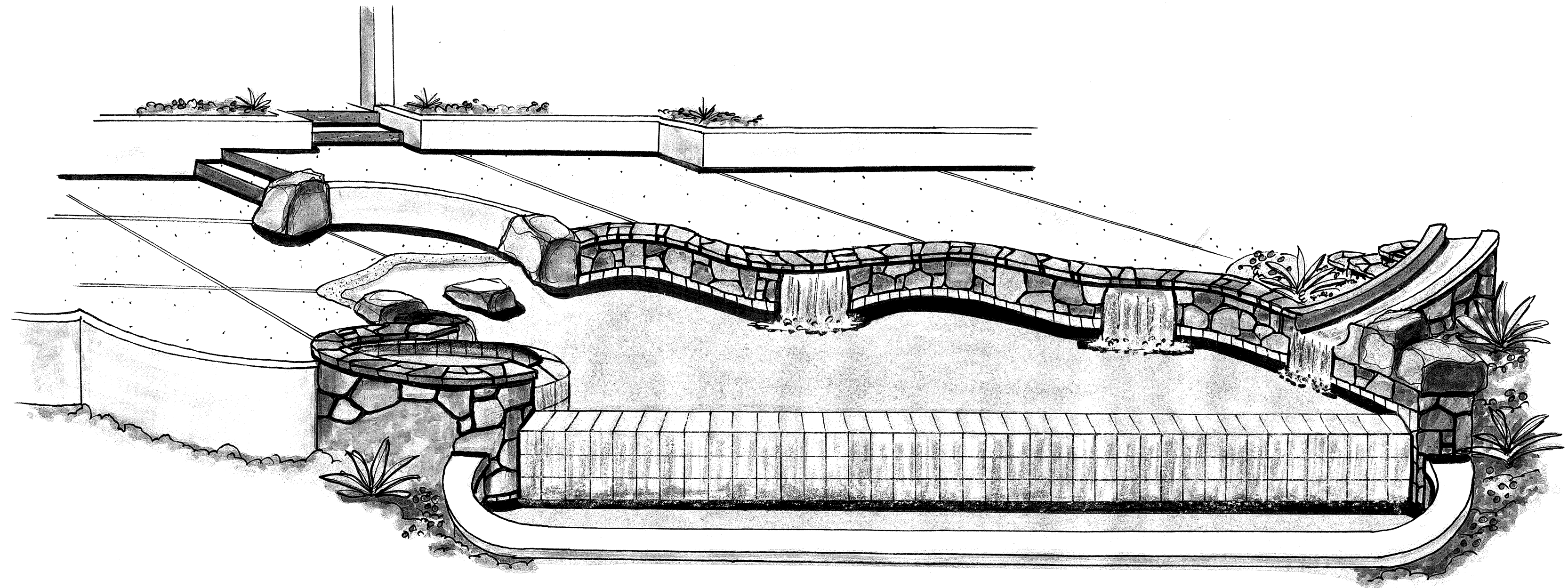
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359



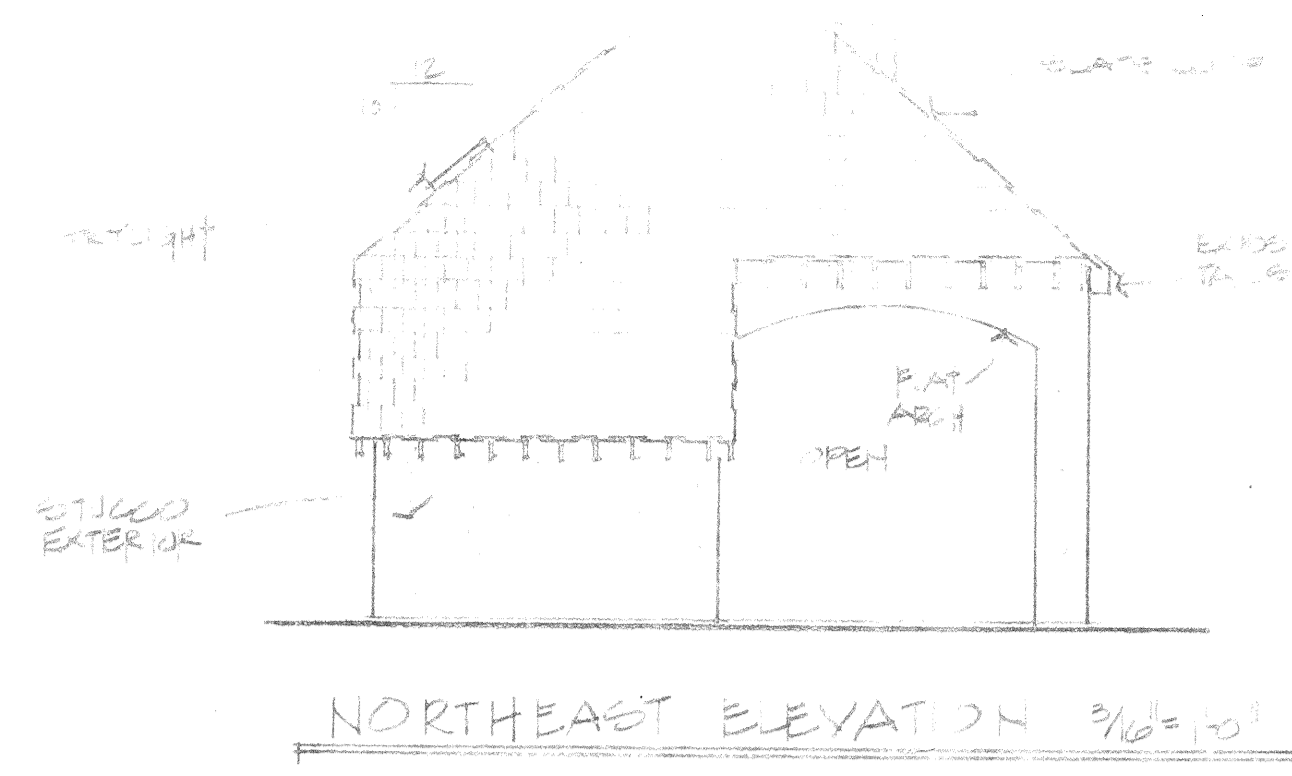
LOT # 359
FAIRBANKS RANCH

GRADING PLAN
SCALE 1/8"

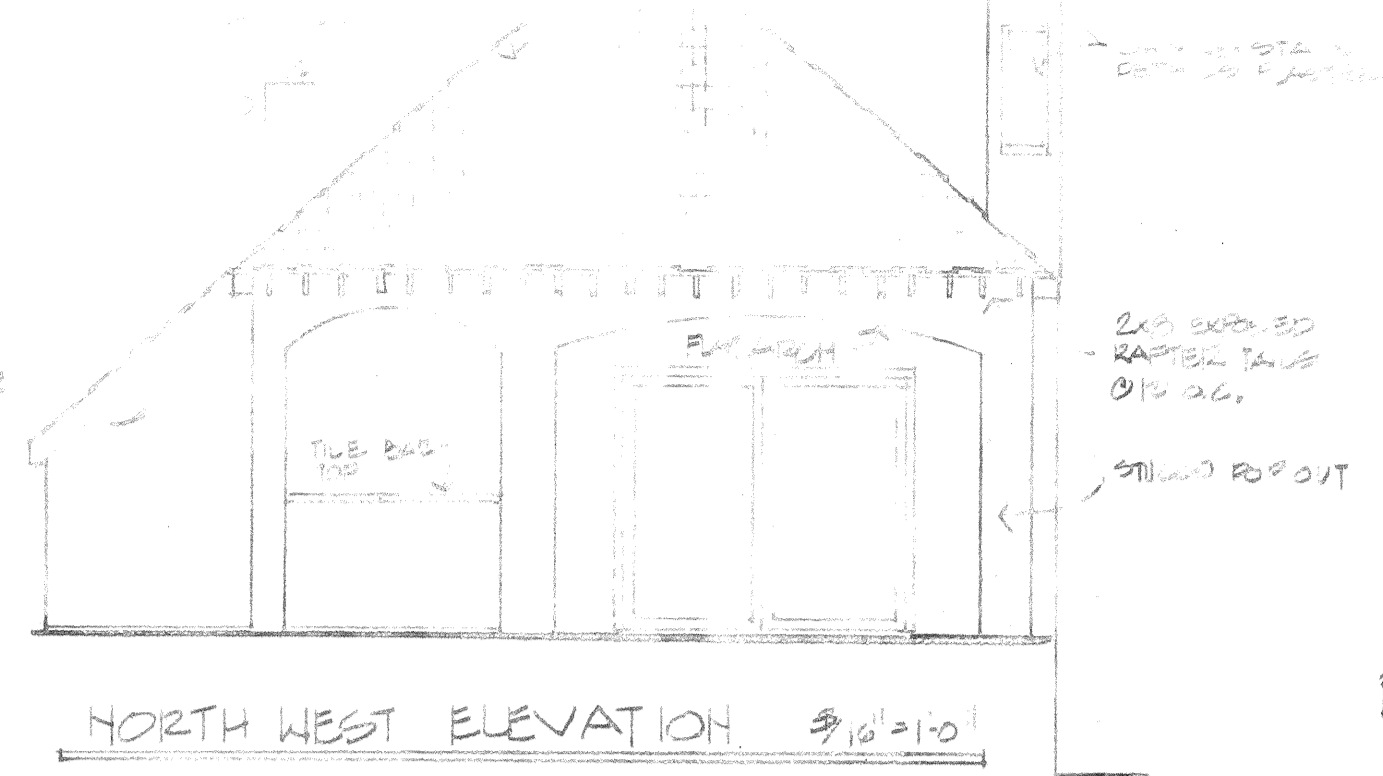
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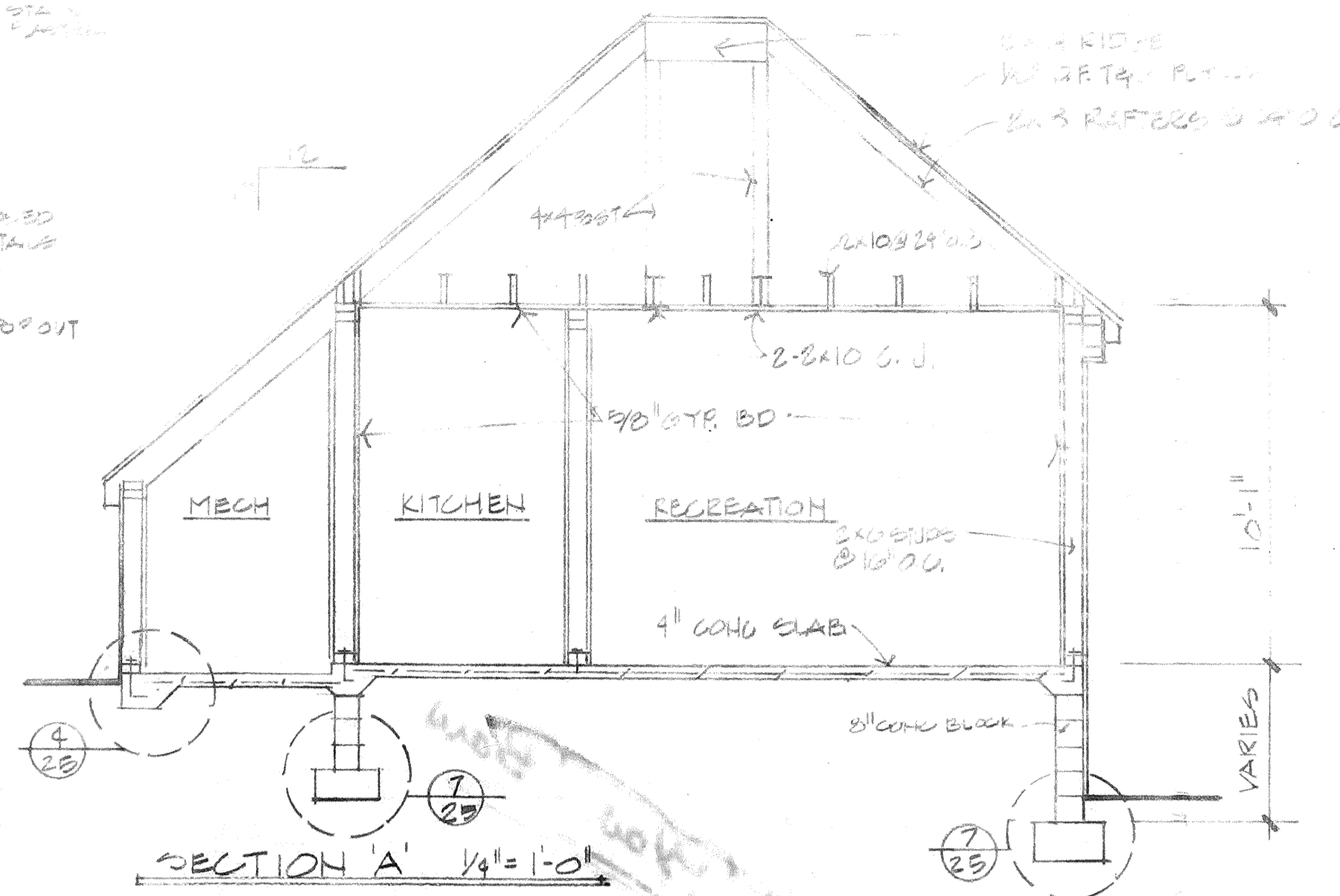
359



NORTHEAST ELEVATION 3/16" = 1'-0"



NORTH WEST ELEVATION 3/16" = 1'-0"

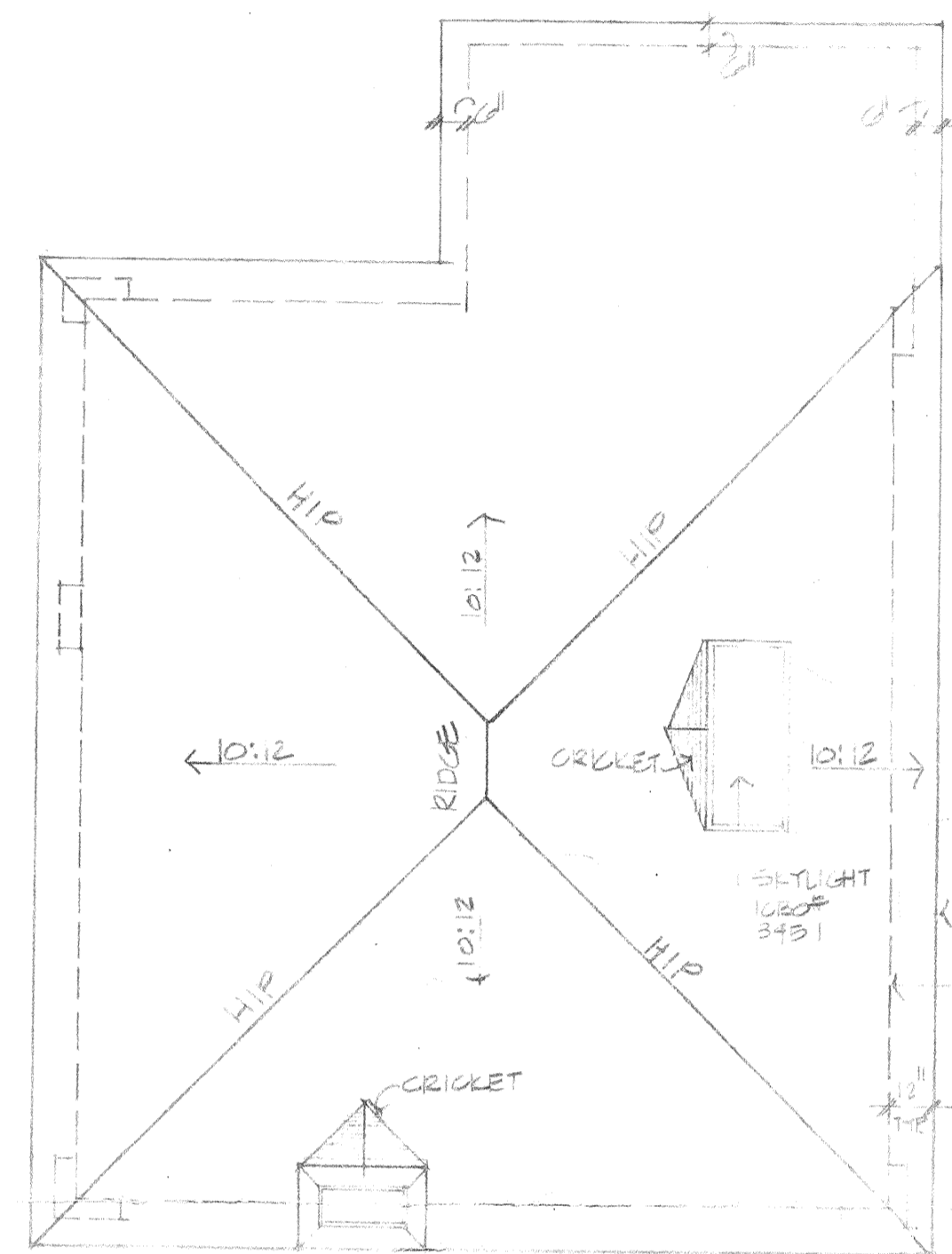


SECTION A' 1/4" = 1'-0"

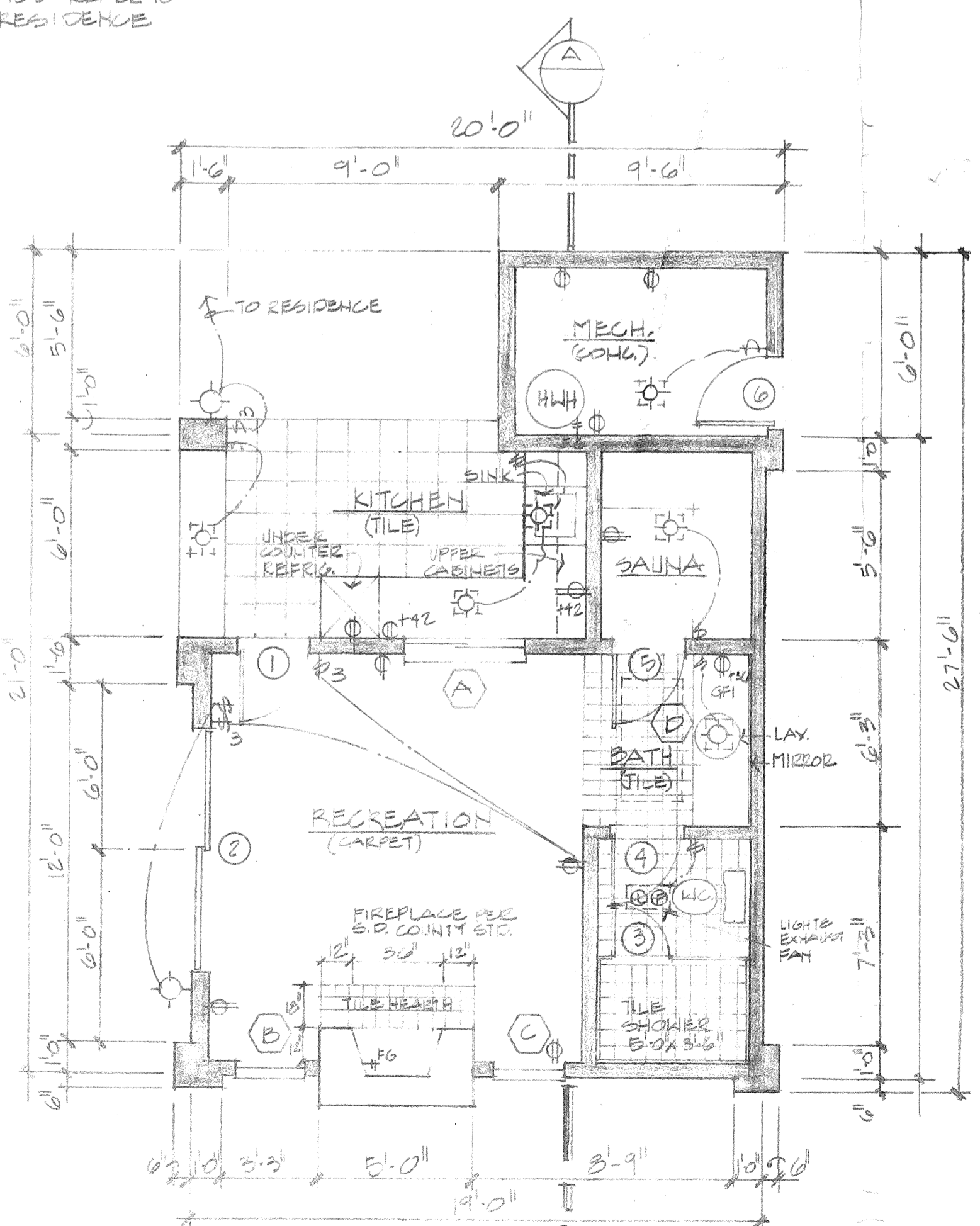
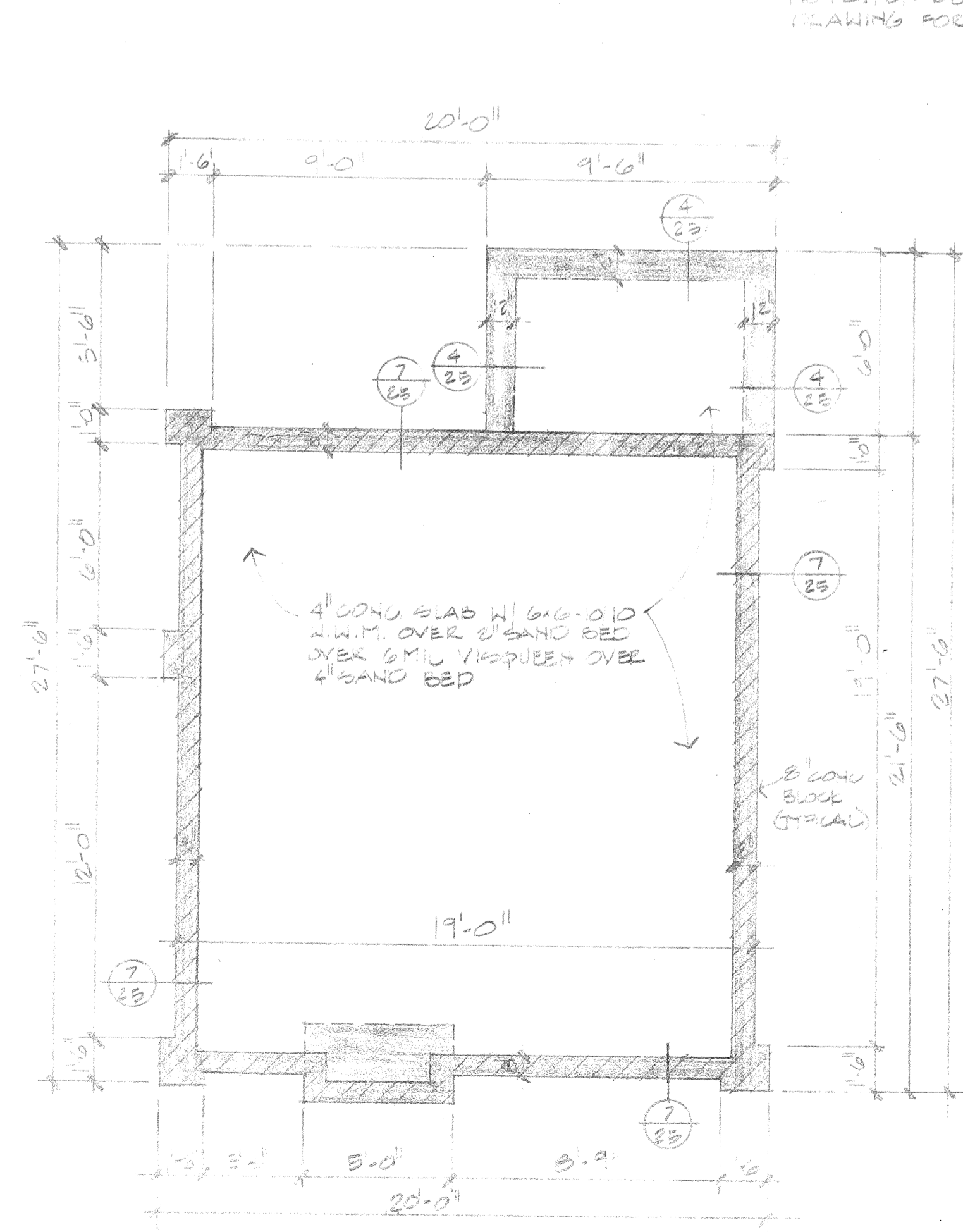
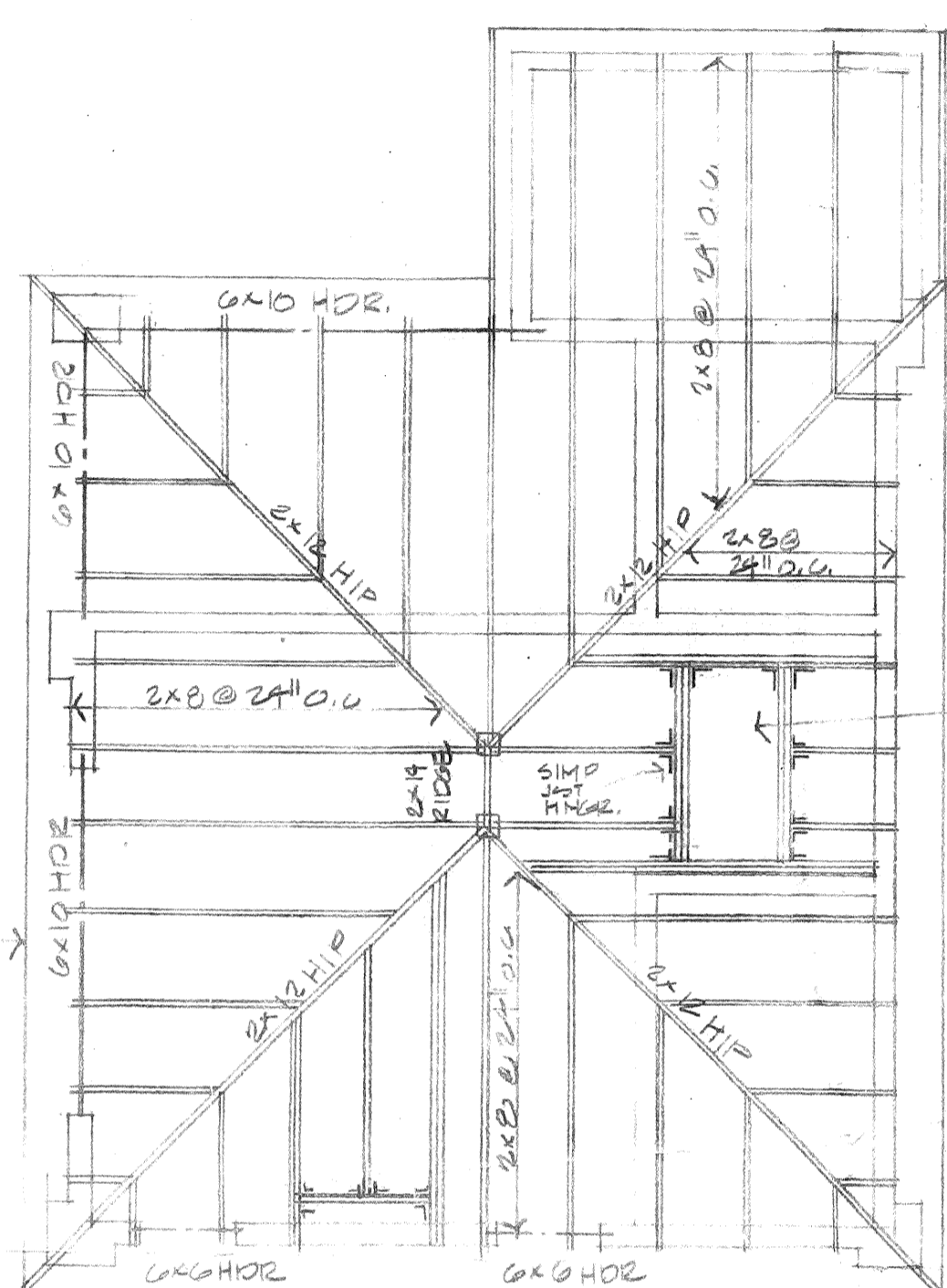
WINDOW SCHEDULE

1	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"
2	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"
3	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"
4	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"
5	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"
6	2'-0" x 6'-0"	DOUBLE GLAZED	WOOD	6'-0"	6'-0"

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NOTE: FOR DETAILS REFER TO DRAWING FOR RESIDENCE



17432 CALLE MAYOR

SITE PLAN

DATE _____

PROJECT _____