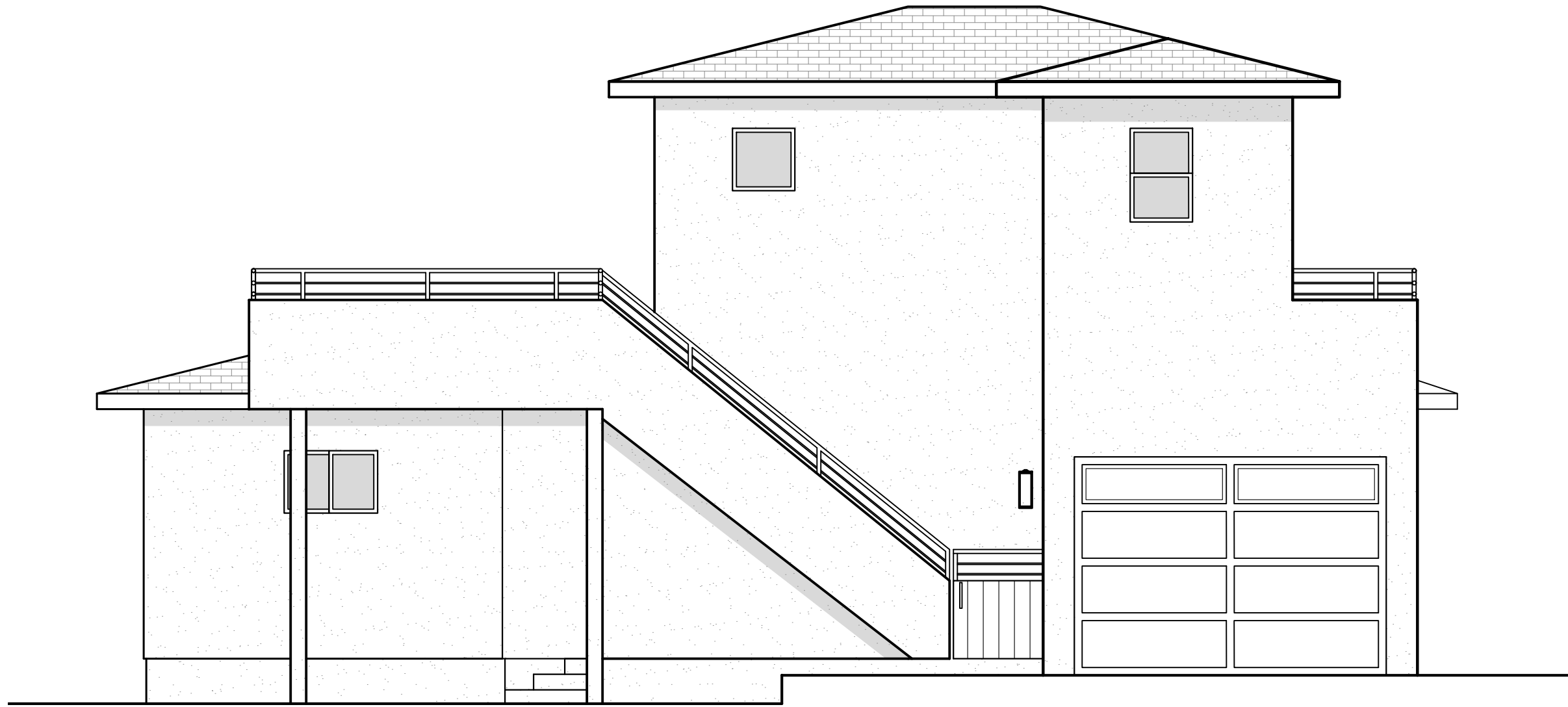




KANCYLARYSTA REMODEL + ADU

1221 4TH STREET
CORONADO, CA 92118

DEFERRED SUBMITTALS

– NO DEFERRED SUBMITTALS

PROJECT DESCRIPTION:

THE PROJECT CONSISTS OF THE INTERIOR REMODEL AND ADDITION OF BEDROOM AND JADU ON THE FIRST LEVEL AND AN ADU AND A NEW DECK ON THE SECOND LEVEL.

PROJECT OWNER:
RICHARD KANCYLARYSTA
1221 4TH STREET
CORONADO, CALIFORNIA

TYPE OF CONSTRUCTION:
TYPE V-B NON-SPRINKLERED EXISTING
TYPE V-B NON-SPRINKLERED PROPOSED

ASSESSOR'S PARCEL NUMBER:
536-232-14-00

PROJECT SQUARE FOOTAGE:
EXISTING HOUSE = 899.0 SF
EXISTING GARAGE = 277.6 SF
TOTAL = 1176.6 SF

LEGAL DESCRIPTION:
BLK 144 LOTS 1&2 TR 000376

ZONE:
R-1B

PROPOSED FIRST FLOOR:
RESIDENCE = 981.7 SF
JADU = 203.5 SF
TOTAL = 1184.5 SF

OVERLAY ZONES:
N/A

GARAGE = 227.5 SF
TOTAL = 1412.7 SF

LOT SIZE:
3000.6 SF/.068 ACRE

SECOND FLOOR:
ADU = 345.3 SF
TOTAL = 1758.0 SF

EXISTING USE:
SINGLE-FAMILY RESIDENCE

FLOOR AREA RATIO:
ALLOWABLE F.A.R. (0.607) = 0.607 x 1176.6 SF
= 1821 SF

PROPOSED USE:
RESIDENTIAL

ALLOWABLE F.A.R. PER CMC 86.50.105
150% x 1176.6 SF
= 1765 SF

OCCUPANCY:
R-3U EXISTING
R-3U PROPOSED

TOTAL PROPOSED F.A.R.
1758 SF < 1765 SF OK.

NUMBER OF STORIES:
ONE-STORY EXISTING
TWO-STORY PROPOSED

LOT COVERAGE:
PER CMC 86.10.100
50% X 3000.6 = 1500.3 SF

HEIGHT:
13'-10" EXISTING
22'-8" PROPOSED

TOTAL PROPOSED LOT COVERAGE:
1412.7 SF < 1500.3 SF OK.

GROSS FLOOR AREA:
FIRST FLOOR = 1412.7 SF
SECOND FLOOR = 345.3 SF
345.3 SF < 1412.7 SF OK.

ALL WORK SHALL COMPLY WITH THE FOLLOW APPLICABLE CODES:
CALIFORNIA RESIDENTIAL CODE, 2022 EDITION
CALIFORNIA PLUMBING CODE, 2022 EDITION
CALIFORNIA MECHANICAL CODE, 2022 EDITION
CALIFORNIA ELECTRICAL CODE, 2022 EDITION
CALIFORNIA FIRE CODE, 2022 EDITION
TITLE 24 ENERGY STANDARDS, 2022 EDITION
IN THE EVENT OF CONFLICT, THE MOST RESTRICTIVE CODE SHALL PREVAIL

PARKING REQUIREMENTS:
PER CMC 86.58.030 AND 86.56.105
COVERED AND ENCLOSED 1
OPEN AND UNENCLOSED 2
TOTAL 3

PROJECT INFORMATION

PROJECT ARCHITECT:
DI DONATO ASSOCIATES
3939 FIRST AVENUE
SUITE 100
SAN DIEGO, CA 92103
619.299.4210 PHONE
619.299.4250 FAX

STRUCTURAL ENGINEER:
LOVELACE ENGINEERING
10509 VISTA SORRENTO PARKWAY
SUITE 102
SAN DIEGO, CA 92121
858.535.9111 PHONE

PROJECT PARTICIPANTS

SHEET INDEX

SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE, WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL."

COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2022 ENERGY EFFICIENCY STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CF1R, CF2R, AND CF3R FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER

THIS PROJECT WILL BE IN COMPLIANCE WITH THE CURRENT EDITIONS OF NFPA, CFC TITLE 19 AND LOCAL CITY MUNICIPAL CODES

NOTES

A/C	AIR CONDITIONING	S	SCHED	SOUTH
ADJ.	ADJUSTABLE	SHT	SCHEDULE	SHEET
AFF	ABOVE FINISH FLOOR	SIM.	SIMILAR	SPECIFICATION
APPROX.	APPROXIMATELY AMERICAN	SQ	SQUARE	SQUARE
ASTM	SOCIETY FOR TESTING AND MATERIALS	SS	STAINLESS STEEL	STEEL
AWG	AMERICAN WIRE GAUGE	STL	STRUCTURAL	SUSPENDED
BLDG.	BUILDING	S.V.	SHEET VINYL	
BLK.	BLOCK			
B/S	BUILDING STANDARD			
CBC	CALIFORNIA BUILDING CODE	THRU	THROUGH	
CLG	CEILING	TNND	TINNED	
CLR.	CLEAR	T.O.C.	TOP OF CONCRETE	
CONC.	CONCRETE	T.O.M.	TOP OF MASONRY	
CONST.	CONSTRUCTION	TS	TUBE STEEL	
CONT.	CONTINUOUS	TYP.	TYPICAL	
CO.	COMPANY	UL	UNDERWRITERS LAB	
DBL.	DOUBLE	UNO	UNLESS NOTED OTHERWISE	
DIA., Ø	DIAMETER			
DIAG.	DIAGONAL	VERT.	VERTICAL	
DIM.	DIMENSION	VIF	VERIFY IN FIELD	
DN	DOWN	VT	VINYL TILE	
DTL	DETAIL			
DTL DWG.	DRAWING	W	WEST	
E	EAST	W/	WITH	
EA.	EACH	WDW	WINDOW	
EL.	ELEVATION	W/O	WITHOUT	
ELECT.	ELECTRICAL	W.P.	WORKING POINT	
EQ.	EQUAL			
EQUIP.	EQUIPMENT			
E.W.	EACH WAY			
(E)	EXISTING			
EXT.	EXTERIOR			
FIN.	FINISH			
FLUOR.	FLUORESCENT			
FLR	FLOOR			
FT.	FOOT			
GA.	GAUGE			
GALV.	GALVANIZE(D)			
GC	GENERAL CONTRACTOR			
GRND	GROUND			
GWB	GYPSUM WALL BOARD			
HDWD.	HARDWOOD			
HORIZ.	HORIZONTAL			
HR	HOUR			
HT.	HEIGHT			
HVAC	HEATING, VENTING AND AIR CONDITIONING			
I.D.	INSIDE DIA.			
IN.	INCH			
INFO	INFORMATION			
INSUL.	INSULATION			
INT.	INTERIOR			
LB(S)	POUND(S)			
MAX	MAXIMUM			
MECH	MECHANICAL			
MTL	METAL			
MFR.	MANUFACTURER			
MGR	MANAGER			
MIN	MINIMUM			
MISC	MISCELLANEOUS			
N	NORTH			
N/A	NOT APPLICABLE			
NIC	NOT IN CONTRACT			
NTS	NOT TO SCALE			
O/C	ON CENTER			
OD	OUTSIDE DIAMETER			
OPG.	OPENING			
OPP	OPPOSITE			
PLYWD.	PLYWOOD			
PR	PAIR			
PROJ	PROJECT			
PROP	PROPERTY			
PT	PRESSURE TREATED			
REQ'D	REQUIRED			
RM	ROOM			
R.O.	ROUGH OPENING			

ABBREVIATIONS AND SYMBOLS

BUILDING DEPARTMENT/GENERAL NOTES

- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS BEFORE STARTING WORK AND SHALL NOTIFY THE OWNER OF ANY DISCREPANCIES FOUND. DO NOT SCALE DRAWINGS.
- ALL WORK SHALL COMPLY TO THE CALIFORNIA BUILDING CODE, 2022 EDITION.
- THESE PLANS AND ALL WORK SHALL COMPLY WITH THE CALIFORNIA BUILDING STANDARDS CODE FOUND IN STATE OF CALIFORNIA TITLE 24 CCR AS AMENDED AND ADOPTED BY THE COUNTY OF SAN DIEGO.
- CONSTRUCTION LOAD (MATERIAL AND EQUIPMENT) SHALL NOT EXCEED THE DESIGN LIVE LOAD PER SQUARE FOOT. PROVIDE ADEQUATE SHORING AND/OR BRACING WHERE STRUCTURES HAVE NOT ATTAINED DESIGN STRENGTH.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK TO BE DONE THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK.
- THE CONTRACTOR SHALL DETERMINE THE LOCATION OF ALL UTILITY SERVICES IN THE AREA TO BE EXCAVATED (ABOVE AND BELOW GRADE) PRIOR TO COMMENCING THE WORK TO BE DONE.
- SHOULD ANY LOOSE FILL/EXPANSIVE SOIL/GROUND WATER OR OTHER DANGEROUS CONDITIONS BE ENCOUNTERED DURING SITE EXCAVATION THE GENERAL CONTRACTOR, OWNER AND ENGINEER SHALL BE NOTIFIED AND ALL WORK SHALL CEASE IMMEDIATELY.
- THE INSPECTOR WILL RECHECK FOR EXPANSIVE SOILS AND/OR GRADING REQUIREMENTS AT THE FIRST FOUNDATION INSPECTION.
- SMOKE DETECTORS ARE REQUIRED IN EACH SLEEPING ROOM AND IN THE HALLWAY/AREA SERVING EACH SLEEPING AREA. BATTERY OPERATED DETECTORS ARE ACCEPTABLE FOR EXISTING CONSTRUCTION.

CONTRACTOR'S NOTES

- PLEASE RECYCLE DEMOLITION AND CONSTRUCTION WASTE. ASK ABOUT POSSIBLE DUMP SITES.
- CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS.
- TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED AND VISIBLE WHEN THE UNIT IS GLAZED.
- ALL NEW GLAZING (FENESTRATIONS) WILL BE INSTALLED WITH A CERTIFYING LABEL ATTACHED, SHOWING THE U-VALUE.

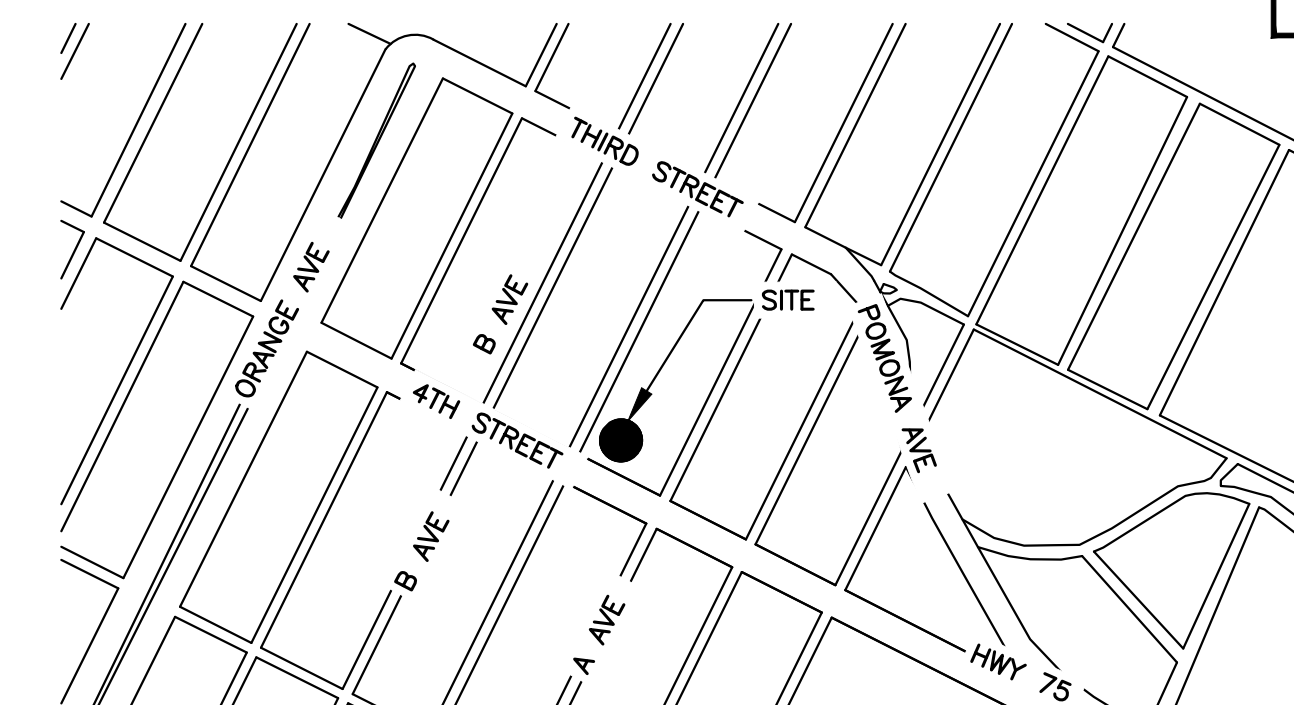
ENVIRONMENTAL HEALTH NOTES

- SEWAGE DISPOSAL SHALL CONFORM TO COUNTY OF SAN DIEGO DEPARTMENT OF PUBLIC HEALTH, DIVISION OF SANITATION REQUIREMENTS AND DETAILS FOR INDIVIDUAL HOMES.
- HOMES ARE LOCATED IN THE "SAN DIEGO" WATER DISTRICT.

PLUMBING NOTES

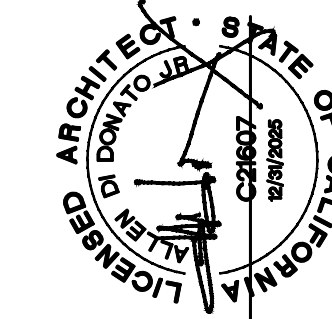
- ALL PLUMBING TO CONFORM TO THE CALIFORNIA PLUMBING CODE AND LOCAL AND OSHA REQUIREMENTS.
- PLUMBING SHOWN IS FOR LOCATION ONLY.
- PLUMBER TO VERIFY LOCATION OF SEWER AND WATER LOCATIONS SHOWN.
- ALL SEWER PIPES SHALL BE 3" MIN. DIAMETER UNDERGROUND AND TOILET; 1 1/2" DIAMETER FOR BASIN, BATH AND VENT PIPES – VERIFY SIZE AND MATERIAL TO COMPLY WITH ALL STATE AND LOCAL CODES.
- ALL HOT AND COLD WATER SUPPLY SHALL BE MIN. 1/2" DIAMETER COPPER OR PEX.
- MATERIAL FOR SANITARY SYSTEMS SHALL BE CAST IRON.

NOTES



VICINITY MAP

ARCHITECT



DI DONATO ASSOCIATES
ARCHITECTURE + GRAPHICS
3939 FIRST AVENUE - SUITE 100 - SAN DIEGO, CA 92103
619.299.4210 • 619.299.4250 FAX • AL@DDAA-ARCH.COM

PROJECT NAME

KANCYLARYSTA REMODEL + ADU

1221 4TH STREET, CORONADO, CA 92118

ISSUES REVISIONS

REV.	DATE	BY	ISSUE DESCRIPTION
00	11-08-2023	ZKB	FOR PLANNING RESUBMITTAL
01	12-05-2023	ZKB	SECOND ROUND PLANNING COMMENTS
02	03-18-2024	ZKB	CITY SUBMITTAL
03	07-25-2024	ZKB	SUBMITTAL PER INTEREST COMMENTS
04	08-26-2024	ZKB	SUBMITTAL PER SECOND INTEREST COMMENTS
05	09-16-2024	ZKB	SUBMITTAL PER THIRD INTEREST COMMENTS

SHEET INFORMATION

DI DONATO ASSOCIATES
ARCHITECTURE + GRAPHICS

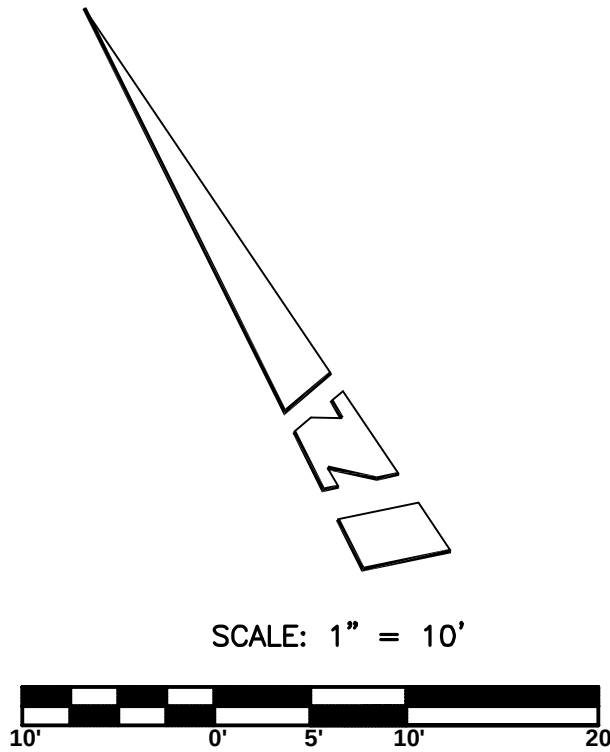
T1.0
TITLE SHEET

2205
PLOT SCALE 1:1 (24x36 D' SIZE)

THESE DESIGNS, DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF DDA AND SHALL NOT BE USED IN CONNECTION WITH ANY OTHER WORK EXCEPT BY AGREEMENT WITH DDA. THERE SHALL BE NO CHANGES OR DEVIATIONS WITHOUT THE CONSENT OF DDA. WRITTEN DIMENSIONS SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE DDA PRIOR TO THE COMMENCEMENT OF ANY WORK.

LEGEND:

- AC ASPHALT CONCRETE
- APX APEX
- BW BACK OF WALK
- DR DOOR
- EOC EDGE OF CONCRETE
- EP EDGE OF PAVEMENT
- FD FOUND
- FF FINISHED FLOOR
- FS FINISHED SURFACE
- FW FRONT OF WALK
- H HEIGHT
- L/T LEAD AND TACK
- LDG LANDING
- LTT LEAD, TACK, AND TAG
- NG NATURAL GROUND
- OH OVERHANG
- STP STEP
- TC TOP OF CURB
- WDF WOOD FENCE
- WHO WEATHER HEAD
- WK WALKWAY
- CL CENTERLINE
- FOUND MONUMENT
- WOOD FENCE



BASIS OF BEARINGS:

ESTABLISHED BY G.P.S. OBSERVATIONS AND PROCESSED TO CALIFORNIA ZONE 6, STATE PLANE GRID COORDINATE SYSTEM OF 1983.

ASSESSOR'S IDENTIFICATION:

SAN DIEGO COUNTY A.P.N. 536-232-14

AREA:

0.66 ACRES PER SAN DIEGO COUNTY ASSESSOR

BENCH MARK REFERENCE:

COORDINATES AND ELEVATIONS ESTABLISHED HEREON USING SURVEY GRADE "LEICA GS14" "GNSS" RECEIVERS CONNECTED TO THE "LEICA SMART NET" REFERENCE NETWORK (GEIOD2012B, EPOCH 2021.750).

DATE OF SURVEY:

NOVEMBER 18, 2021

EASEMENT NOTES:

(PENDING RECEIPT OF TITLE REPORT)

LEGAL DESCRIPTION:

(PENDING RECEIPT OF TITLE REPORT)

PORTIONS OF LOTS 1 AND 2, BLOCK 144 OF CORONADO BEACH ISLAND, IN THE CITY OF CORONADO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, PER MAP NO. 376, IN THE OFFICE OF THE COUNTY RECORDER.

(ESTABLISHED HEREON PER RECORD OF SURVEY MAP No. 22816)

TITLE REPORT IDENTIFICATION:

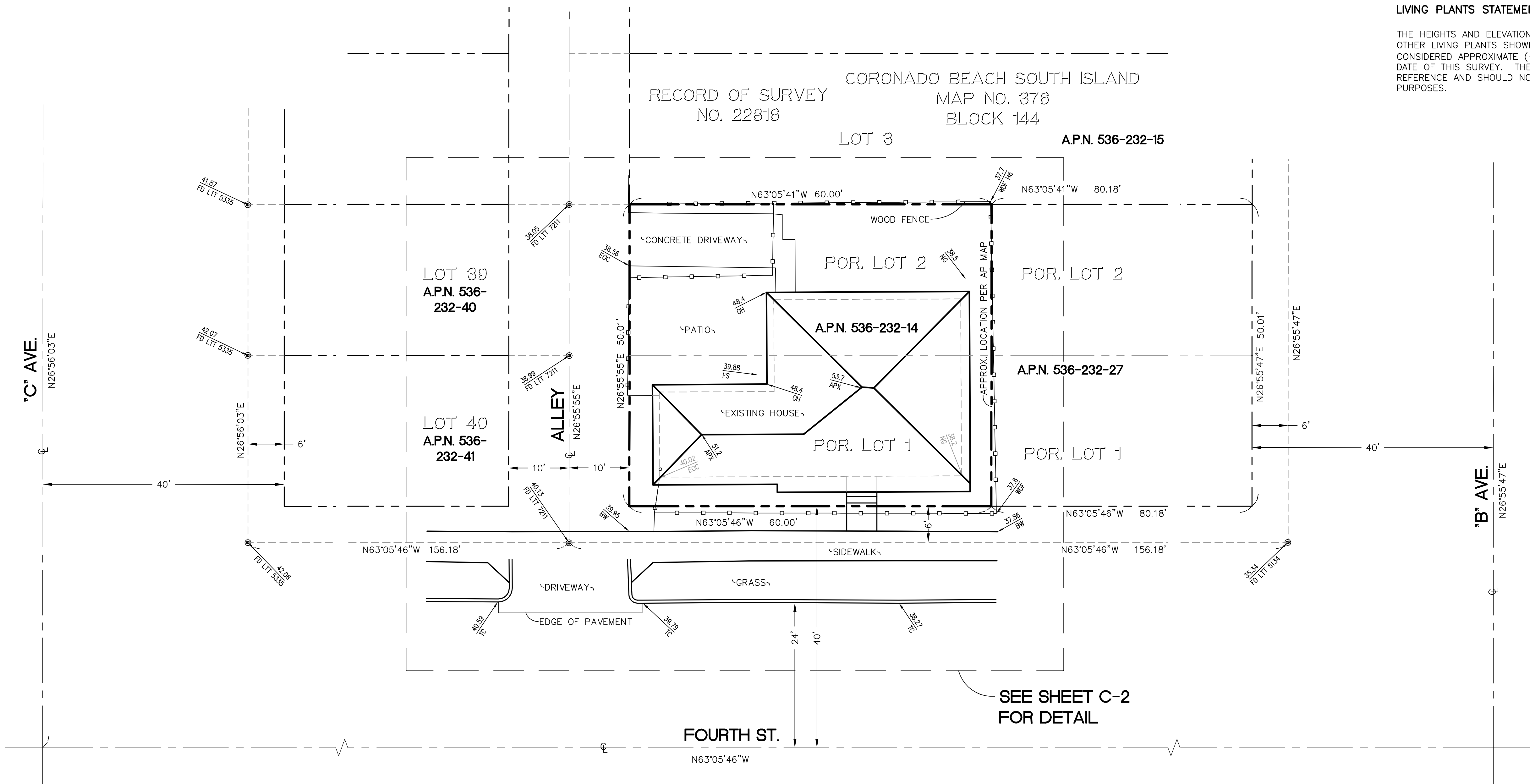
(PENDING RECEIPT OF TITLE REPORT)

SURVEYORS NOTE:

THE PROPERTY LINES SHOWN HEREON DO NOT CONSTITUTE A BOUNDARY SURVEY. THEY HAVE BEEN RETRACED FROM RECORD INFORMATION, THEIR LOCATIONS ARE APPROXIMATE AND ARE SHOWN FOR INFORMATION PURPOSES ONLY.

LIVING PLANTS STATEMENT:

THE HEIGHTS AND ELEVATIONS FOR THE TREES, BUSHES AND OTHER LIVING PLANTS SHOWN HEREON, SHOULD BE CONSIDERED APPROXIMATE (+/-) AND ONLY VALID FOR THE DATE OF THIS SURVEY. THEY ARE PROVIDED AS A GENERAL REFERENCE AND SHOULD NOT BE USED FOR DESIGN PURPOSES.



SEE SHEET C02 FOR SITE DETAILS

EGRESS NOTES

LANDING AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 1–1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING SHALL NOT BE MORE THAN 7–3/4 INCHES BELOW THE TOP OF THE THRESHOLD ON THE EXTERIOR SIDE PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING. R311.3.1

EXTERIOR DOORS OTHER THAN THE REQUIRED EGRESS DOOR SHALL BE PROVIDED WITH LANDINGS NOT MORE THAN 7–½" BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A LANDING IS NOT REQUIRED WHERE A STAIRWAY OF 2 OR FEWER RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THE DOOR DOES NOT SWING OVER THE STAIRWAY. SECTION R311.3.2.

ROOFS AND ATTIC NOTES

THE MINIMUM VENT AREA IS 1/150 OF ATTIC AREA (OR 1/300 OF ATTIC AREA IF AT LEAST 40%, BUT NOT MORE THAN 50%, OF THE REQUIRED VENT IS LOCATED NO MORE THAN 3' BELOW THE RIDGE AND REMAINING VENTS LOCATED AT THE LOWER THIRD OF THE OF THE ATTIC SPACE). SECTION R806.2

WHERE EAVE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING. TO ACCOMMODATE THE THICKNESS OF INSULATION PLUS THE REQUIRED 1" CLEARANCE, MEMBER SIZES MAY HAVE TO BE INCREASED FOR RAFTER–CEILING JOISTS. SECTION R806.3. (IF APPLICABLE)

ATTIC VENTILATION OPENINGS SHALL BE COVERED WITH CORROSION–RESISTANT METAL MESH WITH 1/16" MINIMUM TO ¼" MAXIMUM OPENINGS. SECTION R806.1.

ACCESS MUST BE PROVIDED TO EACH SEPARATED ATTIC AREA (IF OVER 30 SQ. FT.), SHALL BE LOCATED IN A HALLWAY OR OTHER READILY ACCESSIBLE LOCATION AND 30" HEADROOM CLEARANCE IS REQUIRED ABOVE THE OPENING. SECTION R807.1.

DECKS AND BALCONIES NOTES

ENCLOSED FRAMING IN WOOD EXTERIOR BALCONIES AND DECKS SHALL BE PROVIDED WITH OPENINGS THAT PROVIDE A NET FREE CROSS VENTILATION AREA NOT LESS THAN 1/150 OF THE AREA OF EACH SEPARATE SPACE. SECTION R317.1.3

STAIRWAYS, RAILINGS, AND GUARDS NOTES

THE WALLS AND SOFFITS OF THE ENCLOSED USABLE SPACE UNDER STAIRS SHALL BE PROTECTED ON THE ENCLOSED SIDE WITH ½–INCH GYPSUM BOARD. SECTION R302.7.

STAIRWAYS (SECTION R311.7):

- a) MINIMUM HEADROOM IS 6'–8".
- b) MINIMUM WIDTH IS 36"
- c) THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. R 311.7

A NOSING (BETWEEN ¾" AND 1–¼") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTION R311.7.5.3.

GUARDRAILS (SECTION R312):

- a) SHALL NOT BE LESS THAN 42 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE WALKING SURFACE.
- b) GUARDS ON OPEN SIDES OF STAIRS MAY BE 34 INCHES TO 38 INCHES, AS MEASURED FROM THE NOSING, WHERE THE TOP OF THE GUARD SERVES AS THE HANDRAIL.
- c) OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS THAN 6".
- d) ~~SHALL BE DETAILED~~ TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. TABLE R301.5.

MECHANICAL NOTES

THE ACCESS OPENING TO ATTICS MUST BE LARGE ENOUGH TO REMOVE THE LARGEST PIECE OF MECHANICAL EQUIPMENT AND BE SIZED NOT LESS THAN 30" X 22". CMC SECTION 304.4.

PASSAGEWAY TO THE MECHANICAL EQUIPMENT IN THE ATTIC SHALL BE UNOBSTRUCTED, HAVE CONTINUOUS SOLID FLOORING NOT LESS THAN 24 INCHES WIDE, AND BE NOT MORE THAN 20 FEET IN LENGTH FROM THE ACCESS OPENING TO THE APPLIANCE. CMC 304.4.1 AND CMC 304.4.2

THE DRYER EXHAUST DUCT DESIGN FROM THE DRYER TO THE EXTERIOR: THE MAXIMUM LENGTH IS 14 FEET WITH A MAXIMUM OF TWO 90–DEGREE ELBOWS OR PROVIDE THE MANUFACTURER'S DUCT LENGTH SPECIFICATION DESCRIPTION ON THE PLANS [FOR THIS OPTION, INCLUDE THE DRYER SPECIFICATIONS (MANUFACTURER, MODEL, AND FUEL TYPE) AS WELL AS THE DUCT DESCRIPTION (SIZE AND TYPE)]. CMC SECTION 504.4.2.1

PLUMBING NOTES

THE CONTROL VALVES IN SHOWERS, TUB/SHOWERS, BATHTUBS, AND BIDETS MUST BE PRESSURE BALANCED OR THERMOSTATIC MIXING VALVES. CPC SECTIONS 408, 409, 410.

NEW WATER CLOSETS SHALL USE NO MORE THAN 1.28 GALLONS OF WATER PER FLUSH, KITCHEN FAUCETS MAY NOT EXCEED 1.8 GPM, LAVATORIES ARE LIMITED TO 1.2 GPM, AND SHOWERHEADS MAY NOT EXCEED 1.8 GPM OF FLOW. CPC SECTIONS 407, 408, 411, 412.

FOR ADDITIONS OR IMPROVEMENTS TO A RESIDENCE BUILT BEFORE 1994

EXISTING 'NONCOMPLIANT' FIXTURES (TOILETS THAT USE MORE THAN 1.6 GALLONS OF WATER PER FLUSH, URINALS THAT USE MORE THAN ONE GALLON OF WATER PER FLUSH, SHOWERHEADS THAT HAVE A FLOW CAPACITY OF MORE THAN 2.5 GALLONS OF WATER PER MINUTE, AND INTERIOR FAUCETS THAT EMIT MORE THAN 2.2 GALLONS OF WATER PER MINUTE) SHALL BE REPLACED. CERTIFICATION OF COMPLIANCE SHALL BE GIVEN TO THE BUILDING INSPECTOR PRIOR TO FINAL PERMIT APPROVAL. CALIFORNIA SB407.

FIXTURE FLOW RATES:

FIXTURE TYPES	MAXIMUM FLOW RATE
WATER CLOSETS	1.28 gallons/flush
SHOWERHEADS	1.8 gpm @80 psi
LAVATORY FAUCETS	1.2 gpm @60 psi
KITCHEN FAUCETS	1.8 gpm @60 psi

LAVATORY FAUCETS SHALL NOT HAVE A FLOW RATE LESS THAN 0.8 GPM AT 20 PSI

ELECTRICAL NOTES

- a) ~~TAMPER RESISTANT RECEPTACLES~~ FOR ALL LOCATIONS DESCRIBED IN 210.52 AND 550.13.(I.E. ALL RECEPTACLES IN A DWELLING).
- b) ~~WEATHER RESISTANT TYPE~~ FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE). 406.4(D)(6).
- c) ~~ARC–FAULT PROTECTION FOR ALL OUTLETS~~ (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(A): KITCHENS, LAUNDRY AREAS, FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.

ELECTRICAL NOTES CONTINUED

WHEN MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.

SUCH SMOKE ALARM LOCATIONS SHALL COMPLY WITH THE FOLLOWING:

- i) THEY SHALL BE NOT LESS THAN 3' FROM THE DOOR OPENING OF A BATHROOM.
- ii) THEY SHALL BE AT LEAST 20' FROM A COOKING APPLIANCE.
- iii) THEY SHALL BE AT LEAST 3' FROM SUPPLY REGISTERS OF HEATING/COOLING SYSTEMS.
- iv) THEY SHALL BE AT LEAST 3' FROM THE TIP OF THE BLADE OF A CEILING–MOUNTED FAN.

WHEN MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED TO BE INSTALLED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE UNIT.

RECEPTACLE OUTLET LOCATIONS WILL COMPLY WITH CEC ARTICLE 210.52.

IN KITCHENS, A RECEPTACLE OUTLET SHALL BE INSTALLED AT EACH COUNTER SPACE 12 INCHES OR WIDER;

RECEPTACLES SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24 INCHES (COUNTERTOP SPACES SEPARATED BY RANGE TOPS, REFRIGERATORS, OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTERTOP SPACES). IDENTIFY RECEPTACLES WITH AFCI AND GFCI PROTECTION, AS APPLICABLE. CEC 210.52(C).

A 240V 30A DRYER RECEPTACLE SHALL BE PROVIDED WITH GFCI PROTECTION, PER CEC 210.8(A).

PER CEC 210.11(C)1 THERE WILL BE A MINIMUM OF 2 SMALL APPLIANCE BRANCH CIRCUITS WITHIN THE LOCATIONS SPECIFIED IN ARTICLE 210.52(B)

PER CEC ARTICLE 210.11(C)3, NOTE ON THE PLANS THAT BATHROOM CIRCUITING SHALL BE:

- a) A 20–AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR
- AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS

THE READILY ACCESSIBLE OUTDOOR SERVICE DISCONNECTING MEANS SHALL BE CLEARLY LABELED 'EMERGENCY DISCONNECT' OR 'SERVICE DISCONNECT', IN COMPLIANCE WITH CEC 230.85

ALL INSTALLED LUMINAIRES SHALL BE HIGH–EFFICACY IN ACCORDANCE WITH ES TABLE 150.0–A.

- a) LUMINARIES MUST HAVE A LABEL CERTIFIED FOR AIRTIGHT CONSTRUCTION.
- b) LIGHT SOURCES THAT ARE NOT MARKED 'JA8–E' SHALL NOT BE INSTALLED IN ENCLOSED LUMINAIRES. ES 150.0(K).

IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS AT LEAST ONE LUMINAIRE SHALL BE CONTROLLED BY A VACANCY SENSOR.

DIMMERS OR VACANCY SENSORS SHALL CONTROL ALL LED STYLE LUMINAIRES. TWO EXCEPTIONS: FIXTURES INSTALLED IN HALLWAYS OR (CLOSETS UNDER 70 SQUARE FEET).

RECESSED CAN LIGHT FIXTURES SHALL BE IC LISTED, AIR–TIGHT LABELED, AND NOT BE EQUIPPED WITH A STANDARD MEDIUM BASE SCREW SHELL LAMP HOLDER. ES 150.0(K).

SFD OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICACY, BE MANUALLY ON/OFF SWITCH CONTROLLED, AND HAVE BOTH MOTION SENSOR AND PHOTOCELL CONTROL. SEE ES 150.0(K) 3 FOR ADDITIONAL CONTROL OPTIONS.

ENERGY CONSERVATION NOTES

ELECTRICAL VEHICLE SUPPLY EQUIPMENT (EVSE) ROUGH–IN ONLY IS REQUIRED IN ONE– AND TWO–FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. THE EVSE ROUGH–IN CONSISTS OF A MINIMUM 1" CONDUIT EXTENDING FROM THE MAIN PANEL TO A JUNCTION BOX WHERE THE EVSE RECEPTACLE BOX WILL BE PROVIDED. THE MAIN SERVICE PANEL MUST BE SIZED TO ACCOMMODATE A FUTURE 208/240 VOLT 40 AMPERE (MINIMUM) DEDICATED BRANCH CIRCUIT. CALIFORNIA GREEN CODE 4.106.4.

RESIDENTIAL GREEN BUILDING STANDARDS NOTES

ELECTRICAL VEHICLE SUPPLYEQUIPMENT (EVSE) IS REQUIRED IN NEW ONE– AND TWO–FAMILY DWELLINGS AND TOWNHOMES WITH ATTACHED GARAGES. INCLUDE THE FOLLOWING INFORMATION ON THE PLANS: A MINIMUM SIZE 1" CONDUIT ORIGINATING FROM A PANEL OR SERVICE HAVING A SPARE 40 AMPERE 240–VOLT CAPACITY TERMINATING IN A BOX LOCATED IN CLOSE PROXIMITY TO THE LOCATION OF THE FUTURE EV CHARGER. CGC 4.106.4.

EXCEPTION: A RACEWAY IS NOT REQUIRED IF A MINIMUM 40–AMPERE 208/240–VOLT DEDICATED EV BRANCH CIRCUIT IS INSTALLED IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF AN EV CHARGER AT THE TIME OF ORIGINAL CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE.

WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF FLOW TO ALL THE HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. CGC SECTION 4.303.1.3.2.

LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL–BASED CONTROLLERS. CGC SECTION 4.304.1.

MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. CGC SECTION 4.408.1.

CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, PER CGC SECTION 4.408.2.

THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. CGC SECTION 4.410.1.

DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. CGC SECTION 4.504.1.

VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. CGC SECTION 4.504.2.

CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. CGC SECTION 4.505.2.1.

MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC SECTION 4.505.3.

BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. CGC 4.506.1.

HEATING AND AIR–CONDITIONING SYSTEM DESIGN. HEATING AND AIR CONDITIONING SYSTEMS SHALL BE SIZED, DESIGNED AND HAVE THEIR EQUIPMENT SELECTED USING THE FOLLOWING METHODS: (SUPPORT DOCUMENTATION REQUIRED AT APPLICATION SUBMITTAL) 4.507.2.

- a) ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA MANUAL J–2016, ASHRAE HANDBOOKS OR OTHER EQUIVALENT METHODS.
- b) SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D – 2016, ASHRAE HANDBOOKS OR OTHER EQUIVALENT METHODS.
- c) SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S – 2014 OR OTHER EQUIVALENT METHODS.

EXCEPTION: USE OF ALTERNATE DESIGN TEMPERATURES NECESSARY TO ENSURE THE SYSTEMS FUNCTION ARE ACCEPTABLE.

PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. CGC 102.3.

CITY OF CORONADO SPECIAL CODE REQUIREMENTS - RESIDENTIAL

CONTRACTOR SHALL COMPLY WITH ALL OSHA REQUIREMENTS.

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PROJECT NAME

KANCYLARYSTA REMODEL + ADU
1221 4TH STREET, CORONADO, CA 92118

ISSUES REVISIONS

REV.	DATE	BY	ISSUE DESCRIPTION
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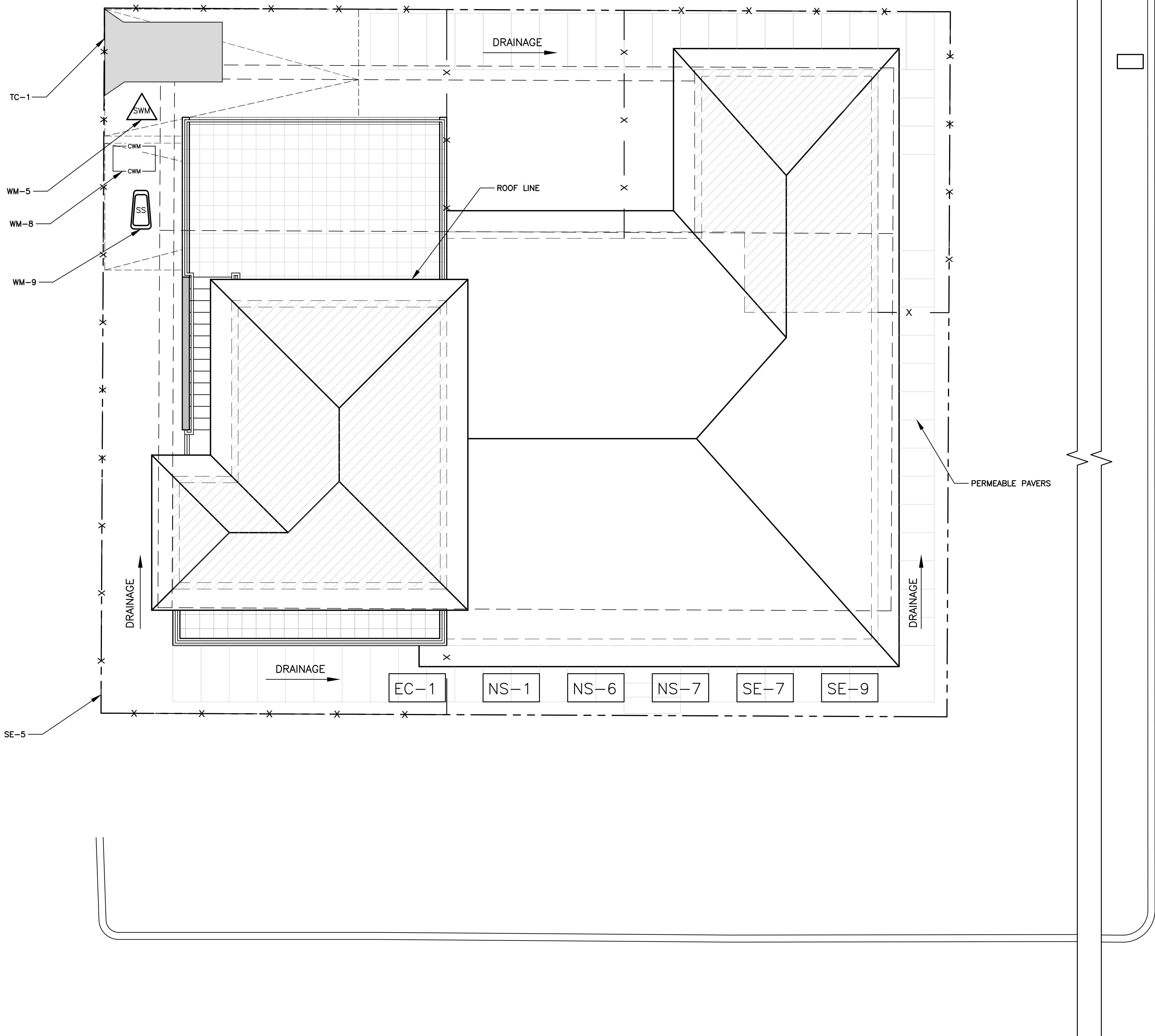
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ARCHITECTURE + GRAPHICS

A0.1
GENERAL NOTES

2205
PLOT SCALE 1:1 (24x36 D' SIZE)

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1



BMP CONSTRUCTION PLAN
1/4"=1'-0"

LEGEND

BMP TYPES:

SE-5

FIBER ROLLS

SE-7

STREET SWEEPING AND VACUUMING

SE-9

STORM DRAIN INLET PROTECTION

WM-5

SOLID WASTE MANAGEMENT

WM-8

CONCRETE WASTE MANAGEMENT

WM-9

SANITARY/SEPTIC WASTE MANAGEMENT

TC-1

STABILIZED CONSTRUCTION ENTRANCE/EXIT

EC-1

SCHEDULING

NS-1

WATER CONSERVATION PRACTICES

NS-6

ILLEGAL CONNECTION/DISCHARGE

NS-7

POTABLE WATER/IRRIGATION

*STANDARD DRAWINGS CAN BE FOUND IN THE HANDBOOKS AVAILABLE AT THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) WEBSITE:
<https://www.casqa.org/resources/bmp-handbooks>

GENERAL STORMWATER REQUIREMENTS

DURING CONSTRUCTION, INCLUDING DEMOLITION ACTIVITIES, THE APPLICANT MUST IMPLEMENT EFFECTIVE EROSION CONTROL, SEDIMENT CONTROL, AND WATER POLLUTION PREVENTION BEST MANAGEMENT PRACTICES (BMPs) IN ACCORDANCE WITH THE CITY OF CORONADO'S MUNICIPAL CODE TITLE 61 "STORMWATER AND URBAN RUN-OFF MANAGEMENT AND DISCHARGE CONTROL" AND THE MUNICIPAL STORM WATER PERMIT (NPDES PERMIT NO. 2007-0001) ISSUES BY THE SAN DIEGO REGIONAL WATER QUALITY CONTROL BOARD TO PREVENT THE DISCHARGE OF SEDIMENT AND CONTAMINANTS INTO THE STORM DRAIN SYSTEM AND RECEIVING WATERS.

THE TYPES AND NUMBER OF BMPs IMPLEMENTED ON THE CONSTRUCTION SITE MUST BE APPROPRIATE FOR THE PHASE OF CONSTRUCTION (E.G., GRUBBING, DEMOLITION, CONCRETE WORK) AND EFFECTIVE AT CONTROLLING POLLUTANTS. BMPs MUST BE REPLACED, UPGRADED AND MAINTAINED INCLUDING REPAIRS AS OFTEN AS NEEDED TO MAINTAIN THEIR EFFECTIVENESS.

PROJECT OWNERS AND/OR CONTRACTORS SHALL HAVE ADDITIONAL BMP MATERIALS ON-HAND, AT THE PROJECT SITE TO CONDUCT TIMELY REPAIRS OR ADDITIONS TO MAINTAIN EFFECTIVENESS.

PERIODIC INSPECTION OF BMPs SHALL BE CONDUCTED BY THE PROJECT OWNER AND/OR CONTRACTOR TO VERIFY BMP EFFECTIVENESS. BMPs SHALL BE INSPECTED, REPAIRED, AND/OR AUGMENTED, AS NEEDED, 24 HOURS PRIOR TO A FORECAST RAIN EVENT OF 1/10TH OF AN INCH OR GREATER WITH A 50% PROBABILITY.

CONSTRUCTION SITES AND BMPs ARE SUBJECT TO INSPECTION BY THE CITY OF CORONADO AND ANY IDENTIFIED REPAIRS OR DEFICIENCIES MAY RESULT IN ENFORCEMENT ACTIONS, INCLUDING AND NOT LIMITED TO A: WARNING NOTICE, NOTICE OF VIOLATION, STOP WORK ORDER, AND ADMINISTRATIVE ENFORCEMENT.

PRIOR THE CONSTRUCTION A RIGHT OF WAY PERMIT MAY BE REQUIRED. TO OBTAIN A RIGHT OF WAY PERMIT CONTACT ENGINEERING AT THE CITY'S BUILDING DEPARTMENT COUNTER.

ALL CONTAINERS INCLUDING ROLL-OFF, DUMPSTERS OR OTHER THAT ARE LOCATED ON THE RIGHT OF WAY SHALL IMPLEMENT CONSTRUCTION BMPs TO ELIMINATE CONTROL AND ELIMINATE DISCHARGES OF MATERIALS, WASTES, SEDIMENT, DEBRIS, AND TRASH TO THE RIGHT OF WAY AND STORM DRAIN SYSTEM. ANY NEAR-BY STORM DRAIN INLETS SHALL ALSO BE PROTECTED.

PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING: A. RETENTION BASINS. B. WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM , WATTLE OR OTHER APPROVED METHOD. CGC SECTION 4.106.2

SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) CGC SECTION 4.106.3. EXCEPTION: ADDITIONS NOT ALTERING THE DRAINAGE PATH

THIS PROJECT HAS BEEN DETERMINED TO BE CLASSIFIED FOR CONSTRUCTION PHASE IMPLEMENTATION OF STORM WATER BMPs AS:

☐ HIGH THREAT

☒ MEDIUM THREAT

☐ EXEMPT

THIS PROJECT HAS BEEN DETERMINED TO BE CLASSIFIED FOR POST-CONSTRUCTION PHASE IMPLEMENTATION OF STORM WATER BMPs AS:

☐ PRIORITY DEVELOPMENT PROJECT

☒ STANDARD DEVELOPMENT PROJECT

☐ EXEMPT

NOTES

1

2

NTS

ARCHITECT

ARCHITECT

STATE OF CALIFORNIA

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SHEET INFORMATION

DI DONATO ASSOCIATES

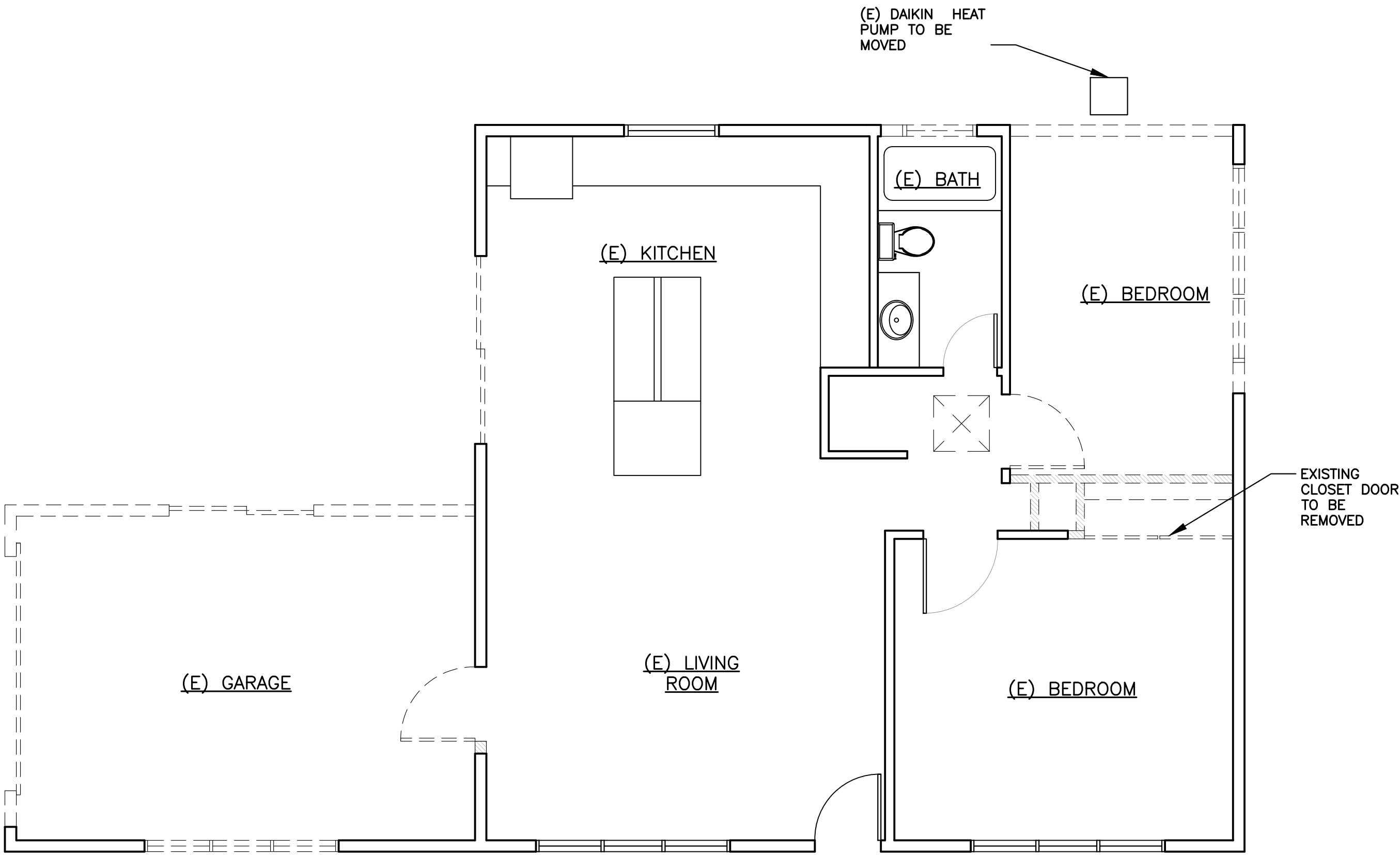
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A1.1

BMP PLAN

2205

PLOT SCALE 1:1 (24x36 D' SIZE)



FIRE PROTECTION NOTE

EXISTING RESIDENCE HAS NO FIRE SPRINKLER SYSTEM

WALL LEGEND	
	EXISTING WALL TO REMAIN
	EXISTING EXTERIOR WALL TO BE DEMOLISHED
	EXISTING INTERIOR WALL TO BE DEMOLISHED

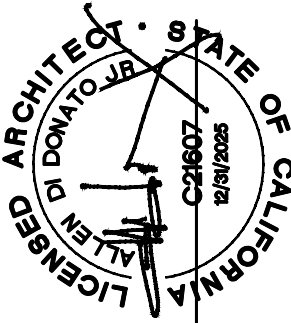
EXISTING / DEMO PLAN

1/4"=1'-0"

LEGEND

NTS

A R C H I T E C T



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P R O J E C T N A M E

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1221 4TH STREET, CORONADO, CA 92118

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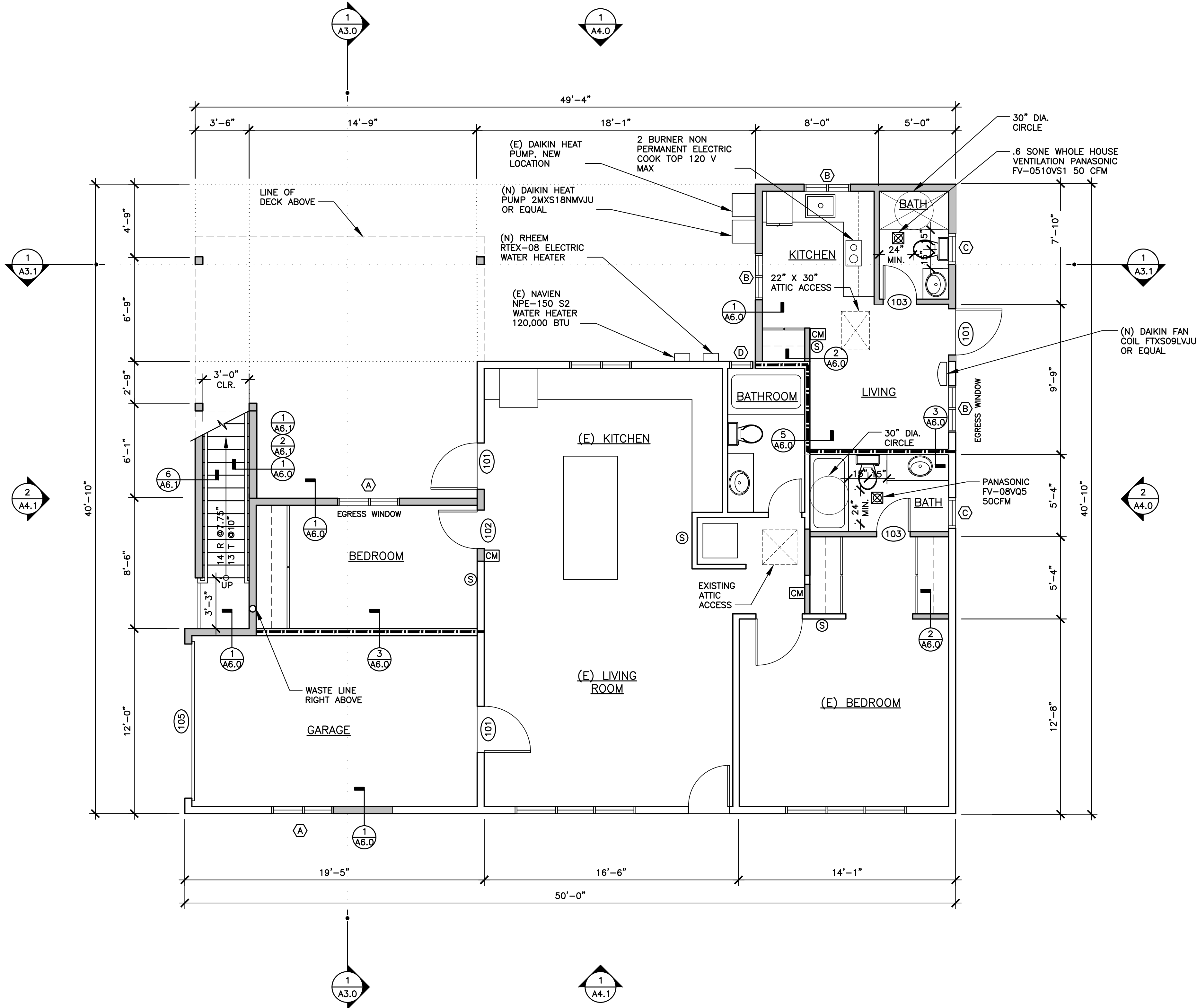
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ARCHITECTURE + GRAPHICS

A2.0
FLOOR PLANS

2205
PLOT SCALE 1"=1 (24x36 D' SIZE)

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MULTI-DWELLING NOTES

WHERE FLOOR ASSEMBLIES ARE REQUIRED TO BE FIRE-RESISTANCE RATED BY SECTION R302.3, THE SUPPORTING WALL CONSTRUCTION OF SUCH ASSEMBLIES SHALL HAVE AN EQUAL OR GREATER FIRE RESISTANCE RATING. R302.3.1

WALL ASSEMBLIES SEPARATING UNITS IN A DUPLEX OR ATTACHED ACCESSORY DWELLING UNIT SHALL BE ONE-HOUR FIRE RESISTIVE CONSTRUCTION (1/2-HOUR IF THE BUILDING HAS AN AUTOMATIC SPRINKLER SYSTEM). PROVIDE DETAILS ON PLAN OF THE ASSEMBLIES WITH UL LISTING OR EQUIVALENT. SECTION R302.3. SUCH WALL ASSEMBLIES SHALL EXTEND TO THE UNDERSIDE OF THE ROOF SHEATHING, WHERE APPLICABLE.

PENETRATION OF FIRE-RESISTIVE WALLS, FLOOR CEILINGS AND ROOF-CEILINGS SHALL BE PROTECTED AS REQUIRED IN CRC SECTION R302.4.

JADU NOTES

IN JUNIOR ACCESSORY DWELLING UNITS, AN EFFICIENCY KITCHEN IS REQUIRED WITH NON-PERMANENT COOKING FACILITY APPLIANCES. APPLIANCES THAT REQUIRE ELECTRICAL SERVICE GREATER THAN 120 VOLTS, OR NATURAL OR PROPANE GAS, ARE NOT ALLOWED. THE KITCHEN MUST ALSO INCLUDE A FOOD PREPARATION COUNTER AND STORAGE CABINETS THAT ARE OF REASONABLE SIZE IN RELATION TO THE SIZE OF THE JUNIOR ACCESSORY DWELLING UNIT. GC SECTION 65852.22

MECHANICAL NOTES

BATHROOM FANS SHALL PROVIDE WHOLE HOUSE VENTILATION 50 CFM MIN.

EXTERIOR STAIR NOTE

FOR EXTERIOR STAIR AND HANDRAIL PLEASE SEE: (1/2, 1/3, 1/4, 1/5, 1/6, 1/7, 1/8, 1/9, 1/10, 1/11, 1/12, 1/13, 1/14, 1/15, 1/16, 1/17, 1/18, 1/19, 1/20, 1/21, 1/22, 1/23, 1/24, 1/25, 1/26, 1/27, 1/28, 1/29, 1/30, 1/31, 1/32, 1/33, 1/34, 1/35, 1/36, 1/37, 1/38, 1/39, 1/40, 1/41, 1/42, 1/43, 1/44, 1/45, 1/46, 1/47, 1/48, 1/49, 1/50, 1/51, 1/52, 1/53, 1/54, 1/55, 1/56, 1/57, 1/58, 1/59, 1/60, 1/61, 1/62, 1/63, 1/64, 1/65, 1/66, 1/67, 1/68, 1/69, 1/70, 1/71, 1/72, 1/73, 1/74, 1/75, 1/76, 1/77, 1/78, 1/79, 1/80, 1/81, 1/82, 1/83, 1/84, 1/85, 1/86, 1/87, 1/88, 1/89, 1/90, 1/91, 1/92, 1/93, 1/94, 1/95, 1/96, 1/97, 1/98, 1/99, 1/100)

NOTES

NTS

LEGEND	
	EXISTING WALL
	NEW WALL
	NEW 1-HR WALL PER 
	SMOKE ALARM DETECTOR (WITH BATTERY BACKUP)
	CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP)
	CFM FAN

FIRST FLOOR PLAN

1/4"=1'-0"

LEGEND

NTS

ARCHITECT

PROJECT NAME

KANCYLARYSTA REMODEL + ADU

1221 4TH STREET, CORONADO, CA 92118

REV.

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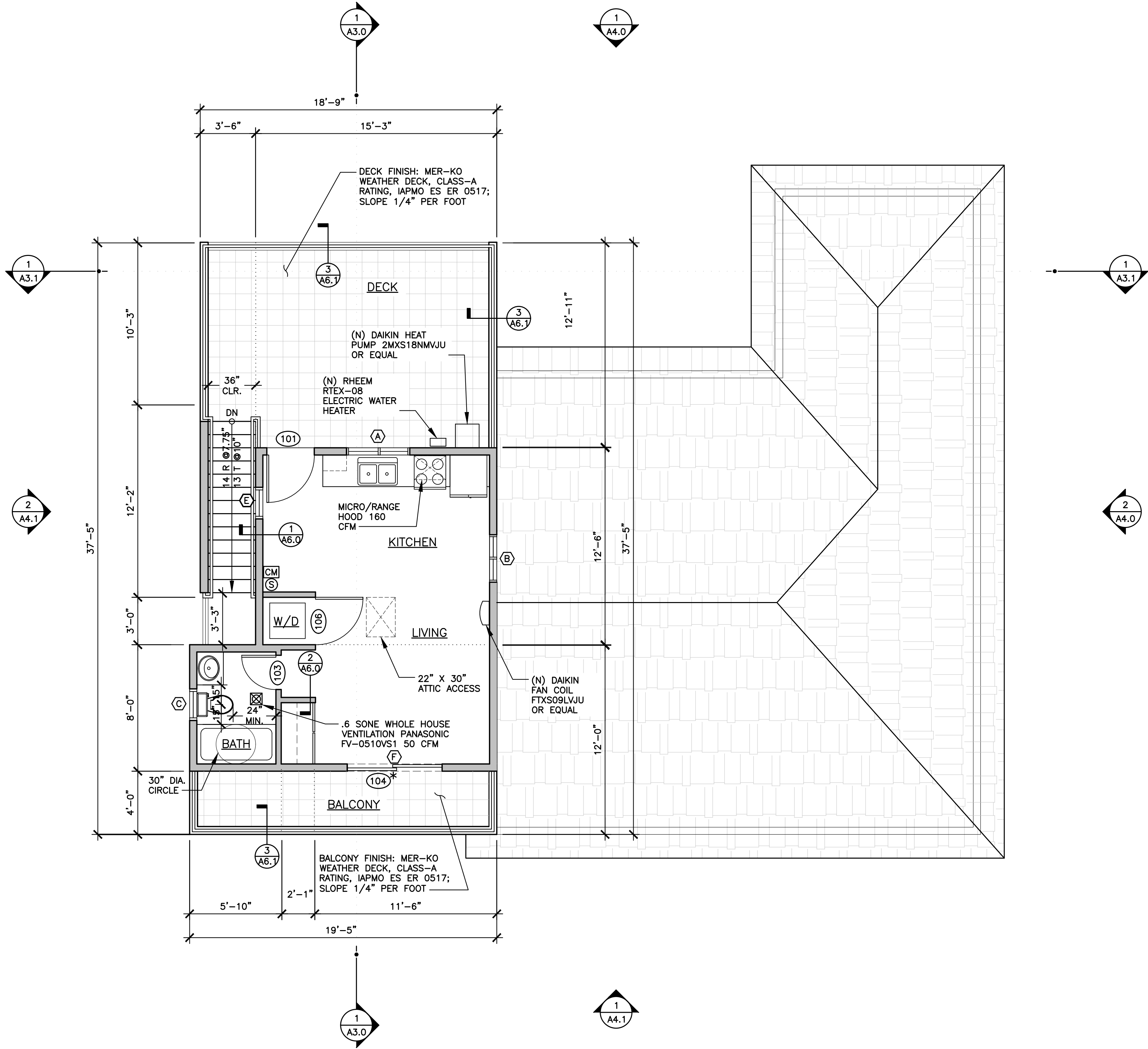
A2.1

FLOOR PLANS

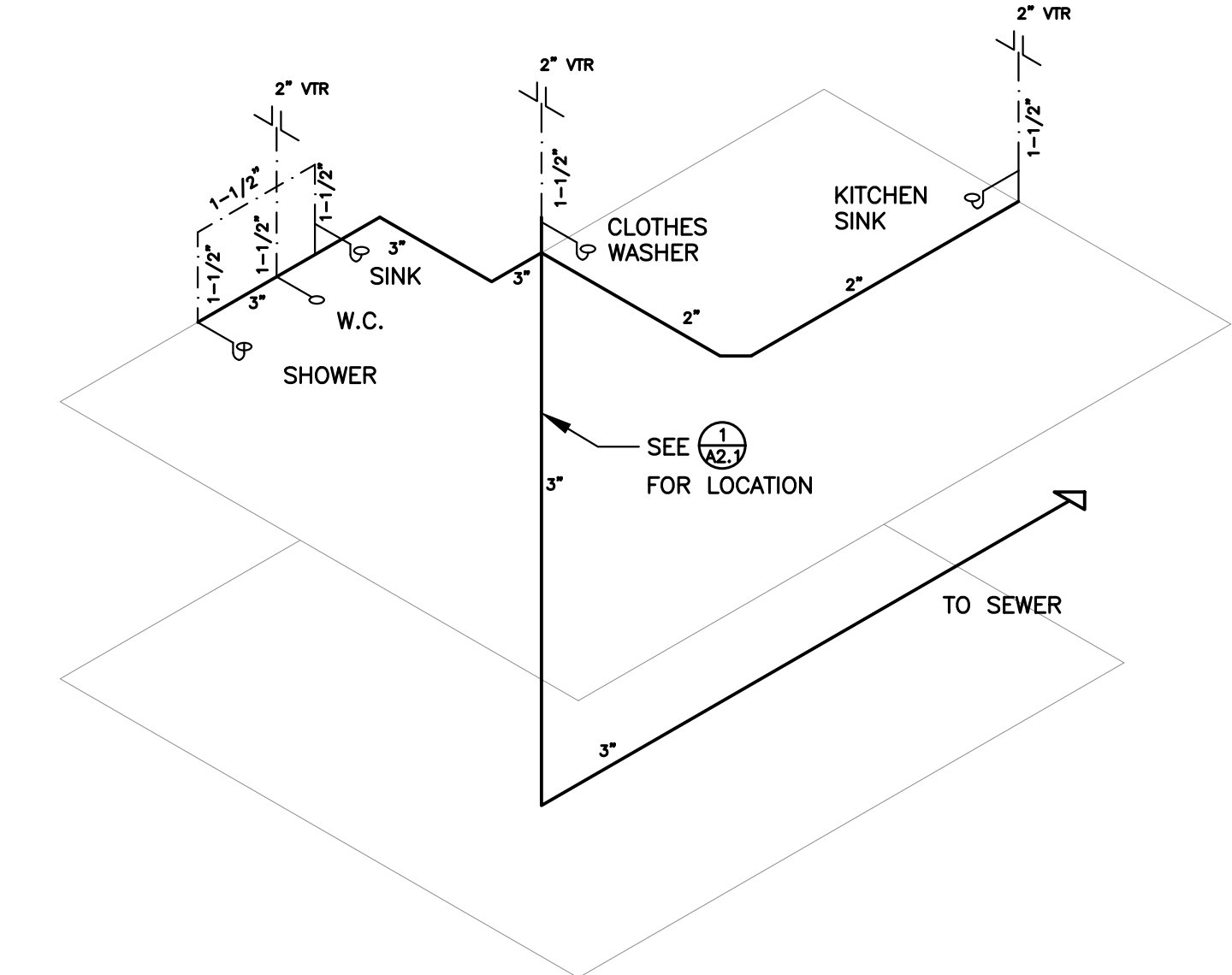
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PLOT SCALE 1:1 (24x36 D SIZE)

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SECOND FLOOR PLAN
1/4"=1'-0"



ADU PLUMBING ISOMETRIC
NTS

ADU NOTES

ACCESSORY DWELLING UNITS SHALL INCLUDE PERMANENT PROVISIONS FOR EATING AND COOKING.

THE ADU AND THE PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT HEATING SYSTEMS AND AIR CONDITIONING SYSTEMS (WHERE AIR CONDITIONING IS PROVIDED), INCLUDING DIRECT ACCESS TO THEIR OWN SYSTEM FOR SERVICE AND REPAIR. SECTION 202

THE ADU AND THE PRIMARY DWELLING UNIT SHALL HAVE SEPARATE, INDEPENDENT WATER SUPPLY AND SANITARY SEWER SYSTEMS. THIS IS REQUIRED TO PROVIDE SEPARATE SERVICES (SHUT OFF VALVES AND CLEANOUTS) SO ONE DWELLING CAN SERVICE ITS UTILITIES WHILE NOT AFFECTING THE OTHER DWELLING. EACH DWELLING IS REQUIRED TO BE INDEPENDENT. SECTION 202.

NOTES
NTS

LEGEND		
	EXISTING WALL	
	NEW WALL	
	NEW 1-HR WALL PER $\frac{3}{A6.0}$	
	SMOKE ALARM DETECTOR (WITH BATTERY BACKUP)	
	CARBON MONOXIDE DETECTOR (WITH BATTERY BACKUP)	
	CFM FAN	

LEGEND
NTS

ARCHITECT

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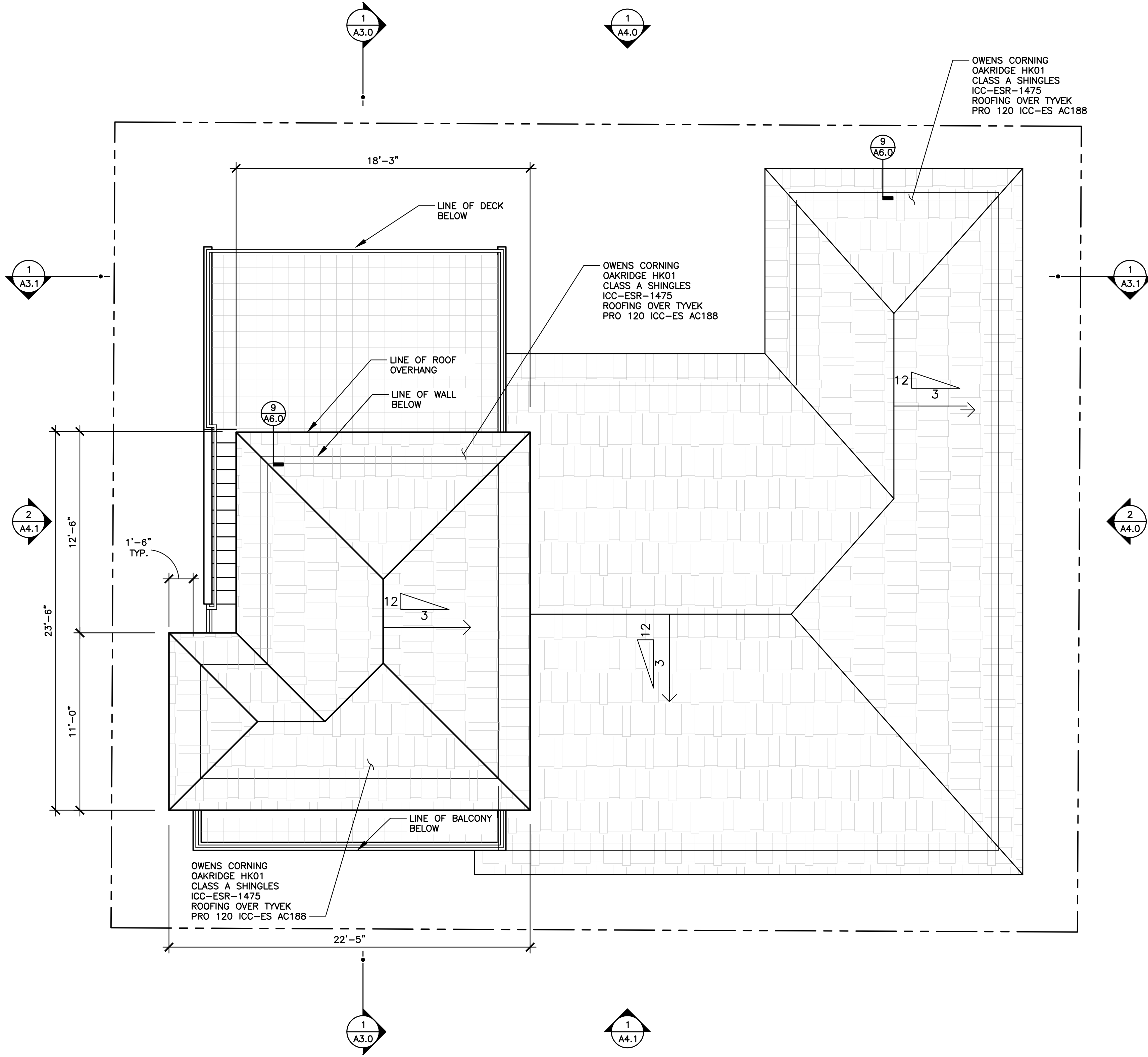
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SHEET INFORMATION

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A2.2
FLOOR PLANS

2205
PLOT SCALE 1:1 (24x36 D' SIZE)



ROOF PLAN
1/4"=1'-0"

1

ARCHITECT

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JULIAN DONATO, JR.
ARCHITECT
C 36802

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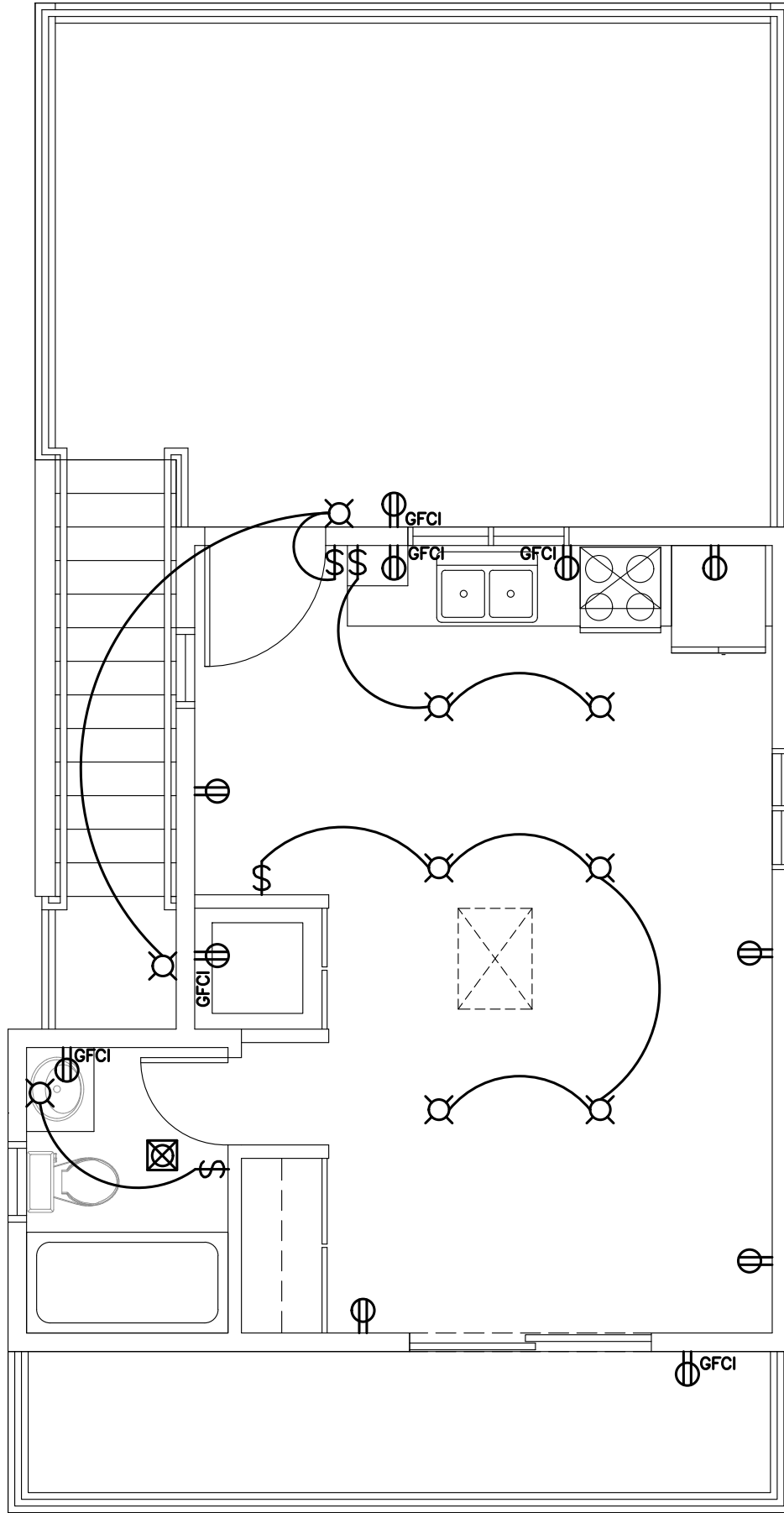
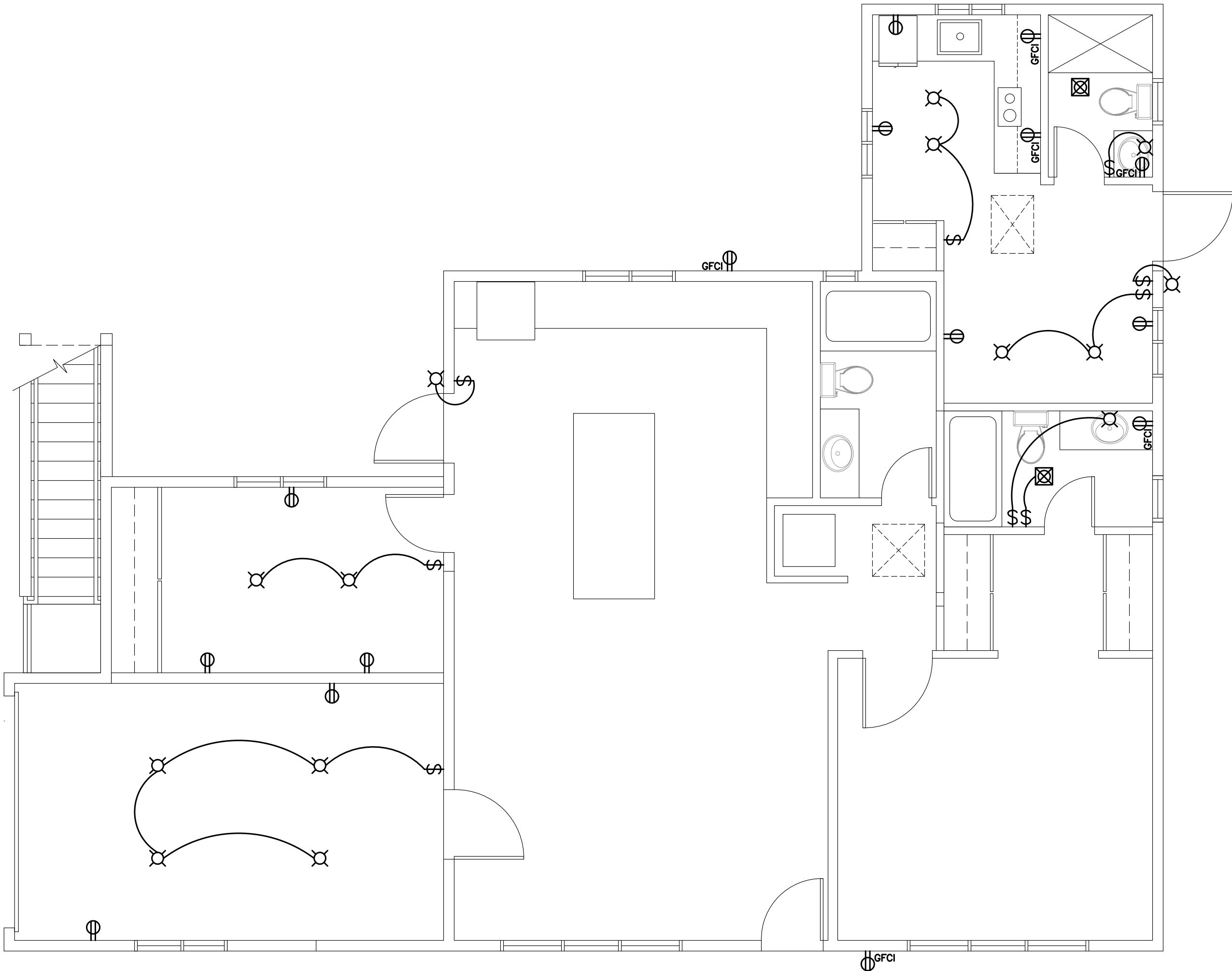
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SHEET INFORMATION

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ARCHITECTURE + GRAPHICS

A2.3
ROOF PLANS

2205
PLOT SCALE 1:1 (24x36 D SIZE)



NOTE

SEE A0.1 FOR ELECTRICAL NOTES

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A2.4

ELECTRIC LAYOUT

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ISSUES REVISIONS

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ARCHITECT

LICENSED ARCHITECT
KALEB P. DONATO, J.A.
C45602
STATE OF CALIFORNIA

SECTION
1/4"=1'-0"

NOTE
THE SPACE ABOVE THE FINISHED SECOND FLOOR WILL BE USED AS ATTIC SPACE AND WILL COMPLY WITH CMC 86.04.740
DECK VENTILATION CALCULATIONS
JOIST SPACE = 225" L X 15" W 225" X 15" = 3375 SQ. IN. 3375 SQ. IN./150 = 22.5 SQ. IN. REQUIRED 60 SQ. IN. PROVIDED 60 > 22.5 = OK.

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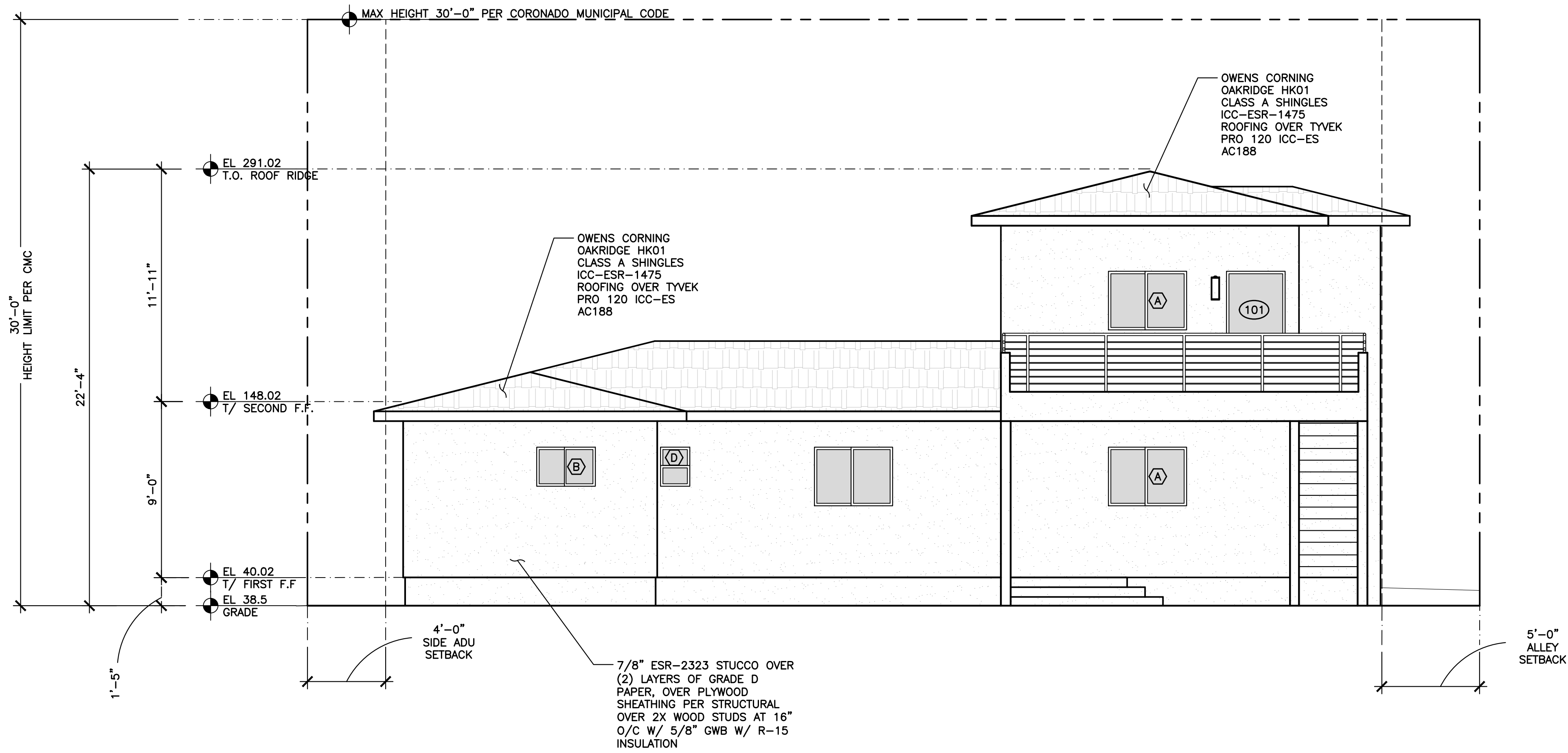
SHEET INFORMATION

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A3.1

SECTIONS

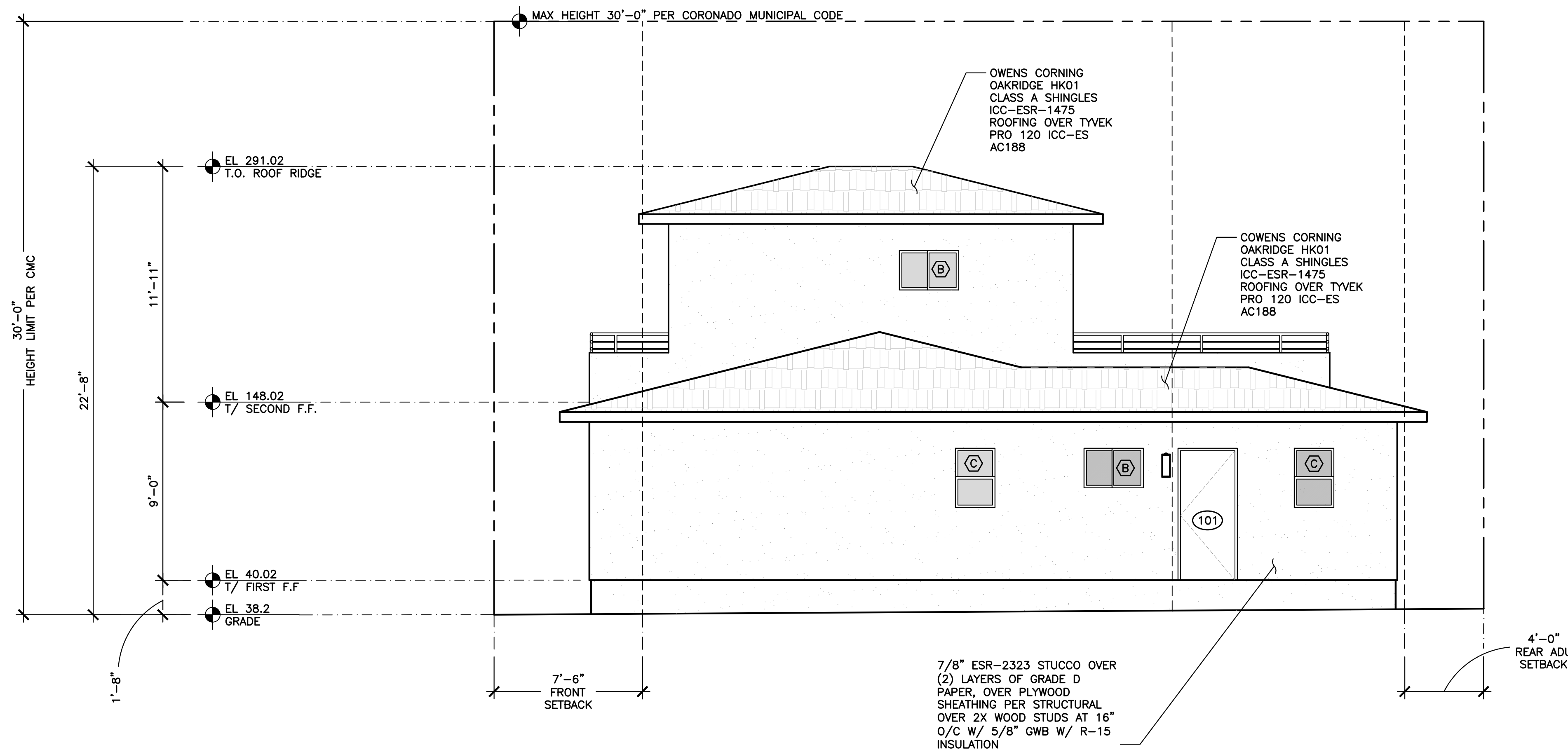
2205
PLOT SCALE 1:1 (24x36 "D" SIZE)



NORTH ELEVATION

$$1/4'' = 1' - 0''$$

1



EAST ELEVATION

$$1/4'' = 1' - 0''$$

2

NOTE

THE SPACE ABOVE THE FINISHED SECOND FLOOR WILL BE USED AS ATTIC SPACE AND WILL COMPLY WITH CMC 86.04.740