

OMOSS RESIDENCE

432 Carolina Road
Del Mar, California
92014

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Project Data Summary Table (TO BE INCLUDED ON COVER SHEET OF PLANS)

Project Information				
Project Address:	432 Carolina Rd			
Assessor's Parcel Number (APN):	300-030-60			
Zoning Designation:	R1-10			
Overlays:				
Community Plan Land Use Designation:	Low-Density Residential			
Property Owner Name:	Mario & Hedy Omoss			
Agent Name:	Jim Frisbee - Frisbee Architects, Inc.			
City Application # / Project Name:	Omoss Residence			
Scale Of Plans:	1/8" = 1'-0" (or as noted on plans)			
Date Of Submittal:	November 1, 2023			
Project Description				
Scope Of Work:	Demolition of an existing 1-story single family residence & 2-car detached garage. Construction of a new 1-story single-family residence, subterranean garage, basement, pool, and associated hardscape & landscape improvements.			
Lot Size & Site Coverage				
All Figures Shall Be In Sq. Ft., Unless Otherwise Noted	Existing	Proposed	Max Allowed (if applicable)	Total % Of Lot (if applicable)
Lot Size (gross):	16,329 s.f.	16,329 s.f.		
Lot Size (net): <i>Gross minus street easements or private road easements serving 5+ properties</i>	16,329 s.f.	16,329 s.f.		
% of Lot Coverage: <i>Does not include paved areas, pools, or items less than 30 inches above grade</i>	23% (3,723 s.f.)	20% (3,329 s.f.)	40% (6,532 s.f.)	
Complete Footprint of Home: <i>(including garage & roof overhangs)</i>	25% (4,101 s.f.)	24% (3,909 s.f.)		

5/15/2019

Lot Size & Site Coverage				
All Figures Shall Be In Sq. Ft., Unless Otherwise Noted	Existing	Proposed	Max Allowed (if applicable)	Total % Of Lot (if applicable)
Basement:	n/a	1,675 s.f.		
Garage:	583 s.f.	835 s.f.		
1 st Floor:	3,140 s.f.	3,230 s.f.		
2 nd Floor:	n/a	n/a		
Balconies:	n/a	135 s.f.		
Total Impervious Surfaces:	4,745 s.f.	3,289 s.f.		
Driveway:	1,835 s.f.	1,360 s.f.		
Walkways:	1,565 s.f.	127 s.f.		
Decks:	n/a	1,415 s.f.		
Patios:	1,053 s.f.	n/a		
Other: <i>(pools, tennis court, water features, etc.)</i>	292 s.f.	387 s.f.		
Total Permeable Surfaces:	n/a	248 s.f.		
Driveways:	n/a	n/a		
Walkways:	n/a	248 s.f.		
Decks:	n/a	n/a		
Patios:	n/a	n/a		
Total Landscaped Area:		8,729 s.f.		
Landscaping in Front Yard Setback: <i>(maximum 50% hardscape allowed)</i>	85% 1,902 s.f.	75% 1,688 s.f.		
Landscaping in Street Side Setback (corner lot): <i>(maximum 50% hardscape allowed)</i>	n/a	n/a		
Percentage of Site Devoted to Turf: <i>(maximum 15% of site allowed)</i>	8.7% (1,421 s.f.)			
Minimum Landscape Requirements Per Design Guidelines:	50% (8,165 s.f.)			

5/15/2019

Floor Area Ratio (FAR) *FAR is calculated from net lot size			
Existing Square Feet:	3,723 Sq. Ft.	Square feet / Lot Area (net):	22.8 %
New Square Feet:	342 Sq. Ft.	Square feet / Lot Area (net):	2.0 %
Total Square Feet:	4,065 Sq. Ft.	Square feet / Lot Area (net):	24.8 %
EXEMPT Structures: Floor Area Ratio (FAR) *FAR is calculated from net lot size			
Type of Exempt Structure And Location (Please List Below)	Exempt Sq. Ft.	Square feet / Lot Area (net)	
Basement	1,675 s.f.	10.2 %	
Parking			
Total Parking Required:	3 (2 garage)		
Total Parking Provided:	3		
# of Outdoor Spaces Provided:	0		
# of Garage Spaces Provided:	3		
Basement Area			
Total Basement Area (sq. ft.):	2,510 s.f. (includes detached garage & staircase)		
Portion Exempt From FAR (sq. ft.):	1,675 s.f.		
Basement FAR Calculation (sq. ft.):	835 s.f.		
Building Setbacks			
	Required	Existing	Proposed
Front 1 st Floor:	20'-0"	30'-1"	39'-0"
Front 2 nd Floor:	n/a	n/a	n/a
Left Side 1 st Floor:	7'-6"	7'-4"	40'-8"
Building Setbacks			
	Required	Existing	Proposed
Left Side 2 nd Floor:	n/a	n/a	n/a
Right Side 1 st Floor:	7'-6"	6'-7"	9'-8"
Right Side 2 nd Floor:	n/a	n/a	n/a
Rear 1 st Floor:	25'-0"	37'-5"	30'-5"
Rear 2 nd Floor:	n/a	n/a	n/a
Corner Lot:	<input checked="" type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Flag-Shaped Lot:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Heights			
	Existing	Proposed	
Building Height:	15'-9"	26'-0"	
Structure Height Above Average Adjoining Grade:	11'-8"	15'-4"	
Structure Height Above Lower of Existing -or- Finished Adjoining Grade:	15'-9"	26'-0"	

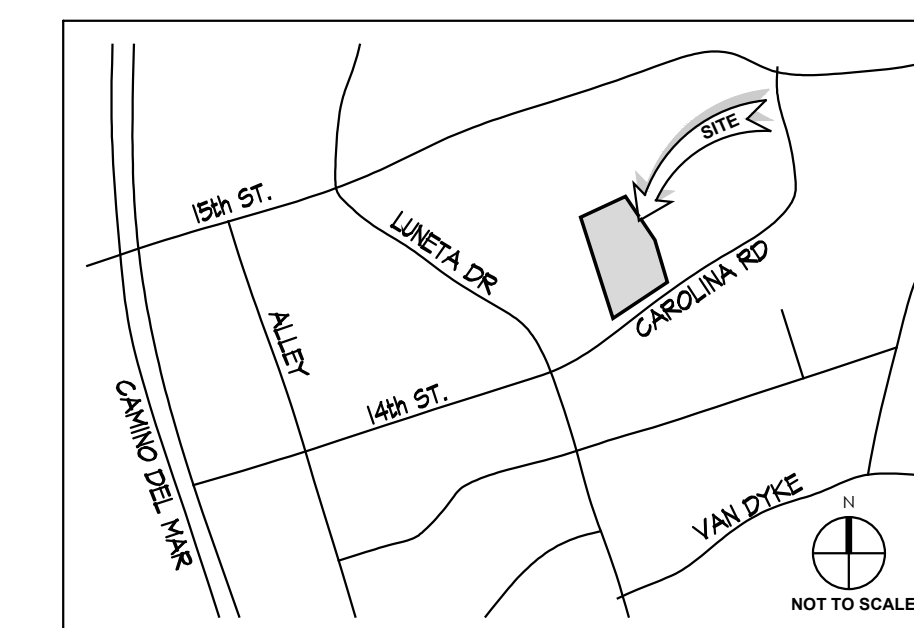
5/15/2019

Heights			
	Existing	Proposed	Max Allowed
Max Apparent Height:	26'-0"	26'-0"	26'-0"
Max Horizontal Run:	59'-7"	60'-0"	60'-0"
Plate Height			
	Existing	Proposed	
1 st Floor:	9'-0"	10'-0"	
2 nd Floor:	n/a	n/a	
Basement:	n/a	9'-0"	
Outdoor Structures:	n/a	n/a	
Accessory Structures:	n/a	n/a	
Attached Structures:	8'-6"	n/a	
Decks and Balconies			
	Existing Sq. Ft.	Proposed Sq. Ft.	
Location of Decks and Balconies (Please List Below)			
Existing west & north facing patios	1,690 s.f.		
Proposed west facing pool deck		1,232 s.f.	
Proposed west facing balcony		135 s.f.	
Engineering Data Questionnaire			
	Existing (Sq. Ft.)	Proposed (Sq. Ft.)	Net Change (Sq. Ft.)
Impervious Surfaces in Square Feet: <i>(total excluding pools and spas)</i>	8,473	6,994	1,479
<input type="checkbox"/> Increase <input checked="" type="checkbox"/> Decrease			
Roof Surface Area in Square Feet:	4,106	3,931	175
<input type="checkbox"/> Increase <input checked="" type="checkbox"/> Decrease			
Grading & Excavation In Cubic Yards (Cut & Fill)			
Total Cut (C.Y.):	1,586		
Net Cut Understructure (C.Y.):	1,178		
Total Fill (C.Y.):	570		
Max Exposed Retaining Wall Height (Ft.):	5.3		
Height of Fence on Retaining Wall (Ft.):	3.5		
Modified Vehicular Access (Driveways):	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Proposed Subterranean Improvements Greater Than Two-Feet in Depth Within Five-Feet of Property Line: <i>(basements, footings, pools, spas, etc.)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Proposed Improvements Within Ten-Feet Measured From The Top of an Existing Bluff or Top of Slope:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Proposed Impact of Existing Drainage Courses: <i>(redirecting, blocking, etc.)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Known Geological or Soils Issues or Sensitivities: <i>(sliding, faulting, erosion, etc.)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

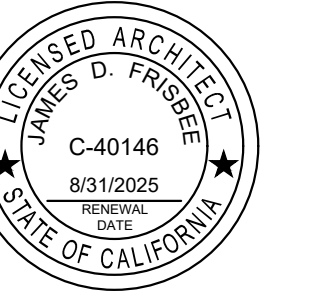
5/15/2019

Other Components To Plans	
Air Conditioning Units: See mechanical specifications on Sheet A-8	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No *If YES, please include air conditioning unit manufacturers specifications. Also, please demonstrate adequate sound attenuation and visual screening measures for the proposed air conditioning units. *Please Note: The air conditioning unit must comply with DMMC Section 9.20.090, the City's Noise Ordinance, which allows a maximum of 40 decibels between the hours of 10pm and 7am, and 50 decibels between 7am and 10pm, at all property lines.
Lighting: See lighting specifications on Sheet A-8	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No *If YES, please include Lighting Plans.
Swimming Pool or Spa: See mechanical specifications on Sheet A-8	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No *If YES, please include pool/spa equipment manufacturers specifications. Also, please demonstrate adequate sound attenuation and visual screening measures for the proposed air conditioning units. *Please Note: The pool/spa equipment must comply with DMMC Section 9.20.090, the City's Noise Ordinance, which allows a maximum of 40 decibels between the hours of 10pm and 7am, and 50 decibels between 7am and 10pm, at all property lines.
Skylights: See skylight & film specifications on Sheet A-4	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No *If YES, please include a skylight film specifications sheet, which allows a maximum of 30% visible light transmission (VLT).
Outdoor Fire Feature:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Outdoor Sound: <i>(tv, speakers, etc.)</i>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

VICINITY MAP



5/15/2019



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DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

PROJECT TITLE:

OMOSS RESIDENCE

432 Carolina Road
Del Mar, California
92014

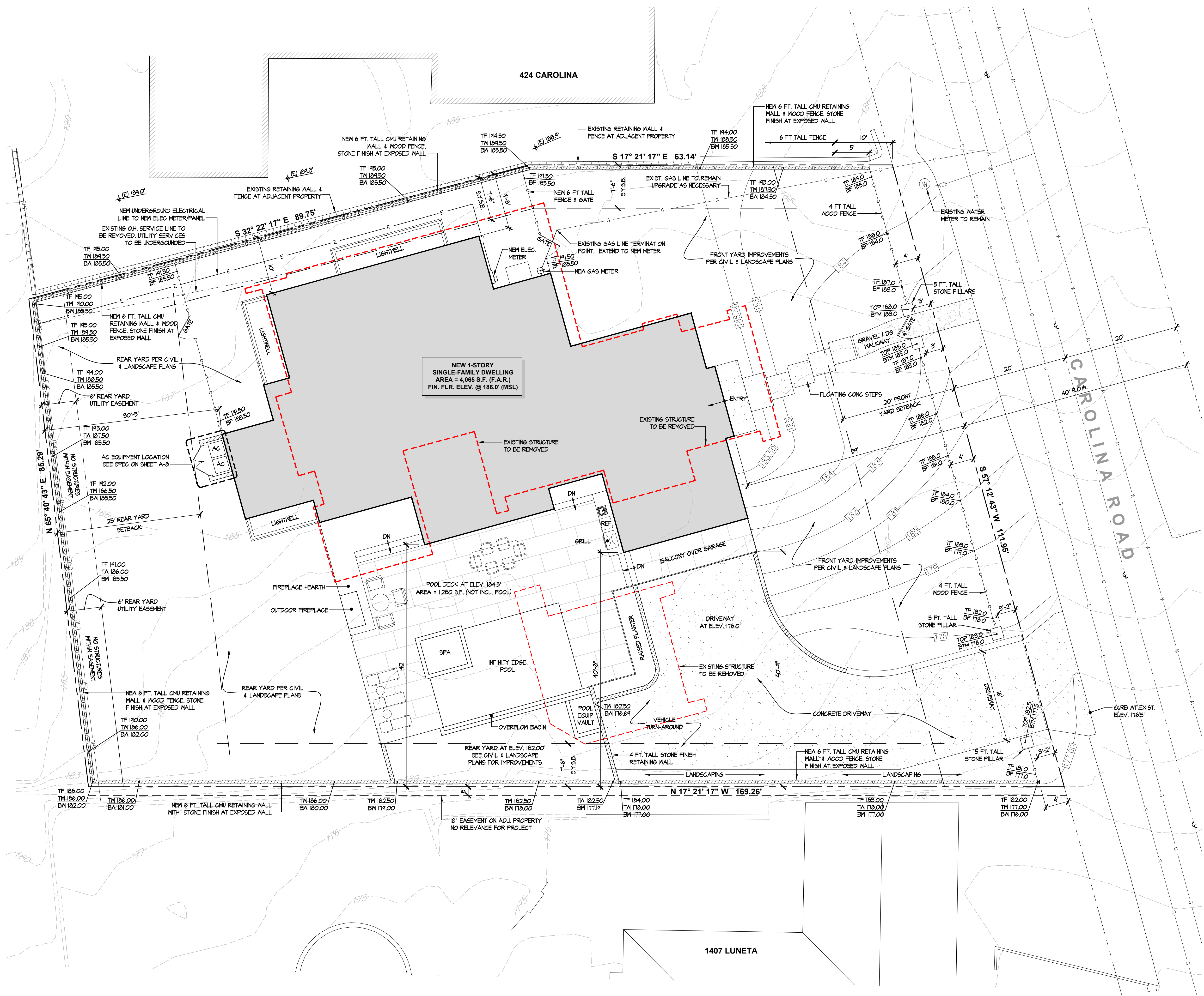
PROJECT STATUS:

DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
COVER SHEET

JOB NO: 2206
PRINT DATE: 1-15-2024
SCALE: AS NOTED
A-0



SITE PLAN
SCALE: 1/8" = 1'-0"

PROJECT INFORMATION

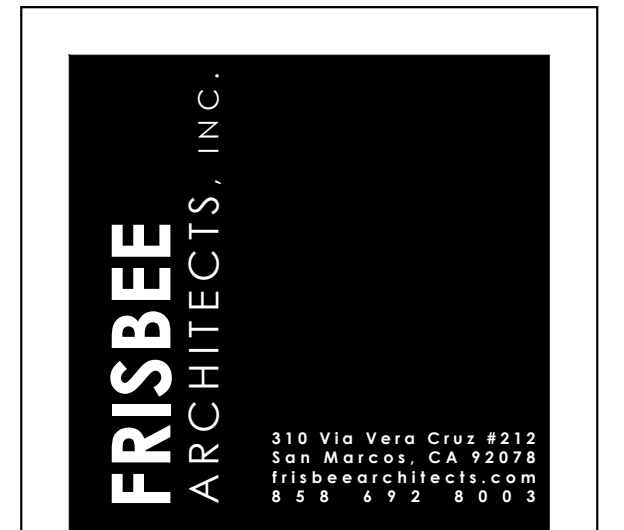
OWNER: MARIO & HEDY OMOSS
 SITE ADDRESS: 432 CAROLINA RD. DEL MAR, CA 92014
 APN: 300-030-60
 ZONING: RI-10
 LOT SIZE: 16,324 S.F. (0.375 ACRES)
 LAND USE: SINGLE-FAMILY RESIDENTIAL
 LOT COVERAGE: 40% 6,532 S.F. (ALLOW)
 25% 4,082 S.F. (EXIST)
 21% 3,800 S.F. (PROP)
 BUILDING HEIGHT: 26'-0" (MAX ALLOW)
 26'-0" (PROPOSED)

AREA CALCULATIONS
 MAIN LEVEL: 3,230 S.F.
 GARAGE/STAIRS: 835 S.F.
 BASEMENT: 1,675 S.F.
 GROSS AREA: 5,740 S.F.
F.A.R. CALCULATION
 F.A.R. ALLOWED: 16,324 x 25% = 4,082 S.F.
 MAIN LEVEL: 3,230 S.F.
 GARAGE/STAIRS: 835 S.F.
 TOTAL F.A.R.: 4,065 S.F. (24.8%)

F.A.R. EXEMPT
 BASEMENT: 1,675 S.F.
IMPERVIOUS CALCULATION
 SEE STORM WATER MANAGEMENT PLAN PREPARED BY CIVIL ENGINEER
 EXIST. IMPERVIOUS AREA: 8,478 S.F. (52%)
 PROP. IMPERVIOUS AREA: 6,934 S.F. (43%)
 IMPERVIOUS REDUCTION: 1,474 S.F.
 PROP. PERMEABLE AREA: 4,335 S.F. (57%)

LEGEND

- PROPERTY LINE
- REQUIRED SETBACKS
- EXIST BUILDING FOOTPRINT TO BE DEMOLISHED
- NEW BUILDING FOOTPRINT
- NEW FENCE
- NEW BLOCK WALL
- EXISTING CONTOURS
- NEW CONTOURS
- TOP OF FENCE ELEV. TOP OF WALL ELEV. BOTTOM WALL ELEV.



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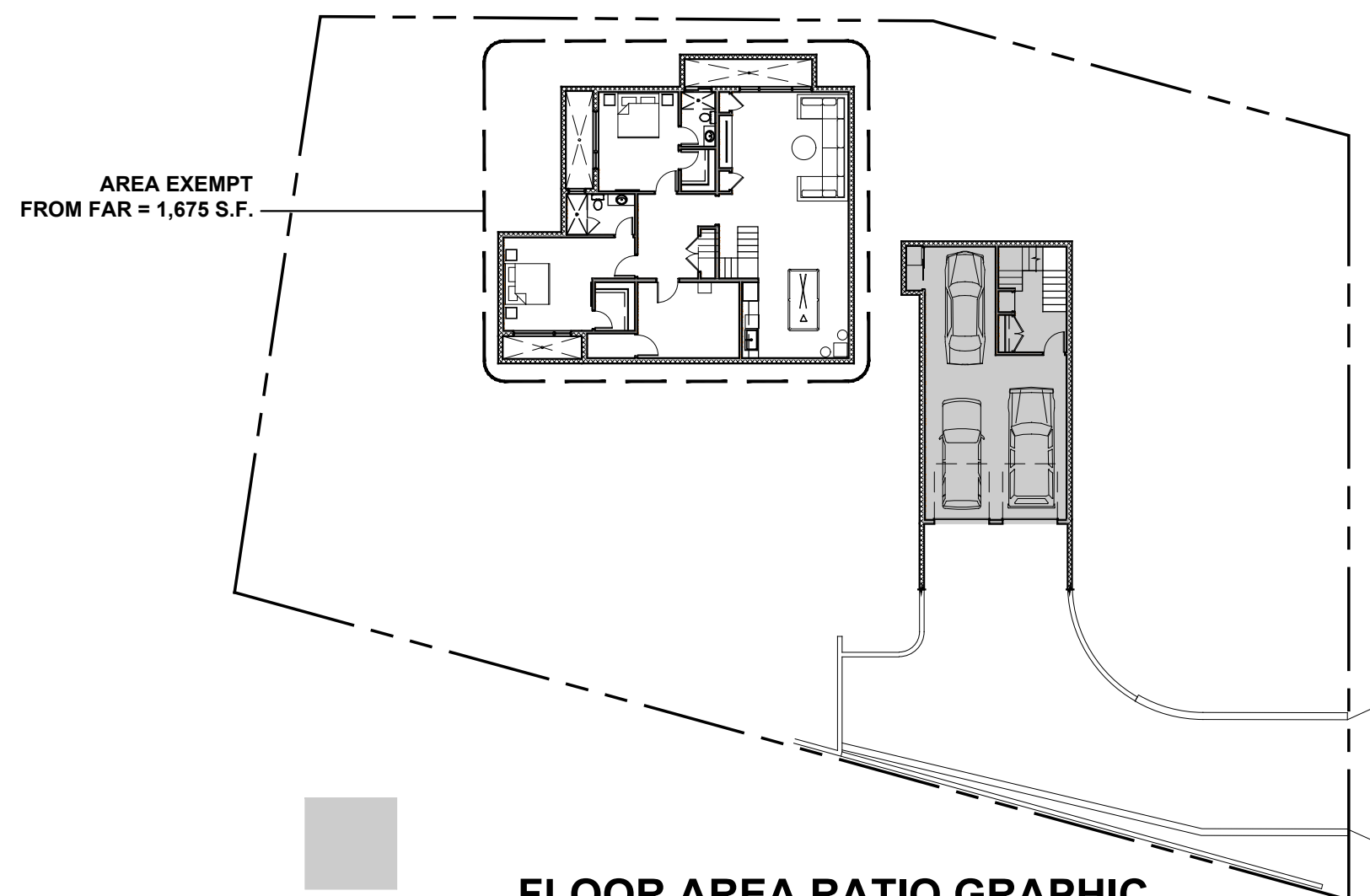
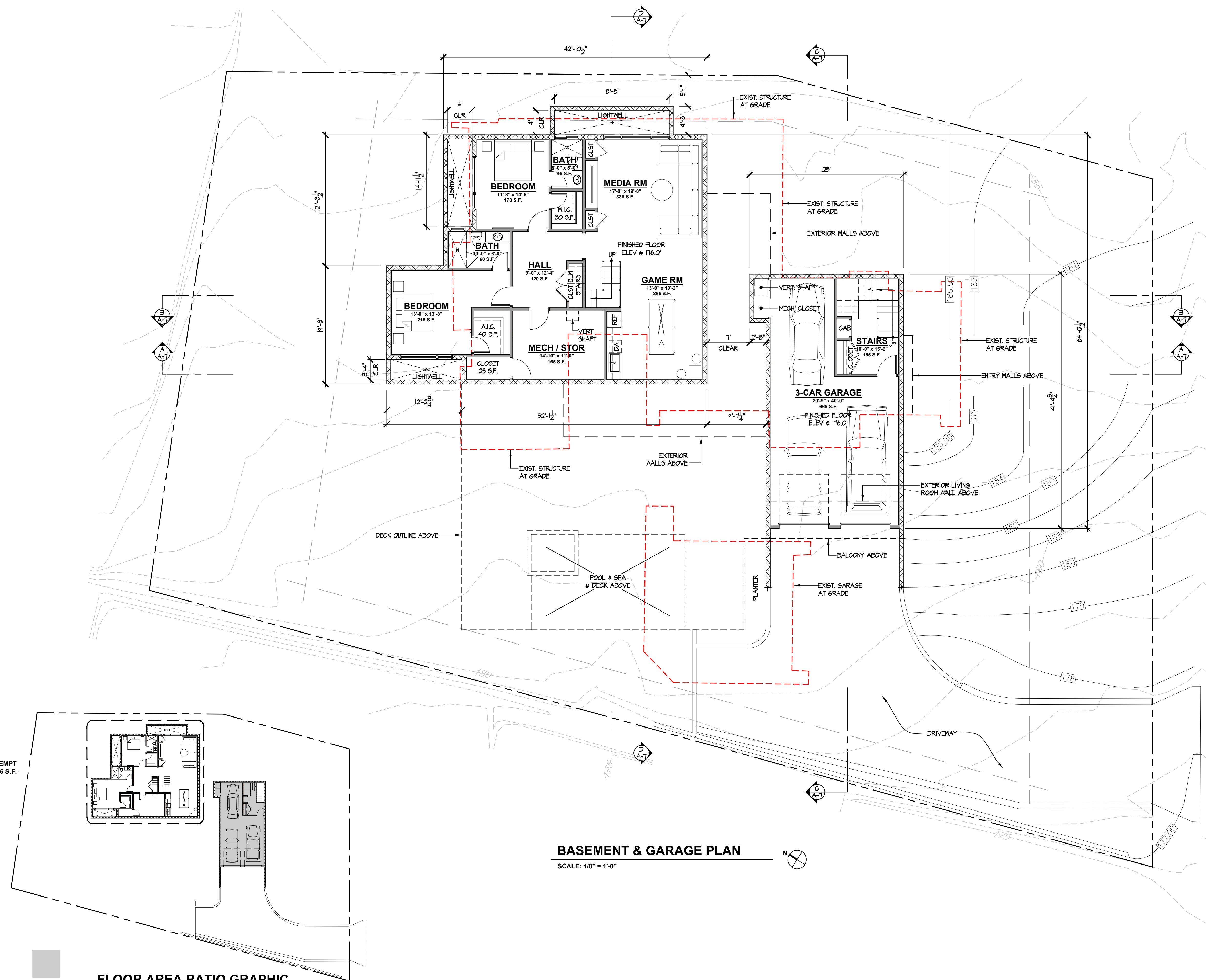
PROJECT STATUS:

DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
SITE PLAN

JOB NO: 2206
 PRINT DATE: 1-15-2024
 SCALE: AS NOTED
A-1



BASEMENT & GARAGE PLAN
SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

1. SEE SHEET A-1 FOR AREA CALCULATIONS.

LEGEND

---	PROPERTY LINES
---	REQUIRED SETBACKS
▨	NEW 8" CMU BLOCK WALL
▨	NEW 8" CMU BLOCK WALL WITH 2" FURRING AT INTERIOR
▬	NEW WOOD STUD WALL
- - -	EXISTING STRUCTURE TO BE REMOVED

DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

FRISBEE ARCHITECTS, INC.
310 Via Vera Cruz #212
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info@frisbeearchitects.com
858.492.8003

LICENSED ARCHITECT
JAMES D. FRISBEE
C-40146
8/31/2025
RENEWAL DATE
STATE OF CALIFORNIA

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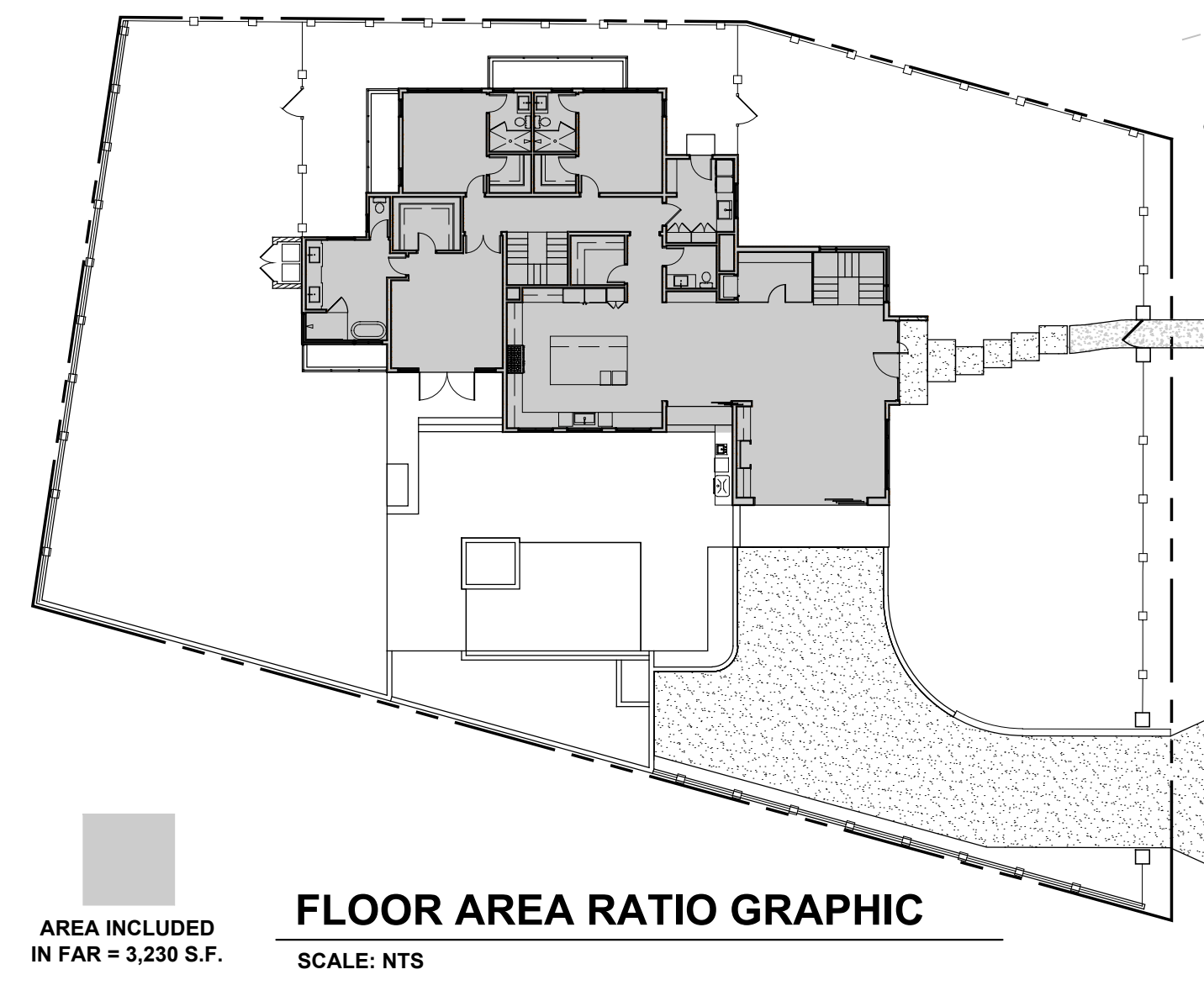
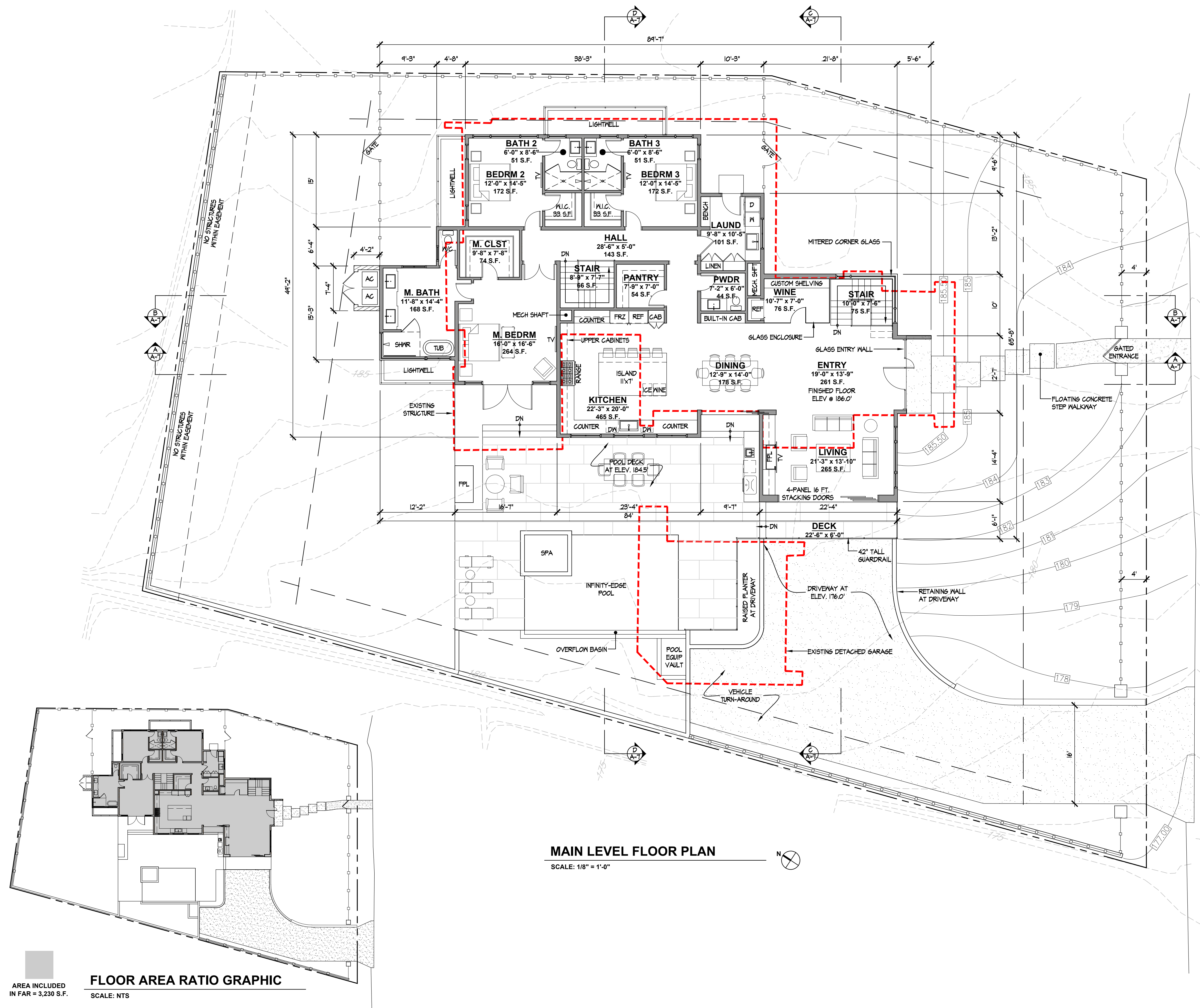
PROJECT TITLE:
OMOSS RESIDENCE
432 Carolina Road
Del Mar, California
92014

PROJECT STATUS:
DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
PLANS

JOB NO:	2206	A-2
PRINT DATE:	1-15-2024	
SCALE:	AS NOTED	



MAIN LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

FLOOR PLAN NOTES

1. SEE SHEET A-1 FOR AREA CALCULATIONS.

LEGEND

---	PROPERTY LINES
---	REQUIRED SETBACKS
XXXXXX	NEW 8" CMU BLOCK WALL
XXXXXX	NEW 8" CMU BLOCK WALL WITH 2" FURRING AT INTERIOR
----	NEW WOOD STUD WALL
- - - -	EXISTING STRUCTURE TO BE REMOVED

DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

FRISBEE ARCHITECTS, INC.
 310 Via Vera Cruz #212
 San Marcos, CA 92078
 info@frisbeearchitects.com
 858.492.8003

LICENSED ARCHITECT
 JAMES D. FRISBEE
 C-40146
 8/31/2025
 RENEWAL DATE
 STATE OF CALIFORNIA

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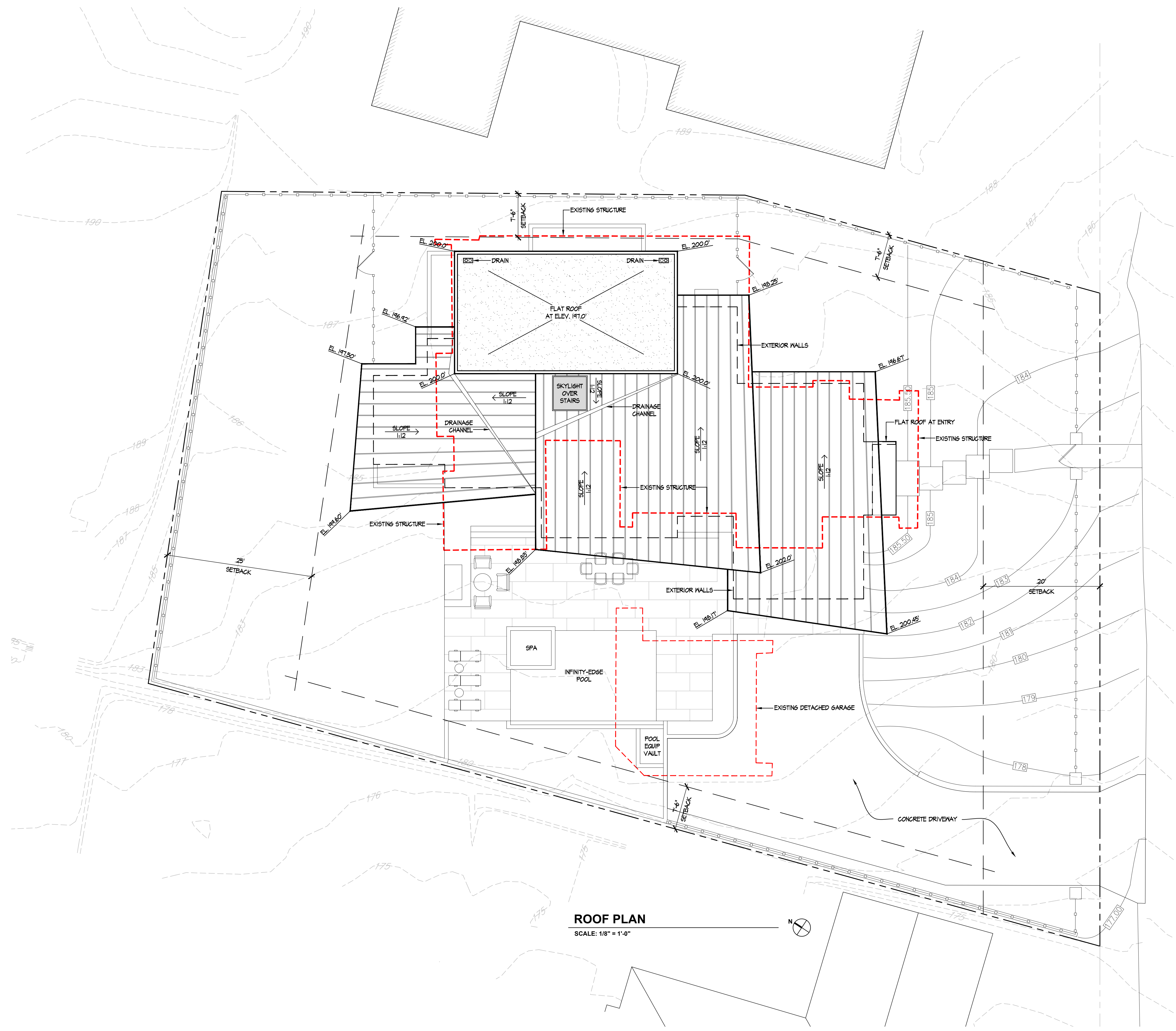
OMOSS RESIDENCE
 432 Carolina Road
 Del Mar, California
 92014

PROJECT STATUS: **DESIGN REVIEW**

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE: **PLANS**

JOB NO:	2206	A-3
PRINT DATE:	1-15-2024	
SCALE:	AS NOTED	



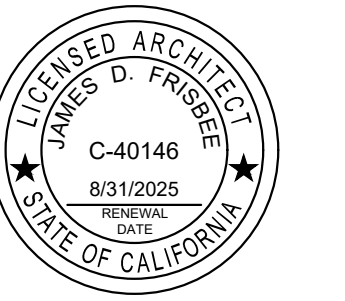
ROOF PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. TYPICAL ROOF SLOPE FOR STANDING SEAM METAL ROOFS IS 1:12.
2. AREA OF BUILT-UP FLAT ROOF SHALL SLOPE TO DRAINS WITH OVERFLOW PROTECTION.
3. FLAT ROOF TO BE ENCLOSED WITH 3 FT. TALL PARAPET.
4. PHOTOVOLTAIC SOLAR ARRAY TO BE INSTALLED ON FLAT ROOF, BELOW PARAPET WALLS.
5. SEE SHEET A-5 FOR STORY POLE ELEVATIONS
6. SKYLIGHT SPECIFICATION:
MFR: SUN-TEK
MODEL: F5C
UV FILM: APEX BLACK STEEL 05
VLT: 7%

LEGEND

- PROPERTY LINES
- REQUIRED SETBACKS
- EXISTING TOPOGRAPHY
- BUILT-UP FLAT ROOF SLOPE TO DRAINS
- 1/2 SLOPED METAL ROOF
- EXISTING STRUCTURE TO BE REMOVED



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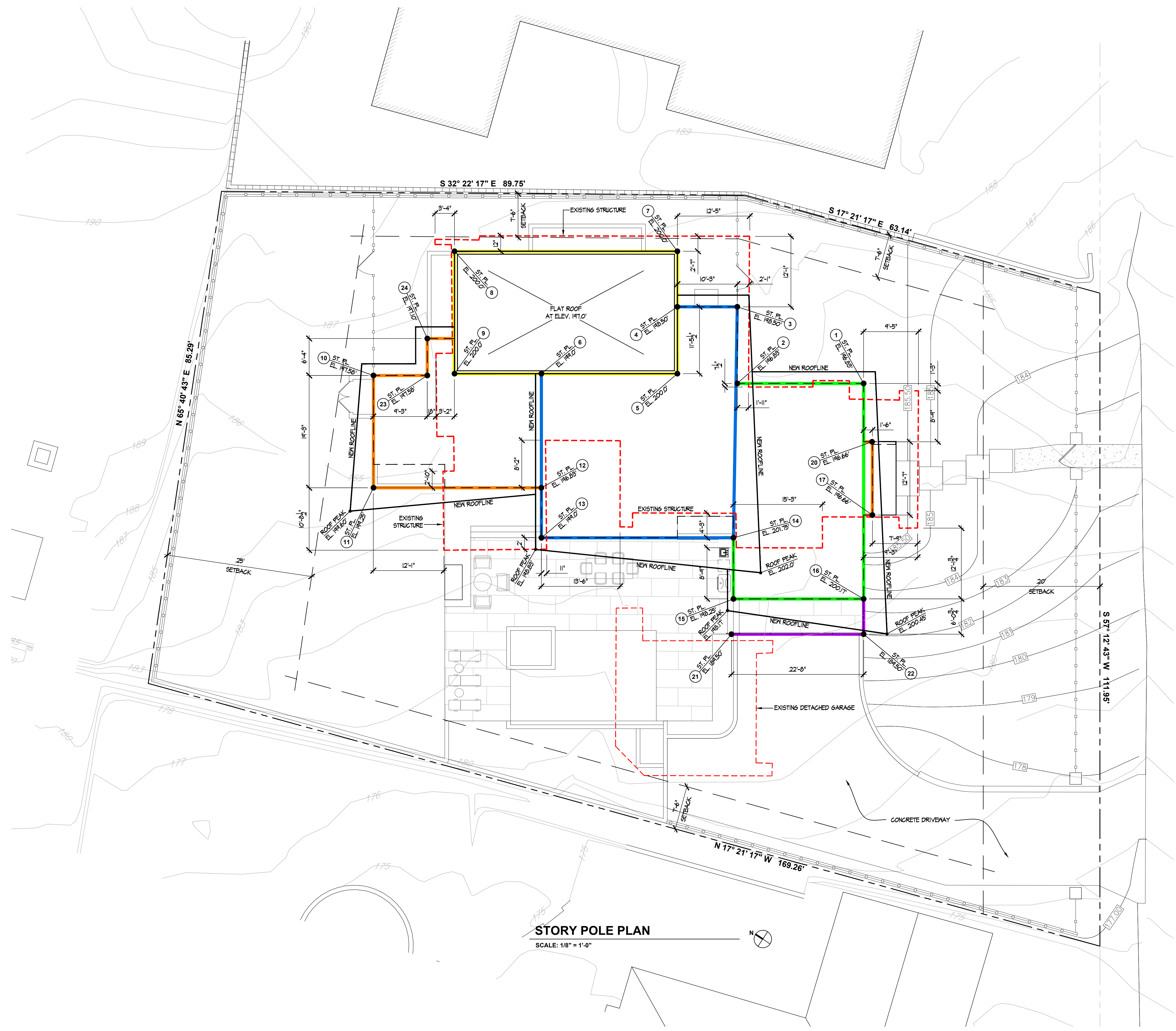
PROJECT TITLE:
OMOSS RESIDENCE
432 Carolina Road
Del Mar, California
92014

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DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
ROOF PLAN

JOB NO: 2206
PRINT DATE: 1-15-2024
SCALE: AS NOTED



STORY POLE PLAN
SCALE: 1/8" = 1'-0"

NOTES

1. STORY POLE LOCATIONS ARE MEASURED TO THE EXISTING STRUCTURES ON THE SITE.
2. STORY POLES ARE SHOWN FOR REFERENCE. REFER TO THE PLAN PROVIDED BY THE SURVEYOR FOR ACCURATE STORY POLE HEIGHTS & LOCATIONS.
3. STORY POLE HEIGHTS ARE MEASURED RELATIVE TO THE MEAN SEA LEVEL (MSL).

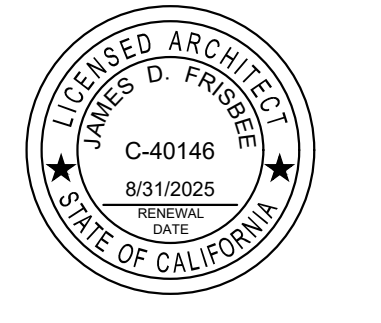
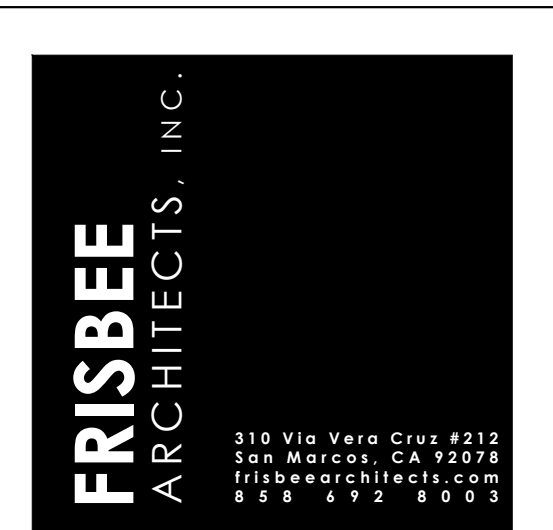
STORY POLE REFERENCE

NO.	HEIGHT (MSL)	REV.	+/-
1	196.83'	-	
2	196.83'	-	
3	198.50'	-	
4	198.50'	-	
5	200.00'	-	
6	199.00'	-	
7	200.00'	-	
8	200.00'	-	
9	200.00'	-	
10	197.58'	-	
11	199.25'	-	
12	196.83'	-	
13	199.00'	-	
14	201.75'	-	
15	198.25'	-	
16	200.17'	-	
17	196.66'	-	
18	NOT USED	-	
19	NOT USED	-	
20	196.66'	-	
21	189.50'	-	
22	189.50'	-	
23	197.58'	-	
24	197.10'	-	

LEGEND

- PROPERTY LINES
- REQUIRED SETBACKS
- EXISTING TOPOGRAPHY
- EXISTING STRUCTURE
- PROPOSED EXTERIOR WALLS
- PROPOSED RAILING
- STORY POLE LOCATION & HEIGHT

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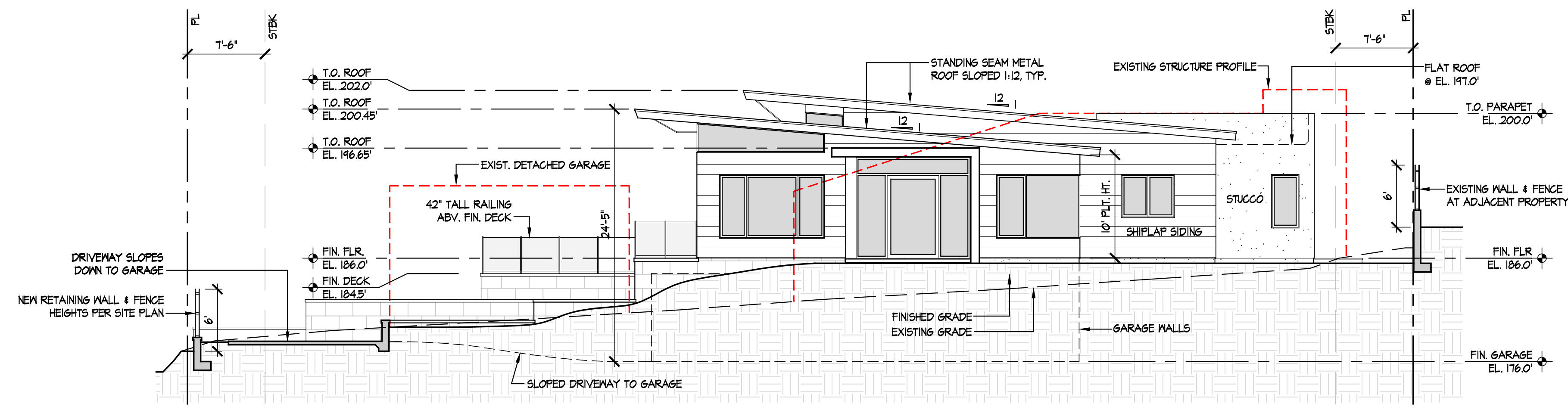
PROJECT STATUS: **DESIGN REVIEW**

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE: **STORY POLE PLAN**

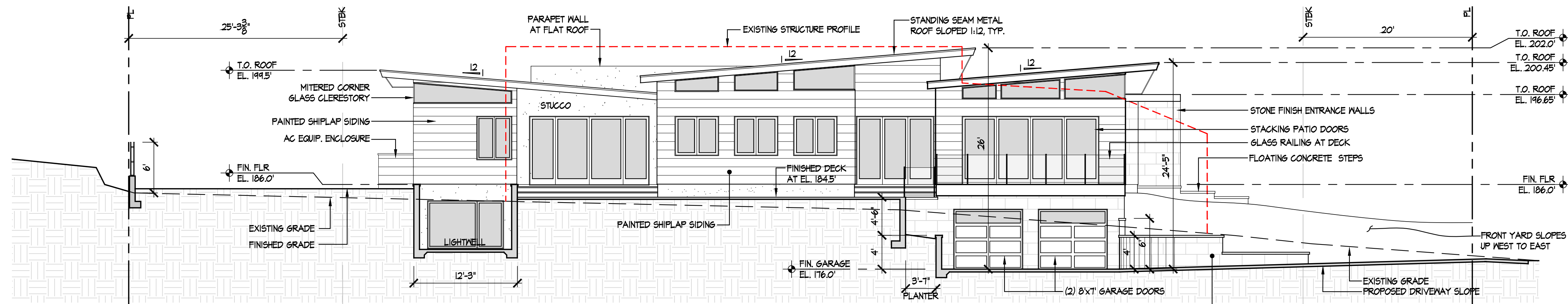
JOB NO:	2206
PRINT DATE:	1-15-2024
SCALE:	AS NOTED

A-5



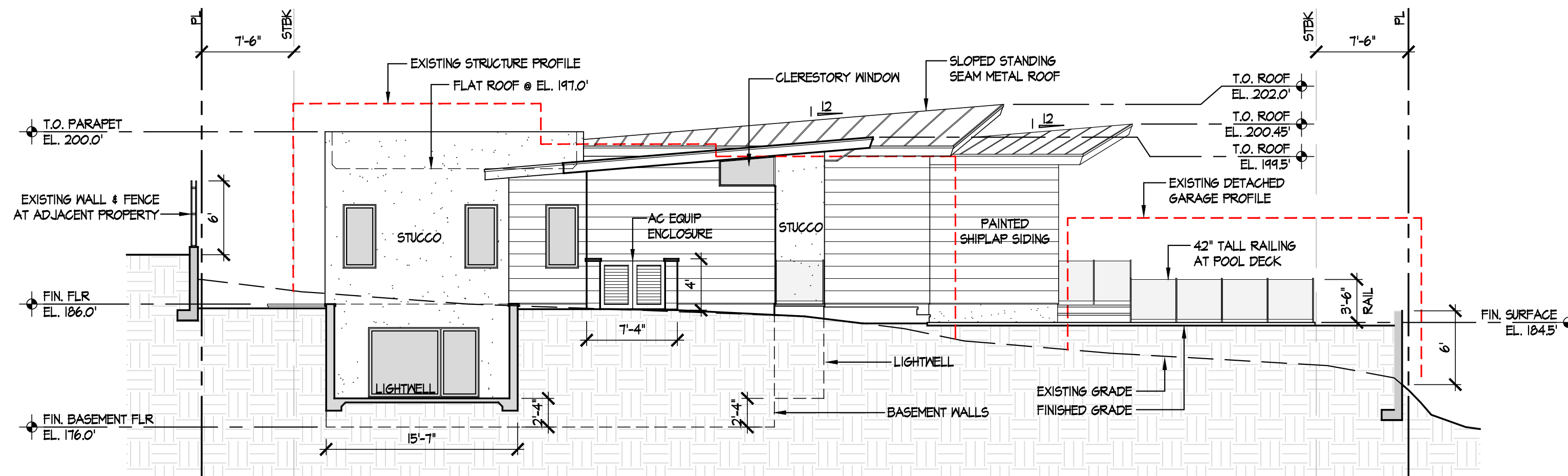
SOUTH (FRONT) ELEVATION

SCALE: 1/8" = 1'-0"



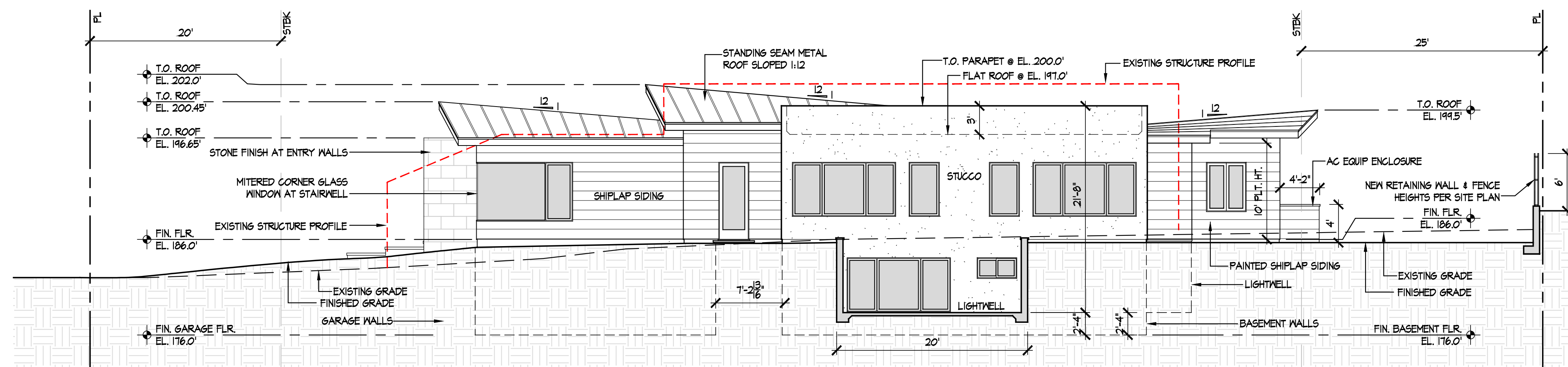
WEST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"



NORTH (REAR) ELEVATION

SCALE: 1/8" = 1'-0"

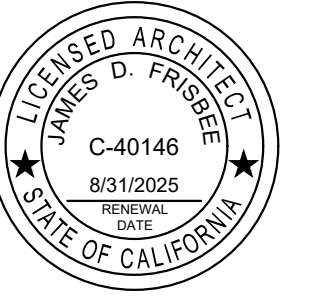


EAST (SIDE) ELEVATION

SCALE: 1/8" = 1'-0"

NOTES

1. FINISHED FLOOR ELEVATION OF MAIN LEVEL AT 186.0' (MSL), UNO.
2. 10'-0" A.F.F. TYPICAL PLATE HEIGHT AT INTERIOR.
3. TYPICAL ROOF SLOPE RATIO OF 1:12 AT METAL ROOFS
4. FLAT ROOF SLOPES A MINIMUM OF 1/4"12' TO ROOF DRAINS



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DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

LEGEND

- SMOOTHED STUCCO
- PAINTED HORIZONTAL SHIPLAP SIDING
- STONE TILE
- EXISTING STRUCTURE PROFILE

PROJECT TITLE:

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432 Carolina Road
Del Mar, California
92014

PROJECT STATUS:

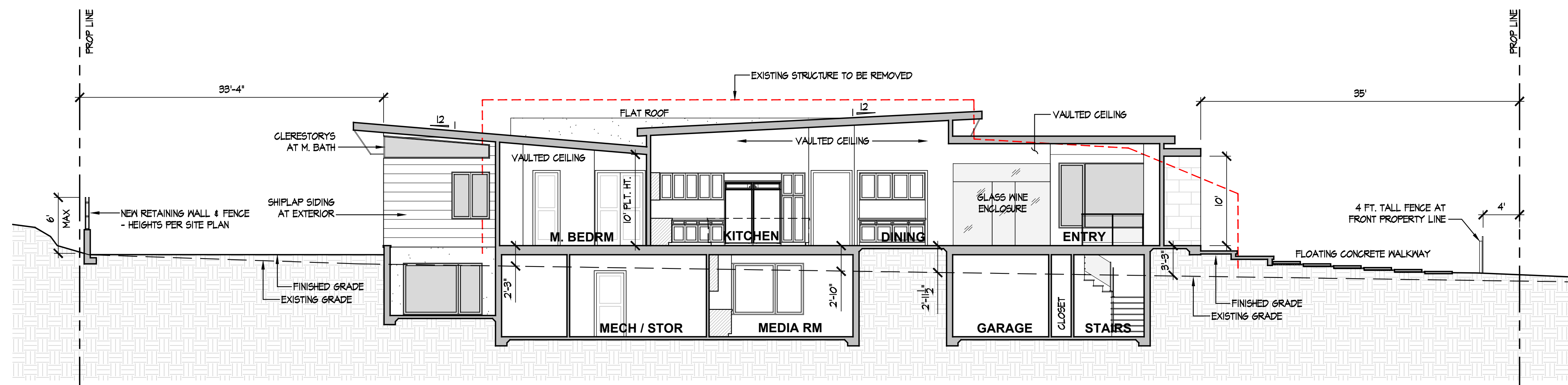
DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE: **EXTERIOR ELEVATIONS**

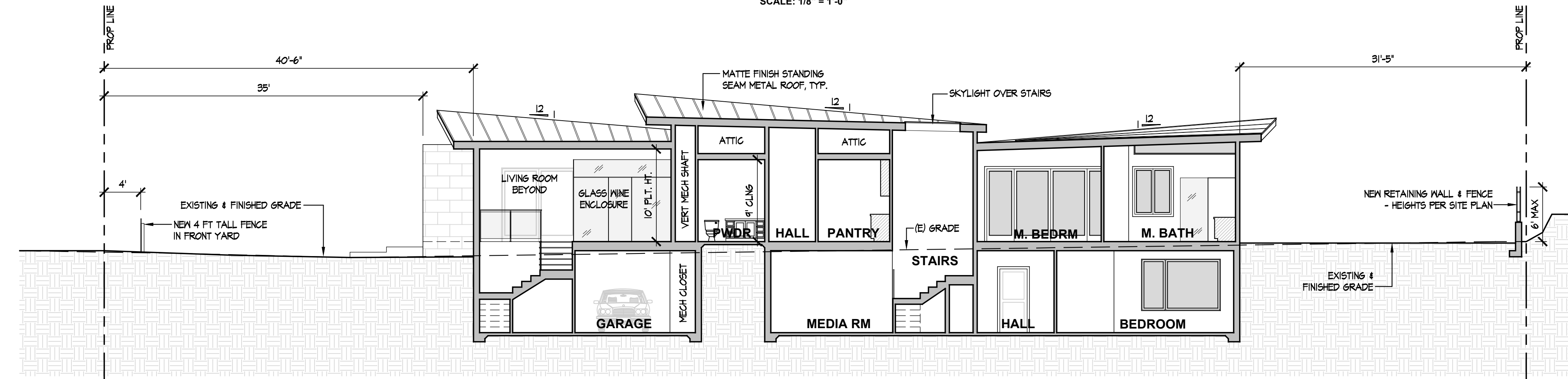
JOB NO: 2206
PRINT DATE: 1-15-2024
SCALE: AS NOTED

A-6



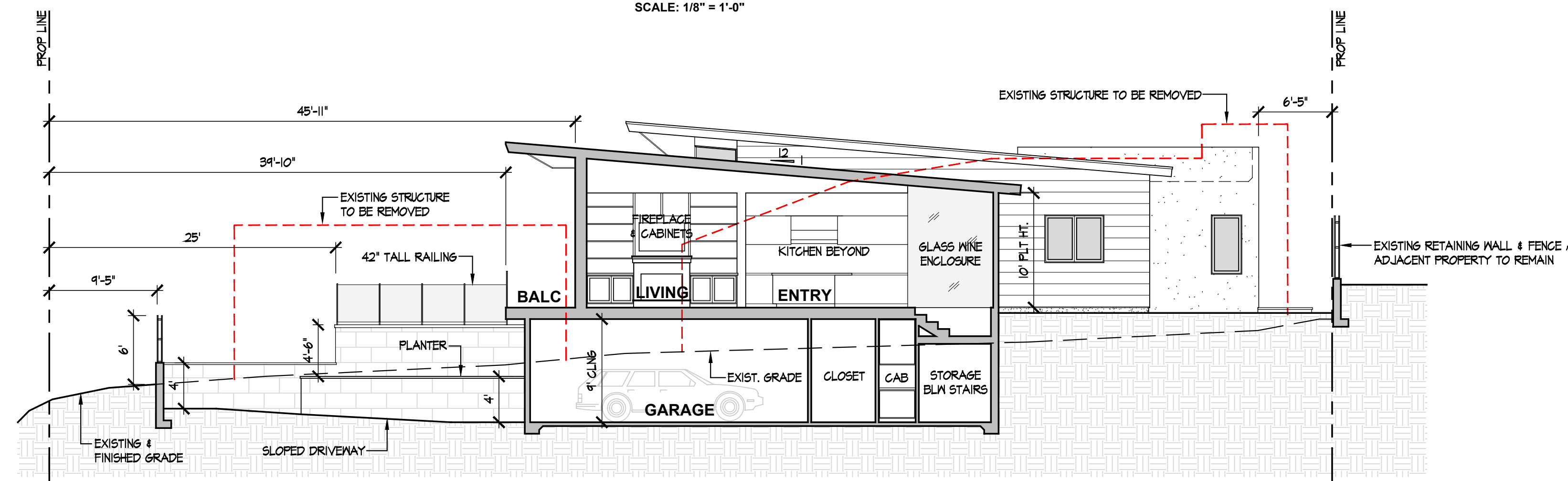
SECTION A - A

SCALE: 1/8" = 1'-0"



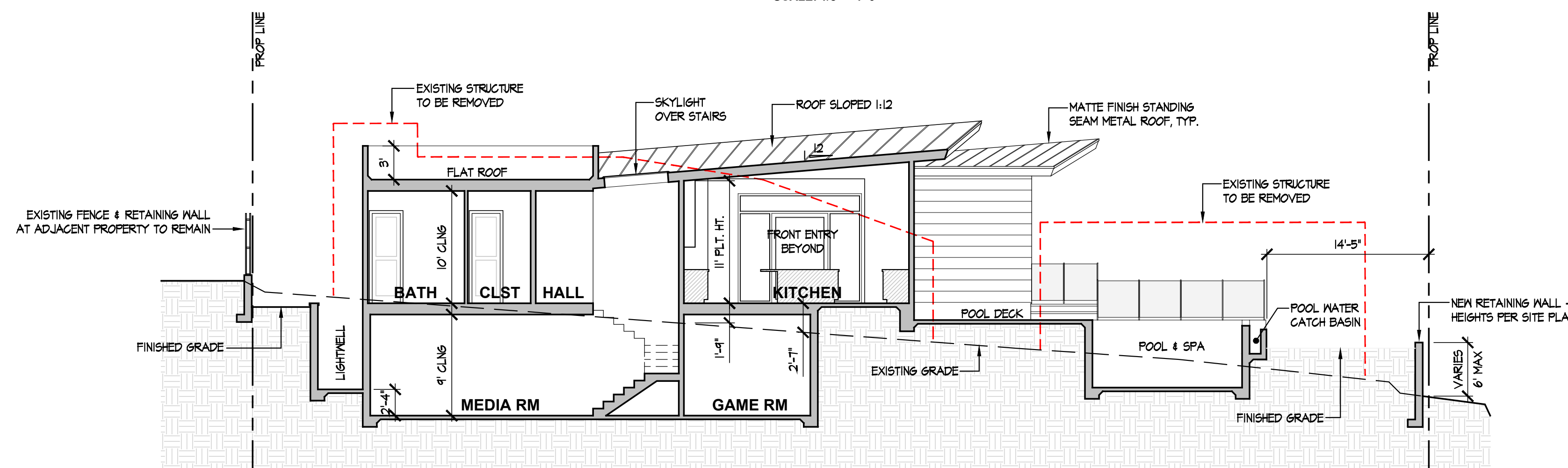
SECTION B - B

SCALE: 1/8" = 1'-0"



SECTION C - C

SCALE: 1/8" = 1'-0"

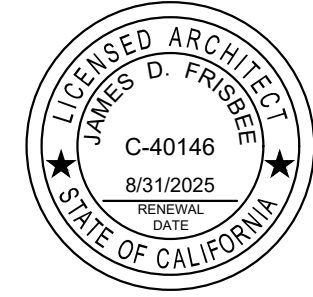


SECTION D - D

SCALE: 1/8" = 1'-0"

NOTES

1. REFER TO FLOOR PLANS FOR SECTION CUT REFERENCE
2. FINISHED FLOOR ELEVATION OF MAIN LEVEL AT 106.0' (MSL), U.N.O.
3. 10'-0" A.F.F. TYPICAL PLATE HEIGHT AT INTERIOR.
4. TYPICAL ROOF SLOPE RATIO OF 1:12 AT METAL ROOFS



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DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

LEGEND

PROJECT TITLE:

OMOSS RESIDENCE
432 Carolina Road
Del Mar, California
92014

PROJECT STATUS:

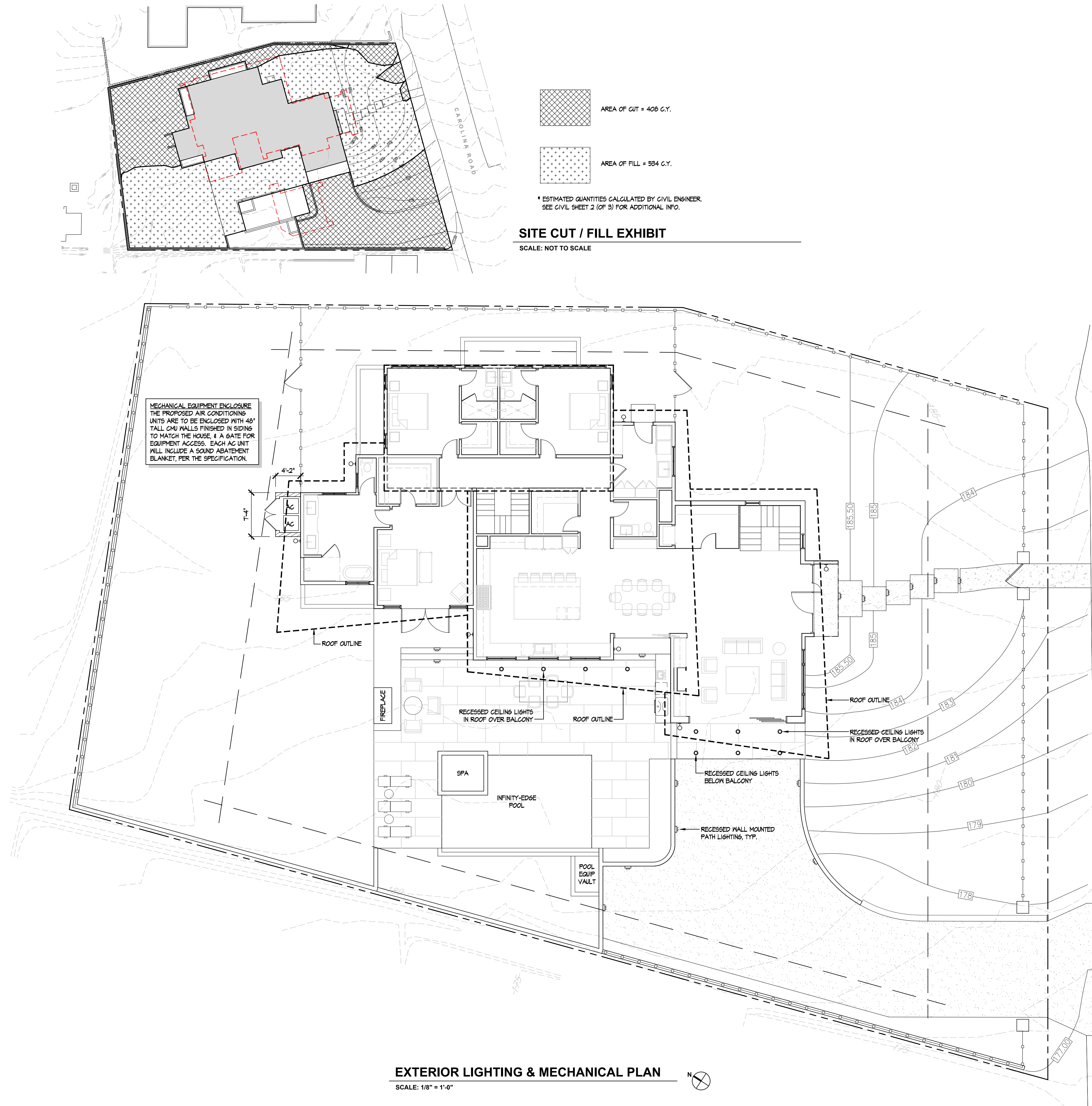
DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
BUILDING SECTIONS

JOB NO: 2206
PRINT DATE: 1-15-2024
SCALE: AS NOTED

A-7



AREA OF CUT = 400 C.Y.

AREA OF FILL = 534 C.Y.

* ESTIMATED QUANTITIES CALCULATED BY CIVIL ENGINEER. SEE CIVIL SHEET 2 (OF 3) FOR ADDITIONAL INFO.

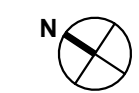
SITE CUT / FILL EXHIBIT

SCALE: NOT TO SCALE

MECHANICAL EQUIPMENT ENCLOSURE THE PROPOSED AIR CONDITIONING UNITS ARE TO BE ENCLOSED WITH 48" TALL CMU WALLS FINISHED IN SIDING TO MATCH THE HOUSE, & A GATE FOR EQUIPMENT ACCESS. EACH AC UNIT WILL INCLUDE A SOUND ABATEMENT BLANKET, PER THE SPECIFICATION.

EXTERIOR LIGHTING & MECHANICAL PLAN

SCALE: 1/8" = 1'-0"



LIGHTING NOTES

1. ALL EXTERIOR LIGHTING SHALL BE DOWNWARD FACING, DARK SKY COMPLIANT, & SHALL MINIMIZE LIGHT TRESPASS ONTO ADJACENT PROPERTIES AND THE PUBLIC RIGHT-OF-WAY.
2. SEE LIGHTING SPEC SHEETS FOR ADDITIONAL INFORMATION.

LIGHTING SPECS

- WALL MOUNTED SCONCE**
MFR: MODERN FORMS
MODEL: PANDORA
SIZE: LARGE (4 3/4" x 11" x 11")
LIGHT SOURCE: LED
LUMENS: 550
COLOR TEMP: 3000K
- PATH LIGHTING (RECESSED)**
MFR: HINKLEY
MODEL: TAPER
SIZE: LARGE (8' x 3 1/4" x 1")
LIGHT SOURCE: LED
LUMENS: 160
COLOR TEMP: 2700K
- CEILING DOWN-LIGHTS (RECESSED)**
MFR: LOTUS
MODEL: LL6RR-2TK-BK
SIZE: 6" ROUND
LIGHT SOURCE: LED
LUMENS: 1150
COLOR TEMP: 2700
- *SPECS SHEETS PROVIDED AT SUBMITTAL

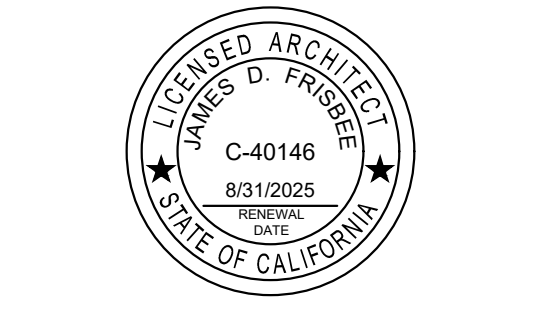
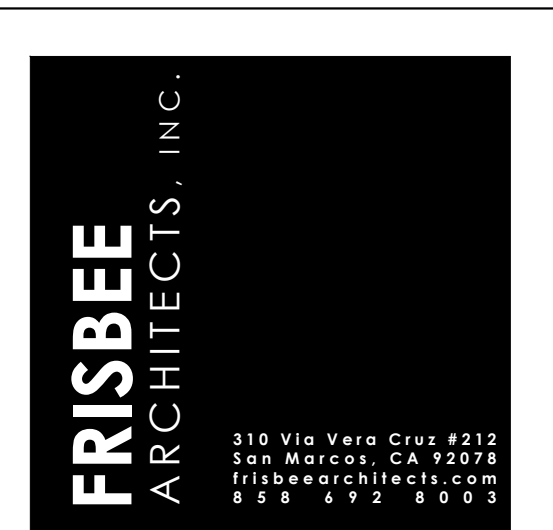
LEGEND

- PROPERTY LINES _____
- REQUIRED SETBACKS _____
- WALL MOUNTED SCONCE
- RECESSED WALL MOUNTED PATH LIGHTING
- RECESSED CEILING MOUNTED DOWNLIGHTS

MECHANICAL SPECS

- AIR CONDITIONING CONDENSERS**
MFR: CARRIER
MODEL: INFINITY
SOUND LEVEL: 56 dB
- SOUND ATTENUATION**
MFR: BRINMAR
MODEL: SBHD
LEVEL REDUCED: 5 dB (MINIMUM)
40% SOUND REDUCTION
- NOTE: EACH CONDENSER UNIT TO BE ATTENUATED USING A BLANKET THAT PROVIDES A MINIMUM 5 dB REDUCTION IN LEVEL (40% SOUND REDUCTION).
- POOL EQUIPMENT**
MFR: PENTAIR
MODEL: VARIABLE SPEED PUMP
SOUND LEVEL: UNKNOWN
- NOTE: POOL & SPA EQUIPMENT TO BE LOCATED IN A VAULTED SPACE BELOW GRADE.

DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION



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PROJECT TITLE:
OMOSS RESIDENCE
432 Carolina Road
Del Mar, California
92014

PROJECT STATUS:
DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
LIGHTING PLAN & EQUIPMENT SPECS

JOB NO: 2206
PRINT DATE: 1-15-2024
SCALE: AS NOTED
A-8

HOUSES EAST OF PROJECT PROPERTY



424 Carolina Rd.



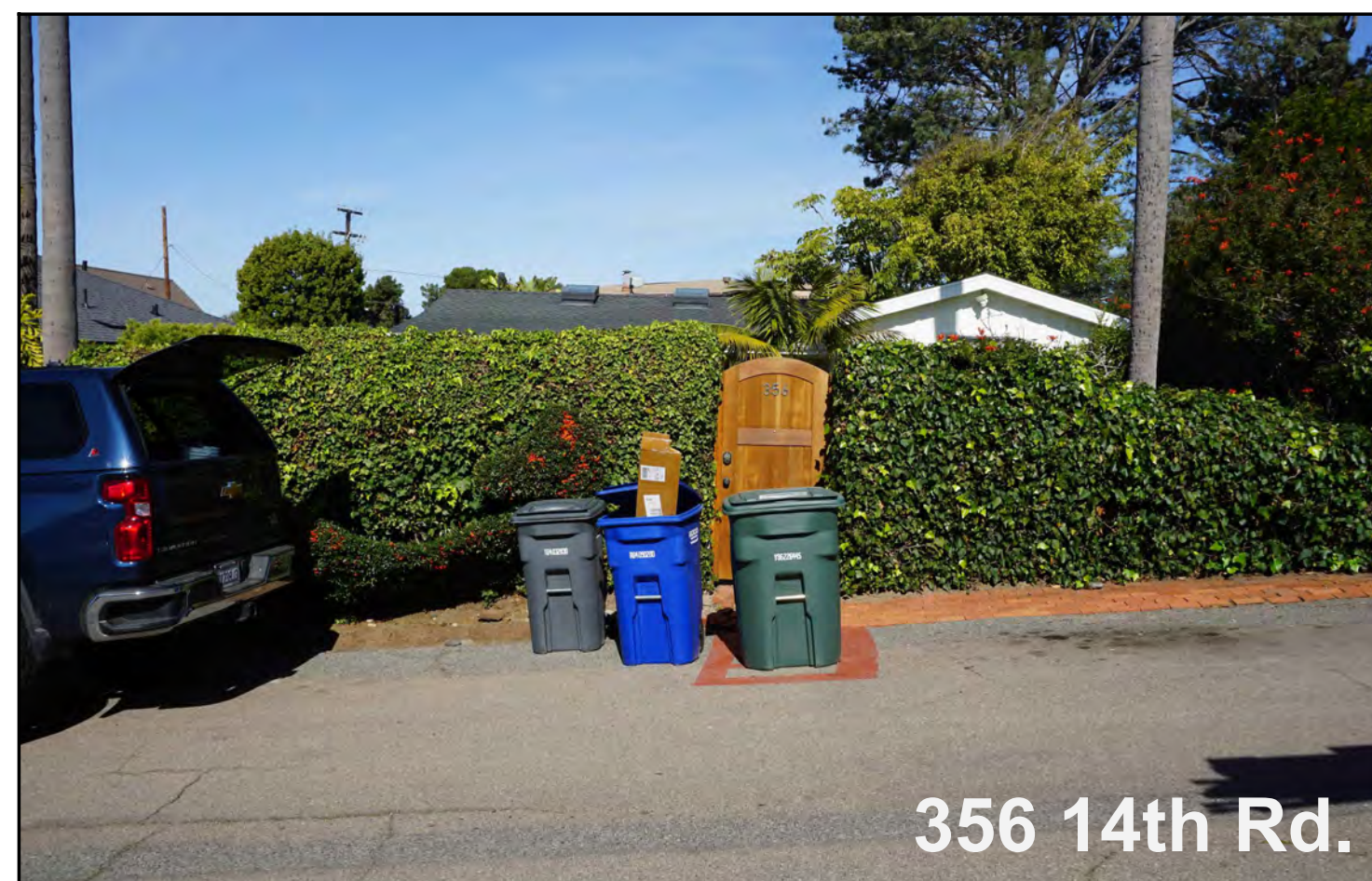
444 Carolina Rd.



480 Carolina Rd.



432 Carolina Rd.



356 14th Rd.



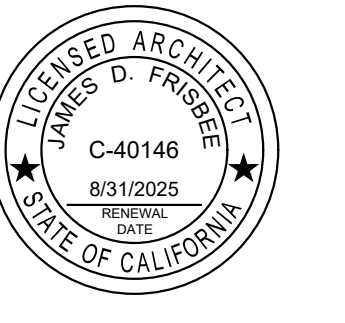
1410 Luneta Rd.



1407 Luneta Rd.

HOUSES WEST OF PROJECT PROPERTY

FRISBEE ARCHITECTS, INC.
 310 Via Verro Cruz #212
 San Marcos, CA 92078
 frisbee@architects.com
 858 492 8003



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DISCRETIONARY REVIEW - NOT FOR CONSTRUCTION

PROJECT TITLE:
OMOSS RESIDENCE
 432 Carolina Road
 Del Mar, California
 92014

PROJECT STATUS:
DESIGN REVIEW

DATE	DESCRIPTION
11-1-2023	DESIGN REVIEW SUBMITTAL

SHEET TITLE:
NEIGHBORHOOD CONTEXT EXHIBIT

JOB NO: 2206
 PRINT DATE: 1-15-2024
 SCALE: AS NOTED

A-9



LEGEND

PROPERTY LINE / BOUNDARY	SYMBOL
RIGHT OF WAY LINE	P/L
CENTER LINE	R/W
ADJACENT PROPERTY LINE	---
ADJACENT EASEMENT	---
EXISTING FINISHED FLOOR ELEVATION	F.F.E. 183.00
EXISTING GARAGE FINISH FLOOR	G.F.E. 180.35
EXISTING SPOT ELEVATION	+ 180.15
EXISTING ROOF ELEVATION	+ 180.10
EXISTING TOP OF FENCE ELEVATION	+ 182.39 TF
EXISTING TOP OF WALL ELEVATION	+ 186.42 TW
EXISTING AC PAVING	AC
EXISTING PLANTER	PLANTER
EXISTING CONCRETE	CONC
EXISTING BRICK PAVING	BRICK
EXISTING WOOD FENCE	WOOD FENCE
EXISTING CHAIN LINK FENCE	CHAIN LINK
EXISTING STACKABLE RETAINING WALL	STACKABLE WALL
EXISTING MASONRY FENCE	MASONRY FENCE
EXISTING WATER LATERAL	W
EXISTING ELECTRIC METER	E
EXISTING GAS METER	G
EXISTING WATER LINE	W
EXISTING SEWER LINE	S
EXISTING GAS LINE	G
EXISTING POWER POLE	PP
EXISTING EXISTING OVERHEAD UTILITIES	OHU
INDICATED RECORD DATA PER PM 23228	()
FOUND GEARHEAD SPIKE AND WASHER STAMPED "LS 7959" PER RECORD OF SURVEY 23228	(A)
INDICATES SEARCH FOR BUT NOT FOUND	SNF

LEGAL DESCRIPTION

REAL PROPERTY IN THE CITY OF DEL MAR, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT "F" IN BLOCK 20 OF ARDEN HEIGHTS UNIT NO. 2, IN THE CITY OF DEL MAR, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1291, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, OCTOBER 7, 1910.

EXCEPTING FROM SAID LOT "F" THAT PORTION THEREOF CONVEYED TO SAMUEL M. KERNS AND WIFE, BY DEED RECORDED OCTOBER 27, 1953 IN BOOK 5028, PAGE 181 OF OFFICIAL RECORDS AS DOCUMENT NO. 146049, DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT "F" IN BLOCK 20 OF ARDEN HEIGHTS NO. 2; THENCE NORTH 17°25' WEST 169.3 FEET NORTHWEST ALONG THE SOUTHWEST LINE OF SAID LOT "F"; THENCE NORTH 65°37' EAST 1 FOOT 6 INCHES ON THE DIVIDING LINE BETWEEN LOTS "F" AND "E" IN BLOCK 20 OF ARDEN HEIGHTS NO. 2; THENCE SOUTH 17°25' EAST 169.3 FEET MORE OR LESS TO CAROLINA ROAD; THENCE SOUTH 57°09' WEST ALONG CAROLINA ROAD TO THE POINT OF BEGINNING.

ALSO EXCEPTING THAT PORTION DESCRIBED AS FOLLOWS:

BEGINNING AT THE MOST NORTHERLY CORNER OF SAID LOT "F" THENCE SOUTH 65°33'15" WEST RECORD SOUTH 65°37' WEST ALONG THE NORTHWESTERLY LINE OF SAID LOT A DISTANCE OF 65.00 FEET; THENCE SOUTH 32°26' EAST 89.75 FEET; THENCE SOUTH 17°25' EAST 63.14 FEET TO THE SOUTHEASTERLY LINE OF SAID LOT "F" THENCE NORTH 56°51'52" EAST-RECORD NORTH 57°09' EAST ALONG SAID SOUTHEASTERLY LINE 42.59 FEET TO THE MOST NORTHERLY CORNER OF SAID LOT; THENCE NORTH 17°25' EAST 146.20 FEET TO THE POINT OF BEGINNING.

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE CALIFORNIA COORDINATE SYSTEM, CCS83, ZONE 6, EPOCH 1991.35. THE CCS83 COORDINATES ARE ESTABLISHED FROM G.P.S. STATION "CITY BDRY" AND G.P.S. STATION "CURRY" PER R.O.S. MAP NO. 12921. THE BEARING FROM G.P.S. STATION "CITY BDRY" AND G.P.S. STATION "CURRY" IS N221°3'48"W.

QUOTES BEARINGS FROM REFERENCE MAPS AND DEEDS MAY OR MAY NOT BE IN TERMS OF SAID SYSTEM.

THE COMBINED GRID FACTOR AT G.P.S. STATION "CITY BDRY" IS 0.999976. GRID DISTANCE = GROUND DISTANCE X COMBINED GRID FACTOR. ELEVATION AT G.P.S. STATION "CITY BDRY" IS 210.05' NGVD 29.

LOT AREA
16,329 SQUARE FEET.

ASSESSOR'S PARCEL NUMBER
300-030-60-00

- EASEMENTS**
- AN EASEMENTS FOR ELECTRICAL AND TELEPHONE LINE AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED MARCH 7, 1952 AS BOOK 4395, PAGE 336 OF OFFICIAL RECORDS.
 - AN EASEMENT FOR EITHER OR BOTH POLES LINES, UNDERGROUND CONDUITS AND INCIDENTAL PURPOSES IN THE DOCUMENT RECORDED JUNE 30, 1954 AS BOOK 5285, PAGE 367 OF OFFICIAL RECORDS.

EXISTING SEWER DETERMINATION

THE EXISTING SEWER LATERAL SHALL BE VIDEOED AND CERTIFIED CLEAR OF OBSTRUCTIONS OR DAMAGE BY A LICENSED PLUMBER. A VIDEO DOCUMENTATION AND REPORT SHALL BE PROVIDED TO THE DEL MAR DIRECTOR OF PUBLIC WORKS CERTIFYING THE SOUNDNESS AND VIABILITY OF THE EXISTING SEWER LATERAL. PRIOR TO CONNECTION OF THE PROPOSED SEWER LATERAL TO THE EXISTING RESIDENTIAL LATERAL SHOULD THE LATERAL BE DAMAGED AND BEYOND REPAIR, A NEW LATERAL SHALL BE INSTALLED TO SERVICE THE EXISTING RESIDENCE AND THE ACCESSORY DWELLING UNIT.

EASEMENTS NOTE

I CERTIFY THAT ALL EASEMENTS (WIDTHS AND LOCATIONS) ARE SHOWN CORRECTLY AND SUBJECT PROPERTY HAS LEGAL ACCESS TO ALL EASEMENTS SHOWN ON THE PLOT PLAN. IF THEY ARE INCORRECTLY SHOWN, THEN I WILL PROVIDE A REVISED PLOT PLAN AND BEAR THE RESPONSIBILITY FOR ANY CORRECTIVE MEASURES.

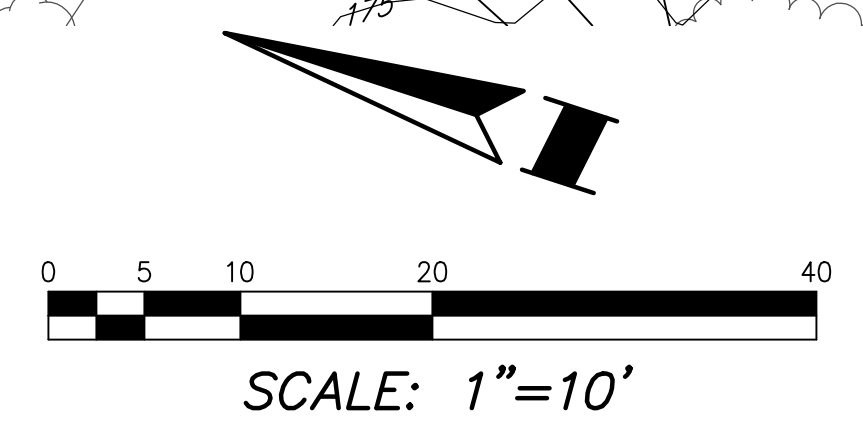
Jorge H. Palacios, RCE 32031
10-17-23
DATE

BENCH MARK

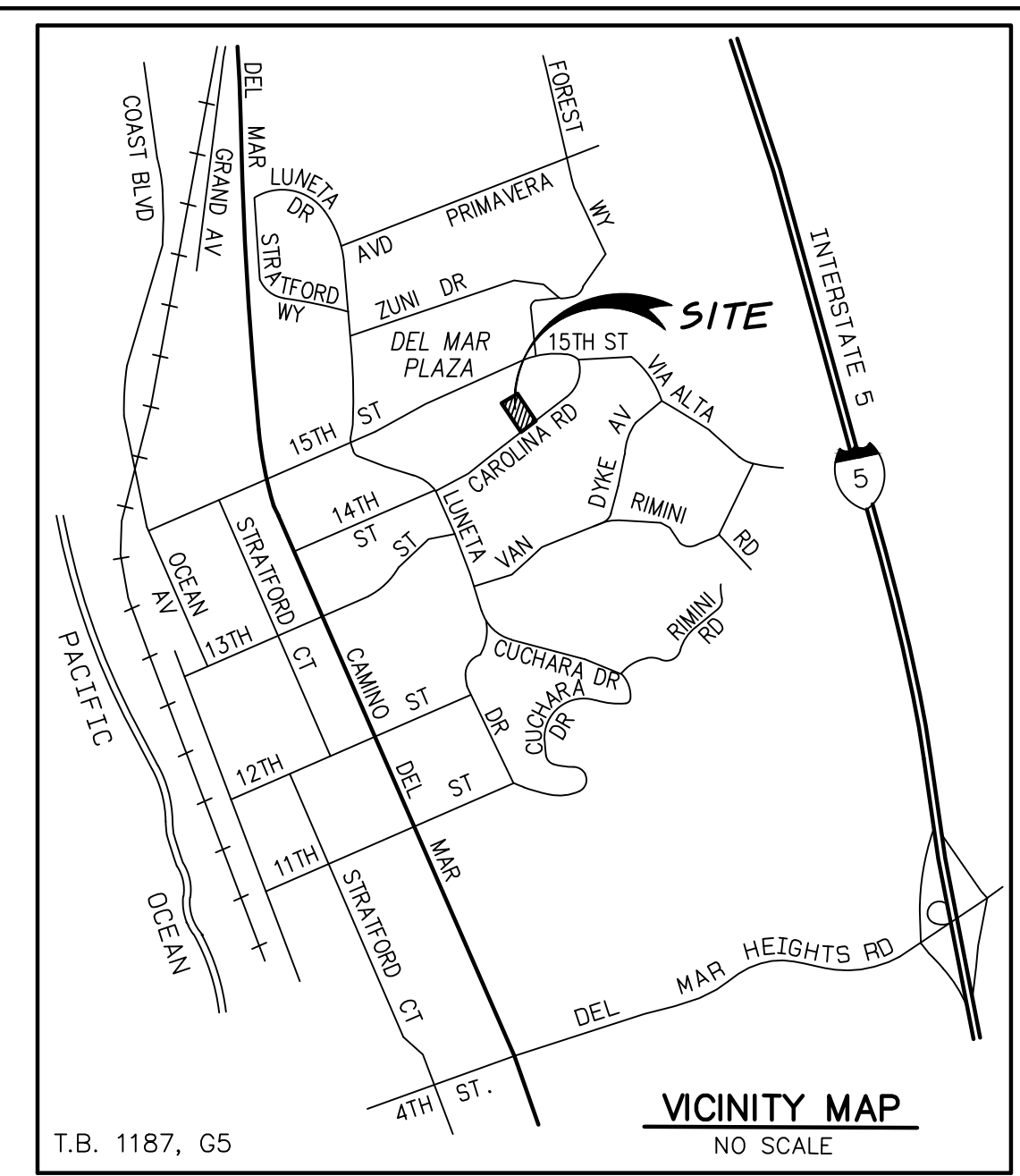
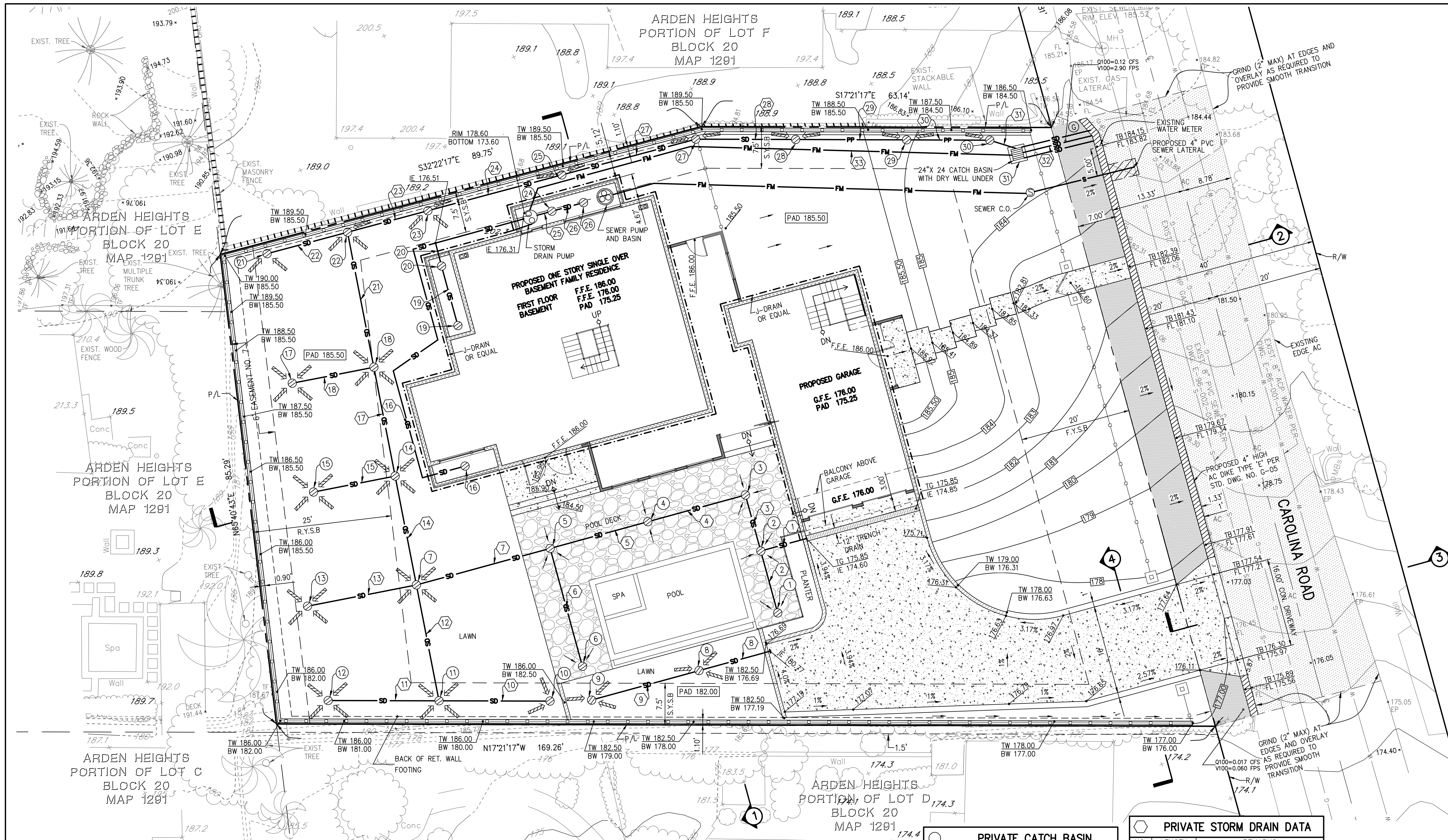
DESCRIPTION: 2.5" BRASS DISC MARKED "CURRY 1990 PLS 4965"

LOCATION: LOCATED AT THE SOUTHEASTERLY INTERSECTION OF CAMINO DEL MAR AND 10TH STREET, 24TH STREET

RECORD FROM: CITY OF DEL MAR
ELEVATION: 146.75' DATUM: NGVD 29



NO. DATE	BY	DESIGNER: JHP	SHEET TITLE: EXISTING TOPOGRAPHY AND BOUNDARY	SHEET 1	Project No. 1123-22
	NO. DATE	DRAWN: RV	PROJECT NAME: 432 CAROLINA ROAD	OF 3	
NO. DATE	BY	CHECKED: JHP	DATE: 01-18-24		
NO. DATE	BY	DATE: 01-18-24			
CIVIL ENGINEERING • LAND PLANNING • SURVEYING • 4849 RONSON COURT, SUITE 105, SAN DIEGO, CA 92111 • (858)569-7377 FAX (858)569-0830					



LEGEND

PROPOSED FIRST FLOOR ELEVATION	F.F.E. 186.00
PROPOSED BASEMENT FLOOR ELEVATION	F.F.E. 176.00
PROPOSED GARAGE FLOOR ELEVATION	G.F.E. 176.00
PROPOSED PAD ELEVATION	PAD 175.25
PROPOSED CONCRETE DRIVEWAY AND WALKWAY	
PROPOSED PLANTER	
PROPOSED LAWN	
PROPOSED FLAGSTONE	
PROPOSED 4" DG SIDEWALK	
PROPOSED 2" MAX. AC SEAL ANY CRACKS AND SLURRY SEAL	
PROPOSED 4" AC DIKE TYPE 'E'	
PROPOSED 12" TRENCH DRAIN	
PROPOSED CONCRETE DRIVEWAY	
PROPOSED RETAINING WALL	
PROPOSED BASEMENT RETAINING WALL	
PROPOSED FENCE	
PROPOSED RETAINING WALL AND FENCE	
PROPOSED 4" PVC SEWER LATERAL	
PROPOSED TRENCH RESURFACING	
PROPOSED FINISHED CONTOUR ELEVATION	
PROPOSED SPOT ELEVATION	
PROPOSED TOP OF AC DIKE	
PROPOSED TOP OF GRADE ELEVATION	
PROPOSED BOTTOM OF RETAINING WALL	
PROPOSED TOP OF RETAINING WALL	
PROPOSED VEGETATED SWALE	
PROPOSED DIRECTION OF FLOW	
PROPOSED CATCH BASIN	
PROPOSED STORM DRAIN CLEAN OUT	
PROPOSED STORM DRAIN SUMP PUMP	
PROPOSED SEWER BASIN AND PUMP	
PROPOSED 24"x24" CATCH BASIN	
PROPOSED 4" PERFORATED STORM DRAIN PIPE	
PROPOSED 2" PVC FORCE MAIN	
PROPOSED STORM DRAIN PIPE	
PROPOSED J-DRAIN OR EQUAL	
INDICATES FRONT SETBACK	F.Y.S.B
INDICATES SIDE YARD SETBACK	S.Y.S.B
INDICATES REAR SETBACK	R.Y.S.B

EARTHWORK QUANTITIES (EXCLUDES BUILDING FOOTPRINT)

EXCAVATION: 408 C.Y. FILL: 534 C.Y.
 IMPORT: 126 C.Y.
 ALL IMPORT MATERIAL SHALL BE TAKEN FROM A LEGAL SITE.
 MAXIMUM DEPTH OF CUT: 6.4 FEET
 MAXIMUM DEPTH OF FILL: 6.5 FEET

NOTE: EARTHWORK QUANTITIES ARE ESTIMATED FOR PERMIT PURPOSES ONLY AND ARE NOT TO BE USED FOR FINAL PAY QUANTITIES.

PRIVATE CATCH BASIN

NO.	TOP OF GRATE ELEVATION	INVERT ELEVATION AT CATCH BASIN
1	184.60	174.63
2	184.60	174.51
3	184.60	174.41
4	184.60	174.23
5	184.60	174.04
6	184.60	174.27
7	185.60	173.79
8	182.10	180.90
9	182.10	181.10
10	185.60	174.21
11	185.60	174.01
12	185.60	174.21
13	185.60	173.99
14	185.60	173.59
15	185.60	173.74
16	178.60	177.10
17	185.60	173.54
18	185.60	173.39
19	178.60	176.67
20	178.60	176.55
21	185.60	173.30
22	185.60	173.15
23	185.60	173.00
24	185.60	176.37
25	185.60	172.75
26	185.60	176.43
27	185.60	172.50
28	185.60	172.32
29	185.18	172.12
30	184.72	171.97
31	184.38	171.92

PRIVATE STORM DRAIN DATA

NO.	LENGTH	REMARKS
1	8.54	4" HDPE OR PVC @ 1% MIN.
2	11.59	4" HDPE OR PVC @ 1% MIN.
3	10.47	4" HDPE OR PVC @ 1% MIN.
4	18.25	4" HDPE OR PVC @ 1% MIN.
5	18.25	4" HDPE OR PVC @ 1% MIN.
6	22.05	4" HDPE OR PVC @ 1% MIN.
7	25.00	4" HDPE OR PVC @ 1% MIN.
8	20.00	4" HDPE OR PVC @ 1% MIN.
9	13.29	4" HDPE OR PVC @ 1% MIN.
10	20.00	4" HDPE OR PVC @ 1% MIN.
11	20.00	4" HDPE OR PVC @ 1% MIN.
12	21.29	4" HDPE OR PVC @ 1% MIN.
13	20.00	4" HDPE OR PVC @ 1% MIN.
14	20.00	4" HDPE OR PVC @ 1% MIN.
15	15.00	4" HDPE OR PVC @ 1% MIN.
16	75.31	4" HDPE OR PVC @ 1% MIN.
17	20.00	4" HDPE OR PVC @ 1% MIN.
18	15.00	4" HDPE OR PVC @ 1% MIN.
19	11.14	4" HDPE OR PVC @ 1% MIN.
20	4.28	4" HDPE OR PVC @ 1% MIN.
21	24.82	4" HDPE OR PVC @ 1% MIN.
22	15.00	4" HDPE OR PVC @ 1% MIN.
23	15.00	6" HDPE OR PVC @ 1% MIN.
24	25.00	6" HDPE OR PVC @ 1% MIN.
25	2.77	4" HDPE OR PVC @ 1% MIN.
26	5.91	4" HDPE OR PVC @ 1% MIN.
27	25.00	6" HDPE OR PVC @ 1% MIN.
28	18.00	6" HDPE OR PVC @ 1% MIN.
29	20.00	6" PERFORATED PVC @ 1% MIN.
30	15.00	6" PERFORATED PVC @ 1% MIN.
31	5.00	6" HDPE OR PVC @ 1% MIN.
32	5.91	3-3" PULL @ 2% MIN.
33	90.74	2" PVC FM @ 1% MIN.

BENCH MARK
 DESCRIPTION: 2.5" BRASS DISC MARKED "CURRY 1990 PLS 4965"
 LOCATION: LOCATED AT THE SOUTHEASTERLY INTERSECTION OF CAMINO DEL MAR AND 10TH STREET, 24TH STREET
 RECORD FROM: CITY OF DEL MAR
 ELEVATION: 146.75' DATUM: NGVD 29



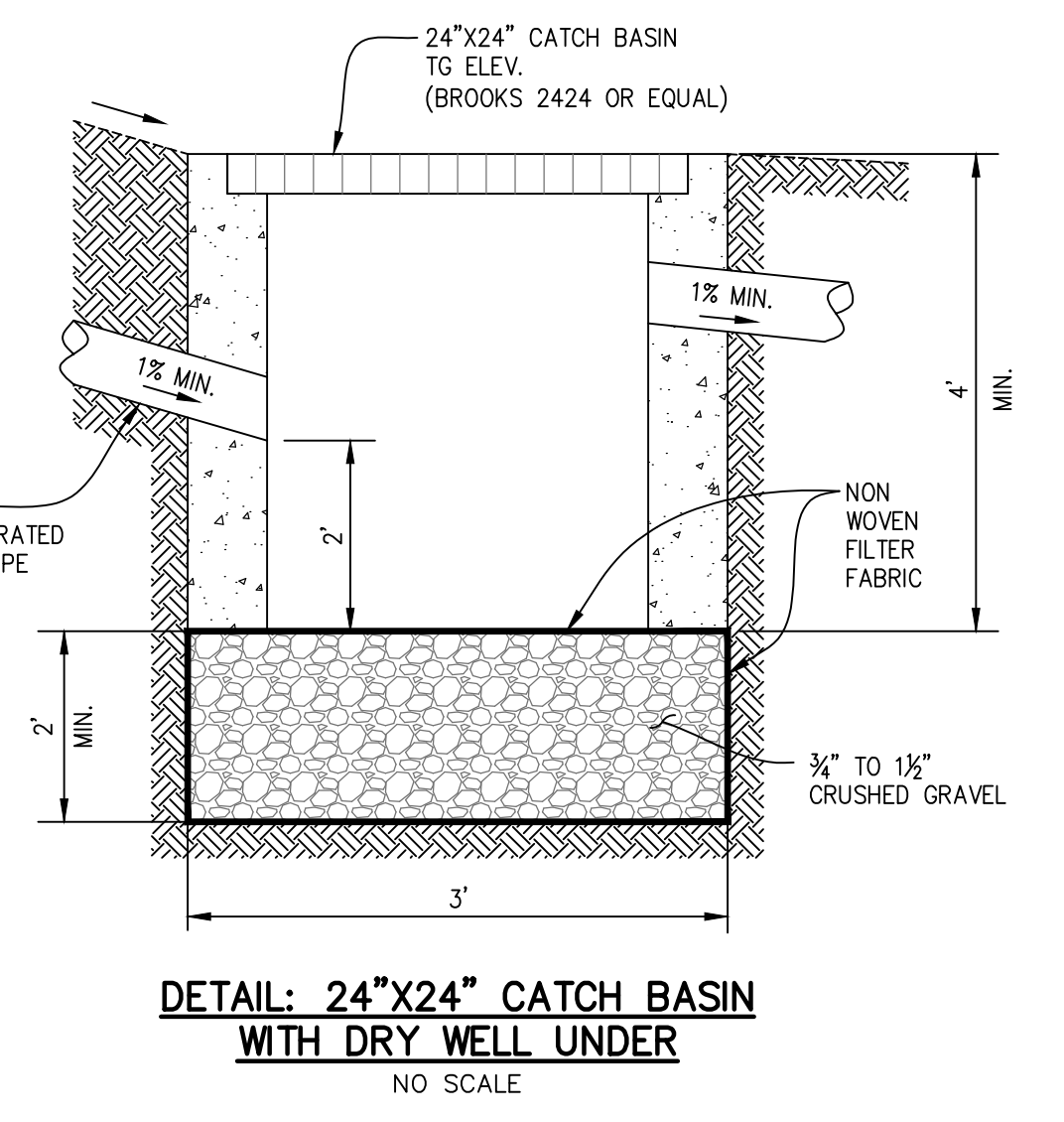
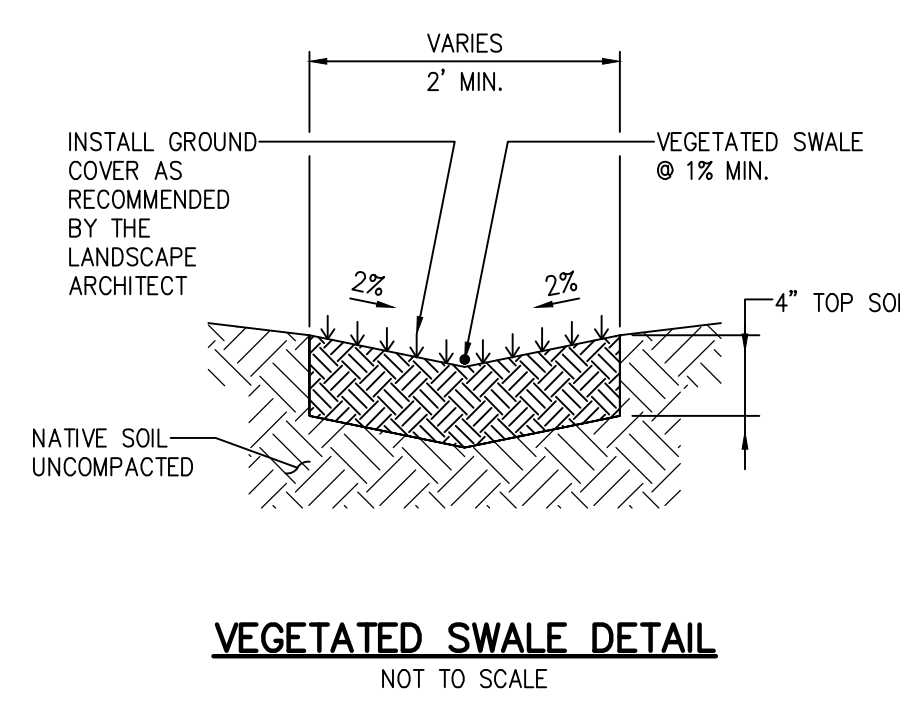
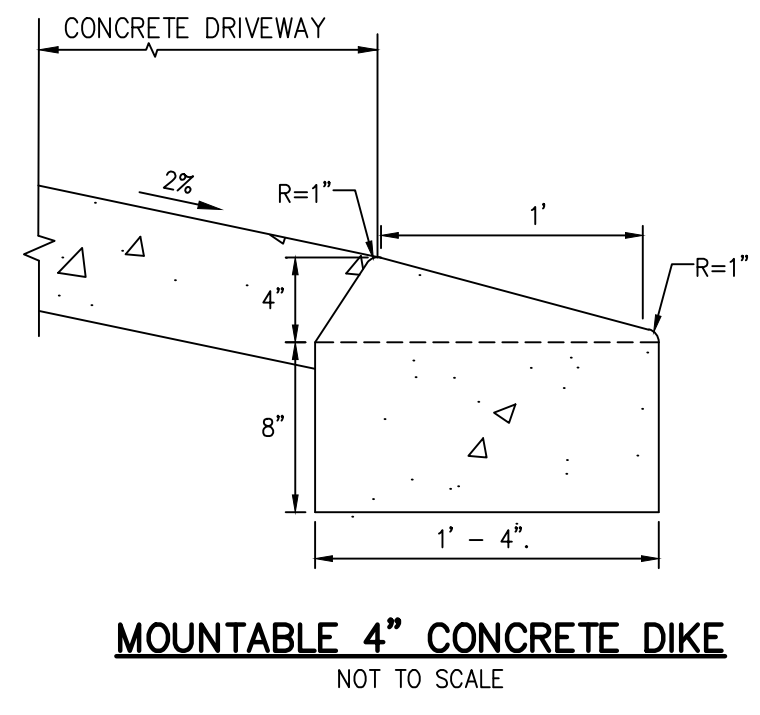
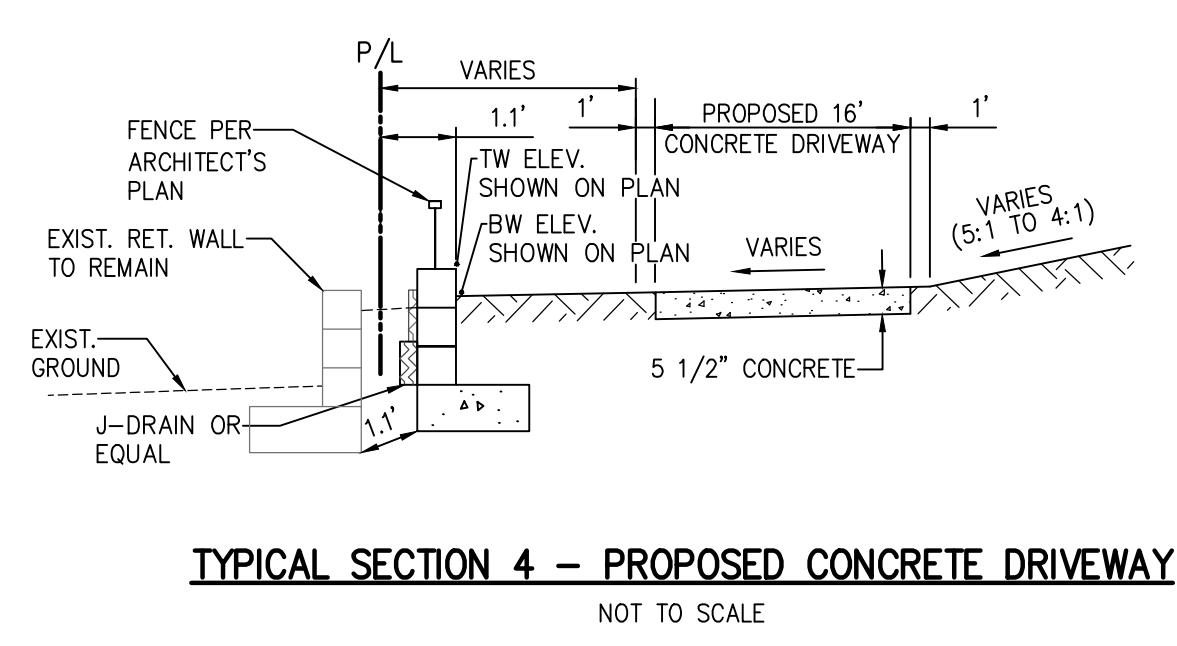
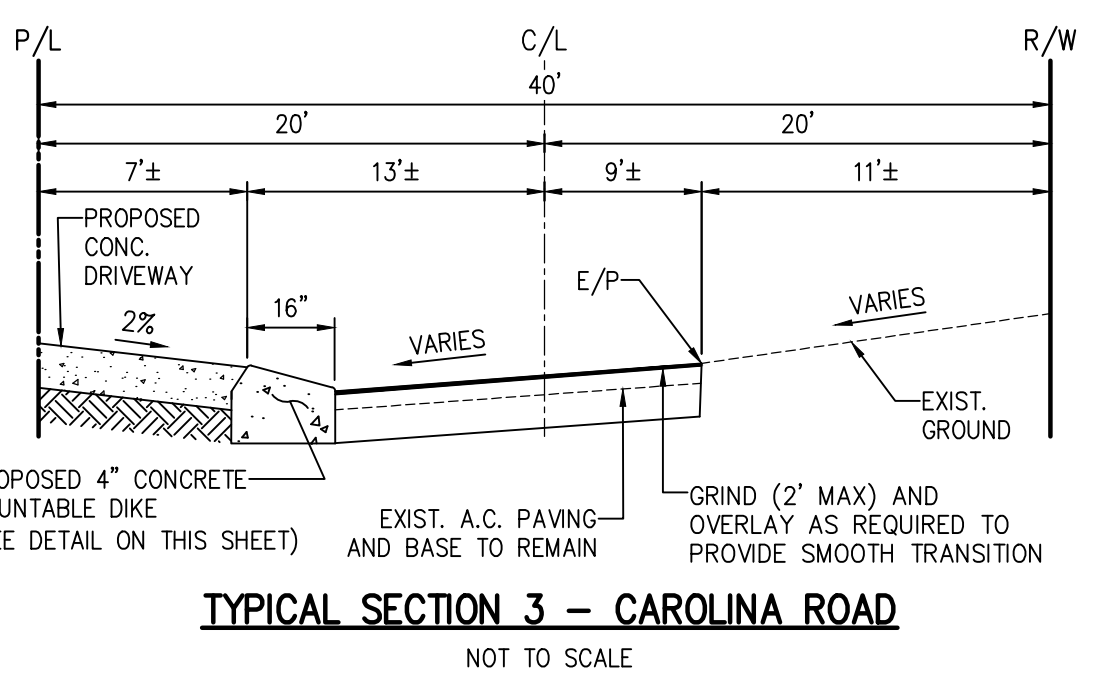
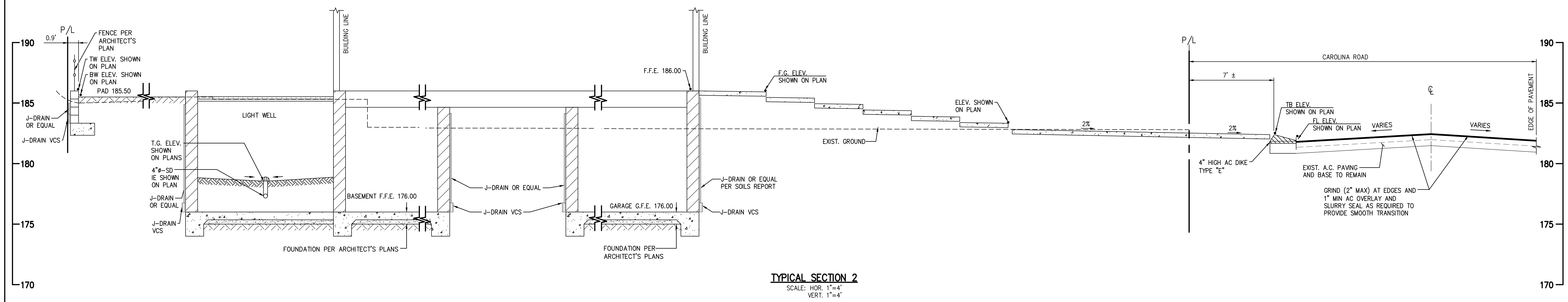
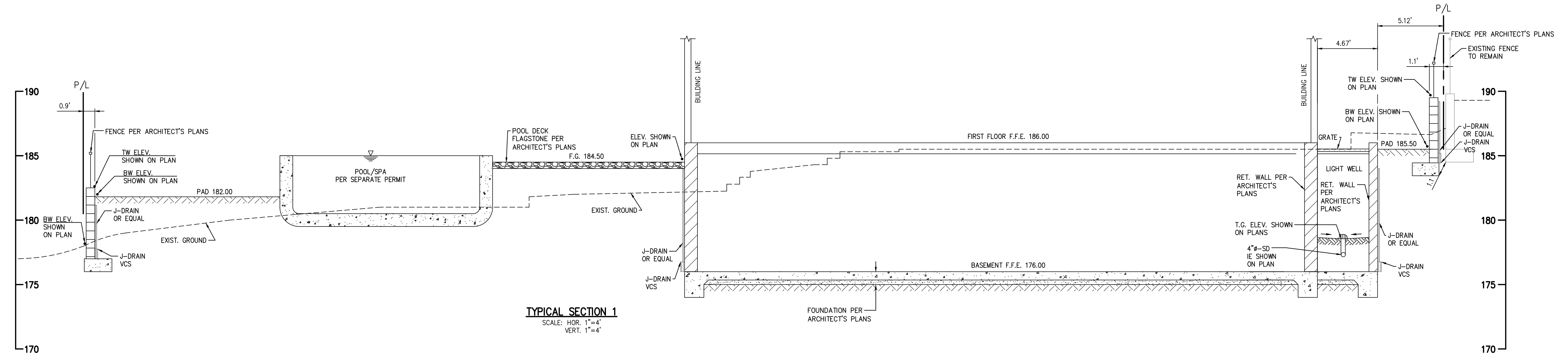
SEE SHEET 3 FOR CROSS SECTIONS AND TYPICAL SECTIONS

NO. DATE: _____
 BY: _____
 DESIGNER: JHP
 DRAWN: RV
 CHECKED: JHP
 DATE: 01-18-24

SHEET TITLE: PRELIMINARY GRADING PLAN
 SHEET 2 OF 3
 PROJECT NAME: 432 CAROLINA ROAD
 A.P.N. 300-030-00-00
 (858)569-7377 (858)569-0830

CIVIL ENGINEERING - LAND PLANNING - SURVEYING - 4849 RONSON COURT, SUITE 105, SAN DIEGO, CA 92111

NO. DATE	BY	NO. DATE	BY	SHEET TITLE	SHEET
				TYPICAL SECTIONS	3
				DESIGNER JHP	OF
				DRAWN RV	3
				CHECKED JHP	
				DATE 01-18-24	
PROJECT NAME: 432 CAROLINA ROAD			PROJECT NO. 1123-22		
DATE: 01-18-24			APN. 300-030-00-00		
BY: JHP			CIVIL ENGINEERING - LAND PLANNING - SURVEYING		
DATE: 01-18-24			4849 RONSON COURT, SUITE 105, SAN DIEGO, CA 92111		
			(858)569-7377		
			FAX (858)569-0830		



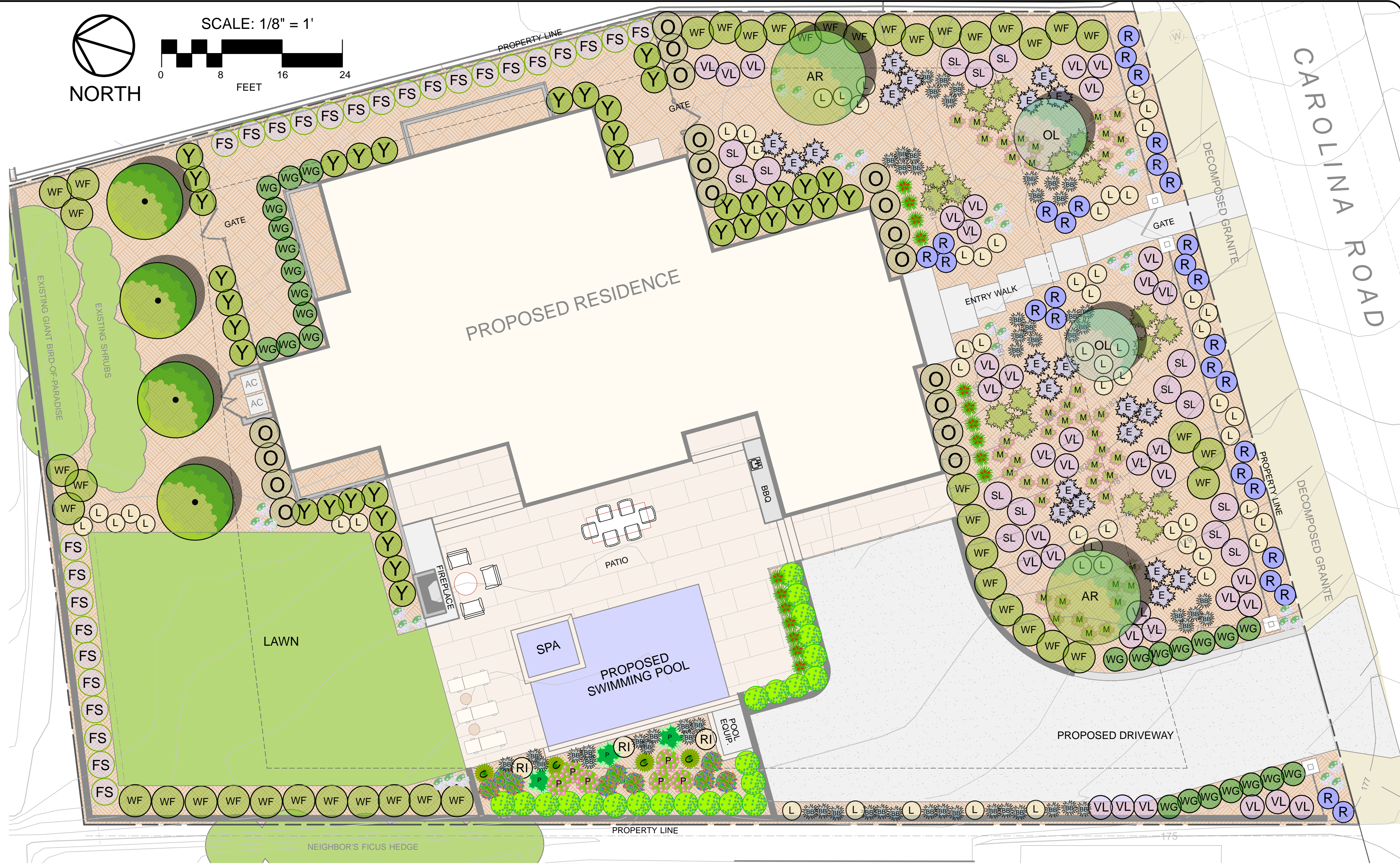
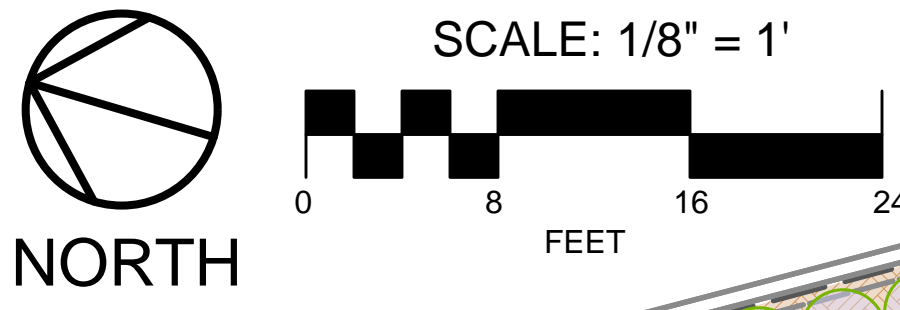
BENCH MARK
DESCRIPTION: 2.5" BRASS DISC MARKED "CURRY 1990 PLS 4965"
LOCATION: LOCATED AT THE SOUTHEASTERLY INTERSECTION OF CAMINO DEL MAR AND 10TH STREET.
24TH STREET
RECORD FROM: CITY OF DEL MAR
ELEVATION: 146.75' DATUM: NGVD 29



FOR LOCATION OF TYPICAL SECTIONS SEE SHEET 2

PLANT LEGEND

SYMBOL	DESCRIPTION	MATURE HEIGHT	WATER USE	MIN. SIZE	QUANTITY
	AGAVE ATTENUATA FOXTAIL AGAVE	5'	LOW	5 GAL.	18
	ANIGOZANTHOS FLAVIDUS RED CV. - KANGAROO PAW	3'	LOW	5 GAL.	17
	CYCAS REVOLUTA SAGO PALM	3'	MOD	5 GAL.	4
	DIARELLA 'BABY BLISS'	12"	LOW	1 GAL.	56
	ERYNGIUM 'BLUE GLITTER' SEA HOLLY	3'	LOW	5 GAL.	21
	FIGO SELLOWIANA PINEAPPLE GUAVA MAINTAIN AS HEDGE	HEDGED TO 10'	LOW	15 GAL. COLUMN	27
	LANTANA 'CREAM CARPET' PINK/YELLOW LANTANA	2'	LOW	5 GAL.	58
	LIGUSTRUM TEXANUM TEXAS PRIVET	HEDGED TO 5'	MOD	15 GAL.	23
	LIMONIUM PEREZII SEA LAVENDER	2'	LOW	1 GAL.	33
	MUHLENBERGIA 'REGAL MIST'	30"	LOW	1 GAL.	44
	OLEA 'LITTLE OLLIE' DWARF OLIVE	5'	LOW	15 GAL.	18
	PHOENIX ROEBELINII PYGMY DATE PALM	6'	MOD	15 GAL.	3
	POLYGALA 'PETITE BUTTERFLIES' SWEET PEA SHRUB	4'	MOD	5 GAL.	6
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDO	4'	LOW	15 GAL.	36
	ROSE 'ICEBERG' WHITE SHRUB ROSE	4'	MOD	5 GAL.	3
	ROSMARINUS 'IRENE' PROSTRATE ROSEMARY	2'	LOW	1 GAL.	29
	SALVIA 'SANTA BARBARA' MEX. BUSH SAGE	4'	LOW	5 GAL.	15
	STRELITZIA REGINAE BIRD-OF-PARADISE	5'	MOD	5 GAL.	9
	VERBENA LILACINA	2'	LOW	1 GAL.	36
	WESTRINGIA 'BLUE GEM' COAST ROSEMARY	6'	LOW	5 GAL.	43
	WESTRINGIA 'GRAY BOX' DWARF COAST ROSEMARY	3'	LOW	5 GAL.	26
	ARBUTUS 'MARINA' STRAWBERRY TREE	25'-40'	LOW	36" BOX LOW BRANCHING	2
	OLEA 'SWANN HILL' OLIVE	25'-30'	LOW	36" BOX LOW BRANCHING	2
	DWARF FRUIT TREES MEYER LEMON NAVEL ORANGE WASHINGTON ORANGE BEARSS LIME	10'	SLA	15 GAL.	4
	MULCHED LANDSCAPE AREA 3" DEPTH FOREST MULCH BY AGRISERVICE				
	LAWN: PASPALUM TE	MOD	SOD		
	DECOMPOSED GRANITE				

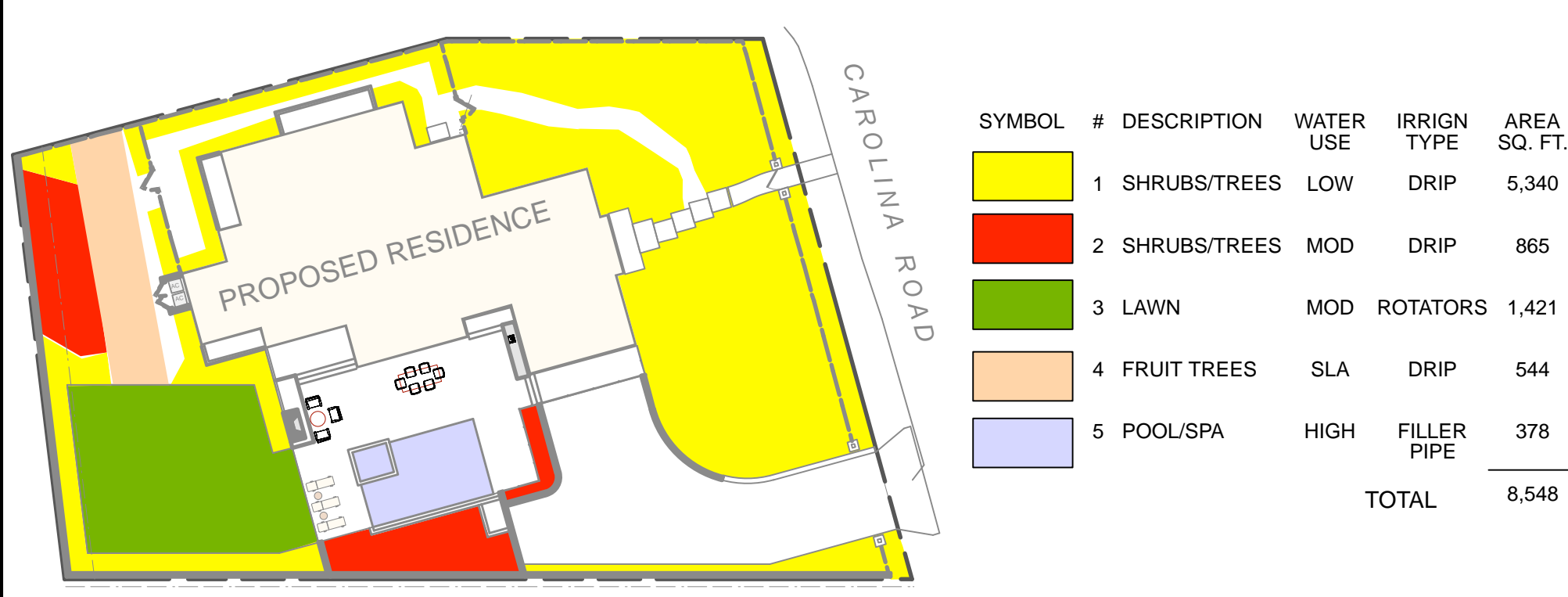


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CLIENT
Marlo and Hedy Omos

PROJECT
OMOSS RESIDENCE
432 Carolina Road
Del Mar, CA 92014

CHANGES	
1/26/23	
7/31/23	
10/31/23	
1/10/24	
PROGRESS PRINT DATE	
DESIGN	GM
DRAWN	GM
CHECKED	
SCALE	1/8" = 1'
PROJECT	23-042
SHEET	L-1
OF 1 SHEET	



SYMBOL	#	DESCRIPTION	WATER USE	IRRIG TYPE	AREA SQ. FT.
	1	SHRUBS/TREES	LOW	DRIP	5,340
	2	SHRUBS/TREES	MOD	DRIP	865
	3	LAWN	MOD	ROTATORS	1,421
	4	FRUIT TREES	SLA	DRIP	544
	5	POOL/SPA	HIGH	FILLER PIPE	378
		TOTAL			8,548

CITY OF DEL MAR
WATER EFFICIENT LANDSCAPE WORKSHEET

This worksheet is filled out by the project applicant for each Point of Connection. Please complete all sections of the worksheet.

Point of Connection # _____

Maximum Applied Water Allowance (MAWA)

Total MAWA = (ETo x ETAF x LA in Sq. Ft. x 0.62) + (ETo x 1.0 x SLA in Sq. Ft. x 0.62) - Gallons per year for LA+SLA

where:

MAWA - Maximum Applied Water Allowance (gallons per year)
 ETo - Reference Evapotranspiration for the Torrey Pines Station as shown in the Guidelines
 ETAF - Evapotranspiration Adjustment Factor (ETAF) - 0.55 for residential, 0.45 for non-residential, 1.0 for Special Landscape Areas, 0.8 for existing non-rehabilitated landscapes.
 LA - Landscaped Area (square feet)
 0.62 - Conversion factor (to gallons per square foot)
 SLA - Special Landscaped Area (square feet)

MAWA Calculation	ETo	ETAF	LA or SLA (ft ²)	Conversion	MAWA (Gallons Per Year)
MAWA for LA =	39.8	x 0.55	x 8,004	x 0.62	= 108,629
MAWA for SLA =	39.8	x 1.0	x 544	x 0.62	= 13,424
Total MAWA =					122,053

Estimated Total Water Use (ETWU)

ETWU = ETo x K_L x LA x 0.62 + IE x Gallons per year

where:

ETWU - Estimated Total Water Use (gallons per year)
 ETo - Reference Evapotranspiration Appendix C (inches per year)
 K_L - Landscape Coefficient
 LA - Landscaped Area (square feet)

$K_L = K_s \times K_d \times K_{mc}$

K_s - species factor (range - 0.1-0.9) (see WUCOLS list for values)
 K_d - density factor (range - 0.5-1.3) (see WUCOLS for density value ranges)
 K_{mc} - microclimate factor (range - 0.5-1.4) (see WUCOLS)

0.62 - Conversion factor (to gallons per square foot)
 IE - Irrigation Efficiency - IME x DU (See definition in Appendix E for example IE percentages)
 IME - Irrigation Management Efficiency (90%)
 DU - Distribution Uniformity of irrigation head

WUCOLS - www.water.ca.gov/wateruseefficiency/docs/wucols00.pdf

ETWU Calculation:

	ETo	KL	LA	Conversion	IE	ETWU (Gallons per year)
Special Landscaped Area	39.8	x 1.0	x 544	x 0.62	+ 1.00	= 13,424
Warm Season Turf	39.8	x 0.65	x 1,421	x 0.62	+ 0.75	= 30,389
Low water use - Drip	39.8	x 0.3	x 5,340	x 0.62	+ 0.85	= 46,507
Mod water use - Drip	39.8	x 0.5	x 865	x 0.62	+ 0.85	= 12,556
Water	39.8	x 1.0	x 378	x 0.62	+ 1.00	= 9,328
Other						
Total ETWU =			8,548			112,204 GALS. PER YEAR

List sprinkler heads, microspray, and drip emitters here along with average precipitation rate and Distribution Uniformity of Irrigation Head.

Sprinkler Head Types	Average Precipitation Rate	Distribution Uniformity of Irrigation Head
Drip		
Microspray		
Bubbler		
Low precipitation rotating nozzles		
Stream rotors		

SITE AREAS:
 TOTAL LOT AREA: 16,329 SQ. FT.
 TOTAL LANDSCAPE AREA: 9,006 SQ. FT. (55.1%)
 TOTAL LAWN AREA: 1,421 SQ. FT. (8.7% OF LOT)

IF PLAN IS LESS THAN 24" X 36" IT IS A REDUCED PRINT. REDUCE SCALE ACCORDINGLY.