

MEMO

Date: November 19, 2025
To: Jack Ward
Quieter Home Program, Manager of Field Activities
From: Patrick Leroy
The Jones Payne Group, Inc.
Subject: RES # 381408.45
Hidalgo Residence at 1261 34th Street Unit 28, San Diego, CA 92102
Job No: Group 14.8
Cc: Design Team: JPG, HAP & PBS

Summary:

The Design Team performed an on-site assessment on September 24, 2025. The attached report outlines our observations and indicates Code deficiencies and Homeowner Pre-work items. These items must be addressed prior to the Contractor's Field Measurement Verification (FMV), when the contractor will measure your windows and doors, verify Code deficiencies have been addressed and ensure your home is prepared for construction. These items will be reviewed with the Homeowner during the Design Review for the property.

Mechanical Design for Residence:

Provide a stand-alone "Air Conditioning Only" system.

The attached Design Package indicates the proposed work by the Quieter Home Program to provide sound attenuation improvements. The Architectural/General, Mechanical and Electrical Plans have been highlighted and annotated to identify additional Pre-work that the Homeowner **MUST** complete to allow the Program to install the proposed system.

Highlighted notes on the Plans listed as "EXISTING" are the items that must be completed or furnished by the Homeowner exactly as indicated on the Plans (Homeowner Pre-Work). Any changes from what is indicated on the Plans must be approved by the Quieter Home Program in writing.

The Plans will be used by the Program's Contractor to install the improvements in the home after the Homeowner has completed the Pre-work. The Contractor assumes that all items listed as "EXISTING" on the Plans are complete and ready for installation of the Program's work on the day construction starts.

Attachments:

The following items have been attached:

- 1) Assessment Report with Pre-work and Notifications (26 pages, attached)
- 2) Window, Door, and Hardware Selections (9 pages, attached)
- 3) Design Package with highlighted plans (3 pages, attached)

HOMEOWNER: HIDALGO
ADDRESS: 1261 34th STREET UNIT 28
ASSESSMENT DATE: 9/24/2025
RES #: 381408.45



ASSESSMENT REPORT:

NOTIFICATIONS, PRE-WORK AND BUILDING CODE OBSERVATIONS

THIS REPORT OUTLINES OUR OBSERVATIONS AND INDICATES CODE DEFICIENCIES AND/OR HOMEOWNER PRE-WORK ITEMS TO BE COMPLETED BY THE DATE PROVIDED BY THE QUIETER HOME PROGRAM OR PRIOR TO THE START OF CONSTRUCTION. THE DESIGN TEAM WILL REVIEW THE REPORT WITH THE HOMEOWNER DURING THE DESIGN REVIEW FOR THE PROPERTY.

HOMEOWNER'S PRE-WORK RESPONSIBILITIES:

ITEMS LISTED BELOW AS "PRE-WORK" ON THE REPORT REQUIRE CORRECTIVE ACTION BY THE HOMEOWNER AND **MUST** BE COMPLETED PRIOR TO PARTICIPATION IN THE QUIETER HOME PROGRAM. **NOTE:** PERMITS REQUIRED AS PART OF PRE-WORK ARE SOLELY THE RESPONSIBILITY OF THE HOMEOWNER AND THE HOMEOWNER'S CONTRACTOR.

NOTIFICATIONS:

ITEMS LISTED BELOW AS A "NOTIFICATION" ON THE REPORT ARE FOR INFORMATIONAL PURPOSES ONLY; NO CORRECTIVE ACTION IS REQUIRED BY THE HOMEOWNER TO CONTINUE PARTICIPATION IN THE QUIETER HOME PROGRAM.

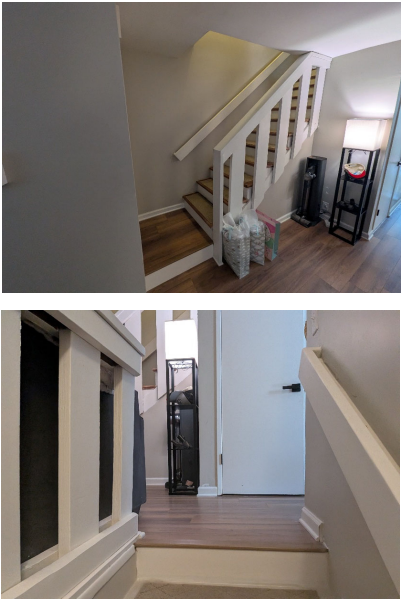
STANDARD PRE-WORK PREPARATION:

1. IT IS THE HOMEOWNER'S RESPONSIBILITY TO REMOVE **EXISTING SECONDARY DOORS** (SCREEN OR SECURITY) AT DOOR ASSEMBLIES BEING REPLACED BY THE QUIETER HOME PROGRAM TO ALLOW INSTALLATION OF THE PROGRAM'S WORK. THE HOMEOWNER IS RESPONSIBLE FOR RE-INSTALLING THE SECONDARY DOOR AFTER THE PROGRAM IS COMPLETE.
2. IT IS THE HOMEOWNER'S RESPONSIBILITY TO REMOVE EXISTING **SECURITY BARS OR GRILLES** AT WINDOWS AND/OR SLIDING GLASS DOORS BEING REPLACED BY THE QUIETER HOME PROGRAM TO ALLOW INSTALLATION OF THE PROGRAM'S WORK. THE HOMEOWNER IS RESPONSIBLE FOR RE-INSTALLING THE SECURITY BARS AFTER THE PROGRAM IS COMPLETE.
3. PROVIDE **SMOKE DETECTORS AND COMBINATION CARBON MONOXIDE-SMOKE DETECTORS** AT ALL MISSING LOCATIONS IN RESIDENCE OR IN EACH DWELLING UNIT TO MEET THE REQUIREMENTS OF THE BUILDING CODE. REFER TO FLOOR PLAN(S) FOR REQUIRED LOCATIONS. **SEE PRE-WORK BELOW INDICATING IF HARDWIRED SMOKE DETECTORS AND/OR CARBON MONOXIDE-SMOKE DETECTORS ARE REQUIRED.**

HOMEOWNER PREPARATION REQUIREMENTS FOR PROPOSED MECHANICAL SYSTEMS:

WHERE APPLICABLE, THE ARCHITECTURAL/GENERAL, MECHANICAL AND ELECTRICAL PLANS FOR THE RESIDENCE HAVE BEEN HIGHLIGHTED AND ANNOTATED TO IDENTIFY THE ADDITIONAL PRE-WORK TO BE PERFORMED BY THE HOMEOWNER THAT WILL ALLOW THE PROGRAM TO INSTALL THE PROPOSED MECHANICAL SYSTEM. THIS PRE-WORK MUST BE PROVIDED IN A MANNER MATCHING THE HIGHLIGHTED PLANS. **ANY DEVIATIONS FROM THE HIGHLIGHTED PLANS MUST BE APPROVED BY THE QUIETER HOME PROGRAM IN WRITING.**

ARCHITECTURAL: (WINDOWS, DOORS, & OTHER ITEMS)

PHOTO AND LOCATION:	ISSUE:	RECOMMENDATION:
1. GUARD RAILS AT STAIRS 	1. NON-CODE COMPLIANT GUARD RAILS THE DESIGN TEAM OBSERVED MISSING OR NON-COMPLIANT GUARD RAILINGS. (LESS THAN 42-INCHES & GREATER THAN 4-INCHES)	1. NOTIFICATION: THE EXISTING GUARD RAILS WILL REMAIN IN PLACE WITH NO WORK BY THE QUIETER HOME PROGRAM AT THIS LOCATION. THE HOMEOWNER SHOULD CONSIDER CORRECTING THIS CONDITION BY PROVIDING CODE COMPLIANT GUARD RAILINGS. NO PREWORK REPAIRS ARE REQUIRED AT THIS TIME FOR PARTICIPATION IN THE QUIETER HOME PROGRAM. NOTE: THE BUILDING CODE REQUIRES GUARD RAILS AT ALL WALKING SURFACES (INCLUDING STAIRS, LANDINGS, BALCONIES AND DECKS), THAT ARE GREATER THAN 30 INCHES ABOVE GRADE OR THE ADJACENT FLOOR. GUARD RAILS MUST BE AT LEAST 42-INCHES IN HEIGHT EXCEPT AT STAIRS WHICH MUST BE AT LEAST 34-INCHES IN HEIGHT. SPACES AT GUARD BALUSTRADES OR BETWEEN OTHER MEMBERS SHALL NOT ALLOW THE PASSAGE OF A 4-INCH DIAMETER SPHERE.

HOMEOWNER INITIALS: _____

2. WINDOWS 2 AND 3 AT LIVING ROOM AND BEDROOM 1 	2. BLOCKED/OBSTRUCTED WINDOW THE DESIGN TEAM OBSERVED A WINDOW THAT WAS PARTIALLY OBSTRUCTED AT THE INTERIOR.	2. PRE-WORK: REMOVE OBSTRUCTION (STORED ITEMS) TO ALLOW INSTALLATION OF THE NEW WINDOW. NOTE: THE QUIETER HOME PROGRAM RECOMMENDS THE HOMEOWNER TO COMPLETE THIS ITEM AFTER THE CONTRACTORS FIELD MEASUREMENT VISIT (FMV).
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MECHANICAL: (BATHROOM VENTILATION, HOT WATER HEATERS OR SIMILAR)

LOCATION:	ISSUE:	RECOMMENDATION:
1. PROPOSED MECHANICAL CHASE AT SECOND FLOOR CLOSET 	1. NEW AIR CONDITIONING SYSTEM LOCATION THE DESIGN TEAM OBSERVED EXISTING STORED ITEMS AT THE PROPOSED AIR CONDITIONING SYSTEM LOCATION.	1. PRE-WORK: REMOVE STORED ITEMS AT PROPOSED LOCATION TO ALLOW INSTALLATION OF NEW AIR CONDITIONING SYSTEM. NOTE: THE QUIETER HOME PROGRAM RECOMMENDS THE HOMEOWNER TO COMPLETE THIS ITEM AFTER THE CONTRACTORS FIELD MEASUREMENT VISIT (FMV).
2. PROPOSED CONDENSING UNIT AT REAR 	2. CONDENSING UNIT LOCATION THE DESIGN TEAM OBSERVED EXISTING OBSTRUCTIONS AT THE PROPOSED CONDENSING UNIT LOCATION.	2. PRE-WORK: REMOVE OBSTRUCTIONS AT PROPOSED LOCATION TO ALLOW INSTALLATION OF NEW CONDENSING UNIT. NOTE: THE QUIETER HOME PROGRAM RECOMMENDS THE HOMEOWNER TO COMPLETE THIS ITEM AFTER THE CONTRACTORS FIELD MEASUREMENT VISIT (FMV).

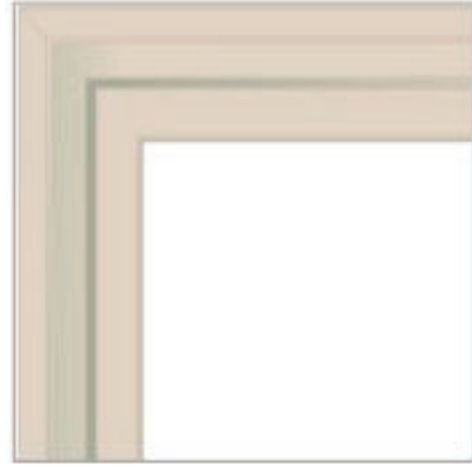
ELECTRICAL: (EXISTING CODE DEFICIENCIES AND/OR NON-COMPLIANT CONDITIONS)

LOCATION:	ISSUE:	RECOMMENDATION:
1. RADIANT HEAT AT LIVING ROOM, DINING ROOM & KITCHEN CEILINGS 	1. ELECTRIC RADIANT CEILING HEAT IN RESIDENCE THE DESIGN TEAM OBSERVED ELECTRIC RADIANT HEAT EMBEDDED IN THE CEILINGS THROUGHOUT THE DWELLING UNIT. INSTALLATION OF THE PROPOSED MECHANICAL SYSTEM WILL IMPACT THE EXISTING CEILING HEAT IN A WAY THAT WILL MAKE IT UNUSABLE AND/OR CAUSE DAMAGE MAKING IT NON-OPERATIONAL. NOTES: 1. THE CODE DOES NOT ALLOW NEW DROPPED CEILINGS OR SOFFITS TO BE INSTALLED OVER RADIANT CEILING HEAT. 2. CUTTING THROUGH EXISTING CEILINGS TO INSTALL REGISTERS AND GRILLES WILL CUT THROUGH THE EMBEDDED ELECTRIC HEATING CABLES.	1. PRE-WORK: 1. DISCONNECT EXISTING ELECTRIC RADIANT CEILING HEAT SYSTEM AND ABANDON IN PLACE THE EMBEDDED ELECTRIC HEATING CABLES THROUGHOUT DWELLING UNIT. 2. PROVIDE A PERMANENT SOURCE OF HEAT IN THE DWELLING UNIT PRIOR TO CONSTRUCTION. NOTES: 1. DISCONNECTION AND ABANDONMENT OF THE EXISTING RADIANT HEAT MUST BE PERFORMED BY A LICENSED ELECTRICIAN AND MUST BE PERFORMED IN A CODE COMPLIANT MANNER. 2. IT IS UNKNOWN IF THE EXISTING BRANCH CIRCUIT WIRING FOR THE EXISTING RADIANT HEAT SYSTEM CAN BE RE-USED TO PROVIDE A NEW HEATING SYSTEM.

QUIETER HOME PROGRAM WINDOW COLOR SELECTION



① WHITE VINYL WINDOW



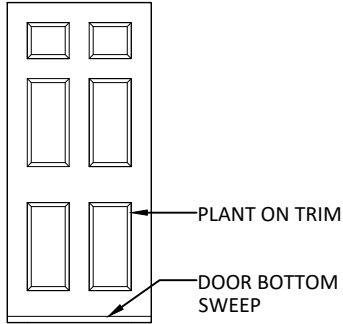
② ALMOND/TAN VINYL WINDOW

HOMEOWNER / HOA SELECTIONS:

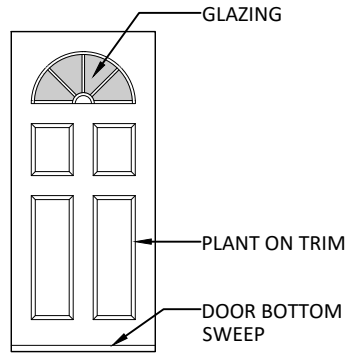
WINDOW COLOR SELECTION: _____

HOMEOWNER / HOA SIGNATURES: _____

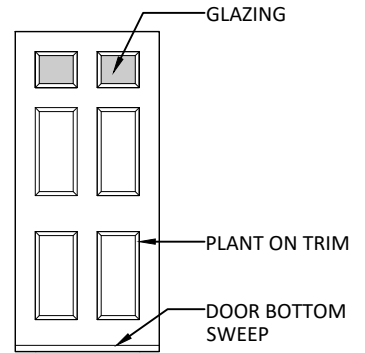
QUIETER HOME PROGRAM DOOR ELEVATIONS - WOOD ACOUSTIC FLUSH



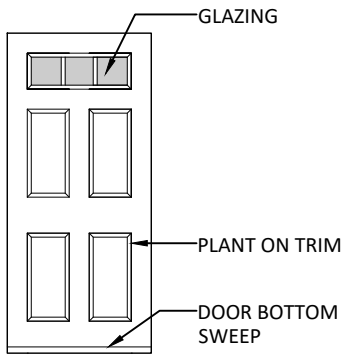
11 DOOR STYLE/ELEVATION:
EP-11



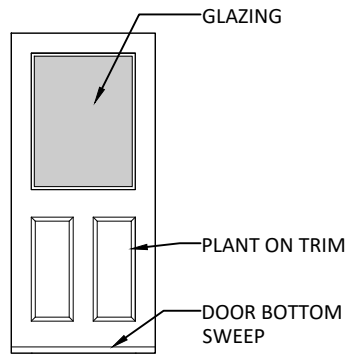
12 DOOR STYLE/ELEVATION:
EP-12



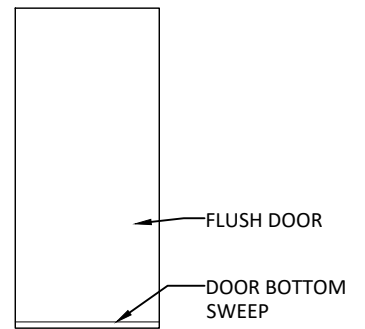
13 DOOR STYLE/ELEVATION:
EP-13



14 DOOR STYLE/ELEVATION:
EP-14



15 DOOR STYLE/ELEVATION:
EP-15



19 DOOR STYLE/ELEVATION:
EP-19

NOTE:

A WARRANTY WAIVER MAY BE REQUIRED FOR WOOD DOORS INSTALLED AT LOCATIONS THAT DO NOT MEET THE MANUFACTURER'S MINIMUM OVERHANG AND PROTECTION REQUIREMENTS. THIS WILL BE REVIEWED IN MORE DETAIL DURING YOUR HOMEOWNER DESIGN-REVIEW MEETING.

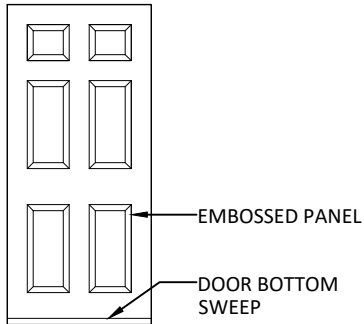
HOMEOWNER / HOA SELECTIONS:

DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

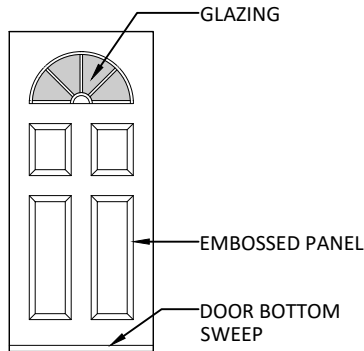
QUIETER HOME PROGRAM DOOR ELEVATIONS - STEEL EMBOSSED

32" MIN.



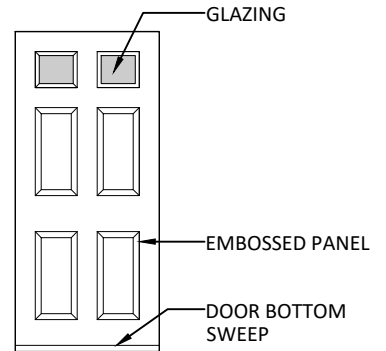
21 DOOR STYLE/ELEVATION:
EP-21

32" MIN.



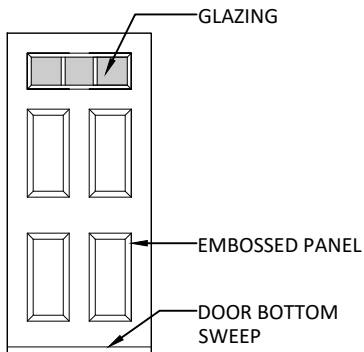
22 DOOR STYLE/ELEVATION:
EP-22

32" MIN.



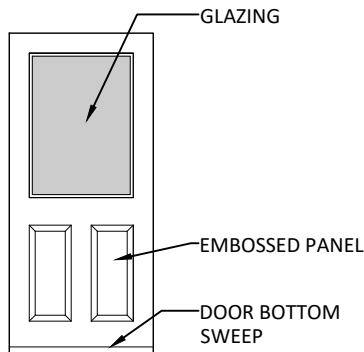
23 DOOR STYLE/ELEVATION:
EP-23

32" MIN.



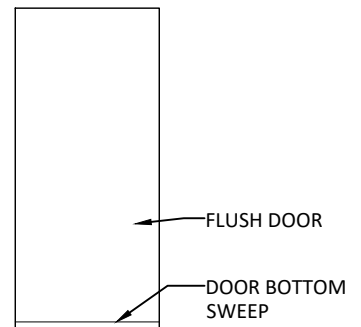
24 DOOR STYLE/ELEVATION:
EP-24

30" MIN.



25 DOOR STYLE/ELEVATION:
EP-25

30" MIN.



29 DOOR STYLE/ELEVATION:
EP-29

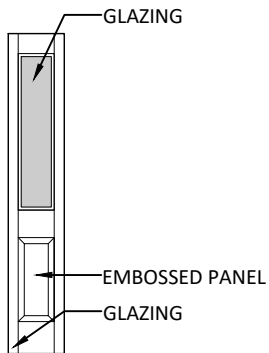
HOMEOWNER / HOA SELECTIONS:

DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

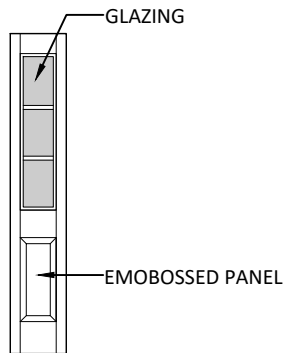
QUIETER HOME PROGRAM DOOR ELEVATIONS - STEEL EMBOSSED SIDE LIGHTS

12" MIN.



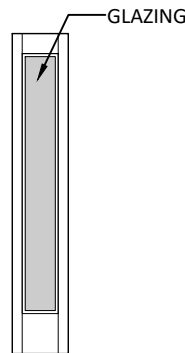
1 DOOR STYLE/ELEVATION:
SL-21

12" MIN.



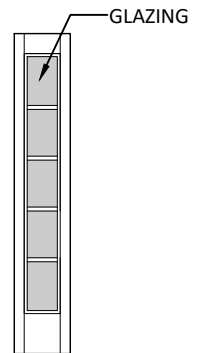
2 DOOR STYLE/ELEVATION:
SL-22

12" MIN.

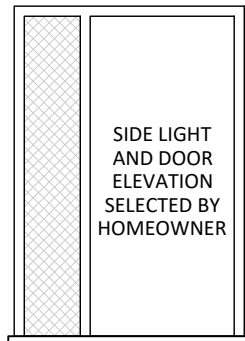


3 DOOR STYLE/ELEVATION:
SL-23

12" MIN.



4 DOOR STYLE/ELEVATION:
SL-24

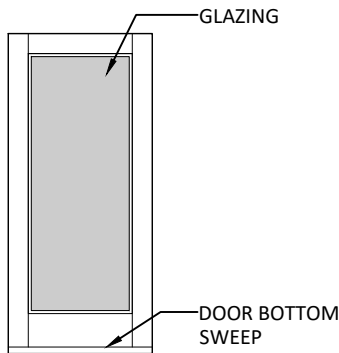


HOMEOWNER / HOA SELECTIONS:

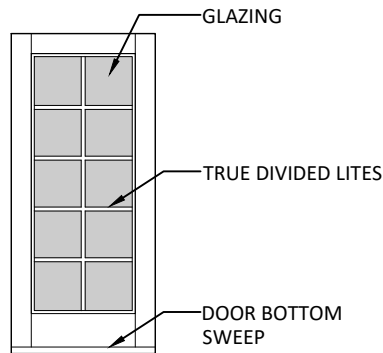
DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

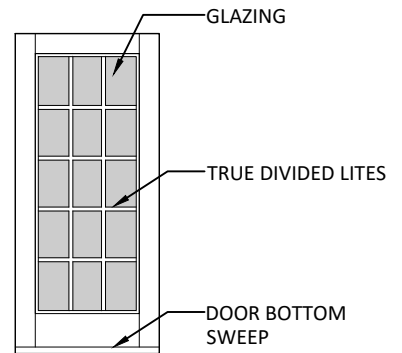
QUIETER HOME PROGRAM DOOR ELEVATIONS - WOOD "FRENCH"



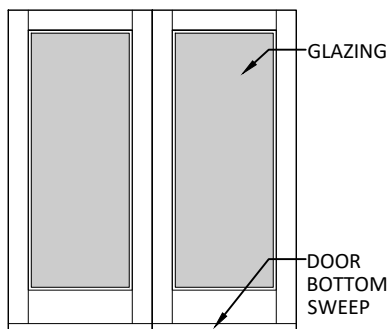
06 DOOR STYLE/ELEVATION:
EP-06
1 - LITE



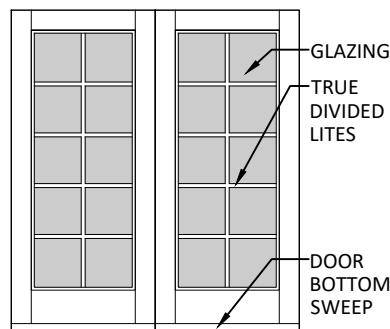
07 DOOR STYLE/ELEVATION:
EP-07
10 - LITES



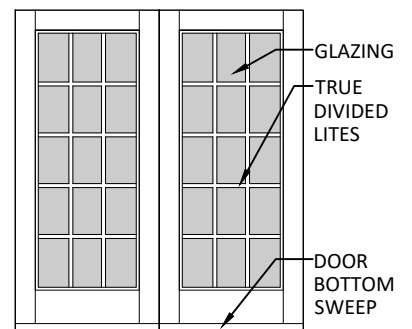
08 DOOR STYLE/ELEVATION:
EP-08
15 - LITES



06 DOOR STYLE/ELEVATION:
EP-06
(2) 1 - LITE



07 DOOR STYLE/ELEVATION:
EP-07
(2) 10 - LITES



08 DOOR STYLE/ELEVATION:
EP-08
(2) 15 - LITES

NOTE:

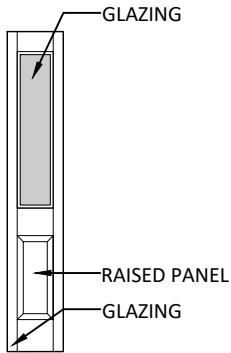
A WARRANTY WAIVER MAY BE REQUIRED FOR WOOD DOORS INSTALLED AT LOCATIONS THAT DO NOT MEET THE MANUFACTURER'S MINIMUM OVERHANG AND PROTECTION REQUIREMENTS. THIS WILL BE REVIEWED IN MORE DETAIL DURING YOUR HOMEOWNER DESIGN-REVIEW MEETING.

HOMEOWNER / HOA SELECTIONS:

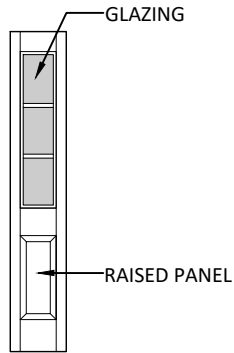
DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

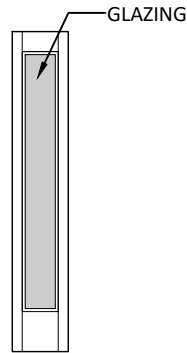
QUIETER HOME PROGRAM DOOR ELEVATIONS - WOOD STILE AND RAIL SIDE LIGHTS



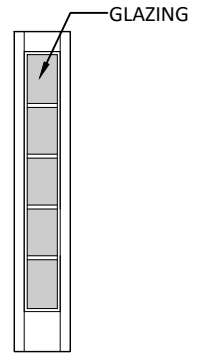
1 DOOR STYLE/ELEVATION:
SL-1



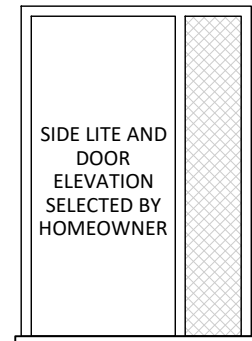
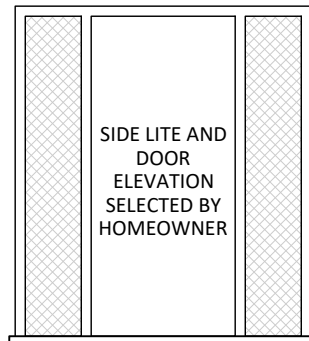
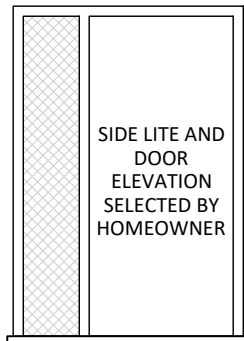
2 DOOR STYLE/ELEVATION:
SL-2



3 DOOR STYLE/ELEVATION:
SL-3



4 DOOR STYLE/ELEVATION:
SL-4



NOTE:

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HOMEOWNER / HOA SELECTIONS:

DOOR STYLES: _____ AT DOORS: _____

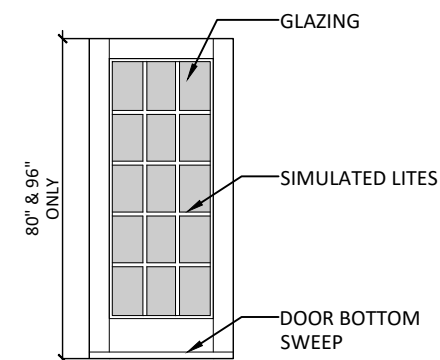
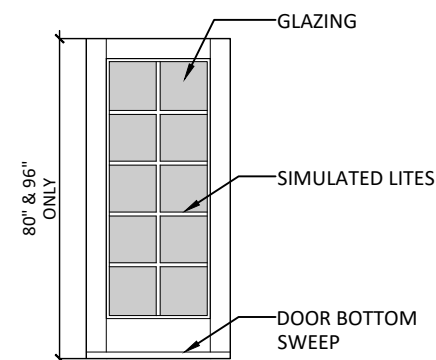
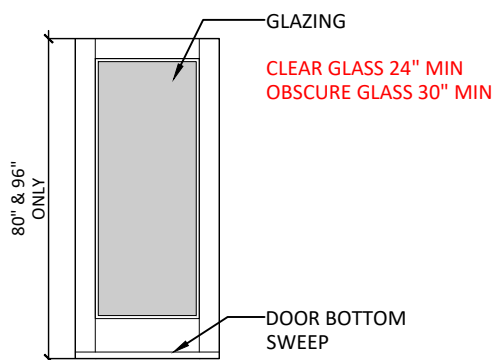
HOMEOWNER / HOA SIGNATURES: _____

QUIETER HOME PROGRAM DOOR ELEVATIONS - FIBERGLASS "FRENCH"

24" MIN. / 36" MAX.

30" MIN. / 36" MAX.

30" MIN. / 36" MAX.



36 DOOR STYLE/ELEVATION:
EP-36
1 - LITE

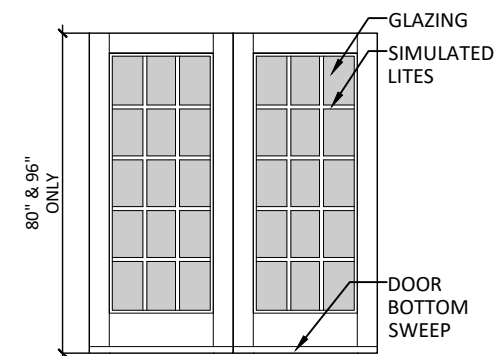
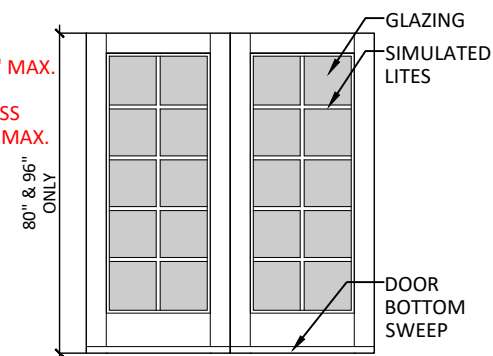
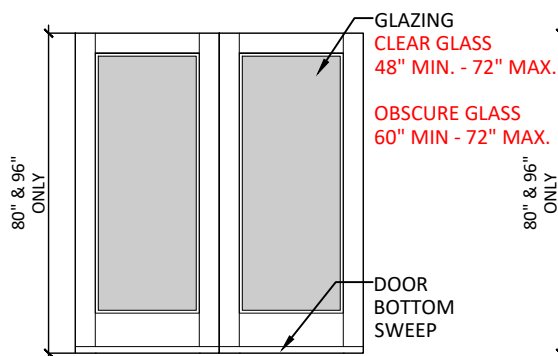
37 DOOR STYLE/ELEVATION:
EP-37
10 - LITES

38 DOOR STYLE/ELEVATION:
EP-38
15 - LITES

48" MIN. / 72" MAX.

60" MIN. / 72" MAX.

60" MIN. / 72" MAX.



36 DOOR STYLE/ELEVATION:
EP-36
(2) 1 - LITE

37 DOOR STYLE/ELEVATION:
EP-37
(2) 10 - LITES

38 DOOR STYLE/ELEVATION:
EP-38
(2) 15 - LITES

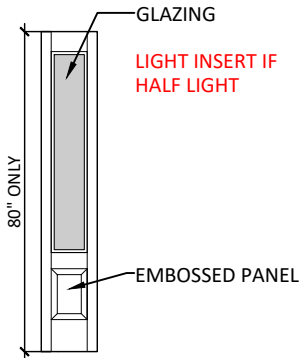
HOMEOWNER / HOA SELECTIONS:

DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

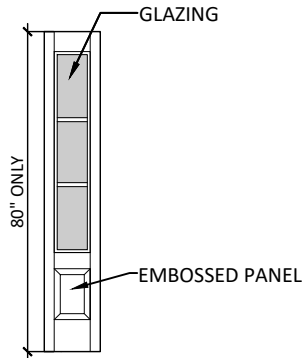
QUIETER HOME PROGRAM DOOR ELEVATIONS - FIBERGLASS SIDE LIGHTS

12" OR 14" ONLY



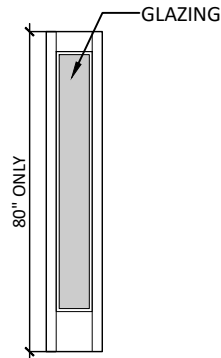
1 DOOR STYLE/ELEVATION:
SL-31

12" OR 14" ONLY



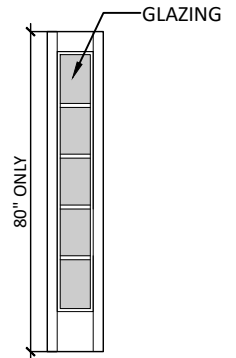
2 DOOR STYLE/ELEVATION:
SL-32

10"-12" OR 14" ONLY



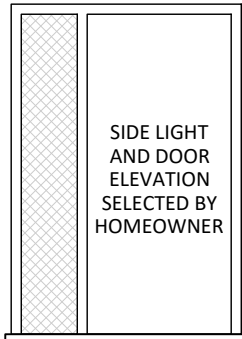
3 DOOR STYLE/ELEVATION:
SL-33

10"-12" OR 14" ONLY

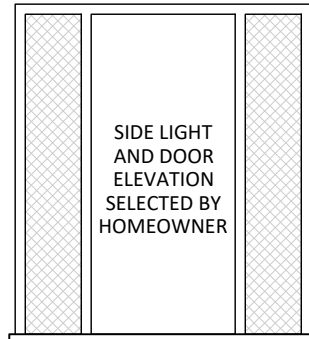


4 DOOR STYLE/ELEVATION:
SL-34

12" OR 14" ONLY



12" OR 14" ONLY



12" OR 14" ONLY



HOMEOWNER / HOA SELECTIONS:

DOOR STYLES: _____ AT DOORS: _____

HOMEOWNER / HOA SIGNATURES: _____

QUIETER HOME PROGRAM - DOOR HARDWARE SELECTIONS

HARDWARE SELECTIONS

			ANTIQUE BRASS	BRIGHT BRASS	AGED BRONZE	SATIN CHROME
	DEAD BOLT					
			ANTIQUE BRASS DEADBOLT	BRIGHT BRASS DEADBOLT	AGED BRONZE DEADBOLT	SATIN CHROME DEADBOLT
	KNOB					
			ANTIQUE BRASS KNOB	BRIGHT BRASS KNOB	AGED BRONZE KNOB	SATIN CHROME KNOB
	LEVER					
			ANTIQUE BRASS LEVER	BRIGHT BRASS LEVER	AGED BRONZE LEVER	SATIN CHROME LEVER

HOMEOWNER / HOA SELECTIONS:

HARDWARE TYPE : _____

HARDWARE COLOR : _____

HOMEOWNER / HOA SIGNATURES: _____

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ARCHITECTURAL 1. COVER PAGE 2. NOTES 3. NOTES 4. ABBREVIATIONS AND LEGEND 5. SITE PLAN 6. BUILDING PLAN 7. PROPERTY ELEVATIONS 8. PROPERTY ELEVATIONS 9. FIRST FLOOR PLAN 10. SECOND FLOOR PLAN 11. THIRD FLOOR PLAN 12. WINDOW AND DOOR SCHEDULE 13. WINDOW ELEVATIONS 14. DOOR ELEVATIONS 15. SPECIAL CONDITIONS : SK-A 16. SPECIAL CONDITIONS : SK-B MECHANICAL AND ELECTRICAL 17. MECHANICAL SCOPE OF WORK, LEGENDS AND ABBREVIATIONS 18. FIRST FLOOR MECHANICAL PLAN 19. SECOND FLOOR MECHANICAL PLAN 20. THIRD FLOOR MECHANICAL PLAN 21. ELECTRICAL SCOPE OF WORK, LEGENDS AND ABBREVIATIONS 22. FIRST FLOOR ELECTRICAL PLAN 23. SECOND FLOOR ELECTRICAL PLAN 24. THIRD FLOOR ELECTRICAL PLAN 25. LOAD CALCULATION 26. MECHANICAL / ELECTRICAL EQUIPMENT SCHEDULE STORM WATER REQUIREMENTS CHECKLIST AND RESIDENTIAL MANDATORY MEASUREMENTS SUMMARY INCLUDED AT END OF DOCUMENTS.		 BUILDING DATA ☐ YEAR OF CONSTRUCTION: 1982 ☐ TYPE OF CONSTRUCTION: V-B ☐ OCCUPANCY: R-2 SUMMARY OF WORK REPLACEMENT WINDOWS: ☐ TYPE: VINYL COLOR: WHITE SECONDARY/STORM WINDOWS: ☐ TYPE: NONE ☐ SEE WINDOW & DOOR SCHEDULES FOR WINDOW & DOOR TREATMENTS. GENERAL SCOPE OF WORK SUMMARY: ☐ CUTTING AND PATCHING REQUIRED AT EXISTING INTERIOR WALL(S) AND/OR CEILING(S), REFER TO ARCHITECTURAL PLANS. ☐ CUTTING AND PATCHING REQUIRED AT EXISTING EXTERIOR SIDING FINISHES, REFER TO ARCHITECTURAL PLANS. ☐ WINDOW SILL(S) TO BE LOWERED TO MEET EGRESS REQUIREMENTS, REFER TO WINDOW SCHEDULE. ☐ NEW ATTIC ACCESS OPENING, REFER TO ARCHITECTURAL PLANS AND DOOR SCHEDULE. ☐ NEW GYPSUM WALL BOARD SOFFIT(S), REFER TO ARCHITECTURAL PLANS. ☐ NEW GYPSUM WALL BOARD DROPPED CEILING(S), REFER TO ARCHITECTURAL PLANS. ☐ NEW GYPSUM WALL BOARD CHASE(S), REFER TO ARCHITECTURAL PLANS. MECHANICAL AND ELECTRICAL SUMMARY: ☐ REFER TO DETAILED SCOPE OF WORK ON MECHANICAL AND ELECTRICAL DRAWINGS. ☐ NEW AIR CONDITIONING SYSTEM AND DUCTWORK, REFER TO MECHANICAL PLANS. REPLACEMENT DOORS: ☐ TYPE: WOOD ACOUSTIC FLUSH COLOR: PAINTED ☐ TYPE: VINYL SLIDING GLASS DOOR(S) COLOR: WHITE SECONDARY/STORM & OTHER DOORS: ☐ TYPE: ATTIC ACCESS PANEL COLOR: PAINTED											
		SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH <table><tr><td>RES#: 381408.45</td><td>DATE: 10/2025</td><td>INITIAL(S):</td><td>SHEET:</td></tr><tr><td colspan="2">ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428</td><td></td><td>1 of 26</td></tr></table>				RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:	ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			1 of 26
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GOVERNING CODES		BUILDING DEPARTMENT NOTES											
CALIFORNIA CODE OF REGULATIONS, TITLE 24: PART 2 CA BUILDING CODE 2022 PART 2.5 CA RESIDENTIAL CODE 2022 PART 3 CA ELECTRICAL CODE 2022 PART 4 CA MECHANICAL CODE 2022 PART 5 CA PLUMBING CODE 2022 PART 6 CA ENERGY CODE 2022 PART 9 CA FIRE CODE 2022 PART 10 CA EXISTING BUILDING CODE 2022 PART 12 CA REFERENCE CODE 2022		1. EXISTING EXTERIOR DOORS AND WINDOWS SHALL BE REPLACED WITH THE SAME SIZE UNITS, EXCEPT AS NOTED ON WINDOW AND DOOR SCHEDULE. 2. PROVIDE NEW ELECTRIC CIRCUIT BREAKERS & DISCONNECT SWITCH FOR NEW MECHANICAL SYSTEM AS NOTED ON PLANS. 3. SMOKE DETECTORS IN COMPLIANCE WITH THE CBC SEC. 907.2.6.3.3 AND CRBC SEC. R314 AS NOTED ON PLANS FOR R-3 OCCUPANCIES. R-2 OCCUPANCIES SHALL COMPLY WITH THE CBC SEC. 907.2.11. 4. CARBON MONOXIDE (CO) DETECTORS IN COMPLIANCE WITH THE CBC SEC. 420 AND CRBC SEC. R315.2 AS NOTED ON PLANS FOR R-3 OCCUPANCIES. R-2 OCCUPANCIES SHALL COMPLY WITH THE CBC SEC. 915. 5. PROVIDE NEW MECHANICAL SYSTEM CAPABLE OF PROVIDING 2-AIR CHANGES PER HOUR WITH A MINIMUM OF 15 CFM OF OUTSIDE AIR PER OCCUPANT. AIR CONDITIONING EQUIPMENT, WHERE REQUIRED BY MECHANICAL PLANS, SHALL HAVE A MINIMUM EFFICIENCY OF 14 S.E.E.R. 6. THE NEW CONDENSING UNIT SHALL BE 4 FEET CLEAR FROM PROPERTY LINE AND NOT LOCATED WITHIN THE REQUIRED YARD SET BACK, WHERE OCCURS.											
GENERAL PROJECT NOTES													
1. THIS PROPERTY HAS BEEN DETERMINED AS A NON-HISTORIC PROPERTY FOR THE PURPOSE OF QHP. 2. WORK DESCRIBED HEREIN ARE VOLUNTARY UPGRADES. PROVIDED BY THE SAN DIEGO AIRPORT AUTHORITY, AT NO COST TO THE OWNER FOR THE PURPOSE OF INTERIOR NOISE REDUCTION DUE TO AIRCRAFT OPERATIONS. 3. THE WORK SPECIFIED IN THESE DOCUMENTS IS SUBJECT TO THE CONTRACT DOCUMENTS OF THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY SOUND INSULATION PROGRAM, VOLUMES 1 & 2. 4. CHANGES AND/OR ALTERATIONS TO THE SCOPE OF WORK WILL NOT BE CONSIDERED UNLESS APPROVED BY THE QUIETER HOME PROGRAM MANAGERS. HOMEOWNER(S) HAVE ACCEPTED THE SCOPE OF WORK DESCRIBED IN THIS DOCUMENT. 5. REFER TO THE GENERAL DETAILS FOR GENERAL CONDITIONS THAT MAY APPLY TO EACH PROPERTY. 6. DRAWINGS AND DETAILS DEPICTING EXISTING CONDITIONS REPRESENT THE BEST AVAILABLE INFORMATION. 7. NEW GLAZING AT WINDOWS AND DOORS TO BE DUAL GLAZED UNITS WITH A MAXIMUM .30 U-FACTOR AND .23 SHGC EXCEPT AS OTHERWISE NOTED ON WINDOW & DOOR SCHEDULE AND IN SPECIFICATIONS. REGLAZING AS SPECIFIED. DOORS & WINDOWS SHALL MEET THE MINIMUM INFILTRATION REQUIREMENTS PER SECTION 110.6 AND 110.7 E.E.S. 8. PROVIDE ESCAPE OR RESCUE WINDOWS IN EVERY SLEEPING ROOM IN COMPLIANCE WITH SEC. 1029 OF THE CBC. 9. PROVIDE SAFETY GLAZING IN AREAS SUBJECT TO HUMAN IMPACT IN COMPLIANCE WITH SEC.2406 OF THE CBC AND THE CITY BNL 24-1. 10. PROVIDE NATURAL LIGHT AND VENTILATION WITHIN HABITABLE ROOMS IN COMPLIANCE WITH SEC.1205.2 AND SEC. 1203.4.1 OF THE CBC. 11. CERTIFICATE OF VERIFICATION AND DIAGNOSTIC TESTING (CF-4R FORM) AND CERTIFICATE OF INSTALLATION (CF-6R FORM) SHALL BE PROVIDED BY THE CONTRACTOR AND SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AS REQUIRED. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF-4R AND CF-6R FORMS ARE REVIEWED AND APPROVED. 12. FLASH EXTERIOR OPENINGS EXPOSED TO THE WEATHER IN SUCH A MANNER AS TO MAKE WEATHERPROOF IN COMPLIANCE WITH THE CBC 1503.2 AND THE CITY BNL 14-1. 13. PROVIDE NEW MECHANICAL AND ELECTRICAL SYSTEM AS NOTED ON THE MECHANICAL AND ELECTRICAL DRAWINGS. 14. THE CONTRACTOR WILL ASSUME ALL PAINTED SURFACES CONTAIN LEAD BASED PAINT (LBP) AND ALL EXISTING BUILDING MATERIALS TO BE ASBESTOS CONTAINING MATERIAL (ACM) INCLUDING BUT NOT LIMITED TO THE FOLLOWING: CAULKING, STUCCO, ROOF MASTIC AND OTHER ROOFING MATERIAL, POPCORN OR TEXTURED CEILING MATERIAL, GYPSUM WALL BOARD, HVAC INSULATION AND VENT TAPE, DUCT AND PIPE INSULATION. THE CONTRACTOR IS REQUIRED TO COMPLY WITH ALL APPLICABLE CONTRACT SPECIFICATIONS INCLUDING SPECIAL CONDITIONS 1D-29 - LEAD PAINT/COATINGS, TECHNICAL SPECIFICATION SECTIONS 02 81 01 LEAD-SAFE WORK PRACTICES AND 02 81 02 ASBESTOS-CONTAINING MATERIAL WORK PRACTICES; AS WELL AS ALL LOCAL, COUNTY, STATE AND CALOSHA REGULATION PRIOR TO DISTURBING ANY SUSPECT MATERIALS. 15. AT ALL PENETRATIONS THROUGH EXISTING WALLS AND/OR CEILINGS FOR MECHANICAL AND ELECTRICAL WORK, ENCLOSE ALL EXPOSED WALL OR CEILING FRAMING WITH A MINIMUM OF 5/8 INCH TYPE X GWB OR PROVIDE MINIMUM 26 GAUGE STEEL DUCTWORK INSTALLED TIGHT TO EXISTING GWB WITH PERIMETER 1-HR FIRE RATED SEALANT. PROVIDE 1-HR FIRE RATED SEALANT AT PERIMETER OF PENETRATIONS FOR CONDUITS, CONDENSATE PIPING AND/OR LINE SETS. 16. AN ELECTRONICALLY SIGNED AND REGISTERED INSTALLATION CERTIFICATE(S) (CF-2R) POSTED BY INSTALLING CONTRACTOR SHALL BE SUBMITTED TO THE FIELD INSPECTOR DURING CONSTRUCTION AT THE BUILDING SITE AS REQUIRED. A REGISTERED CF-2R WILL HAVE A UNIQUE 21-DIGIT REGISTRATION NUMBER FOLLOWED BY 4 ZEROS LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 12 DIGITS OF THE NUMBER WILL MATCH THE REGISTRATION NUMBER OF THE ASSOCIATED CF-1R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL FORM CF-2R IS REVIEWED AND APPROVED. 17. AN ELECTRONICALLY SIGNED AND REGISTERED CERTIFICATE(S) OF FIELD VERIFICATION AND DIAGNOSTIC TESTING (CF-3R) SHALL BE POSTED AT THE BUILDING SITE BY A CERTIFIED HERS RATER AS REQUIRED. A REGISTERED CF-4R WILL HAVE A UNIQUE 25-DIGIT REGISTRATION NUMBER LOCATED AT THE BOTTOM OF EACH PAGE. THE FIRST 20 DIGITS OF THE NUMBER WILL MATCH REGISTRATION NUMBER OF THE ASSOCIATED CF-2R. CERTIFICATE OF OCCUPANCY WILL NOT BE ISSUED UNTIL CF-3R IS REVIEWED AND APPROVED.													
 The Jones Payne Group 		 HERITAGE ARCHITECTURE & PLANNING  PBS ENGINEERS, INC. CONSULTING MECHANICAL & ELECTRICAL ENGINEERS 		SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH <table><tr><td>RES#: 381408.45</td><td>DATE: 10/2025</td><td>INITIAL(S):</td><td>SHEET:</td></tr><tr><td colspan="2">ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428</td><td></td><td>2 of 26</td></tr></table>		RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:	ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			2 of 26
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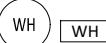
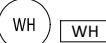
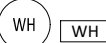
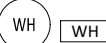
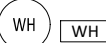
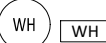
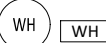
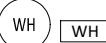
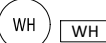
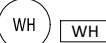
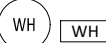
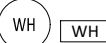
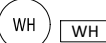
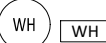
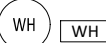
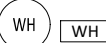
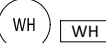
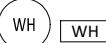
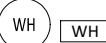
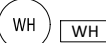
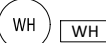
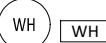
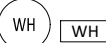
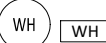
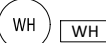
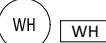
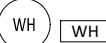
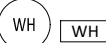
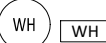
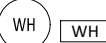
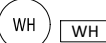
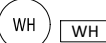
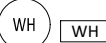
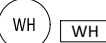
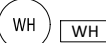
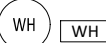
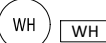
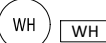
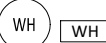
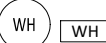
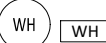
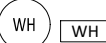
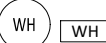
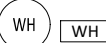
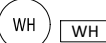
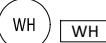
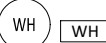
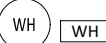
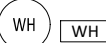
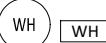
STORM WATER QUALITY NOTES - CONSTRUCTION BMPs

THIS PROJECT SHALL COMPLY WITH ALL CURRENT REQUIREMENTS OF THE STATE PERMIT; CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD (SDRWQCB), SAN DIEGO MUNICIPAL STORM WATER PERMIT, THE CITY OF SAN DIEGO LAND DEVELOPMENT CODE, AND THE STORM WATER STANDARDS MANUAL.

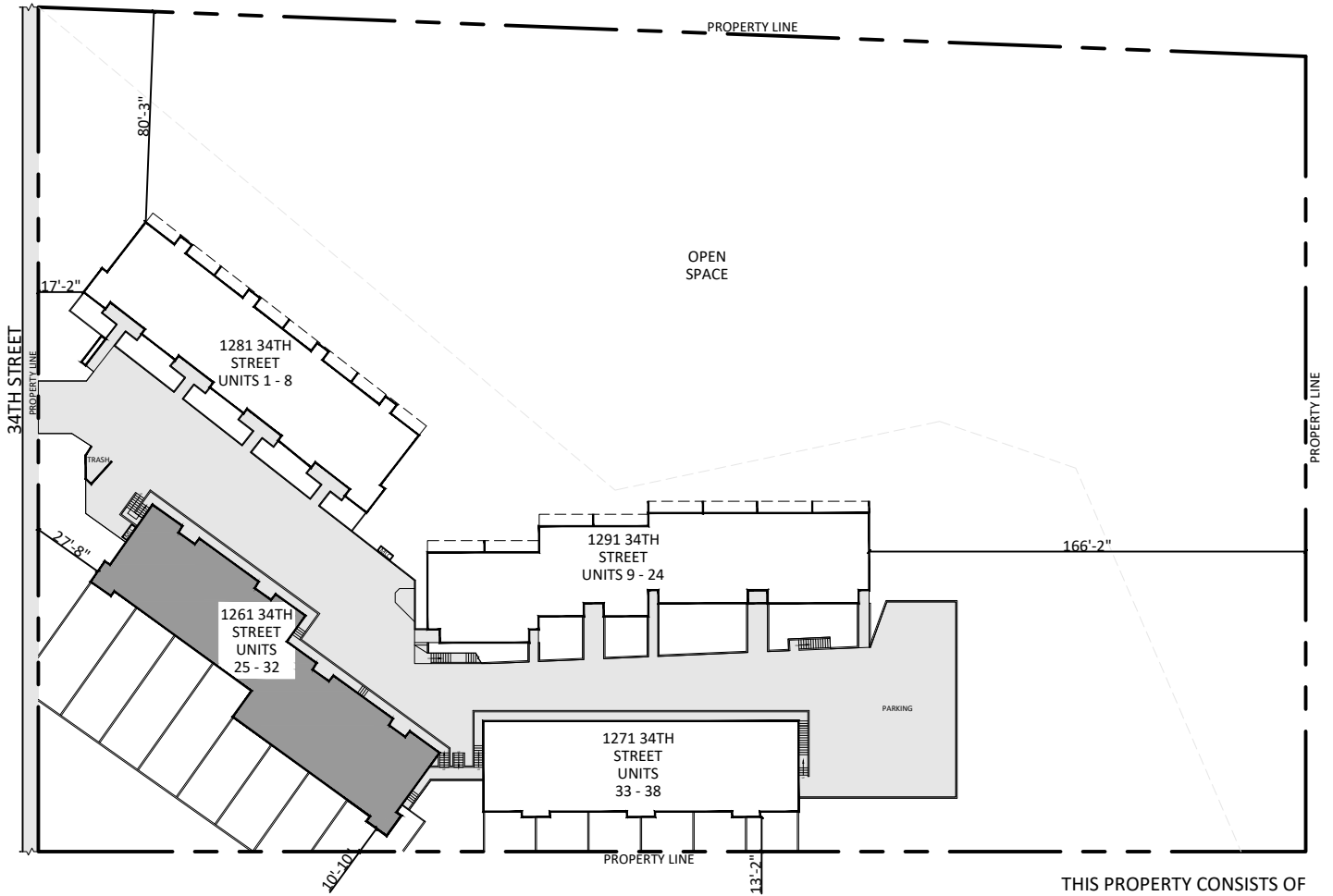
PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY SEDIMENT CONTROLS SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "STORMWATER STANDARDS MANUAL" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMPs AND, IF APPLICABLE, THE STORMWATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST-CONSTRUCTION BMPs.
 2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLET PROTECTION. INLET PROTECTION IN THE PUBLIC RIGHT-OF-WAY MUST BE TEMPORARILY REMOVED PRIOR TO A RAIN EVENT TO ENSURE NO FLOODING OCCURS AND REINSTALLED AFTER RAIN IS OVER.
 3. ALL CONSTRUCTION BMPs SHALL BE INSTALLED AND PROPERLY MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
 4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED CONTACT PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
 5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORMWATER BMPs AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES, AND/OR STOP WORK NOTICES.
 6. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS, AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
 7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORMWATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION-RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPs THAT ARE ACCEPTABLE TO THE CITY RESIDENT ENGINEER AND AS INDICATED IN THE SWPPP/WPCP
 8. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CLEAR DEBRIS, SILT, AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND WITHIN 3 BUSINESS DAYS AFTER EACH RAIN EVENT OR PRIOR TO THE NEXT RAIN EVENT, WHICHEVER IS SOONER.
 9. IF A NON-STORMWATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL NOTIFY THE CITY RESIDENT ENGINEER OF THE DISCHARGE, PRIOR TO RESUMING CONSTRUCTION ACTIVITY. ANY AND ALL WASTE MATERIAL, SEDIMENT, AND DEBRIS FROM EACH NON-STORMWATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
 10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ONSITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPs WHEN RAIN IS IMMINENT.
 11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPs TO WORKING ORDER YEAR ROUND.
 12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORMWATER AND SEDIMENT-LADEN DISCHARGES.
 13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
 14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROLS FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE CITY RESIDENT ENGINEER.
 15. AS NECESSARY, THE CITY RESIDENT ENGINEER SHALL SCHEDULE MEETINGS FOR THE PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED CONTACT PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER, AND THE CITY RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPs RELATIVE TO ANTICIPATED CONSTRUCTION ACT I VITI ES.
 16. THE CONTRACTOR OR QUALIFIED CONTACT PERSON SHALL CONDUCT VISUAL INSPECTIONS AND MAINTAIN ALL BMPs DAILY AND AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPs SHALL BE CONDUCTED BEFORE, DURING, AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPs AS SOON AS POSSIBLE AS SAFETY ALLOWS.
 17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXITS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CASQA FACT SHEET TC-10R CAL TRANS FACT SHEET TC-01 TO PREVENT TRACKING OF SEDIMENT AND OTHER POTENTIAL POLLUTANTS ONTO PAVED SURFACES AND TRAVELED WAYS. WIDTH SHALL BE 10' OR THE MINIMUM NECESSARY TO ACCOMMODATE VEHICLES AND EQUIPMENT WITHOUT BY-PASSING THE ENTRANCE.
- (A) NON-STORMWATER DISCHARGES SHALL BE EFFECTIVELY MANAGED PER THE SAN DIEGO MUNICIPAL CODE CHAPTER 4, ARTICLE 3, DIVISION 3 "STORM WATER MANAGEMENT AND DISCHARGE CONTROL".

 The Jones Payne Group		SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH			
 HERITAGE ARCHITECTURE & PLANNING		RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:
 PBS ENGINEERS, INC. CONSULTING MECHANICAL & ELECTRICAL ENGINEERS		ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			3 of 26
 SAN DIEGO INTERNATIONAL AIRPORT QUIETER HOME PROGRAM					

ABBREVIATIONS				LEGEND			
GENERAL MATERIAL				SITE / FLOOR PLAN			
WD	WOOD	WC	WOOD CLAD	 →	KEYNOTE		
V	VINYL	FG	FIBER GLASS		EXISTING SMOKE DETECTOR		
AL	ALUMINUM	M	METAL		EXISTING COMBINATION CARBON MONOXIDE/SMOKE DETECTOR		
ST	STEEL	(E)	EXISTING TO REMAIN		KITCHEN/BATH EXHAUST VENT		
GLZ	GLAZING/GLASS				CONDENSING UNIT		
FR	FIRE RATED				HEAT PUMP		
WINDOW SCHEDULE					METER LOAD CENTER		
W	WIDTH				WATER HEATER		
H	HEIGHT				WATER HEATER		
E	EGRESS				WATER HEATER		
G	GLAZING				WATER HEATER		
	I INSULATED GLASS				WATER HEATER		
	S SINGLE PANE GLASS				WATER HEATER		
LS	LOWER WINDOW SILL				WATER HEATER		
	V VINYL	M MASONRY	W WOOD/SIDING		WATER HEATER		
	S STUCCO	B BRICK VENEER	CB CEMENT FIBER BOARD		WATER HEATER		
T	TEMPERED GLASS				WATER HEATER		
O	OBSCURE GLASS				WATER HEATER		
FPD	FALL PREVENTION DEVICE				WATER HEATER		
AWN	AWNING				WATER HEATER		
FIX	FIXED				WATER HEATER		
CAS	CASEMENT				WATER HEATER		
HNG	HUNG WINDOW				WATER HEATER		
DH	DOUBLE HUNG				WATER HEATER		
SH	SINGLE HUNG				WATER HEATER		
FIX	FIXED				WATER HEATER		
GL	GLIDER				WATER HEATER		
GRDN	GARDEN BOX WINDOW				WATER HEATER		
G-BLK	GLASS BLOCK				WATER HEATER		
RE-GLZ	REGLAZE				WATER HEATER		
HOP	HOPPER				WATER HEATER		
SKY	SKYLIGHT				WATER HEATER		
ISW	INTERIOR STORM WINDOW				WATER HEATER		
ESW	EXTERIOR STORM WINDOW				WATER HEATER		
H-	HISTORIC PROFILE WINDOW				WATER HEATER		
JAL	JALOUSIE				WATER HEATER		
DOOR SCHEDULE					WATER HEATER		
W	WIDTH				WATER HEATER		
H	HEIGHT				WATER HEATER		
S	SECONDARY DOOR (SCREEN/SECURITY)				WATER HEATER		
J	EXISTING JAMB(WIDTH)				WATER HEATER		
THK	EXISTING DOOR THICKNESS				WATER HEATER		
HD	HARDWARE				WATER HEATER		
WS	WEATHERSTRIP				WATER HEATER		
P	PEEP HOLE				WATER HEATER		
DOOR TYPES					WATER HEATER		
SC	SOLID CORE				WATER HEATER		
SR	STILE AND RAIL				WATER HEATER		
FL	FLUSH ACOUSTICAL				WATER HEATER		
FR	FRENCH DOOR				WATER HEATER		
EM	STEEL ACOUSTIC EMBOSSED				WATER HEATER		
SGD	SLIDING DOOR				WATER HEATER		
PDS	PULL DOWN STAIRS				WATER HEATER		
AAP	ATTIC ACCESS PANEL				WATER HEATER		
EAP	EAVE ACCESS PANEL				WATER HEATER		
CSD	CRAWL SPACE DOOR				WATER HEATER		
2-	DOUBLE DOORS				WATER HEATER		

SITE PLAN



THIS PROPERTY CONSISTS OF 33 UNITS IN FOUR BUILDINGS. 1271, 1281 & 1291 ARE TWO-STORY BUILDINGS. 1261 IS A THREE STORY BUILDING.

HERS Certification Required?

☒ YES ☐ NO

SITE PLAN

SCALE: NTS



LOT DESCRIPTION

A CONDOMINIUM COMPRISED OF: PARCEL 1: AN UNDIVIDED ONE-THIRTY-EIGHT (1/38) FRACTIONAL INTEREST AS TENANT-IN-COMMON IN AND TO PARCEL 1 OF PARCEL MAP NO. 10383, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 27, 1980 AS FILE NO. 80-275642 OF OFFICIAL RECORDS, BEING CONSOLIDATED OF LOTS 25 AND 26 OF BLOCK 151 AND LOTS 23 AND 24 AND PORTIONS OF LOTS 25 AND 26 OF BLOCK 152

SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

RES#: 381408.45

DATE: 10/2025

INITIAL(S):

SHEET:

ERIN HIDALGO
1261 34TH STREET UNIT 28
SAN DIEGO, CA 92102
APN #: 5405906428

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The Jones Payne Group



BUILDING PLAN



SITE PLAN

SCALE: NTS



LOT DESCRIPTION

A CONDOMINIUM COMPRISED OF: PARCEL 1: AN UNDIVIDED ONE-THIRTY-EIGHT (1/38) FRACTIONAL INTEREST AS TENANT-IN-COMMON IN AND TO PARCEL 1 OF PARCEL MAP NO. 10383, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, AUGUST 27, 1980 AS FILE NO. 80-275642 OF OFFICIAL RECORDS, BEING CONSOLIDATED OF LOTS 25 AND 26 OF BLOCK 151 AND LOTS 23 AND 24 AND PORTIONS OF LOTS 25 AND 26 OF BLOCK 152

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1261 34TH STREET UNIT 28
SAN DIEGO, CA 92102
APN #: 5405906428

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The Jones Payne Group



PROPERTY ELEVATIONS



FRONT ELEVATION



LEFT ELEVATION

 The Jones Payne Group		SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH			
 HERITAGE ARCHITECTURE & PLANNING		RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:
 PBS ENGINEERS, INC. CONSULTING MECHANICAL & ELECTRICAL ENGINEERS		ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			7 of 26
 SAN DIEGO INTERNATIONAL AIRPORT QUIETER HOME PROGRAM					

PROPERTY ELEVATIONS

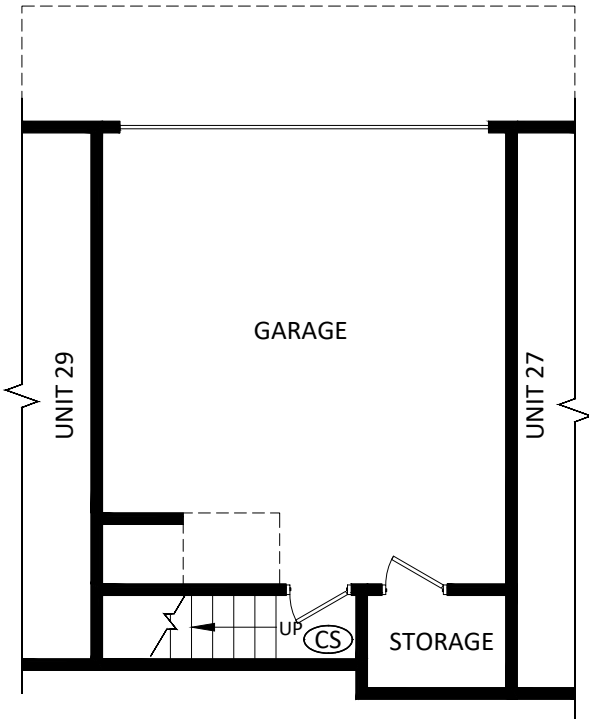


REAR ELEVATION



RIGHT ELEVATION

 The Jones Payne Group  SAN DIEGO INTERNATIONAL AIRPORT QUIETER HOME PROGRAM	 HERITAGE ARCHITECTURE & PLANNING  PBS ENGINEERS, INC. CONSULTING MECHANICAL & ELECTRICAL ENGINEERS 	SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH			
		RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:
		ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			8 of 26



NOTES:

- 1. COORDINATE ALL NEW WORK ITEMS WITH MECHANICAL AND ELECTRICAL SCOPE OF WORK.
- 2. EXISTING WATER HEATER TO REMAIN.
- 3. EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO REMAIN.

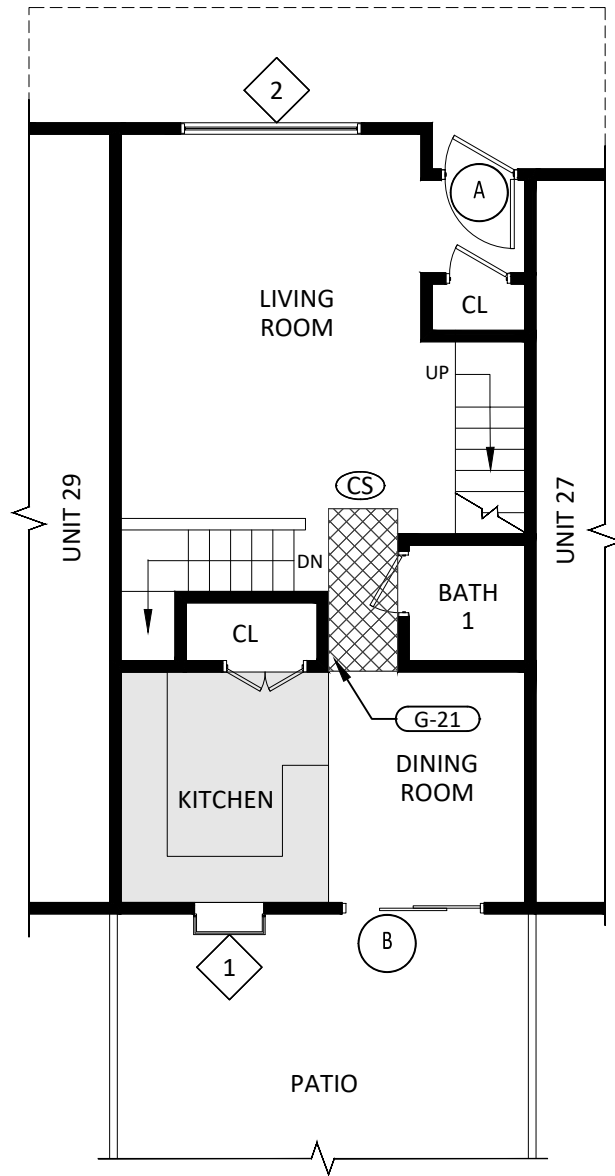
FIRST FLOOR PLAN
SCALE: NTS



PLAN NOTES

G-21: PROVIDE NEW GYPSUM WALL BOARD SOFFIT IN AREA INDICATED.
DETAIL: G2-01 (7 LN-FT)

SECOND FLOOR PLAN



NOTES:

1. COORDINATE ALL NEW WORK ITEMS WITH MECHANICAL AND ELECTRICAL SCOPE OF WORK.
2. EXISTING WATER HEATER TO REMAIN.
3. EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO REMAIN.

SECOND FLOOR PLAN

SCALE: NTS



SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

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The Jones Payne Group



HERITAGE
 ARCHITECTURE
 & PLANNING



PBS
 ENGINEERS, INC.
 CONSULTING MECHANICAL &
 ELECTRICAL ENGINEERS



PLAN NOTES

G-03: PROVIDE NEW TEMPORARY OPENING AT EXISTING WALL TO ALLOW INSTALLATION OF NEW MECHANICAL AND/OR ELECTRICAL WORK WITHIN THE STUD BAY. WHEN TEMPORARY OPENING IS NO LONGER REQUIRED, REPAIR WITH NEW GYPSUM WALL BOARD, MATCH EXISTING FINISH/TEXTURE AND PAINT ENTIRE SURFACE TO MATCH EXISTING.

DETAIL: GN-04 (QTY: 3)

G-21: PROVIDE NEW GYPSUM WALL BOARD SOFFIT IN AREA INDICATED.

DETAIL: G2-01 (10 LN-FT)

G-23: PROVIDE NEW GYPSUM WALL BOARD CHASE IN CLOSET LOCATION(S) INDICATED. REMOVE, CUT DOWN AND REINSTALL SHELVES (1 SHELF/SHELVES) AND CLOSET POLE TO ALLOW INSTALLATION OF NEW CHASE.

DETAIL: G2-01 (8 LN-FT)

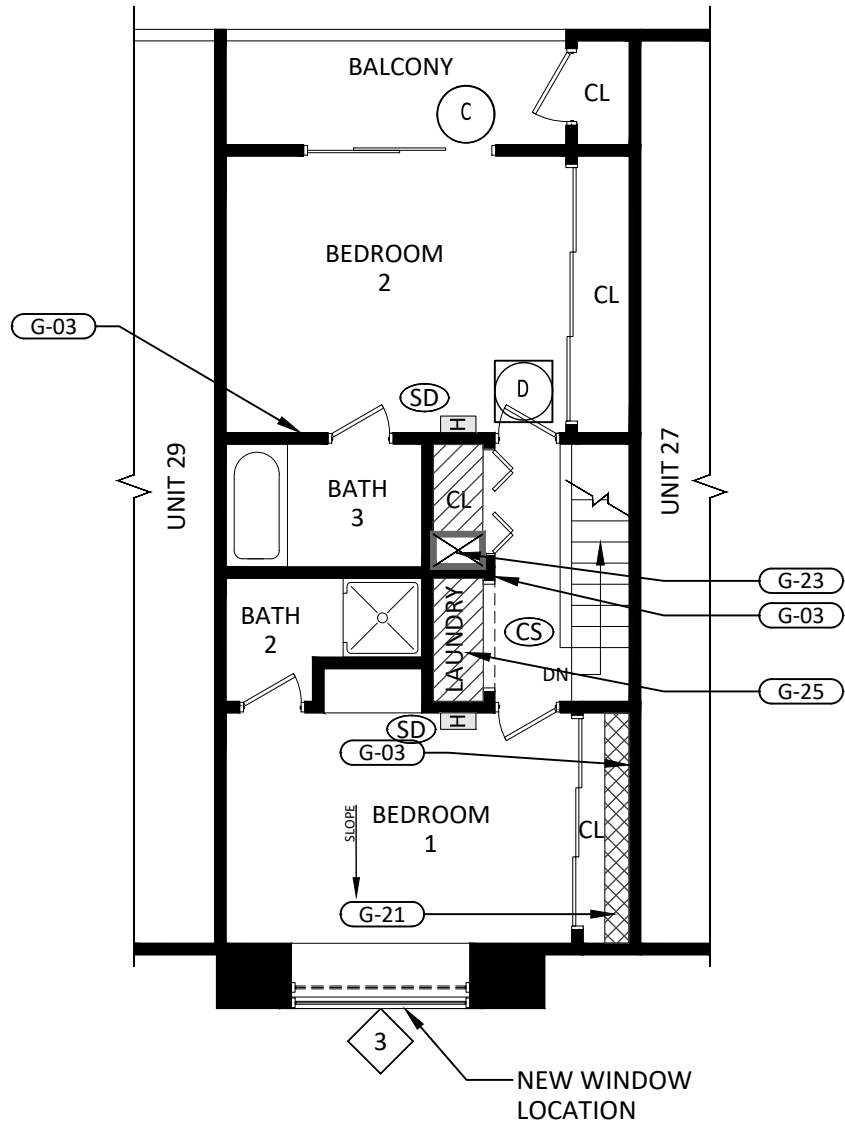
G-25: PROVIDE NEW GYPSUM WALL BOARD DROPPED CEILING IN AREA INDICATED.

DETAIL: G2-05 (25 SQ-FT)

NOTES:

1. COORDINATE ALL NEW WORK ITEMS WITH MECHANICAL AND ELECTRICAL SCOPE OF WORK.
2. EXISTING WATER HEATER TO REMAIN.
3. EXISTING SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS TO REMAIN.

THIRD FLOOR PLAN



THIRD FLOOR PLAN

SCALE: NTS



SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

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INITIAL(S):

SHEET:

ERIN HIDALGO
1261 34TH STREET UNIT 28
SAN DIEGO, CA 92102
APN #: 5405906428

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The Jones Payne Group



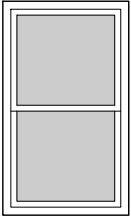
WINDOW SCHEDULE																
EXISTING WINDOW						NEW WINDOW										
#	W	H	MAT	TYPE	G	NOTES	MAT	TYPE	LITES	E	LS	T	O	FPD	DETAIL	COMMENTS
1	37.5	45	AL	GRDN	s		V	SH							VJ-01	FOR ADDITIONAL INSTALLATION NOTES REFER TO SK-A.
2	93	37.5	AL	GL	s		V	GL				X			VJ-01	PROVIDE XO, 1:2:1 PROPORTIONS.
3	93.5	37.5	AL	GL	s		V	GL		X	S				VR-01	PROVIDE OX GLIDER (FROM EXTERIOR). LOWER SILL: EXISTING SILL HEIGHT 42", NEW WINDOW HEIGHT APPROX. 42" REFER TO DETAIL GN-06 AND SK-B.

DOOR SCHEDULE																
EXISTING DOOR							NEW DOOR									
#	W	H	MAT	J	S	TH	NOTES	MAT	TYPE	HD	WS	P	O	DETAIL	COMMENTS	
A	35.5	80.5	WD	5"	X	1-3/4"		WD	FL	X	X	X		DR-01	PROVIDE NEW DOOR NUMBER/LETTER.	
B	69.5	78	AL	5"		1/2"		V	SGD					DG-02	PROVIDE XO (FROM EXTERIOR) OPERATION. PROVIDE FURRING AT NEW INTERIOR CASING TO ALLOW INSTALLATION AROUND EXISTING DOOR FRAME.	
C	93.5	77.5	AL	5"		1/2"		V	SGD					DG-02	EGRESS. PROVIDE XO (FROM EXTERIOR) OPERATION. PROVIDE FURRING AT NEW INTERIOR CASING TO ALLOW INSTALLATION AROUND EXISTING DOOR FRAME.	
D								WD	AAP					AA-02	ENLARGE OPENING TO 30"X22", REFER TO DETAIL GN-08 FOR ADDITIONAL NOTES.	

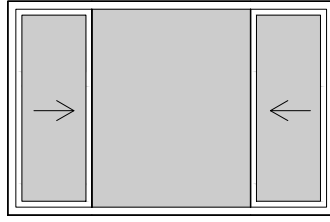
WINDOW SCHEDULE NOTES	DOOR SCHEDULE NOTES
1. REFER TO PAGE "WINDOW ELEVATIONS" FOR ADDITIONAL INFORMATION. 2. NEW GLAZING AT WINDOWS TO BE DUAL GLAZED UNITS WITH A MAXIMUM .30 U-FACTOR AND .23 SHGC. 3. EMERGENCY ESCAPE EGRESS OPENINGS SHALL NOT BE GREATER THAN 44-INCHES ABOVE THE FINISHED FLOOR. 4. PRIOR TO CONSTRUCTION, HOMEOWNER TO REMOVE EXISTING SECURITY BARS TO ALLOW INSTALLATION OF NEW WINDOWS. 5. WINDOW OPENING CONTROL DEVICES (FPD) SERVING EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL COMPLY WITH ASTM F2090 AND SHALL NOT REDUCE THE MINIMUM NET CLEAR OPENING AREA OF THE WINDOW TO LESS THAN 5.7 SQUARE FEET. 6. WINDOW 2 TO BE CHANGED TO SINGLE HUNG DUE TO PRODUCT RESTRICTIONS. 7. WINDOW 3 TO BE CHANGED TO A 2-PANEL XO GLIDER TO MEET EGRESS REQUIREMENTS.	1. REFER TO PAGE "DOOR ELEVATIONS" FOR ADDITIONAL INFORMATION. 2. NEW GLAZING AT DOORS TO BE DUAL GLAZED UNITS WITH A MAXIMUM .30 U-FACTOR AND .23 SHGC. 3. PRIOR TO CONSTRUCTION, HOMEOWNER TO REMOVE SECONDARY DOORS (SCREEN/SECURITY) WHERE THEY EXIST TO ALLOW INSTALLATION OF NEW DOOR LEAF OR NEW DOOR ASSEMBLY (DOOR, FRAME, CASINGS AND THRESHOLD).

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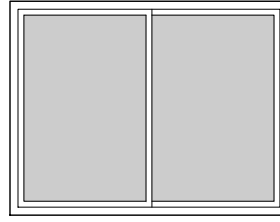
WINDOW ELEVATIONS



WINDOW(S):
SH



WINDOW(S):
GL - XOX 1:2:1



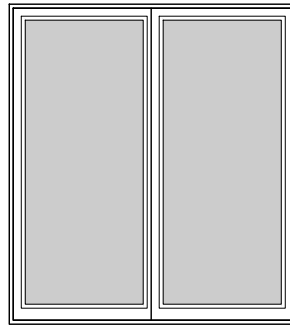
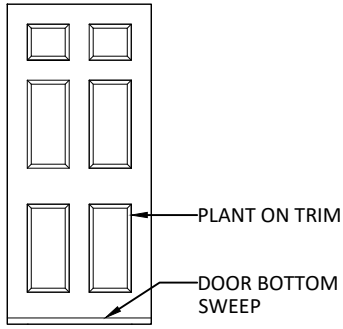
WINDOW(S):
GL

NOTES:

1. CONTRACTOR TO VERIFY WINDOW OPERATION AND GRID PATTERN. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM HOMEOWNER AND QHP PRIOR TO CHANGING ANY GRID PATTERNS, WINDOW OPERATION OR WINDOW CONFIGURATIONS.
2. FRAME THICKNESS IS NOT SHOWN TO SCALE.
3. REFER TO WINDOW SCHEDULE FOR WINDOW WIDTH AND HEIGHT.
4. WINDOW ELEVATIONS DRAWN FROM EXTERIOR.

The Jones Payne Group SAN DIEGO INTERNATIONAL AIRPORT QUIETER HOME PROGRAM		SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH			
HERITAGE ARCHITECTURE & PLANNING PBS ENGINEERS, INC. CONSULTING MECHANICAL & ELECTRICAL ENGINEERS		RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:
		ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			13 of 26

DOOR ELEVATIONS



A WOOD ACOUSTIC FLUSH DOOR (FL)

DOOR STYLE/ELEVATION: EP-11
HARDWARE TYPE:
HARDWARE COLOR:
FINISH INTERIOR: PAINTED
FINISH EXTERIOR: PAINTED

B VINYL SLIDING GLASS DOOR (SGD)

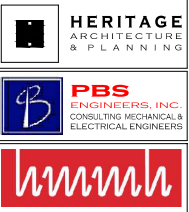
DOOR STYLE/ELEVATION: XO
HARDWARE TYPE: MANUFACTURER'S
HARDWARE COLOR: MANUFACTURER'S
FINISH INTERIOR: WHITE
FINISH EXTERIOR: WHITE

D ATTIC ACCESS PANEL (AAP)

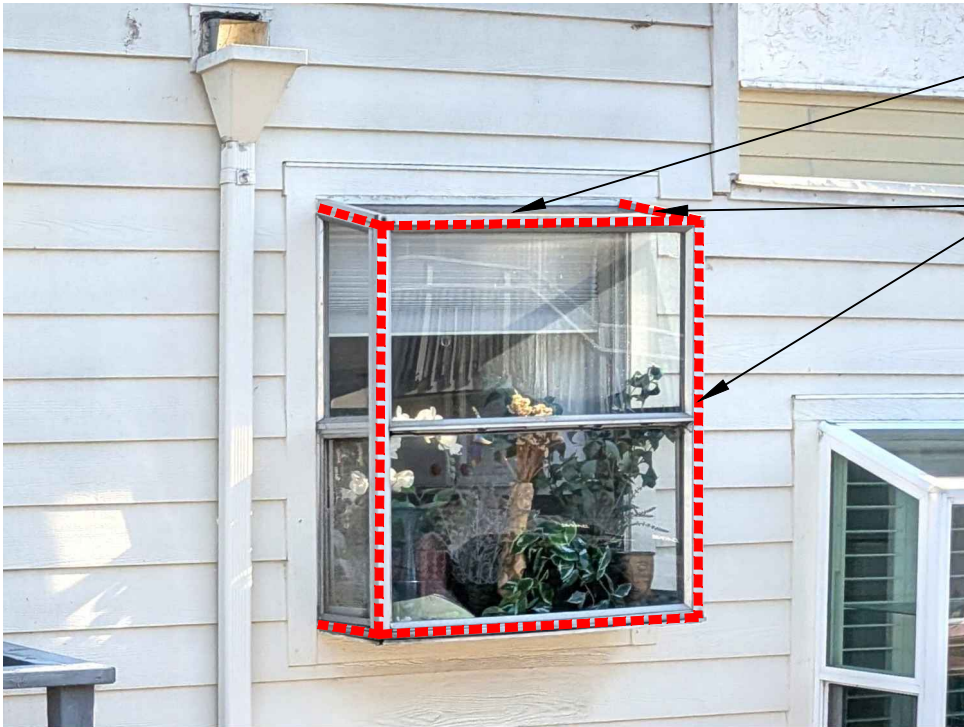
DOOR STYLE/ELEVATION: N/A
HARDWARE TYPE: PER DETAIL
HARDWARE COLOR: N/A
FINISH INTERIOR: PAINTED
FINISH EXTERIOR: PAINTED

NOTES:

1. MATCH OPERATION OF EXISTING DOORS, EXCEPT AS NOTED ON DOOR SCHEDULE.
2. CONTRACTOR TO VERIFY EXISTING DOOR OPERATION. CONTRACTOR TO OBTAIN WRITTEN APPROVAL FROM HOMEOWNER AND QHP PRIOR TO CHANGING ANY DOOR OPERATION.
3. REFER TO DOOR SCHEDULE FOR DOOR WIDTH AND HEIGHT.
4. DOOR ELEVATIONS DRAWN FROM EXTERIOR.
5. REFER TO TECHNICAL SPECIFICATION SECTION 08 71 00 DOOR HARDWARE FOR ADDITIONAL HARDWARE REQUIREMENTS.

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SPECIAL CONDITIONS : SK-A

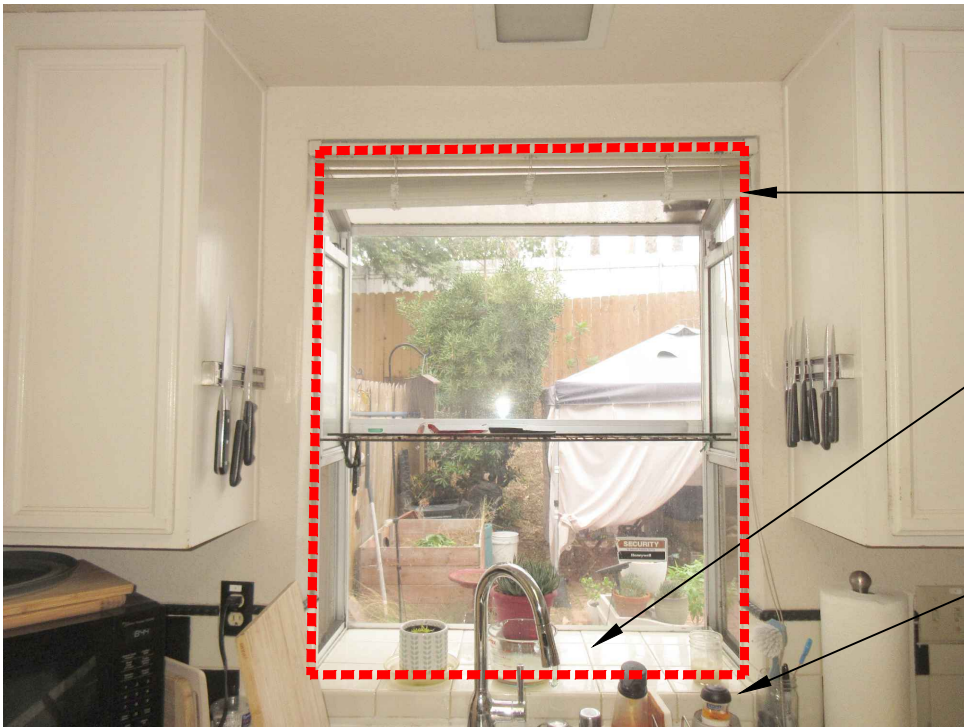


EXISTING ALUMINUM FRAME TO REMAIN

CUT AND REMOVE EXTENDED GARDEN WINDOW AND RETAIN EXISTING ALUMINUM FRAME AT OPENING

EXISTING CONDITIONS AT GARDEN WINDOW (EXTERIOR)
IMAGE SHOWN IS FOR REFERENCE ONLY

NOTES:
1.REFER TO **WINDOW SCHEDULE** FOR INSTALLATION DETAIL.
2.REFER TO **WINDOW SCHEDULE** FOR LOCATIONS.



NEW WINDOW PER SCHEDULE

CUT BACK EXISTING TILE/STONE TO ALLOW INSTALLATION OF NEW WINDOW

EXISTING TILE/STONE STOOL AND/OR SURROUNDING TO REMAIN

EXISTING CONDITIONS AT GARDEN WINDOW (INTERIOR)
IMAGE SHOWN IS FOR REFERENCE ONLY



NEW WINDOW TO BE INSTALLED
ON OUTSIDE PERIMETER OF
OPENING

REMOVE EXTERIOR STUCCO AT
EDGES OF EXISTING WINDOW
BACK TO ROUGH FRAMING

EXISTING CONDITIONS AT WINDOW 3 (EXTERIOR)
IMAGE SHOWN IS FOR REFERENCE ONLY

NOTES:
1.REFER TO **WINDOW SCHEDULE** FOR
INSTALLATION DETAIL.
2.REFER TO **WINDOW SCHEDULE** FOR
LOCATIONS.



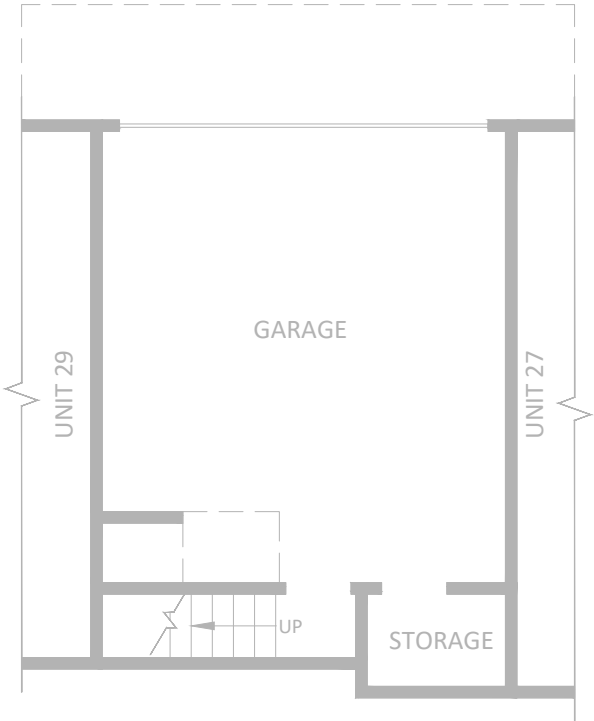
PROVIDE NEW DRYWALL AT HEAD
AND JAMBS OF WINDOW
OPENING TO MATCH EXISTING

NEW WINDOW TO BE INSTALLED
ON OUTSIDE PERIMETER OF
OPENING

PROVIDE NEW DRYWALL SILL TO
MATCH EXISTING

INSTALL NEW WINDOW TO
ROUGH OPENING CUT BACK AND
REFRAME WINDOW SILL TO BE
LEVEL WITH NEW WINDOW
LOCATION

EXISTING CONDITIONS AT WINDOW 3 (INTERIOR)
IMAGE SHOWN IS FOR REFERENCE ONLY



NOTE: NO MECHANICAL
WORK AT THIS FLOOR

LOWER FLOOR PLAN

SCALE: NTS

The Jones Payne Group

SAN DIEGO
INTERNATIONAL AIRPORT
QUIETER HOME PROGRAM

HERITAGE
ARCHITECTURE
& PLANNING

PBS
ENGINEERS, INC.
CONSULTING MECHANICAL &
ELECTRICAL ENGINEERS

hmmh

<i>SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH</i>			
RES#: 381408.45	DATE: 10/2025	INITIAL(S):	SHEET:
ERIN HIDALGO 1261 34TH STREET UNIT 28 SAN DIEGO, CA 92102 APN #: 5405906428			18 of 26

PLAN NOTES

FIRST FLOOR MECHANICAL

EXISTING

**M1-30. EXISTING WALL HEATER
TO REMAIN IN PLACE.**

NEW INSTALLATION

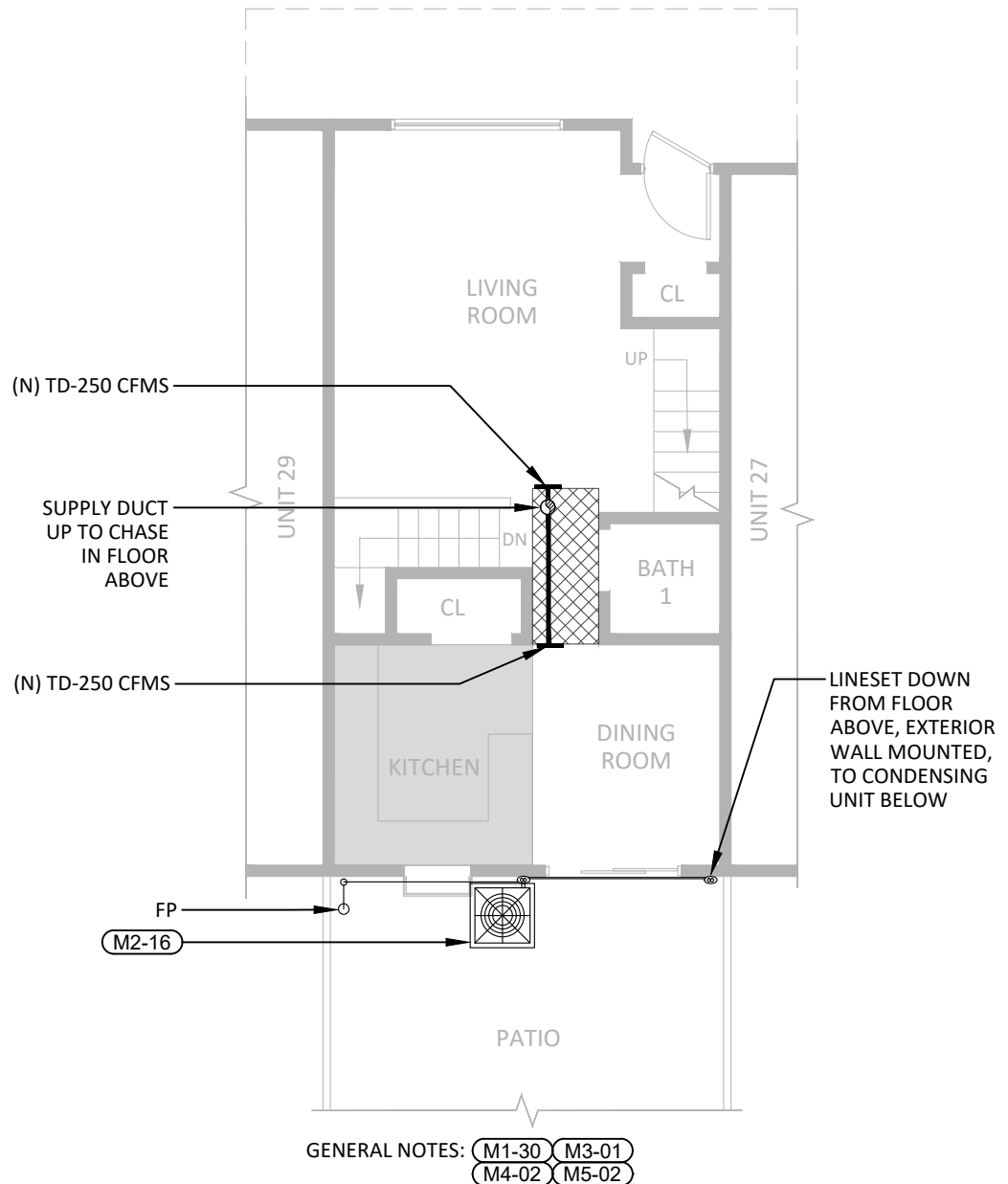
**M2-16. PROVIDE NEW
CONDENSING UNIT (2.5 TONS),
WITH CONFIGURATION TO MATCH
FAN COIL CAPACITY PER **DETAIL:****

M2-11.

M3-01. PROVIDE NEW SUPPLY DUCTS IN SOFFIT AS SHOWN ON PLAN PER DETAIL: M4-04.

**M4-02. PROVIDE NEW SUPPLY
DIFFUSERS AS SHOWN ON PLAN
PER DETAIL: M5-01.**

M5-02. REFER TO MECHANICAL SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.



FIRST FLOOR PLAN

SCALE: NTS



The Jones Payne Group



SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

RES#: 381408.45

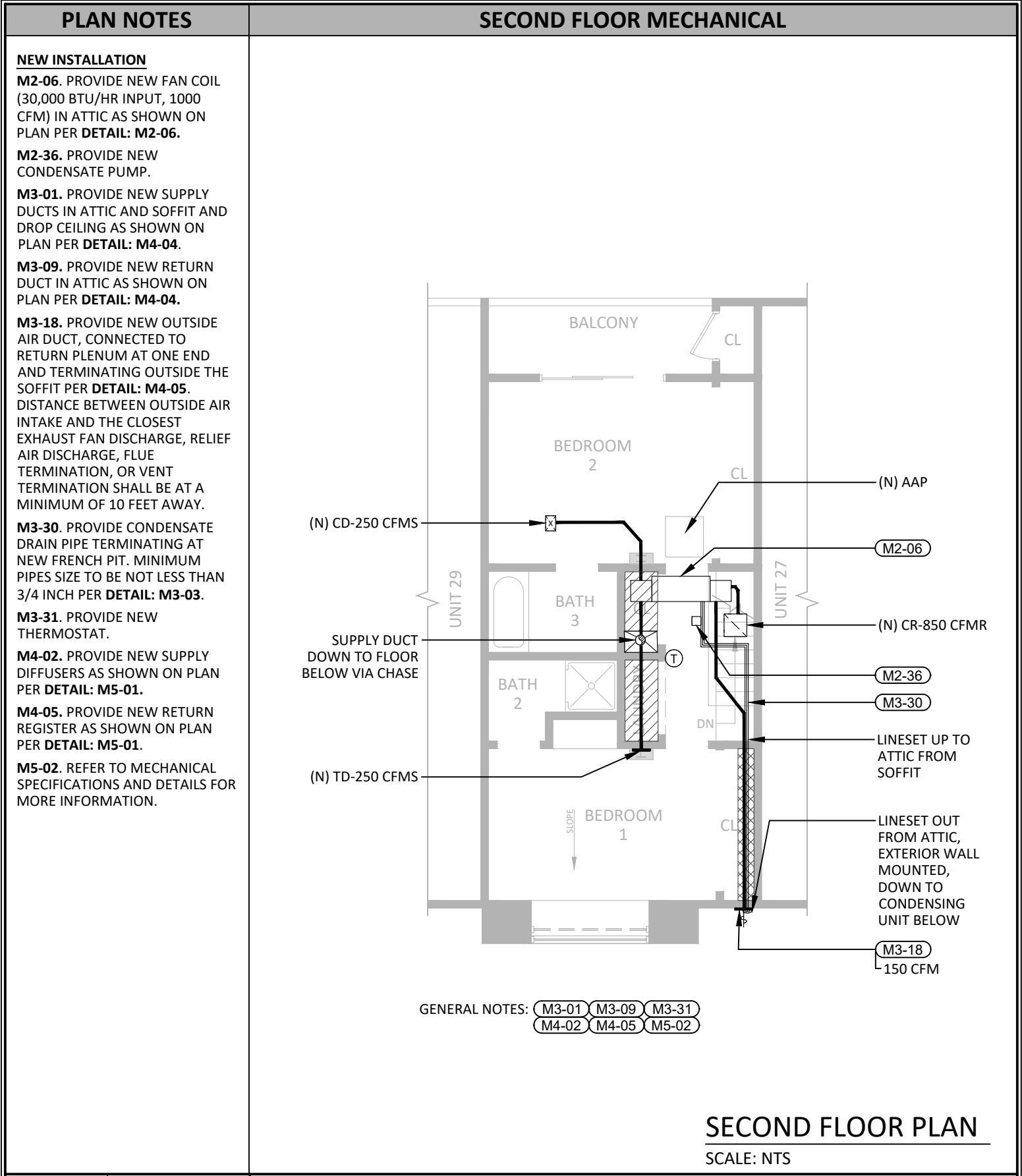
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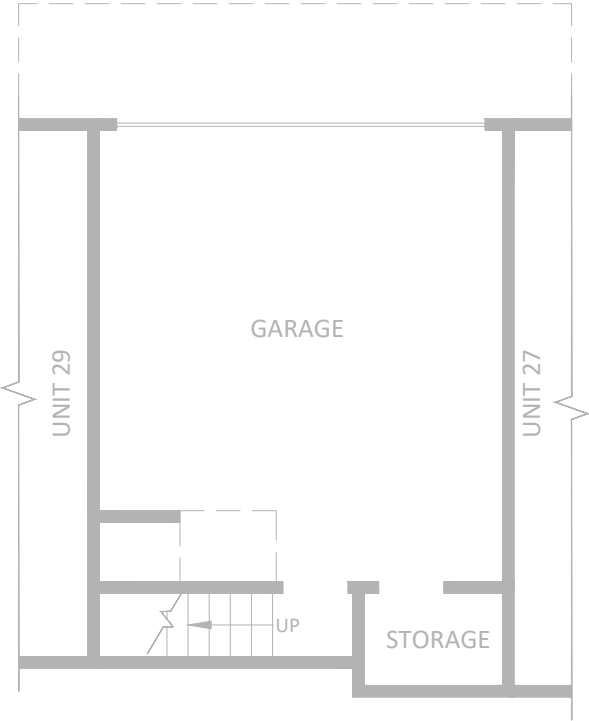
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ELECTRICAL SCOPE OF WORK	ELECTRICAL LEGENDS AND ABBREVIATIONS	
1. NEW 100A RECESSED PANEL - o NEW BRANCH CIRCUIT BREAKERS. - o NEW EQUIPMENT BREAKERS. - o NEW JUNCTION BOX. 2. NEW WIRING DEVICES - o NEW FAN COIL SERVICE GFCI RECEPTACLE. - o NEW CONDENSATE PUMP GFCI RECEPTACLE. - o NEW WEATHER PROOF GFCI RECEPTACLE. - o NEW LIGHT AND ASSOCIATED SWITCH. 3. NEW DISCONNECT SWITCH - o NEW FAN COIL MOTOR RATED SWITCH. - o NEW WEATHER PROOF FUSED DISCONNECT SWITCH. 4. NEW CONDUITS - o NEW CONDUIT FOR FAN COIL. - o NEW CONDUIT FOR OUTDOOR UNIT AND GFCI RECEPTACLE. - o NEW CONDUIT BETWEEN NEW PANEL AND NEW JUNCTION BOX. 5. NEW CONDUCTORS - o NEW CONDUCTORS FOR FAN COIL. - o NEW CONDUCTORS FOR OUTDOOR UNIT AND GFCI RECEPTACLE. - o NEW CONDUCTORS BETWEEN NEW PANEL AND NEW JUNCTION BOX. 6. MATCH EXISTING KAIC RATING FOR NEWLY PROVIDED PANELS AND BREAKERS. 7. ARCHITECTURAL COORDINATION - o CUTTING AND PATCHING OF WALLS AND CEILINGS. 8. REFER TO ELECTRICAL SPECIFICATION "26 05 00 - COMMON WORK RESULTS FOR ELECTRICAL" FOR ELECTRICAL GENERAL NOTES. 9. REFER TO SPECIAL CONDITIONS 1D-29 - LEAD PAINT/COATINGS; TECHNICAL SPECIFICATION SECTIONS 02 81 01 LEAD-SAFE WORK PRACTICES AND 02 81 02 ASBESTOS-CONTAINING MATERIAL WORK PRACTICES FOR REQUIRED SCOPE OF WORK AT REMOVED OR DISTURBED EXISTING BUILDING MATERIALS CONTAINING LEAD BASED PAINT (LBP) AND/OR ASBESTOS CONTAINING MATERIAL (ACM).	<u>ABBREVIATION</u> MLC PNL SPD CKT. WP W GFCI AFCI GND. AMP / A V CO (N) (E) C  sM S             	<u>DESCRIPTION</u> METER LOAD CENTER PANEL SURGE PROTECTIVE DEVICE CIRCUIT WEATHERPROOF WIRE GROUND FAULT CIRCUIT INTERRUPTER ARC FAULT CIRCUIT INTERRUPTER GROUND AMPERE VOLTAGE CARBON MONOXIDE NEW EXISTING TO REMAIN CONDUIT FUSED DISCONNECT SWITCH MOTOR RATED DISCONNECT SWITCH SWITCH LIGHT SMOKE DETECTOR COMBINATION SMOKE & CO DETECTOR CEILING FAN HOUSE FAN JUNCTION BOX METER SURFACE MOUNTED PANEL RECESSED PANEL ELECTRICAL KEYNOTE RECEPTACLE DUPLEX GROUND FAULT CIRCUIT INTERRUPTING RECEPTACLE MAIN COLD WATER RISE WITH SHUT-OFF VALVE AND HOSE BIBB.
		

FIRST FLOOR ELECTRICAL

NOTE: NO ELECTRICAL
WORK AT THIS FLOOR



FIRST FLOOR PLAN

SCALE: NTS

SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

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PLAN NOTES

EXISTING

E0-01A. EXISTING 400A METER STACK IN COMMON AREA TO REMAIN.

NEW INSTALLATION

E5-01. PROVIDE NEW 2-POLE, 240V, 30A RATED WEATHERPROOF FUSED DISCONNECT SWITCH WITH 20A FUSES FOR OUTDOOR MECHANICAL UNIT. VERIFY WIRE SIZE PER CODE.

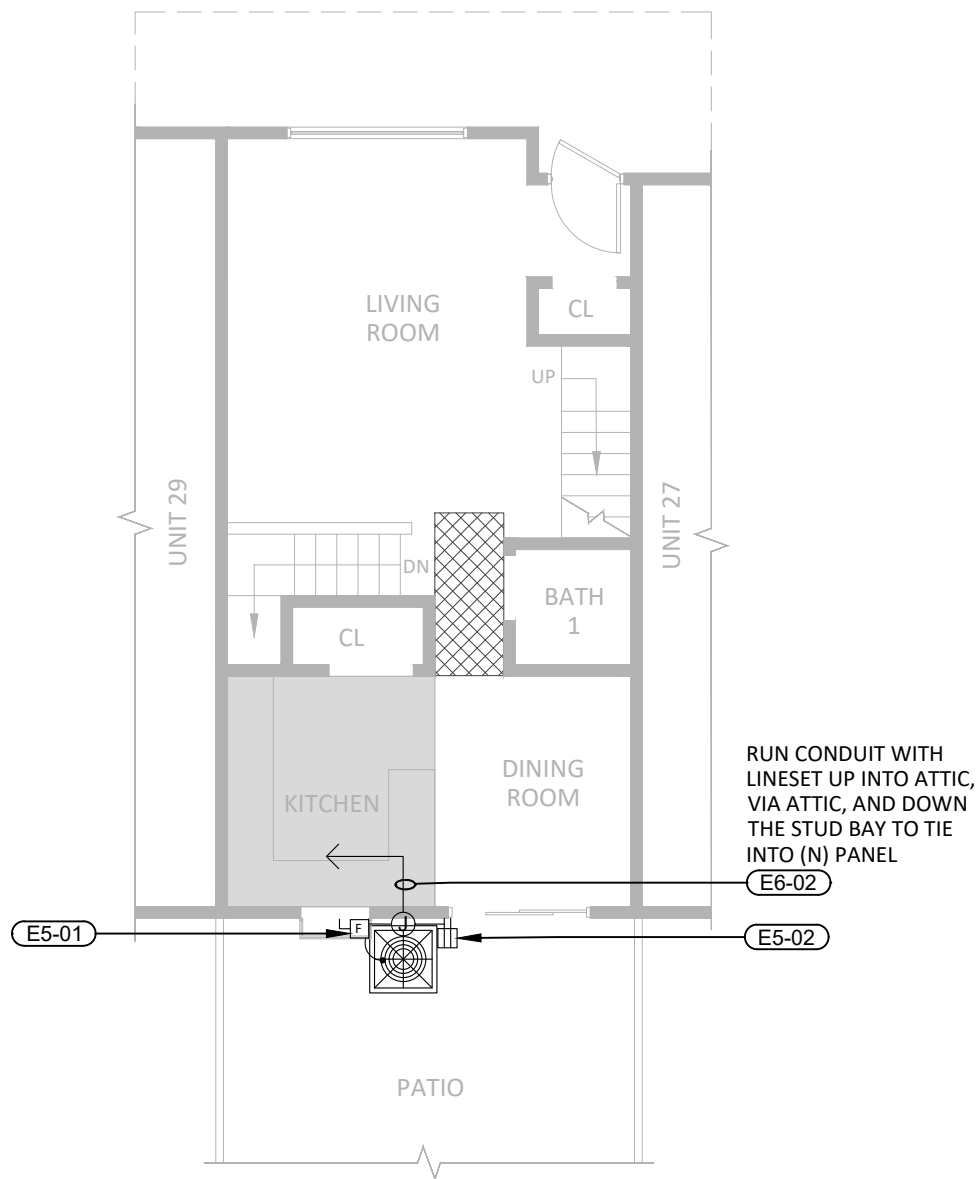
E5-02. PROVIDE NEW 20A, 120V, 2-POLE, 3-WIRE, DUPLEX TAMPER RESISTANT AND WEATHERPROOF GFCI RECEPTACLES TO SERVICE OUTDOOR UNIT WITHIN 25FT.

E6-02. PROVIDE NEW 1/2" C- 2#12 AWG CU & 1#12 AWG CU GND FOR OUTDOOR MECHANICAL UNIT AND 2#12 AWG CU & 1#12 AWG CU GND FOR WEATHER PROOF GFCI RECEPTACLE WIRING FROM NEW PANEL. FIELD VERIFY ROUTING OF NEW CONDUIT PRIOR TO ANY ROUGH IN. VERIFY WIRING REQUIREMENT WITH UNIT MANUFACTURER.

E8-01. REFER TO ELECTRICAL SPECIFICATIONS AND DETAILS FOR MORE INFORMATION.

E8-02. AFCI PROTECTION SHALL BE PROVIDED AS REQUIRED PER CODE. REFER TO ELECTRICAL EQUIPMENT SCHEDULE FOR QUANTITY OF AFCI CIRCUIT BREAKERS.

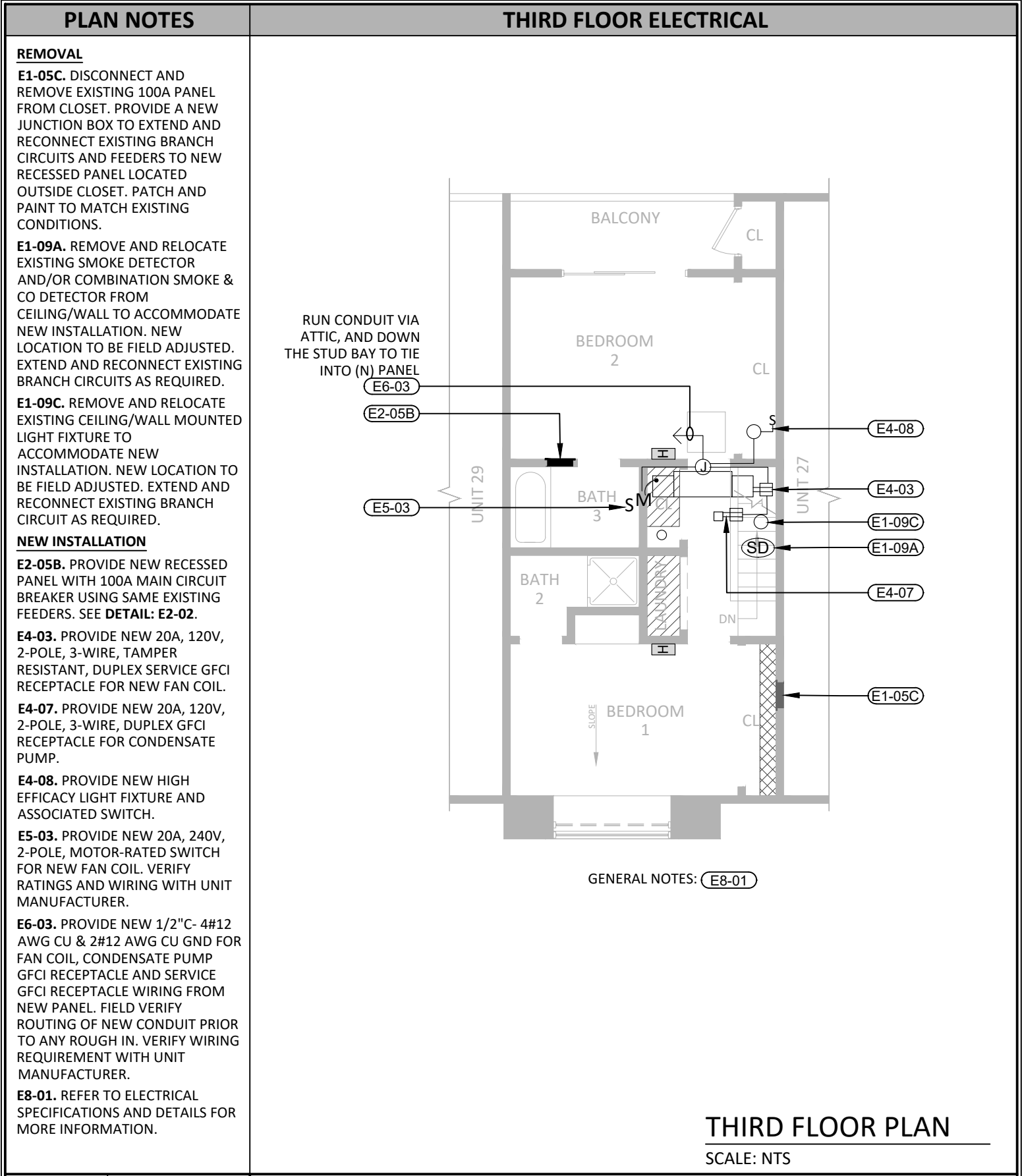
SECOND FLOOR ELECTRICAL



GENERAL NOTES: **E0-01A** **E8-01** **E8-02**

SECOND FLOOR PLAN

SCALE: NTS



LOAD CALCULATION

LOAD CALCULATIONS FOR 1281 34TH STREET UNIT 28

Floor area

1123 Sq.Ft

Voltage

120/240V, 1 Phase, 3 Wire

1	General Lighting and Receptacle Loads NEC, 220.12. Do not include open porches, garages, or unused or unfinished spaces not adaptable for future use.	3	x	Floor Area	=	3369	VA
2	Small Appliances Branch Circuit NEC, 220.52 (A). At least two small appliance branch circuits must be included. NEC. 210.11(C)(1).	1500	x	2	=	3000	VA
3	Laundry Branch Circuits NEC, 220.52 (B). At least one branch circuit must be included NEC, 210.11(C)(2).	1500	x	1	=	1500	VA
4	Total (Lines 1+2+3)				=	7869	VA
5	Appliances NEC, 220.53. Use the nameplate rating of all appliances (fastened in place, permanently connected, or connected to specific circuit).						
5a	Microwave	1200	x	1	=	1200	VA
5b	Dishwasher	1200	x	1	=	1200	VA
5c	Elec. Dryer	5000	x	1	=	5000	VA
5d	Elec. Range	7200	x	1	=	7200	VA
6	Total Appliances Load					14600	VA
7	Largest Motor. NEC, 220.50 & 430.24	1500	x	0.25	=	375	VA
8	General Load (Lines 4+6+7)				=	22844	VA
9	Apply 220.83 demand factor to the General Load.						
9a	First 10 KVA at 100% Load				=	8000	VA
9b	Remainder of Load at 40%	14844	x	40%	=	5938	VA
10	Total General Load (Lines 9a+9b)				=	13938	VA
11	Mechanical Load						
11a	Fan Coil	1200	x	1	=	1200	VA
11b	Condensing Unit (2.5 Tons)	3688	x	1	=	3688	VA
12	Total Mechanical Load				=	4888	VA
13	Total Load (Lines 10+12)				=	18826	VA
14	Total Current (Total Load at 240 Voltage)				=	78.44	AMP



The Jones Payne Group



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MECHANICAL / ELECTRICAL EQUIPMENT SCHEDULE

MECHANICAL DATA

EXISTING MECHANICAL :

	A	B	C
HEATING EQUIPMENT	WALL HEATER	-	-
CAPACITY	-	-	-
EFFICIENCY / AGE	-	-	-
LOCATION	LIVING ROOM/BEDROOMS	-	-
FUEL SOURCE	ELECTRIC	-	-
COOLING EQUIPMENT	N/A	-	-
CAPACITY	N/A	-	-
LOCATION	N/A	-	-

NEW MECHANICAL :

	A	B	C
EQUIPMENT	FAN COIL	-	-
EQUIPMENT SIZE	30,000 BTUH	-	-
LOCATION	ATTIC	-	-
EFFICIENCY / AFUE	-	-	-
AIRFLOW	1000 CFM	-	-
OUTSIDE AIR	150 CFM	-	-
ELECTRONIC FILTER	N/A	-	-
MECHANICAL DETAIL #	M2-06	-	-
EQUIPMENT	CONDENSING UNIT	-	-
COOLING CAPACITY	2.5 TONS	-	-
LOCATION	PATIO	-	-
EFFICIENCY	15 SEER	-	-
MECHANICAL DETAIL #	M2-11	-	-

ELECTRICAL DATA

EXISTING ELECTRICAL

METER LOCATION:	COMMON AREA	MAIN PANEL LOCATION:	SEE ELEC. FLOOR PLAN
CABLE RATING:	100A	MAIN PANEL RATING:	100A, 10000 AIC
MAIN PANEL TYPE:	RECESSED	MAIN BREAKER SIZE:	100A
MAJOR ELECTRICAL APPLIANCES:	ELEC. DRYER, ELEC. RANGE, DISHWASHER AND MICROWAVE.		

NEW ELECTRICAL

REMOVE EXISTING 100A PANEL. PROVIDE AND INSTALL NEW 100A PANEL TO PROVIDE POWER FOR NEW MECHANICAL EQUIPMENT.

CONDENSATE PUMP GFCI RECEPTACLE	1	100A MLC, 10xxx AIC								N/A			
SERVICE GFCI RECEPTACLE	1	100A PANEL, 10000 AIC								1			
WEATHERPROOF GFCI RECEPTACLE	1	MLC/PANEL LOCATION								SEE ELEC. FLOOR PLAN			
FAN COIL MOTOR RATED SWITCH	1	MLC/PANEL TYPE								RECESSED			
LIGHT AND ASSOC. SWITCH	1	SURGE PROTECTIVE DEVICE								N/A			
RECESSED LIGHT FIXTURE	N/A	30A DISC. SW W/20A FUSES								1			
NEW AND REPLACED BREAKER COUNT	MLC 100A	15A	15A AFCI	20A	20A AFCI	30A	40A	50A	60A	70A	90A	100A	POLE
			3	2	5								SP
				4		1	1					1	DP

SEE FLOOR PLAN(S) FOR QUANTITIES, LOCATION(S) AND SIZING. CONDITIONS LISTED ABOVE REPRESENT DATA FOR AN INDIVIDUAL UNIT.

SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY - GROUP 14.8 NH

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The Jones Payne Group



Design Review Checklist and Homeowner Sign-Off

Quieter Home Program



Homeowner: ERIN HIDALGO

Group: 381408 – Phase 14 Group 8

Address: 1261 34TH STREET UNIT 28

**Assessor's Parcel Number: 5405906428
381408.45**

Acknowledgements:

- ☐ Homeowner has had the opportunity to inspect the different types of windows available. Homeowner agrees with the materials indicated on the design package. Note: Homes designated as "Historic" may only be eligible for one type of window.
- ☐ Homeowner has been informed and understands that the frames and muntins (glass lite dividers) on the new acoustical windows and doors will be wider and thicker than what is currently in the existing window and doors. There will be a loss of glass in the new windows and doors.
- ☐ Homeowner understands that all wood doors are made from stainable pine or fir. Due to warranty requirements, doors must be painted on the exterior and may be stained or painted on the interior. The Program will not match existing wood material (i.e., mahogany, oak, gum or other hardwoods).
- ☐ Homeowner understands that stain and/or paint colors will be made during the Contractor's Measurement walks to be scheduled at a later date. SDCRAA staff will attend this meeting to assist the Homeowner.
- ☐ Homeowner is advised that wallpaper finishes and/or custom painting like faux or pickled finishes will not be able to be replicated. SDCRAA will request that the Homeowner select a color that best matches the existing color. Please note: Not all colors are able to be matched exactly.
- ☐ Homeowner acknowledges that the Quieter Home Program Representative has reviewed and explained the Pre-work items listed on the attached "Assessment Report" and the Homeowner's responsibility to complete the Pre-work items by the date provided by the Quieter Home Program. (See QHP Design Review Verification Sheet for date)
- ☐ Homeowner acknowledges that the Quieter Home Program Representative has reviewed and explained the preparation Requirements for Air Conditioning or Ventilation included in the attached Plans detailing what the Homeowner MUST provide to allow the Program to install an Air Conditioning system or Ventilation System. The Homeowner agrees to complete these items by the date provided by the Quieter Home Program. (See QHP Design Review Verification Sheet for date)

Note: The intent of the Quieter Home Program is not to conduct a detailed code or structural review and analysis of each eligible property, nor to undertake renovations that would correct any existing deficiencies. The Program focuses on the code only to the extent that existing building conditions affect the Program's funding and proper installation of sound attenuation improvements. The Airport Authority, The Jones Payne Group, Inc. and their representatives, Contractors, and/or Sub-consultants take no responsibility for any building code violations that they observe, nor are they under any obligation to bring to the attention of the Homeowner any such building code violations that they observe.

The responsibility for properly addressing code violations belongs solely to the Homeowner. The Homeowner, by participating in the Program, releases and holds harmless the Airport Authority, The Jones Payne Group, Inc., and their respective officers, employees and representatives from any claims arising out of any structural deficiencies, building code violations, or other matters associated with the property, except for those associated with the acoustical work of the Program.

I (WE), OWNER(S) OF THE ABOVE-REFERENCED RESIDENCE, ACCEPT THE ATTACHED SCOPES OF WORK FOR THE INSTALLATION OF SOUND ATTENUATION IMPROVEMENTS AT THE ABOVE REFERENCED RESIDENCE AS PART OF THE SAN DIEGO COUNTY REGIONAL AIRPORT AUTHORITY QUIETER HOME PROGRAM. I (WE) UNDERSTAND THAT BY SIGNING AND RETURNING THIS DOCUMENT, I (WE) WILL NOT BE ALLOWED TO REQUEST FURTHER MODIFICATIONS TO THE SCOPES OF WORK.

I ACKNOWLEDGE AND ACCEPT FULL RESPONSIBILITY ON BEHALF OF ALL LEGAL OWNERS LISTED ON THE DEED FOR THIS PROPERTY FOR QUIETER HOME PROGRAM PRODUCT AND DESIGN DETAILS CONTAINED HEREIN. I FURTHER UNDERSTAND AND AGREE THAT THESE ARE FINAL AND CANNOT BE CHANGED.

Homeowner Signature: _____ Date: _____

Homeowner Signature: _____ Date: _____

Reviewer: _____ Date: _____

Design Review Checklist and Homeowner Sign-Off

Quieter Home Program



Design Review Checklist:

- | | | |
|------------|-----------|--|
| YES | NO | Review pre-work and notifications on assessment report. |
| YES | NO | Review homeowner's preparation requirements for air conditioning or ventilation highlighted on the plans. |
| YES | NO | Review homeowner's preparation requirements for ventilation highlighted on the plans. |
| YES | NO | Review notes under general and special requirements, plan sheets 2 and 3. |
| YES | NO | Choose/confirm window and sliding glass door colors. |
| YES | NO | Choose/confirm door selections. |
| YES | NO | Choose/confirm door hardware selections and finishes. |
| YES | NO | Review egress openings at sleeping rooms, changes in size (widened/lowered sill) or change of operation. |
| YES | NO | Review locations where cutting and patching will be required at exterior stucco. |
| YES | NO | Review locations where cutting and patching will be required at interior gypsum wall board surfaces. |
| YES | NO | Review locations where bullnose plaster returns will be impacted. |
| YES | NO | Review new or enlarged attic access openings. |
| YES | NO | Review new or enlarged crawl space access openings. |
| YES | NO | Review new or modified chase locations. |
| YES | NO | Review new or modified soffit locations. |
| YES | NO | Review new or modified dropped ceiling locations. |
| YES | NO | Review modified closet locations. |
| YES | NO | Review proposed new condenser locations. |
| YES | NO | Review interior mechanical equipment locations. |
| YES | NO | Review changes to existing heating and new heating locations. |
| YES | NO | Review electrical panel locations (new and/or existing). |
| YES | NO | Review meter load center Locations (new or existing). |
| YES | NO | Note that detail drawings (indicated by detail numbers on the drawings) will be added in the bid document. |

Homeowner Initials: _____ Reviewer Initials: _____ Date: _____

Requires Architectural Follow-up: Yes: _____ No: _____

Describe:
