



NORTH COUNTY INSPECTIONS INC.

6198846175

chris@northcountyinspections.com

<https://www.northcountyinspections.com>



RESIDENTIAL INSPECTION REPORT

1325 5th St
Imperial Beach, CA 91932

Grace Purpura

07/25/2025



Inspector

Chris McNally

InterNACHI Certified Professional Inspector
| Founder of North County Inspections Inc.

6198846175

chris@northcountyinspections.com



Agent

Dennis Bragg Jr.

TABLE OF CONTENTS

1: INSPECTION INFORMATION	13
2: BUILT-IN KITCHEN APPLIANCES	15
3: PLUMBING SYSTEM	21
4: ELECTRICAL SYSTEM	42
5: INTERIORS	64
6: FIREPLACES & CHIMNEYS	91
7: HEATING & CENTRAL AIR CONDITIONING SYSTEMS	95
8: INSULATION & VENTILATION	103
9: GARAGE	106
10: ROOF	117
11: STRUCTURE	123
12: EXTERIOR	131

Thank you for entrusting North County Inspections Inc. with the inspection of your prospective home. Our inspectors have your best interest in mind and strive to conduct a thorough home inspection in order to provide you with an informative report, so we urge you, our client, to read through this entire report carefully and to promptly consult licensed professionals for further evaluation of all items noted in this report. Please do not hesitate to contact us with any questions or concerns you may have, it is our goal to help you to make an informed decision when purchasing your home.

Important Steps to Take Next:

1. **Read the entire inspection report.** begin with the below *General Scope* and *General Limitations* sections and read through the entire report. Please do not hesitate to contact us with any questions, our team is here to help you fully understand your home inspection report.
2. **Make a list of all findings marked Observation Item, Attention Item or Safety Concern.** You may also consider reviewing the list with your realtor (if you are working with one).
3. **Contact licensed contractors, qualified specialists or professionals, to further evaluate all systems noted with an Observation Item, Attention Item or Safety Concern, we recommend you do this prior to the removal of contingencies.**
4. **Pay close attention during your final walk-through of the home, particularly to areas that were not fully visible or accessible at the time of the inspection. Ensure any repairs that may have been completed appear adequate.**

General Scope of Inspection & Report Information

Please be aware: Should the inspector provide any type of summary of their findings during, and/or at the completion, of the on-site inspection it is intended as only a highlight of the items your inspector deemed possibly more noteworthy at the time of the inspection, the summary likely did not include the majority of items discovered. There may be items in this report that the client considers more noteworthy, and/or are more costly, than those noted by your inspector during the summary.

The information provided in this report supersedes any verbal statements or opinions expressed by your inspector at the time of the inspection. Verbal statements and opinions are not to be relied on, only the items noted in this report are the official opinion of the inspector and North County Inspections Inc. We strongly recommend you carefully read through this entire report, and that any recommendations for repair and/or further evaluation by licensed contractors or professionals (specialists) be completed and documented prior to the removal of contingencies, as additional defects may be discovered and/or necessary upgrades recommended that may affect your valuation of the property. Regardless of the findings noted in this report, or of any repairs and/or corrective measures taken as a result of the information provided, we strongly recommend that you maintain a comprehensive home warranty, including coverage for the entire home, applicable property features and any and all applicable systems contained therein.

Home inspectors are generalists, therefore this report will not be as comprehensive as inspections conducted by licensed professionals, whom are specialists in their field. The purpose of this inspection is to identify systems within the home that should be further

evaluated by licensed professionals. These evaluations by licensed professionals may identify additional issues or defects, and/or unsafe conditions that could result in injury or worse and/or lead to costs that would significantly affect your valuation of the property. **Therefore, it is important to understand that North County Inspections Inc., its inspectors and this inspection and report does not in any way include or provide any form of warranty or guarantee for any home or its systems.**

North County Inspections Inc. inspectors performed this general home inspection in accordance with the Standards of Practice established by InterNACHI (International Association of Certified Home Inspectors). These standards can be viewed at nachi.org, as well as on our website, northcountyinspections.com. This inspection is a general home inspection, which is a limited visual inspection of the readily accessible components in a home, and is not intended to be, and should not be, confused with; a specialized inspection by a licensed professional. Specialized inspections of systems in a home can be very costly, take longer to complete, and may also involve; the use of specialized equipment, dismantling components, a video scope or scanning, destructive testing, and/or off site testing (such as testing for mold or asbestos in a laboratory). Whereas, this inspection is completed on-site, at a much lower cost and in a considerably shorter amount of time.

Per InterNACHI standards, the inspector notes the visible condition of systems and components, and reports on their general condition, however, this simply implies that the system appeared functional and met a reasonable standard of operation at the time of the inspection. Home inspectors are not code inspectors, we also do not determine how efficient a system is likely to perform, if it meets specific code and/or useful life remaining. The inspector takes the age of the home into consideration when inspecting, and accounts for normal or expected aging/deterioration that would typically occur, which may include some or all of the following; typical cracks in concrete, walls, hardscape, worn or aged building materials (such as flooring and drywall), windows/doors/cabinetry that may not operate as smoothly as when new or first installed, floors that appear noisy when walked on, aged appliances and/or general wear. The inspector will generally not note primarily cosmetic issues, insignificant or predictable defects, and particularly those issues that would be apparent to the average person (whom may not have any construction knowledge).

Our sincere goal is to help you to be truly confident in your home purchase by providing you with the necessary recommendations so that licensed professionals can assist you in determining the possible costs associated with ensuring every system in your home is functional and safe. To that end, we encourage you to contact us with any questions or concerns, we also strive for open and honest communication between all parties, as we firmly believe that is the only way to avoid any possible stressful disputes and costly litigation.

North County Inspections Inc. and our on-site inspector hereby certify that we have no present or prospective interest in the property inspected, or with any other parties involved in this current transaction, unless otherwise separately disclosed to the client prior to this inspection.

This inspection report is the sole property of North County Inspections Inc. and the paying client (listed in this report). Any and all reproduction and/or distribution of this report and accompanying photographs (to include any photographs taken on site by the inspector at the time of inspection) without the authorized written consent of North County Inspections Inc. is strictly prohibited. Any subsequent home buyer, seller, real estate agent, contractor and/or other party whom utilize or distribute this report without an official signed contract, and/or expressly written consent of North County Inspections Inc., do so at their own risk and assume full responsibility.

General Limitations

This inspection is a general home inspection, which is a limited visual inspection of the readily accessible components in the home, and is not intended to be, and should not

be, confused with a specialized (and thereby generally much more costly) inspection by licensed professionals. North County Inspections Inc. inspectors conduct home inspections in accordance with the Standards of Practice set forth by InterNACHI (International Association of Certified Home Inspectors), and our Pre-inspection Agreement sent to you for signature (typically done online by clicking the box below your name certifying you have read and agree to the terms therein) at, or around, the time this inspection was booked. This report is only viewable once the client accepts the terms and conditions of this inspection by signing our Pre-inspection Agreement, and once payment for services is rendered in full.

This home inspection and report are only describing the condition of the systems and components of the home at the time of inspection, while the inspector is physically at the property. Due to the natural aging process of the building materials used when constructing a home, as well as the normal wear on the mechanical systems and appliances in the home, this inspection report can only reflect observations made on the day of the inspection. Subsequent prospective buyers and/or real estate agents should have a new inspection performed to protect their interests.

This home inspection and report is in no way a home warranty or guarantee of any kind. Systems and components in this home can, and likely will, fail at any time after this inspection was completed.

Items that are not inspected and/or excluded from this inspection are indicated in the inspection agreement and this report, and/or disclaimed in the aforementioned InterNACHI Standards of Practice. The observations and opinions expressed within the report supersede any verbal statements or opinions expressed at the time of the inspection. It should be understood that the inspector is only on site for a few hours and will generally not identify or make note of primarily cosmetic issues, insignificant or predictable defects, and particularly those issues that would be apparent to the average person (whom may not have any construction knowledge), but will rather confine observations to truly significant defects or deficiencies that may significantly affect the value, desirability, habitability or safety of the structure. The client should consider all defects identified in this report as significant.

The inspection shall be limited to those specific systems, structures and components that were present and readily visible and accessible at the time of the inspection. Systems and components shall be operated with normal operating controls only (on/off, open/close, etc), the inspector will not attempt to force or modify any components to operate. Any components that do not appear functional at the time of the inspection will be noted in this report, and any system with items noted as; Observation Item, Attention Item or Safety Concern, should be further evaluated in its entirety by a qualified professional that specializes in that particular field. Please be aware that further evaluations by qualified professionals may reveal additional defects not included in this report, these professionals may also make recommendations for upgrades or replacement of items. However, we strongly caution you to be wary of anyone who has a vested interest, and particularly those who attempt to alarm you, or who denigrate others in order to benefit their own interest. As the budget of each client is different, the inspector cannot, and will not, determine what may be of greater significance or priority to the client. It is the sole responsibility of the client to obtain cost estimates for repair and/or replacement for any items noted in this report. It is important that this is completed prior to the removal of contingencies, as once the contingencies are removed and/or the sale is finalized, the sole responsibility for all repairs will fall to you, the client. Damage or additional items in need of repair may exist, and/or be discovered by qualified professionals during their further evaluations, that are not identified in this inspection report and/or are beyond the scope of this general home inspection. We

cannot, and will not, be responsible for your failure to follow our recommendations listed in this inspection report.

Environmental Hazards:

North County Inspections Inc. inspectors are not licensed to inspect for, nor test or identify, environmental hazards. If you, or any person occupying this property, are concerned about environmental hazards, including, but not limited to; asbestos, lead, radon, PCB's, mildew, urea-formaldehyde, sulfur, contaminated drywall, "Chinese drywall", or any other toxins in the building, grounds, water and/or air, you should promptly contact a licensed environmental hygienist to have them further inspect the property to test for any and all issues. Our inspectors are not authorized, nor have the expertise, to; determine the air quality in a home or to identify environmental contaminants such as fungus or mold, however they are trained to look for readily visible evidence of possible mold and may alert you to the possibility of its presence. Please be aware that clean air in your home is essential to good health and we categorically recommend air sampling in the home by a qualified professional prior to the removal of contingencies, and professional cleaning of HVAC air ducts and filters by qualified professionals, to ensure proper environmental hygiene in the home.

Mold:

The client should understand that this standard home inspection is not a mold inspection, and while North County Inspections Inc. inspectors are InterNACHI certified mold inspectors and will conduct a general visual inspection in much the same way as a mold inspection, this does in no way determine that the home was free of mold at the time of the inspection. This merely indicates that; unless otherwise noted in the report, there were no readily visible signs of mold at the time of the inspection. Also, the presence of mold can only be verified using air and/or surface testing that is then sent to a laboratory for professional assessment. It is beyond the scope of this inspection to verify the presence of mold in any way. Latent defects, such as mold, may be present and we strongly encourage you to contact licensed mold/environmental contractors for further evaluation to determine if latent defects exist in this home, prior to the removal of contingencies.

Pests:

North County Inspection Inc. inspectors are not licensed or trained to inspect for evidence of intrusion or damage from any pests, including, but not limited to: Rodents, wood destroying organisms such as termites or carpenter ants, insects, and/or the damage caused by these pests/organisms. Regardless of the findings in this report, we strongly recommend you have this home further evaluated by a licensed pest control professional, prior to the removal of contingencies, to determine if preventative measures or repairs may be necessary. Also, a pest prevention maintenance plan is highly advisable.

Report Findings:

Findings and defects noted in this report are, or may be, only an example of the number of that defect present in this home. This general home inspection and report is not meant to be exhaustive, and the inspector will not identify every instance or location of any given finding or defect. This inspection is intended to alert you of the need for further evaluation of the identified systems by qualified professionals, prior to the removal of contingencies. These professionals should evaluate all items related to the

system noted in the report, and you should be aware they may also discover additional defects not included in this inspection report.

Report Pictures:

Photographs provided in this report are, or may be, only a representative example of the defect described in the comment to which they are attached. These photographs are only intended as a tool to help convey the inspectors findings and are not intended to prioritize those findings, nor to diminish any findings that do not have a picture attached to the comment. Some Observation Items, Attention Items and Safety Concerns will not have a picture showing the item described. Therefore, it is important that the client carefully read through the entire report to discover all findings noted by the inspector. Should the client desire further explanation of the photographs, or to inquire if other photographs are available, please do not hesitate to contact us. All photographs taken by the inspector of this property are the sole property of North County Inspections Inc. Only photographs included in this inspection report are also the property of the paying client whose name is noted in the report under CLIENT. Note: Should the client or real estate agent request additional photographs not included in this inspection report, an additional fee may be applicable.

Thermal Imaging:

Thermal imaging camera use for home inspections is not required by home inspection industry standards and the use of thermal imaging exceeds the InterNACHI Standards of Practice that our company adheres to. However, we often choose to exceed this particular industry standard and to utilize infrared camera thermal imaging in our inspection process and inspection reports in some situations, solely at our discretion. We make no claim or guarantee to the Client by choosing to utilize infrared technology in our inspection process and we are in no way required to use this technology for any reason. It is important to understand that thermal imaging cameras are not "X-ray vision" cameras and they are not able to "see moisture" or other defects through any building materials. Infrared cameras only detect surface temperatures, and this may simply aid the inspector in finding areas of possible moisture intrusion or concern. As an example: Thermal imaging cameras are not capable of identifying past or future leaks, such as; at or below a bathroom fixture that has not been consistently used due to a home being recently vacant, or discovering an active roof leak due to no recent heavy rain. Leaks can, and may, be present in these or other scenarios in the home that the inspector is not able to discover during a standard home inspection. However, we recognize the potential value of this technology in helping our inspectors possibly identify issues that may not be readily visible to the inspector at the time of the inspection.

Definition of Comments

All comments noted in the report should be considered significant by the client, as they may in some cases affect your valuation of this home and your decision to purchase. Home inspectors are not licensed contractors or specialists, therefore any items with a comment or recommendation by the inspector indicate that a licensed contractor and/or qualified professional should be consulted for further evaluation, and as a second opinion. These professionals should inspect the entire system and its components, as defects in one area of a system can indicate further issues in other areas of the system. All costs associated with further

evaluation/inspection fees, including repair or replacement of any system, component or unit are the responsibility of the client and should be carefully considered prior to the removal of contingencies.

IN = INSPECTED - The item was visually observed and appeared functional at the time of the inspection.

NI = NOT INSPECTED - The item was not inspected and our company makes no representation of whether or not it was functional at the time of the inspection.

NP = NOT PRESENT - This item, component or unit was not present in this home.

D = DISCOVERY - This item and its system should be further evaluated by a qualified professional as one or more of the following findings was noted: Observation Item, Attention Item, or Safety Concern (see below).

Observation Item = May include one or more of the following conditions:

1. Items that may require repair due to age and/or normal wear and tear.
2. The items should be monitored; repair or replacement should be considered.
3. Items that may not be affecting the function or usability of a system or component at the time of inspection, however, if not corrected, may at some point in the future.

Attention Item = May include one or more of the following conditions:

1. The item did not appear to function as intended at the time of the inspection.
2. The item and its entire system should be further evaluated by a licensed contractor in that field. The item (and/or other items within the system not identified in this report) may require repair or replacement to ensure proper function.
3. Areas, systems and/or components that were not accessible by our company at the time of the inspection.

Safety Concern = May include the following condition:

1. Items or systems in which the current condition appeared to pose a possible safety hazard to the occupant(s) and/or structure. This item should be immediately further evaluated by a licensed contractor and/or qualified professional and repaired or replaced as necessary at this time to ensure safety.

- 2.2.1 BUILT-IN KITCHEN APPLIANCES - DISHWASHER: Active Leak at Dishwasher - Drain Line Improperly Installed - Further Evaluate
- 2.3.1 BUILT-IN KITCHEN APPLIANCES - GARBAGE DISPOSAL: Rust at Disposal Sink Connection
- 2.4.1 BUILT-IN KITCHEN APPLIANCES - RANGE/COOKTOP: Red Safety Tag by SDGE at Range/Oven - Appliance Not Tested
- 2.7.1 BUILT-IN KITCHEN APPLIANCES - KITCHEN EXHAUST/RANGE HOOD: Flex Vent Duct at Kitchen Exhaust - Loose Components - Further Evaluation Recommended
- 3.3.1 PLUMBING SYSTEM - WATER PRESSURE REGULATOR : High Water Pressure - Regulator Not Found
- 3.4.1 PLUMBING SYSTEM - WATER SUPPLY & DISTRIBUTION SYSTEM : Water Plumbing Re-Pipe - Undetermined Pipe Material
- 3.5.1 PLUMBING SYSTEM - PLUMBING FIXTURES & CONNECTED DEVICES: Angle Stops - Loose at Wall/Corrosion Noted
- 3.5.2 PLUMBING SYSTEM - PLUMBING FIXTURES & CONNECTED DEVICES: Toilet Rocks - Loose at Floor
- 3.5.3 PLUMBING SYSTEM - PLUMBING FIXTURES & CONNECTED DEVICES: Hose Bib Leaks While Not in Use - Hose Bibs Missing Backflow Prevention
- 3.5.4 PLUMBING SYSTEM - PLUMBING FIXTURES & CONNECTED DEVICES: Faucet Handle(s) - Loose
- 3.6.1 PLUMBING SYSTEM - DRAINS, WASTE & VENT SYSTEM: Previous Possible Leaks at Sink Drains
- 3.6.2 PLUMBING SYSTEM - DRAINS, WASTE & VENT SYSTEM: Slow Drain - Sink
- 3.6.3 PLUMBING SYSTEM - DRAINS, WASTE & VENT SYSTEM: Cleanout Cap Not Installed - Past Plumbing Repairs at Drain Pipes
- 3.6.4 PLUMBING SYSTEM - DRAINS, WASTE & VENT SYSTEM: Rust/Deterioration at Cast Iron Drains - Further Evaluation/Video Scope Recommended
- 3.6.5 PLUMBING SYSTEM - DRAINS, WASTE & VENT SYSTEM: Shower Drain Cover Not Installed - Debris Noted in Drain
- 3.8.1 PLUMBING SYSTEM - SHOWER/BATHTUB FIXTURES: Shower Head(s) Leak
- 3.8.2 PLUMBING SYSTEM - SHOWER/BATHTUB FIXTURES: Shower/Tub Fixtures Loose at Wall
- 3.9.1 PLUMBING SYSTEM - WATER HEATER - CONTROLS, FLUES & VENTS: Replaced Water Heater Missing Expansion Tank - Damaged Platform - Further Evaluation Recommended
- 3.9.2 PLUMBING SYSTEM - WATER HEATER - CONTROLS, FLUES & VENTS: Transite Combo Water Heater Flue Pipe
- 3.12.1 PLUMBING SYSTEM - GAS STORAGE & DISTRIBUTION SYSTEM: Loose Gas Pipe(s)
- 3.12.2 PLUMBING SYSTEM - GAS STORAGE & DISTRIBUTION SYSTEM: Gas Plumbing Re-pipe/Modifications
- 3.13.1 PLUMBING SYSTEM - MAIN GAS SHUT-OFF DEVICE: Missing Component - Loose Pipe at Main Gas Meter
- 4.2.1 ELECTRICAL SYSTEM - SERVICE ENTRANCE CONDUCTORS: Insufficient Clearance/Damaged Insulation at Electrical Service Conductors

-  4.3.1 ELECTRICAL SYSTEM - MAIN & SUBPANELS: 60 Amp Pushmatic Main Electrical Panel - Unsafe/Inadequate Capacity
-  4.4.1 ELECTRICAL SYSTEM - OVERCURRENT DEVICES (BREAKERS/FUSES): Pushmatic/BullDog Circuit Breakers - Unsafe
-  4.6.1 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Loose/Damaged Electrical Receptacles
-  4.6.2 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Inoperable Light(s)
-  4.6.3 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Loose Light Fixture(s)
-  4.6.4 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Ceiling Fan(s) Rock - Unbalanced
-  4.6.5 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Unknown Switches
-  4.6.6 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Doorbell Inoperable
-  4.6.7 ELECTRICAL SYSTEM - ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER): Ceiling Fan/Non-dimmable Light Connected to Dimmer Switch
-  4.7.1 ELECTRICAL SYSTEM - BRANCH CIRCUIT CONDUCTORS (WIRING): Exposed Romex Wiring
-  4.7.2 ELECTRICAL SYSTEM - BRANCH CIRCUIT CONDUCTORS (WIRING): Aged Wiring in Active Use - Electrical Modifications Noted
-  4.7.3 ELECTRICAL SYSTEM - BRANCH CIRCUIT CONDUCTORS (WIRING): Improperly Terminated Wire(s) - Powered
-  4.8.1 ELECTRICAL SYSTEM - POLARITY & GROUNDING OF RECEPTACLES : Reversed Polarity at Receptacle(s) 2+
-  4.8.2 ELECTRICAL SYSTEM - POLARITY & GROUNDING OF RECEPTACLES : Open/Ungrounded Receptacles Throughout Home
-  4.9.1 ELECTRICAL SYSTEM - GFCI & AFCI PROTECTION : AFCI Protection - Upgrade Recommended
-  4.9.2 ELECTRICAL SYSTEM - GFCI & AFCI PROTECTION : GFCI - Upgrade/Exterior Receptacle Additions Recommended
-  4.9.3 ELECTRICAL SYSTEM - GFCI & AFCI PROTECTION : GFCI - Not Powered or Functional
-  4.9.4 ELECTRICAL SYSTEM - GFCI & AFCI PROTECTION : Lights Connected to GFCI Receptacles - A-Typical Wiring
-  4.9.5 ELECTRICAL SYSTEM - GFCI & AFCI PROTECTION : GFCI Does Not Re-set - Atypical Wiring
-  4.10.1 ELECTRICAL SYSTEM - EXTERIOR LIGHTING: Exterior Lights - Loose/Not Adequately Sealed
-  4.11.1 ELECTRICAL SYSTEM - SMOKE DETECTORS: Smoke Detectors - Missing/Inoperable

- 4.12.1 ELECTRICAL SYSTEM - CARBON MONOXIDE (CO) ALARMS: Carbon Monoxide Alarm - Improper Location
- 5.1.1 INTERIORS - INTERIORS - GENERAL : Recently Painted/Textured Interior
- 5.1.2 INTERIORS - INTERIORS - GENERAL : Acoustic Texture "Popcorn" at Ceilings/Walls
- 5.1.3 INTERIORS - INTERIORS - GENERAL : Failing Interior Paint - Lead Paint Possible
- 5.2.1 INTERIORS - CEILINGS : Settlement Cracks - Ceilings
- 5.2.2 INTERIORS - CEILINGS : Moisture Damage/Repairs at Ceilings - Dry - Previous Possible Leaks
- 5.2.3 INTERIORS - CEILINGS : Previous Repairs at Ceilings - Hooks Installed
- 5.3.1 INTERIORS - WALLS : Settlement Cracks/Repaired Cracks - Walls
- 5.3.2 INTERIORS - WALLS : Previous Repairs - Walls
- 5.3.3 INTERIORS - WALLS : Moisture at Wall by Shower/Bathtub
- 5.3.4 INTERIORS - WALLS : Moisture at Wall - Unknown Cause
- 5.3.5 INTERIORS - WALLS : Bowed Effect at Wall
- 5.3.6 INTERIORS - WALLS : Possible Organic Growth at Wall - Wet
- 5.4.1 INTERIORS - WINDOWS (REPRESENTATIVE NUMBER): Window Lock(s) Difficult to Operate - Retro-fit Windows Inspection Limited
- 5.4.2 INTERIORS - WINDOWS (REPRESENTATIVE NUMBER): Bedroom Window Egress - High
- 5.5.1 INTERIORS - DOORS (REPRESENTATIVE NUMBER): Interior Doors/Door Hardware Require Further Evaluation & Repair
- 5.5.2 INTERIORS - DOORS (REPRESENTATIVE NUMBER): Closet Door Tracks Missing - Damage Noted
- 5.6.1 INTERIORS - CABINETS (REPRESENTATIVE NUMBER) & COUNTERS: Moisture Staining/Damage at Sink Cabinet(s) - Dry
- 5.6.2 INTERIORS - CABINETS (REPRESENTATIVE NUMBER) & COUNTERS: Cracked/Chipped Countertops - Missing Grout
- 5.6.3 INTERIORS - CABINETS (REPRESENTATIVE NUMBER) & COUNTERS: Damage at Cabinets
- 5.6.4 INTERIORS - CABINETS (REPRESENTATIVE NUMBER) & COUNTERS: Possible Organic Growth at Sink Cabinet - Wet
- 5.7.1 INTERIORS - SHOWER ENCLOSURES/BATHTUBS : Re-seal Showers/Tubs
- 5.7.2 INTERIORS - SHOWER ENCLOSURES/BATHTUBS : Loose/Repaired Shower Tile(s) - Failing Grout
- 5.7.3 INTERIORS - SHOWER ENCLOSURES/BATHTUBS : Glass Shower Door Panels Missing Track - Safety Glass Not Verified
- 5.7.4 INTERIORS - SHOWER ENCLOSURES/BATHTUBS : Low Window in Shower Enclosure
- 5.9.1 INTERIORS - FLOOR COVERINGS: Flooring Inadequately Secured - Unworkmanlike Finish
- 5.10.1 INTERIORS - ATTIC : Attic Cover Inadequate - Attic Not Fully Accessible
- 5.10.2 INTERIORS - ATTIC : Possible Wood Boring Organism Activity/Pest Nests in Attic
- 5.12.1 INTERIORS - ROOM ADDITIONS & MODIFICATIONS: Possible Structural Additions or Modifications - Not Determined

-  6.2.1 FIREPLACES & CHIMNEYS - FIREPLACES - FIREBOX & HEARTH: Cracks at Firebox - Solid Fuel Fireplace Missing Screen/Draw Not Verified
-  6.4.1 FIREPLACES & CHIMNEYS - CHIMNEYS - STRUCTURE, FLUES & VENTS : Cracks in Chimney Structure - Creosote Noted
-  7.2.1 HEATING & CENTRAL AIR CONDITIONING SYSTEMS - HEATING EQUIPMENT : Aging Furnace Produced Heat - Noisy When Operated - Missing Gas Sediment Trap
-  7.3.1 HEATING & CENTRAL AIR CONDITIONING SYSTEMS - FURNACE FLUES : Furnace Flue - Inadequate Clearance to Combustibles - Moisture Staining Noted
-  7.6.1 HEATING & CENTRAL AIR CONDITIONING SYSTEMS - AIR REGISTERS, COMPARTMENTS & FILTERS: Inadequate Seal at Return Air Compartment - Cleaning Required
-  7.7.1 HEATING & CENTRAL AIR CONDITIONING SYSTEMS - DUCTS & SUPPORTS: Damaged Insulation/Duct Tape at Aged Ducts
-  7.7.2 HEATING & CENTRAL AIR CONDITIONING SYSTEMS - DUCTS & SUPPORTS: Possible Asbestos Material at Aged Ducts
-  8.1.1 INSULATION & VENTILATION - ATTIC & FOUNDATION VENTS: Damaged/Blocked Attic Vent Screens
-  8.2.1 INSULATION & VENTILATION - ATTIC INSULATION : Insulation Missing in Attic
-  8.5.1 INSULATION & VENTILATION - EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY : Bathrooms Equipped With Window Only - Poor Ventilation
-  8.5.2 INSULATION & VENTILATION - EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY : Non-standard/Vinyl Dryer Vent - Damaged Damper
-  9.1.1 GARAGE - GARAGE - GENERAL : Possible Rodent Activity - Garage
-  9.1.2 GARAGE - GARAGE - GENERAL : Personal Items Limited Garage Inspection
-  9.1.3 GARAGE - GARAGE - GENERAL : Musty Odor Noted in Garage
-  9.1.4 GARAGE - GARAGE - GENERAL : Damage at Garage Cabinets
-  9.2.1 GARAGE - OCCUPANT DOOR FROM GARAGE : Garage Occupant Door Self-closing Hinges Not Fully Functional - Inadequate Seals
-  9.3.1 GARAGE - GARAGE CEILING/ROOF SHEATHING : Overhead Storage Racks - Limited Inspection
-  9.4.1 GARAGE - GARAGE WALLS & FIREWALLS: Voids in Firewall - Garage Wall(s)
-  9.4.2 GARAGE - GARAGE WALLS & FIREWALLS: Moisture Staining/Damage at Garage Walls - Dry
-  9.5.1 GARAGE - GARAGE FLOOR: Cracks at Garage Floor
-  9.6.1 GARAGE - GARAGE VEHICLE DOOR & OPENER: Vehicle Door Damage - Damaged Weather Stripping
-  9.6.2 GARAGE - GARAGE VEHICLE DOOR & OPENER: Vehicle Door Photo Eye Sensors Not Functional - Opener Missing Battery Backup
-  9.7.1 GARAGE - GARAGE VENTS: Damaged Garage Vent Screen(s)
-  10.2.1 ROOF - ROOF COVERINGS: Exposed Nail Heads at Replaced Roof - Inquire with Seller for Permit

- ⊖ 10.3.1 ROOF - ROOF SHEATHING (AS VISIBLE FROM ATTIC): Water Staining at Roof Sheathing/Framing - Damage/Repairs at Sheathing
- ⊖ 10.4.1 ROOF - ROOF FLASHINGS/SEALS & PENETRATIONS : Drip Edge Flashing Over Roof Underlayment - Underlayment Not Inspected
- ⊖ 11.2.1 STRUCTURE - ROOF STRUCTURE & ATTIC: Previous Repairs at Roof Framing
- ⊖ 11.2.2 STRUCTURE - ROOF STRUCTURE & ATTIC: Uneven Roof Section
- ⊖ 11.3.1 STRUCTURE - CEILING STRUCTURE : Previous Possible Repairs/Modifications at Ceilings
- ⊖ 11.4.1 STRUCTURE - WALL STRUCTURE : Moisture Damage/Possible WBO Activity at Wall Structure
- ⊖ 11.6.1 STRUCTURE - FOUNDATION: Cracks/Damage at Foundational Walls - Efflorescence Noted
- 🔧 12.1.1 EXTERIOR - EXTERIOR - GENERAL : Recently Painted/Textured Exterior
- ⚠ 12.1.2 EXTERIOR - EXTERIOR - GENERAL : Failing Exterior Paint - Lead Paint Possible
- ⊖ 12.2.1 EXTERIOR - EAVES, SOFFITS & FASCIA: Moisture Damage/Repairs at Eaves/Fascia
- ⊖ 12.3.1 EXTERIOR - WALL CLADDING, FLASHING & TRIM: Damage/Gaps at Stucco Siding - Further Evaluation Recommended
- ⊖ 12.3.2 EXTERIOR - WALL CLADDING, FLASHING & TRIM: Diagonal Stucco Cracks at Doors/Windows
- ⊖ 12.4.1 EXTERIOR - WINDOWS - EXTERIOR : Missing Exterior Window Seals
- ⊖ 12.5.1 EXTERIOR - EXTERIOR DOORS: Exterior Doors/Door Hardware Require Further Evaluation & Repair
- ⊖ 12.5.2 EXTERIOR - EXTERIOR DOORS: Door Not Square in Opening - Does Not Close Properly
- ⊖ 12.7.1 EXTERIOR - VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME): Large Plants/Planters Next to Home - Limited Inspection
- ⊖ 12.7.2 EXTERIOR - VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME): Low/Neutral Areas at grading - Subsurface Drain(s) Not Evaluated
- ⊖ 12.7.3 EXTERIOR - VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME): Cracks/Damage at Retaining Wall(s) - Weep Holes Not Visible
- ⊖ 12.8.1 EXTERIOR - WALKWAYS, DRIVEWAYS, PATIOS & HARDSCAPE (DIRECTLY NEXT TO HOME): Cracked/Heaving Hardscape - Possible Tripping Concern Noted
- ⊖ 12.8.2 EXTERIOR - WALKWAYS, DRIVEWAYS, PATIOS & HARDSCAPE (DIRECTLY NEXT TO HOME): Neutral Slope at Patio/Walkway
- ⊖ 12.9.1 EXTERIOR - FENCING & GATES (DIRECTLY NEXT TO HOME): Leaning/Damaged Fencing - Gate Difficult to Operate - Inspection Limited

1: INSPECTION INFORMATION

Information

Client Grace Purpura	Parties Present Buyer(s), Buyer's Agent, Buyer's Family Member(s), Listing Agent, Listing Agent's Team Member, Other Prospective Buyers and their Agents	Property Type Single Family Residence
Year Built (Per MLS) 1963	Number of Levels 1	Occupancy Vacant
Weather Conditions Clear, Partly Cloudy	Outside Temperature 75° Fahrenheit (F) (As noted at a given time during inspection).	

Limitations

INSPECTION DETAILS

HOME - 60 YEARS OLD OR MORE

The public information available for this home list it as being 60 years or older. The home inspector takes the age of the home into consideration while inspecting. This home cannot be expected to meet all current building codes or standards, and while your inspector makes every effort to note readily visible safety issues, this inspection does not inspect for code. It is typical for homes of this age to have had repairs done, and some repairs may not be completed to today's standards, some areas may also appear less than standard. This inspection looks for items that are not functioning as intended, it does not evaluate repairs. It is also common and expected to see old plumbing, electrical and/or other building components and materials in this home. Evidence of moisture staining and/or other signs of damage may be from a problem that no longer exists, or the issue may still require further evaluation and repair, and determining this can be difficult in a lived-in home and is beyond the scope of this inspection. Older homes often have signs of damage from wood boring organisms, and while this condition may be considered common in California, if the inspection reveals signs of wood damage you should have a pest control company inspect further for any activity and any possible hidden damage. This inspection does not note any manufacturer recalls that may exist for components in this home. We highly recommend hiring qualified licensed professionals for any further evaluation and repairs as necessary, prior to the removal of contingencies.

INSPECTION DETAILS

VACANT HOME

The home appeared vacant at the time of inspection. Vacant homes can develop issues that may not occur if the home was occupied. These issues may not be visible and/or may not exist at the time of inspection, but can quickly develop once the home becomes occupied and with regular use. Many systems in a home depend on regular use and without it adverse conditions can occur, including, but not limited to; sludge in waste lines can dry, creating blockage, water can evaporate from the dishwasher leaving hard calcium deposits which can ruin the motor, air conditioner compressor seals can dry out causing refrigerant leaks, sediment and scale can accumulate in plumbing lines which would otherwise be flushed out and debris can become dislodged when the plumbing is again used, causing valves to become clogged. You should be aware of these and other possible issues when buying a home that has been vacant.

INSPECTION DETAILS

OCEAN CLOSE HOME - RUST/DETERIORATION NOTED

This property is located close to the ocean. Salt and moisture in the air is conducive to premature deterioration and rust of metal components. You should not expect metal components to last as long as a home that is located further away from the ocean. Building materials that are susceptible to rust and corrosion should be closely monitored and may require special maintenance and continued upkeep and/or more frequent replacement. Our inspectors are not able to view all metal components of the systems in the home, rust and corrosion may exist that was not readily visible, and evaluating components that are not readily visible is beyond the scope of this standard home inspection. Consult qualified licensed professionals as necessary for further evaluation.

2: BUILT-IN KITCHEN APPLIANCES

		IN	NI	NP	D
2.1	APPLIANCES - GENERAL	X			
2.2	DISHWASHER				X
2.3	GARBAGE DISPOSAL				X
2.4	RANGE/COOKTOP		X		X
2.5	OVEN		X		
2.6	BUILT-IN MICROWAVE			X	
2.7	KITCHEN EXHAUST/RANGE HOOD				X
2.8	REFRIGERATOR		X	X	
2.9	WASHER/DRYER		X	X	

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

APPLIANCES - GENERAL : Dishwasher Manufacturer

Frigidaire, Replaced

APPLIANCES - GENERAL : Garbage Disposal Manufacturer

Moen, Replaced

APPLIANCES - GENERAL : Built-in Microwave Manufacturer

None Present

APPLIANCES - GENERAL : Range or Cooktop Manufacturer

GE, Gas Range/Cooktop, Aged

APPLIANCES - GENERAL : Oven Manufacturer

Built into Range, Gas Oven, Aged

APPLIANCES - GENERAL : Kitchen Exhaust/Range Hood Manufacturer

Vented, Allure, Aged

APPLIANCES - GENERAL : Trash

Compactor Manufacturer

None Present

APPLIANCES - GENERAL : Built-in Appliances - General Overview

The home inspector shall observe and operate only the basic functions of the following permanently installed kitchen appliances: The Dishwasher (through a normal cycle), Range or Cooktop and permanently installed Oven, Garbage disposal, Trash compactor, Ventilation equipment or Range hood and permanently installed Microwave Oven. The home inspector is not required to inspect: Any appliances not built-in (i.e: clothes washing and drying machines or refrigeration units), as well as clocks, timers, self-cleaning oven functions and/or thermostats for calibration or automatic operation of any appliance. The home inspector is also not required to operate or inspect any appliance in use and/or any appliance that is shut down or otherwise inoperable at the time of the inspection.

BUILT-IN MICROWAVE: Built-In Microwave Not Present - Information

Kitchen

There is no built-in microwave installed in this home. This is for your information only.

WASHER/DRYER: Washer/Dryer - Not Present

Laundry Area

Washing machine and dryer were not present at the time of the inspection. This is for your information only.

Limitations

APPLIANCES - GENERAL

BUILT-IN APPLIANCES - GENERAL LIMITATION

The built-in appliances in the home were inspected and reported on with the included information. While the inspector makes every effort to find any areas of concern, this is not a specialist inspection and some items may not be found. Please be aware that the inspector has your best interest in mind. It is highly recommended that you consult qualified professionals for further evaluation and/or repairs regarding any items noted in this report.

APPLIANCES - GENERAL

BUILT-IN APPLIANCES - NOT MOVED FOR INSPECTION

Please be aware that our company does not move appliances to view the areas behind, beneath, or around the appliance. Your inspector cannot see beyond any appliance or building materials. Damage may be present in these areas that cannot be found due to this limitation, including, but not limited to; moisture damage, wood destroying organism damage, rodent or pest activity, mold and/or other environmental hazards. We recommend you ask the sellers to disclose any past or present defects that may exist in this home. You may also wish to have the appliances moved by a qualified person, and to view the areas for yourself.

APPLIANCES - GENERAL

AGED KITCHEN APPLIANCES

Several built-in kitchen appliances appeared aged, yet overall functional, except where noted in this report. These appliances may not have the same degree of efficiency as a newer model, also, you should not expect these appliances to last indefinitely. Recommend maintaining a home warranty that covers these appliances where possible, you may also wish to have these appliances further evaluated by a qualified professional to determine approximate life remaining and the likely cost to replace when necessary.

DISHWASHER

DISHWASHER - LIMITED TEST

KITCHEN

The dishwasher is tested to introduce a load on the plumbing drain system. This test is not intended to determine efficiency, and soap is not used during this test. Determining if the unit's components are fully functional is outside the scope of this inspection. Recommend that a qualified professional confirm that important components (such as; the inner heating element) are functional. Note: Please be aware that your inspector cannot see behind, beside or below the dishwasher. Past and/or current leaks can occur around the dishwasher that would not be visible without removing the unit, and doing so is outside the scope of this general home inspection.

DISHWASHER

DISHWASHER - APPEARED FUNCTIONAL

KITCHEN

The dishwasher turned on and appeared to complete a wash cycle at the time of inspection, however, this is not a guarantee that this unit will not leak in the future. We highly recommend purchasing a home warranty to cover the unit, and any possible damages that may result from a leak.

GARBAGE DISPOSAL

GARBAGE DISPOSAL - EFFICIENCY NOT TESTED

The inspection of the garbage disposal is primarily to verify that it turns on using standard controls. Your inspector will check that it appears installed properly and that it does not appear to be leaking at the time of the inspection. This is not a specialist inspection of any appliance. Determining how efficient a garbage disposal functions, or grinds debris, is outside the scope of this inspection. Recommend asking the seller to demonstrate this function and/or further evaluation by a qualified appliance repair professional as necessary.

OVEN

RED SAFETY TAG BY SDGE AT RANGE/OVEN - APPLIANCE NOT TESTED

See also Range comment in this report. Red tag noted at the range/oven at time of inspection, placed by SDGE, stating the range/oven is hazardous to use until repaired. Therefore, I did not test the appliance. Also, there did not appear to be an anti-tip bracket installed as required. Recommend asking the seller for any information, and further evaluation and repair as necessary by a qualified appliance repair professional, to ensure the unit is safe for use. The appliance should not be used in any way until the unit is repaired and SDGE has removed the tag.

KITCHEN EXHAUST/RANGE HOOD

VENT PIPE - NOT FULLY VISIBLE

KITCHEN

The range hood/kitchen exhaust pipe was not fully visible due to obstructions. These pipes cannot be fully inspected by our company. Recommend further evaluation of the kitchen exhaust vent pipe by a qualified professional to determine if latent defects exist.

Discovery items

2.2.1 DISHWASHER

ACTIVE LEAK AT DISHWASHER - DRAIN LINE IMPROPERLY INSTALLED - FURTHER EVALUATE

KITCHEN

Unit not secure at cabinet/counter, High loop drain improper/No air gap, Damaged/missing components

There appeared to be an active leak at the dishwasher, water was noted below the door after a wash cycle at the time of the inspection. Unable to determine exact cause, however, it appeared to leak at the door seals. The dishwasher high loop drain line appeared to be improperly installed, air gap was not connected at the sink. This condition can lead to clogs/leaks at the drain line. The unit also did not appear properly secured at the cabinet/counter. Recommend further evaluation and repair as necessary by a licensed plumbing contractor.

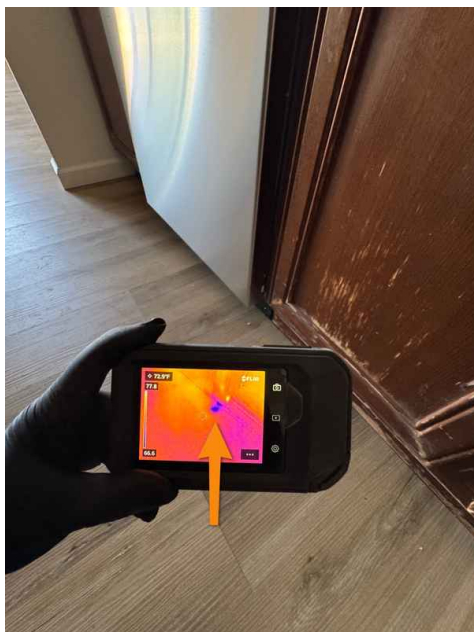


Recommendation

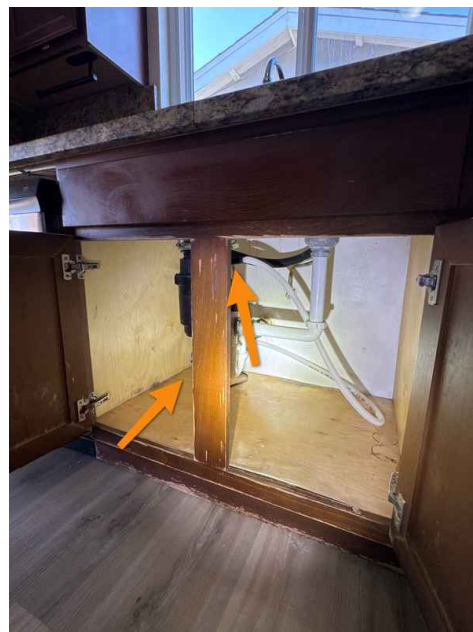
Contact a qualified plumbing contractor.



Water noted below unit



Leak detected using Thermal Imaging Camera



No high loop at drain line in Kitchen Sink Cabinet



Unit not secured

2.3.1 GARBAGE DISPOSAL

RUST AT DISPOSAL SINK CONNECTION

KITCHEN

Rust noted at the garbage disposal to sink connection. This may be indicative of a past, or slow on-going, leak. No leak visible at time of inspection. Recommend further evaluation by a licensed plumbing contractor to determine any repairs necessary.

Recommendation

Contact a qualified plumbing contractor.



Attention Items



Kitchen Sink

2.4.1 RANGE/COOKTOP

RED SAFETY TAG BY SDGE AT RANGE/OVEN - APPLIANCE NOT TESTED



KITCHEN

Red tag noted at the range/oven at time of inspection, placed by SDGE, stating the range/oven is hazardous to use until repaired. Therefore, I did not test the appliance. Also, there did not appear to be an anti-tip bracket installed as required. Recommend asking the seller for any information, and further evaluation and repair as necessary by a qualified appliance repair professional, to ensure the unit is safe for use. The appliance should not be used in any way until the unit is repaired and SDGE has removed the tag.

Recommendation

Contact your local utility company



Red tag placed by SDGE



Kitchen, anti-tip bracket also missing

2.7.1 KITCHEN EXHAUST/RANGE HOOD

FLEX VENT DUCT AT KITCHEN EXHAUST - LOOSE COMPONENTS - FURTHER EVALUATION RECOMMENDED

KITCHEN, ATTIC

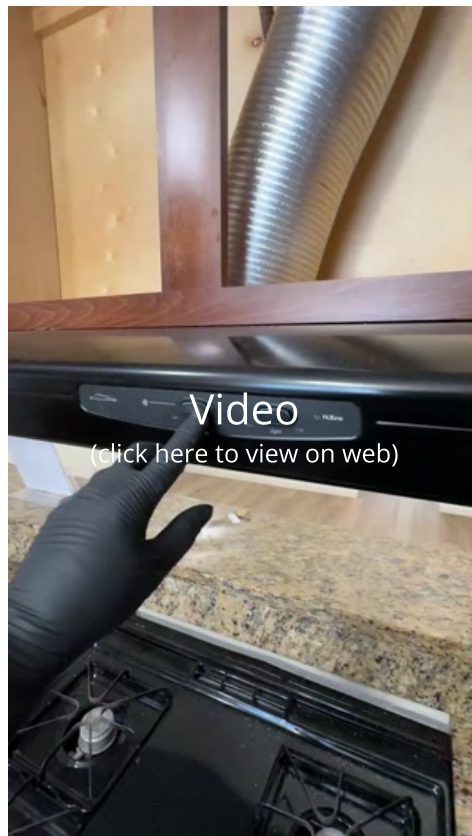
Flex vent ducts are not recommended for use at the kitchen exhaust as they are known to trap grease, which can drip down onto the stove causing a possible grease fire hazard. The unit rattled when operated, likely due to loose components. Moisture staining also visible at the duct in the attic, this condition is often indicative of past roof leaks. Recommend further evaluation by a qualified professional to determine any repairs or replacement necessary.

Recommendation

Contact a qualified professional.

 Attention Items

Flex vent



Video shown at Kitchen



Example of moisture staining at duct noted at Attic

3: PLUMBING SYSTEM

		IN	NI	NP	D
3.1	PLUMBING - GENERAL	X			
3.2	MAIN WATER SHUT-OFF DEVICE	X			
3.3	WATER PRESSURE REGULATOR			X	X
3.4	WATER SUPPLY & DISTRIBUTION SYSTEM				X
3.5	PLUMBING FIXTURES & CONNECTED DEVICES				X
3.6	DRAINS, WASTE & VENT SYSTEM				X
3.7	PLUMBING AT HOT WATER FIXTURES	X	X		
3.8	SHOWER/BATHTUB FIXTURES				X
3.9	WATER HEATER - CONTROLS, FLUES & VENTS				X
3.10	WATER HEATER - TPR VALVE	X			
3.11	WATER HEATER - STRAPPING & BRACING	X			
3.12	GAS STORAGE & DISTRIBUTION SYSTEM				X
3.13	MAIN GAS SHUT-OFF DEVICE				X
3.14	IRRIGATION SYSTEMS - NOT INSPECTED		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

PLUMBING - GENERAL : Water Source

Verify with Seller, Public
Verify this information with the seller.

PLUMBING - GENERAL : Plumbing Supply

Undetermined Material, Aged, where visible

PLUMBING - GENERAL : Plumbing Distribution

Copper, Aged, Replaced, where visible, Possible Re-Pipe

PLUMBING - GENERAL : Water Heater Manufacturer

Bradford White

PLUMBING - GENERAL : Water Heater Power Source

Natural Gas

PLUMBING - GENERAL : Water Heater Capacity

40 Gallons

PLUMBING - GENERAL : Water Heater Date of Manufacture

Replaced, 2025

PLUMBING - GENERAL : Water Heater Flue Material

Transite Combo, Double Wall Metal, where visible

PLUMBING - GENERAL : Plumbing Waste Pipe Material

Cast Iron, Aged, Partial ABS Upgrade, where visible

PLUMBING - GENERAL : Washer Drain Size

2" or Larger

PLUMBING - GENERAL : Gas Distribution Piping

Rigid Iron, Aged, Replaced, where visible

WATER HEATER - CONTROLS, FLUES & VENTS: Water Heater Location and Images

Garage

Picture of the water heater.



Water Heater

WATER HEATER - CONTROLS, FLUES & VENTS: Thermal Image of Hot Water

Thermal image showing hot water
produced at the time of
inspection.



Thermal Image of hot water

PLUMBING - GENERAL : Water Pressure

80-85 PSI, Too High

Picture showing apparent water pressure at time of inspection. This is a limited review.



Water Pressure Gauge used

PLUMBING - GENERAL : Main Plumbing Cleanout Location (If Readily Visible)

Appeared to be at, Garage, Verify with seller

We highly recommend you verify this information with the seller and/or a licensed plumbing contractor.



Garage Rear

PLUMBING - GENERAL : Plumbing - General Overview

Waste pipes are most often varied, some pipes may be comprised of older pipes and materials, such as those made of clay, or others that are made of a material like cardboard coated with tar, older cast iron pipes (very common), and/or modern plastic ones referred to as ABS. Generally, the condition of these pipes is directly related to their age. ABS pipes, for instance, are reported to be virtually impervious to deterioration. However, some ABS pipes are alleged to have manufacturing or other defects. Regardless, due to most drainpipes being concealed, our inspection is very limited and we can only infer their possible condition by observing the draw at drains. It is important to understand; blockages will occur at some point in the life of any plumbing system, but blockages in the waste lines, and particularly in a main sewer line, can be costly, therefore it would be wise, and highly recommended, to have the main sewer line video scoped. This would also confirm that the house is connected to the public sewer system, which is important because such systems should be evaluated by a licensed specialist prior to the removal of contingencies.

MAIN WATER SHUT-OFF DEVICE: Main Water Shut-off Location

Front of Home

Picture of the Main Water Shut-off location.



Front of Home



Main Water Shut-off Valve

MAIN GAS SHUT-OFF DEVICE: Main Gas Shut-off Location

Right Side of Home



Right Side of Home



Main Gas Shut-off Valve

MAIN GAS SHUT-OFF DEVICE: Recommend Placing Tool at Main Gas Shut-off

The main gas shut-off valve may require a tool or wrench to operate. There did not appear to be a tool or wrench present at the time of inspection. Recommend placing and securing a tool or wrench at the valve to properly operate when necessary.

Limitations

PLUMBING - GENERAL

PLUMBING INSPECTION - LIMITATIONS

The plumbing system in the home was inspected and reported on per the information provided in this general home inspection report. Please be aware that your inspector has your best interest in mind, and while the inspector makes every effort to find all areas of concern, some areas can go undiscovered at the time of the inspection. Leaks or other issues can develop at any given time, in any home. For example; washing machine drain lines cannot be checked for leaks or the ability to handle the water volume during a drain cycle. Older homes with cast iron drain lines, or galvanized plumbing supply lines, can be obstructed yet appear functional during an inspection, but will then fail under regular use. If the water is turned off, or not used for periods of time (like is often the case with a vacant home waiting for closing), rust and/or deposits within the pipes can further clog the drain system. Any repair items mentioned in this report should be considered prior to purchase of this home. Licensed contractors should be consulted for further evaluation and repairs, as relating to the comments in this report.

PLUMBING - GENERAL

CONCEALED PLUMBING - INSPECTION LIMITED

A majority of the plumbing supply, distribution, drain, waste, and vent systems were concealed behind the wall and floor coverings, buried in the slab, routed through the attic below the insulation or in inaccessible sections of the attic or crawlspace and were not visible at the time of the inspection. Our inspection of the plumbing system is non-intrusive and non-destructive and only included the visibly accessible components of the plumbing system.

Please be advised: THIS INSPECTION OF THE PLUMBING SYSTEM IS NOT A WARRANTY OR GUARANTEE THAT LEAKS OR BLOCKAGES WILL NOT OCCUR ANYWHERE IN THE PLUMBING SYSTEM AT ANY POINT IN TIME AFTER THIS HOME INSPECTION HAS BEEN COMPLETED. We are informing you now that you should purchase a homeowner insurance policy and home warranty that covers the plumbing system in the event problems develop in this system. North County Inspections Inc. and our inspectors are not, and will not be responsible for concealed defects, and our company will be held harmless should any develop in this home.

PLUMBING - GENERAL

WATER METER NOT INSPECTED

EXTERIOR

Inspecting the city water meter is beyond the scope of this home inspection. Our company did not inspect or locate the water meter. It is advisable to inquire with the seller for any applicable information and for its location.

MAIN WATER SHUT-OFF DEVICE

MAIN WATER VALVES - NOT TESTED/INSPECTED

The main water supply valves are outside the scope of this inspection and are not tested by our company.

WATER SUPPLY & DISTRIBUTION SYSTEM

PLUMBING WATER SUPPLY & DISTRIBUTION - LIMITATIONS

Please note: Due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire water supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the water supply and distribution system further explored by a licensed plumbing contractor, before the removal of contingencies, to determine if any latent defects exist.

PLUMBING FIXTURES & CONNECTED DEVICES**LOW FLOW PLUMBING FIXTURES - NOT DETERMINED**

Please be aware that determining if a plumbing fixture (i.e. toilet) is low flow, or not, is outside the scope of this home inspection. We recommend consulting with a licensed plumbing contractor, or the seller, if you wish to determine if the plumbing fixtures comply with low flow standards. Note: In some cases, if you wish to remodel a home, you may be required to replace any older toilets, shower heads and faucet fixtures that are not low flow type.

DRAINS, WASTE & VENT SYSTEM

PLUMBING DRAINS/WASTE PIPES

The inspector attempted to evaluate drain pipes by flushing water down every drain that has an active water fixture while observing its draw and watching for blockages or slow drains, however, this is not a conclusive test and only a video-scope of the main line would confirm its actual condition. It is important to understand that blockages will occur in this (or any) plumbing system, usually relative in severity to the age of the system. Plumbing blockages will range from relatively minor ones, such as; in the branch lines, or at the traps beneath sinks, tubs, and showers, to major blockages in the main line. The minor ones are typically easily cleared, either by chemical means or by removing and cleaning the traps. However, if tree roots grow into the main drain that connects the house to the public sewer, repairs could become expensive and might include replacing the entire main line. For these reasons, we recommend that you ask the sellers if they have ever experienced any drainage problems, and/or you may wish to have the main drain lines video-scoped before the removal of contingencies. In addition, you should obtain an insurance policy that covers blockages and any damage to the main line. However, you should be aware that most insurance policies only cover plumbing repairs within the house, or the cost of roofer service, most of which are relatively inexpensive.

DRAINS, WASTE & VENT SYSTEM

DRAIN LINE VIDEO SCOPE RECOMMENDED

The inspection of the drain lines in the home was limited to your inspector running water down each accessible sink, shower/tub drain, flushing the toilet(s) and looking for slow drains at each fixture. This is an extremely limited test and does not ensure that the main drain line is not blocked, nor that it is fully functional. A sewer line video scope by a licensed professional is the only way to provide an accurate inspection of the main sewer line. Issues with the main sewer line can be very expensive to repair. Because of this, we highly recommend you contact a qualified professional and have the main drain line video scoped to determine if latent defects exist.

PLUMBING AT HOT WATER FIXTURES

LAUNDRY HOT WATER FIXTURES NOT VERIFIED - WATER HEATER NOT TURNED ON

I could not verify function of the hot water at laundry plumbing fixtures in the home. Recommend further evaluation of the hot water plumbing fixtures to ensure all fixtures are functional and plumbed correctly.

SHOWER/BATHTUB FIXTURES

BATHTUB OVERFLOW DRAIN LIMITATION

The bathroom bathtub overflow drain appeared to be installed properly at the bathtub. However, determining if the drain line is properly connected behind the cover is beyond the scope of this general home inspection. Recommend further evaluation by a licensed plumbing contractor to determine if the line is properly connected to the bathtub, or if latent defects exist.

GAS STORAGE & DISTRIBUTION SYSTEM

PLUMBING GAS SUPPLY & DISTRIBUTION - LIMITATIONS

Please note: Due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumbing contractor before the removal of contingencies to determine if any latent defects exist.

IRRIGATION SYSTEMS - NOT INSPECTED

IRRIGATION SYSTEMS - NOT INSPECTED

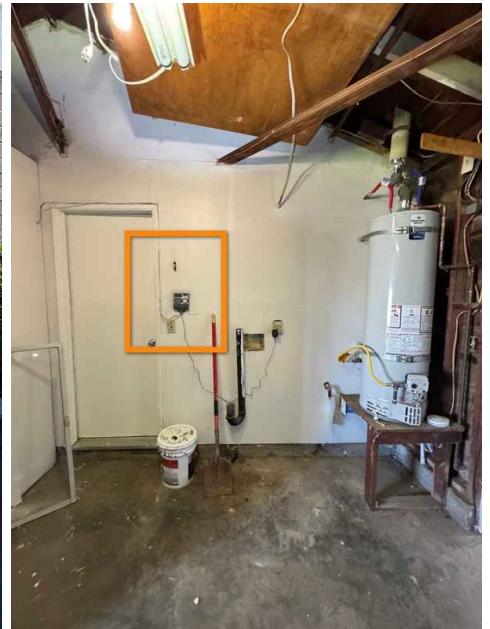
Irrigation systems are outside the scope of a general home inspection and are not inspected by this company. Recommend inquiring with the seller for any information and/or further evaluation of the system by a licensed landscaping contractor to ensure proper function.



Example noted at Rear of Home



Example noted at Front Yard



Example noted at Garage Rear

Discovery items

3.3.1 WATER PRESSURE REGULATOR

HIGH WATER PRESSURE - REGULATOR NOT FOUND

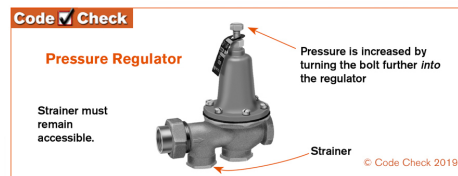
MAIN WATER SHUT-OFF AT FRONT OF HOME

Water pressure to the home appeared slightly high at 80 PSI. Generally, water pressure should be between 40-75 PSI (Pounds-force Per Square Inch). High water pressure can lead to leaks at water pipes. Also, a water pressure regulator was not found at the time of the inspection. A pressure regulator is typically required by today's plumbing standards to regulate water flow and to protect the pipes from pressure surges. Recommend further evaluation by a licensed plumbing contractor and any repairs and/or upgrades as necessary.

Recommendation

Contact a qualified plumbing contractor.





Water Pressure Regulator Illustration



80-85 PSI, Water Pressure Gauge used

3.4.1 WATER SUPPLY & DISTRIBUTION SYSTEM

WATER PLUMBING RE-PIPE - UNDETERMINED PIPE MATERIAL



EXAMPLE NOTED AT ATTIC, EXTERIOR MAIN WATER SHUT-OFF

Evidence of a water plumbing re-pipe and/or modifications noted. Where visible, the water supply pipes appeared to be made of an approved material, however, I was unable to determine the main water supply line pipe material. Lead and/or galvanized water pipes were sometimes used in this area during the year of this home's original construction (circa 1960's). Lead and galvanized water pipes are known to contain impurities and to corrode and rust over time, possibly contaminating the potable water in the home, leading to health and safety concerns. Recommend inquiring with the seller for any information regarding the water distribution system to verify any work was completed by a licensed plumbing contractor, I also recommend further evaluation by a licensed plumbing contractor to determine if latent defects exist within the water distribution system.

Recommendation

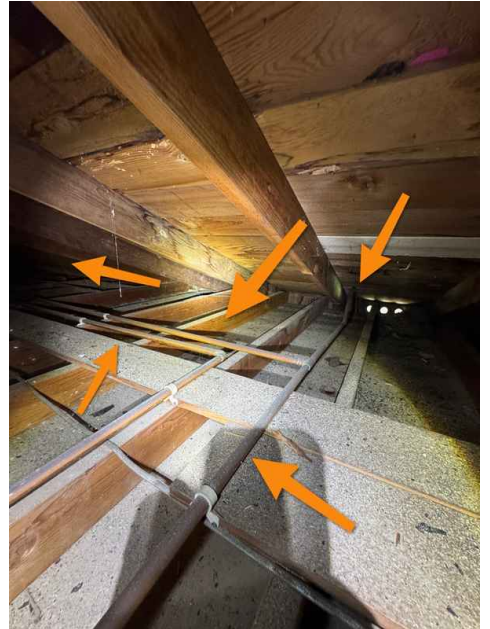
Contact a qualified plumbing contractor.



Main Water Shut-off pipe material
undetermined



Main Water Shut-off, Front of Home



Example of repipe noted at Attic

3.5.1 PLUMBING FIXTURES & CONNECTED DEVICES

ANGLE STOPS - LOOSE AT WALL/CORROSION NOTED

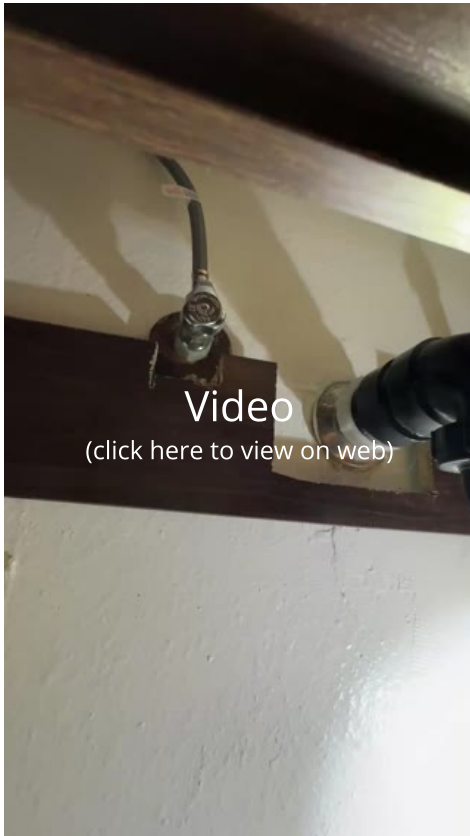
KITCHEN, HALL BATHROOM, PRIMARY BATHROOM, GARAGE LAUNDRY AREA

Angle stops (and/or valves/risers) below sink(s), toilet(s) and at laundry connections noted loose at the wall. Corrosion also noted at several angle stops/risers. Corrosion can be indicative of past or slow leaks, loose fixtures can also lead to leaks. Recommend further evaluation by a licensed plumbing contractor and repair or replacement as necessary.

Recommendation

Contact a qualified plumbing contractor.

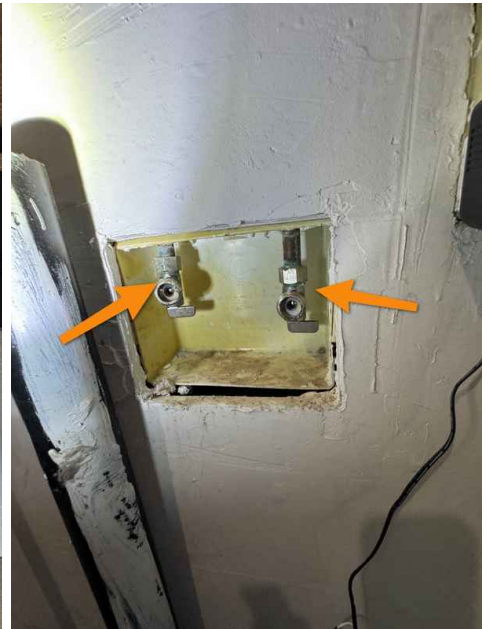




Video shown at Hall Bathroom Sink



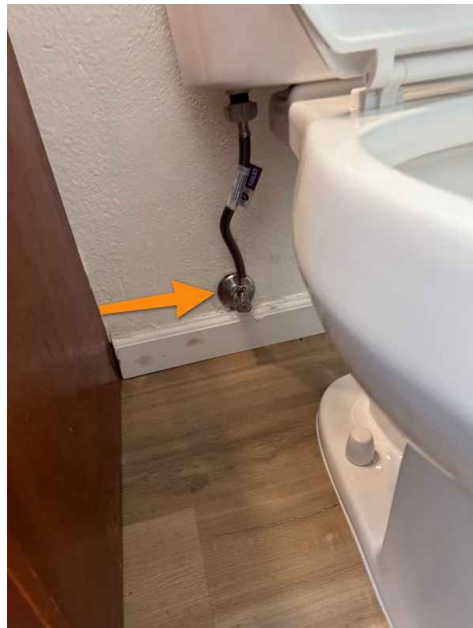
Example noted at Hall Bathroom Sink, loose



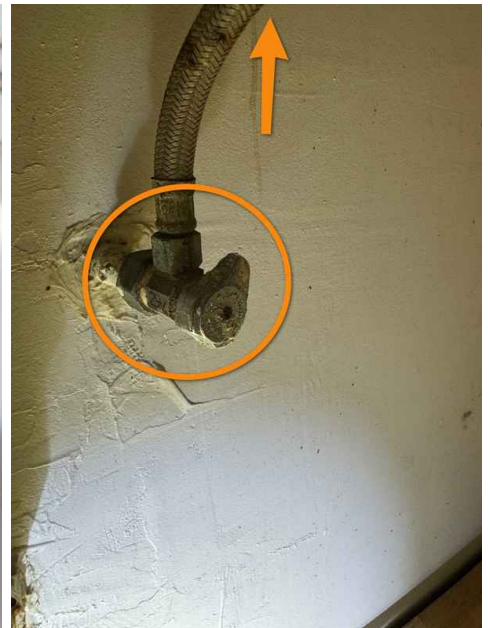
Example noted at Laundry Area



Example noted at Garage Rear, Laundry Area



Example noted at Primary Bathroom Toilet, loose



Example of corrosion noted at Kitchen Sink

3.5.2 PLUMBING FIXTURES & CONNECTED DEVICES



Attention Items

TOILET ROCKS - LOOSE AT FLOOR

PRIMARY BATHROOM

The toilet appeared to rock when tested, noted somewhat loose where it connects to the floor. This condition can worsen and cause damage to the wax ring/seal and toilet flange leading to unsanitary plumbing leaks and moisture damage. Recommend further evaluation by a licensed plumbing contractor and repair or replacement as necessary. Note: Determining if damage exists beyond the surfaces of the home is beyond the scope of this inspection.

Recommendation

Contact a qualified plumbing contractor.



Primary Bathroom Toilet

3.5.3 PLUMBING FIXTURES & CONNECTED DEVICES

HOSE BIB LEAKS WHILE NOT IN USE - HOSE BIBS MISSING BACKFLOW PREVENTION



Attention Items

EXTERIOR

Exterior hose bib leaked while not in use. Moisture and evidence of repair also noted at the hardscape below. Exterior hose bib(s) also all noted missing a backflow/anti-siphon device. When a backflow prevention device is not installed, contaminated water may flow back into the home's clean water supply. Recommend a licensed plumbing contractor to further evaluate and repair as necessary, and to install backflow prevention devices where required.

Recommendation

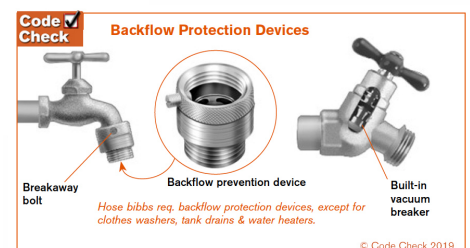
Contact a qualified plumbing contractor.



Appeared to be leaking from here



Front of Home



Backflow Prevention Device Illustration

3.5.4 PLUMBING FIXTURES & CONNECTED DEVICES



Observation Items

FAUCET HANDLE(S) - LOOSE

KITCHEN

Faucet handle(s) appeared loose at the time of the inspection. Recommend tightening/repair as necessary by a licensed plumbing contractor to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Kitchen Sink

3.6.1 DRAINS, WASTE & VENT SYSTEM



Observation Items

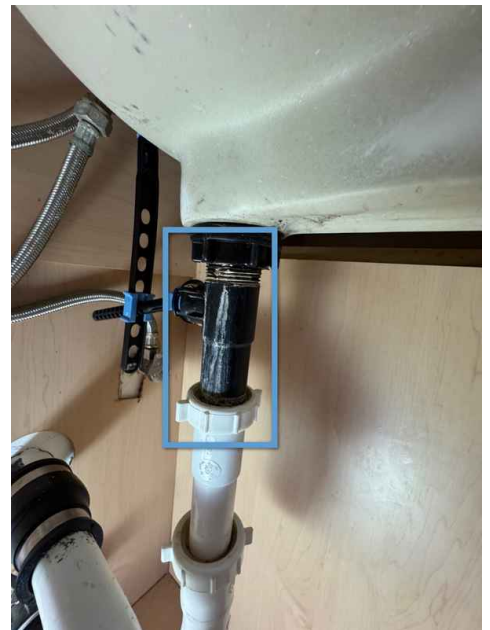
PREVIOUS POSSIBLE LEAKS AT SINK DRAINS

EXAMPLE NOTED AT PRIMARY BATHROOM, KITCHEN

Moisture stains/evidence of previous possible leaks noted at the drain pipes under the sink(s). No active leak noted at time of inspection, however, this is a limited test. Recommend monitoring the drains closely, and/or further evaluation by a licensed plumbing contractor and repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



Example noted at Primary Bathroom Sink

3.6.2 DRAINS, WASTE & VENT SYSTEM



Attention Items

SLOW DRAIN - SINK

HALL BATHROOM

Slow/poor drainage noted at the sink drain(s). Recommend further evaluation by a licensed plumbing contractor to determine if simply "snaking" or unclogging the drain(s) will suffice, or if latent defects exist at the drain lines.

Recommendation

Contact a qualified plumbing contractor.



Hall Bathroom Sink

3.6.3 DRAINS, WASTE & VENT SYSTEM

CLEANOUT CAP NOT INSTALLED - PAST PLUMBING REPAIRS AT DRAIN PIPES

EXAMPLE NOTED AT EXTERIOR, GARAGE, KITCHEN, PRIMARY BATHROOM, HALL BATHROOM

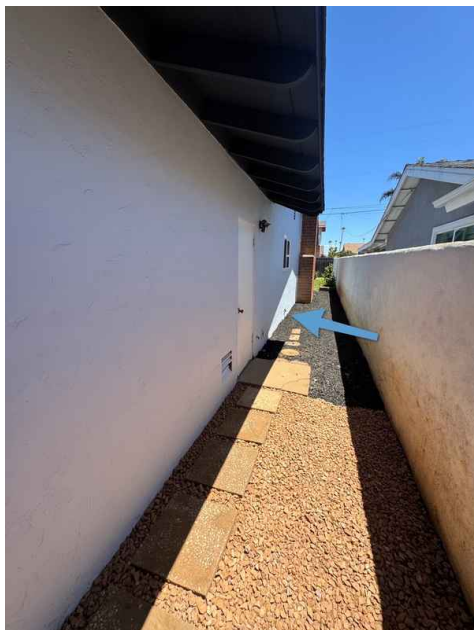
Cleanout cap noted not installed and appeared improperly sized at exterior of home. Evidence of past plumbing repairs also noted at the drain pipes. Recommend inquiring with the seller for any work receipts to verify work was completed by a licensed plumbing contractor, and I also recommend further evaluation of the drain lines by a licensed plumbing contractor to determine any repairs necessary.

Recommendation

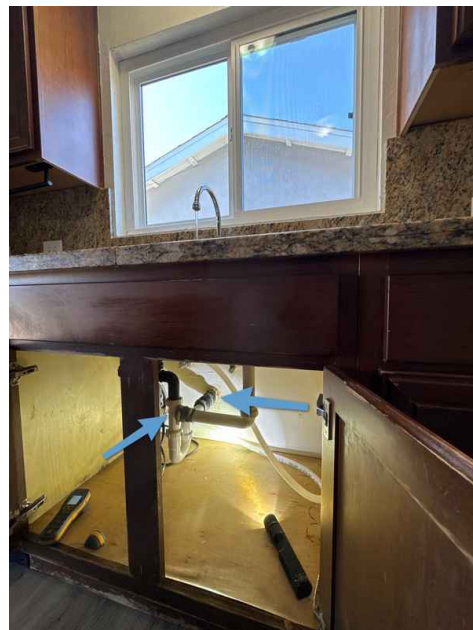
Contact a qualified plumbing contractor.



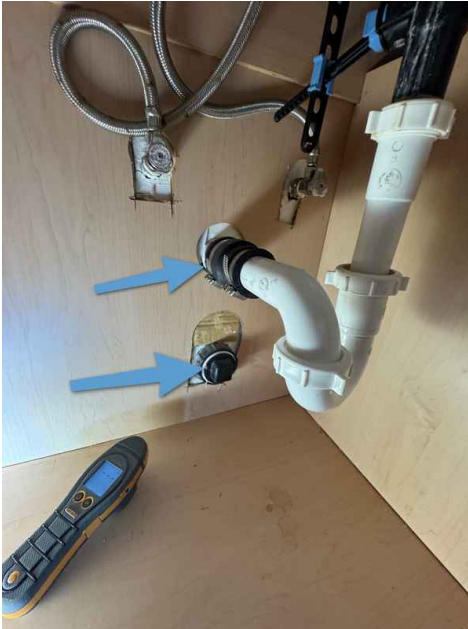
Cleanout cap not installed



Example noted at Right Side of Home



Example of Repairs noted at Kitchen Sink



Example noted at Primary Bathroom Sink

3.6.4 DRAINS, WASTE & VENT SYSTEM

RUST/DETERIORATION AT CAST IRON DRAINS - FURTHER EVALUATION/VIDEO SCOPE RECOMMENDED

EXAMPLE NOTED AT KITCHEN, GARAGE, ROOF, PRIMARY BATHROOM

Cast iron drain pipes are showing rust and deterioration, likely due to age. These pipes may be at, or near, the end of their useful life. The life remaining for the pipes can only be determined by a licensed plumbing contractor using a video camera scope. This is especially important to determine the condition of the main drain line between the house and the street. Recommend further evaluation and a video camera scope be performed by a licensed plumbing contractor, prior to the close of escrow, to determine any repairs/upgrades necessary at this time to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Example noted



Example noted at Primary Bathroom Shower drain



Example noted



Example noted



Garage Rear, Laundry Area



Example of rust noted



Example noted at Kitchen Sink

3.6.5 DRAINS, WASTE & VENT SYSTEM

SHOWER DRAIN COVER NOT INSTALLED - DEBRIS NOTED IN DRAIN

PRIMARY BATHROOM

The primary bathroom shower drain cover was not installed at the time of inspection. Debris was also visible in the drain. Recommend further evaluation of the drain and installation of a cover by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



Attention Items



Primary Bathroom Shower

3.8.1 SHOWER/BATHTUB FIXTURES

SHOWER HEAD(S) LEAK

PRIMARY BATHROOM, HALL BATHROOM

Shower head(s) leak while in use. Recommend further evaluation by a licensed plumbing contractor to determine repairs as necessary to ensure proper function.

Recommendation

Contact a qualified plumbing contractor.



Hall Bathroom Shower, Appeared to be leaking from here



Primary Bathroom Shower, Appeared to be leaking from here

3.8.2 SHOWER/BATHTUB FIXTURES

SHOWER/TUB FIXTURES LOOSE AT WALL

HALL BATHROOM

Shower/bathtub fixtures (ie: shower arms, tub spouts, control valves, faucet handles) noted loose at the shower enclosure wall and/or bathtub. This condition may lead to leaks beyond the shower wall, and tub causing damage. Recommend further evaluation by a licensed plumbing contractor to determine any repairs as necessary. Note: Determining if moisture damage (such as mold) exists beyond any surface is beyond the scope of this inspection.

Recommendation

Contact a qualified plumbing contractor.



Example noted at Hall Bathroom
Shower Bathtub

3.9.1 WATER HEATER - CONTROLS, FLUES & VENTS

REPLACED WATER HEATER MISSING EXPANSION TANK - DAMAGED PLATFORM - FURTHER EVALUATION RECOMMENDED

WATER HEATER AT GARAGE

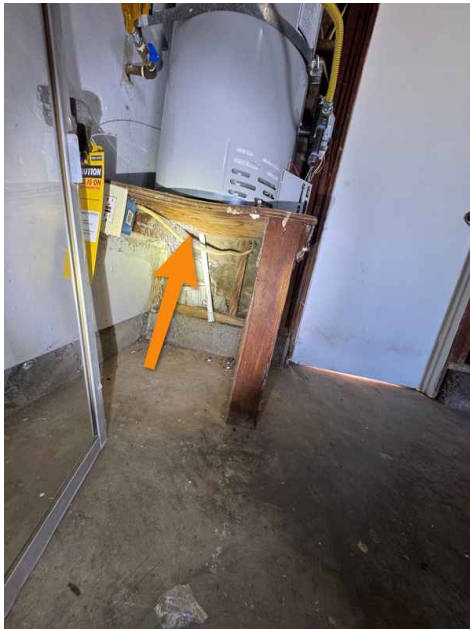
Missing required expansion tank, Moisture staining on platform appeared dry - Past possible leak, Water pipe(s) loose - Conducive to leaks, Missing vehicle guard - Recommend installing bollard, Missing leak pan and drain line, Platform damaged below unit

The platform below the water heater appeared to sag and was damaged. The platform may not be adequate to support the water heater. Dry water staining noted at the platform and walls. There also did not appear to be an expansion tank installed, which is typically required on homes such as this one with a "closed" water system. Water pipes noted loose at wall. Due to the multiple Discovery Items listed, I recommend further evaluation of the entire water heater and its components by a licensed plumbing contractor to determine any corrections necessary for safe function. Note: The water heater appears to be a replaced unit, recommend inquiring with the seller for any permit showing unit was installed to manufacturers requirements.

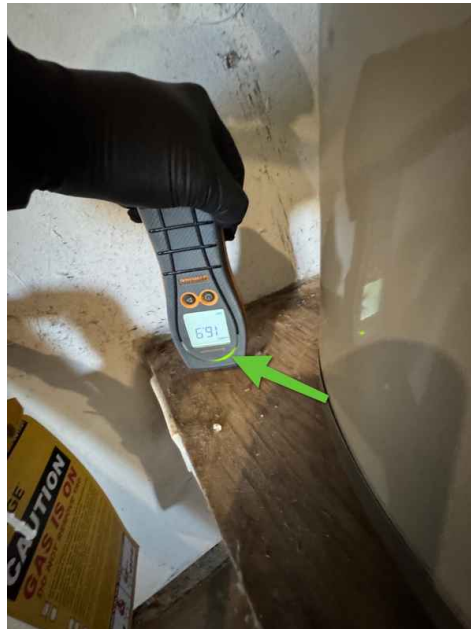
Recommendation

Contact a qualified plumbing contractor.

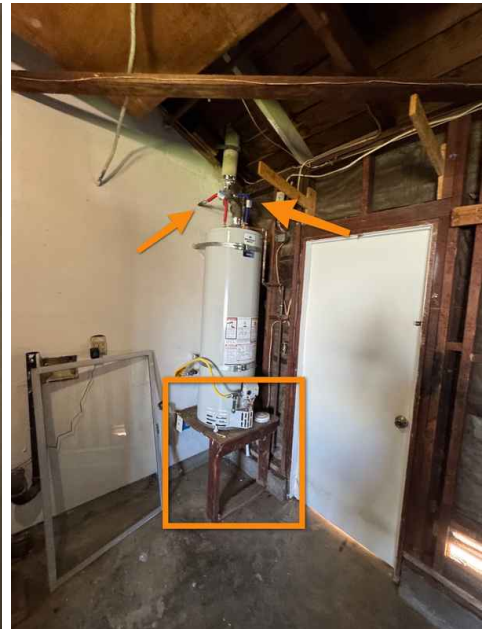




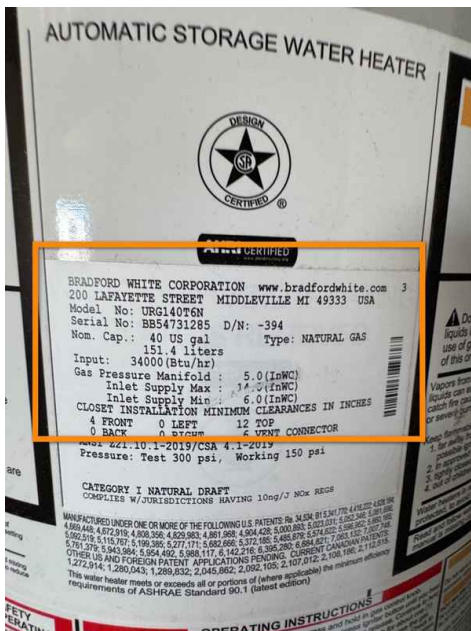
Water Heater platform sagging/damaged



The platform appeared to be dry



Water Heater missing expansion tank, loose water pipes,, Garage Rear



Replaced unit data plate, 2025

3.9.2 WATER HEATER - CONTROLS, FLUES & VENTS



Safety Concerns

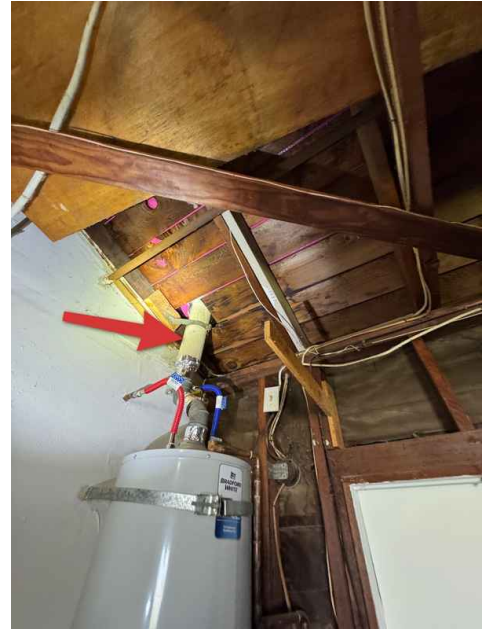
TRANSITE COMBO WATER HEATER FLUE PIPE

GARAGE, ROOF

The water heater flue pipe appeared to increase in diameter. The metal flue appeared to pass through the transite flue and terminate at the roof. However, this could not be verified. This potential increase in diameter can affect the drafting of the unit and may be a potential Carbon Monoxide hazard. Because of this, we recommend further evaluation by a licensed plumbing contractor to determine any repairs necessary. Also, due to the sections of the vent pipe (transite) that appeared to incorporate material that may contain asbestos, I recommend further evaluation by a licensed asbestos abatement contractor to determine if removal is necessary for safety.

Recommendation

Contact a qualified professional.



Example noted at Garage Rear, Above Water Heater

3.12.1 GAS STORAGE & DISTRIBUTION SYSTEM

LOOSE GAS PIPE(S)

GARAGE, EXTERIOR

Gas pipe appeared loose/improperly supported at several locations. This condition is conducive to gas leaks developing. No active gas leak detected at time of inspection using a gas leak detector. Recommend further evaluation by a licensed plumbing contractor to determine any repairs necessary.

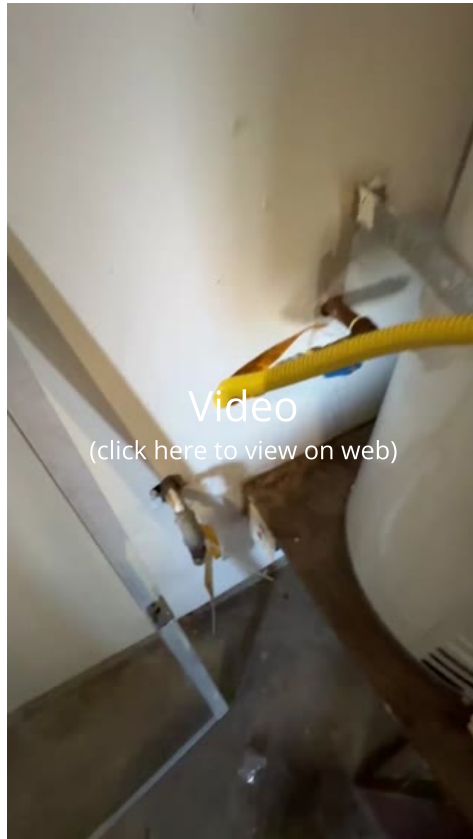
Recommendation

Contact a qualified plumbing contractor.

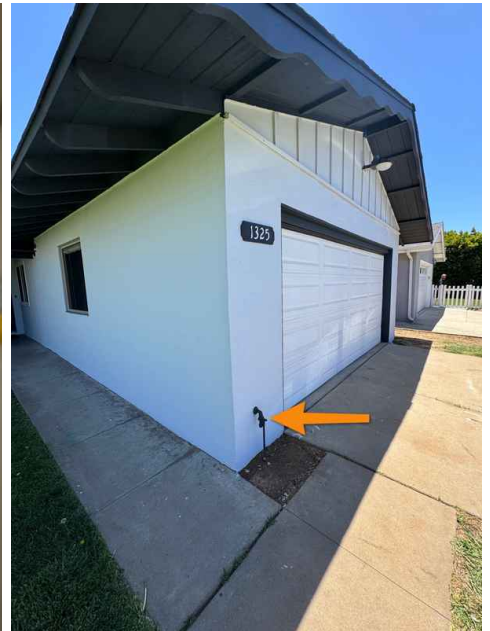




Example noted at Garage Rear



Video shown at Garage Rear



Example noted at Front of Home

3.12.2 GAS STORAGE & DISTRIBUTION SYSTEM

GAS PLUMBING RE-PIPE/MODIFICATIONS

EXAMPLE NOTED AT GARAGE, ATTIC, EXTERIOR

Evidence of a gas plumbing re-pipe, or modifications to gas pipes, noted at one or more locations. These modifications may have required a permit. Recommend inquiring with the seller for any information and/or work receipts to determine these modifications were completed by a licensed plumbing contractor. It is also advisable to consult a licensed plumbing contractor for further evaluation and to determine if any latent defects exist.

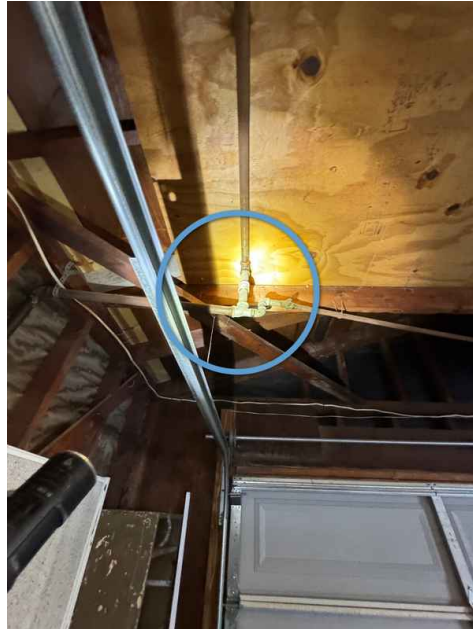
Recommendation

Contact a qualified plumbing contractor.





Example noted at Front of Home



Example noted at Garage

3.13.1 MAIN GAS SHUT-OFF DEVICE

MISSING COMPONENT - LOOSE PIPE AT MAIN GAS METER

RIGHT SIDE OF HOME

Gas pipe component appeared to be missing, loose pipe also noted at the main gas meter/shut-off location. This can lead to gas leaks which are a potential health and safety concern. No active gas leak detected at time of inspection. Recommend further evaluation by the local gas provider company, or by a licensed plumbing contractor to determine any measures necessary to forestall further damage and gas leaks.

Recommendation

Contact a qualified plumbing contractor.



Cap or pipe appeared to be missing



No gas leak detected at time of inspection



Example noted at Main Gas Shut-off, pipe noted loose

4: ELECTRICAL SYSTEM

		IN	NI	NP	D
4.1	ELECTRICAL - GENERAL	X			
4.2	SERVICE ENTRANCE CONDUCTORS				X
4.3	MAIN & SUBPANELS				X
4.4	OVERCURRENT DEVICES (BREAKERS/FUSES)				X
4.5	SYSTEM GROUNDING	X			
4.6	ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)				X
4.7	BRANCH CIRCUIT CONDUCTORS (WIRING)				X
4.8	POLARITY & GROUNDING OF RECEPTACLES				X
4.9	GFCI & AFCI PROTECTION				X
4.10	EXTERIOR LIGHTING				X
4.11	SMOKE DETECTORS				X
4.12	CARBON MONOXIDE (CO) ALARMS				X
4.13	SECURITY/COMMUNICATION SYSTEMS		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

SERVICE ENTRANCE CONDUCTORS: Electrical Service Conductors
Overhead, Not Visible

MAIN & SUBPANELS: Main Panel Capacity
60 AMP, Undersized

MAIN & SUBPANELS: Panel Manufacturer
General Electric, Pushmatic

MAIN & SUBPANELS: Panel Type
Circuit Breakers

MAIN & SUBPANELS: Subpanel/Distribution Panel Location & Images
None Found

BRANCH CIRCUIT CONDUCTORS (WIRING): Branch Wires - 15 and 20 AMP
Copper, Not Fully Visible

BRANCH CIRCUIT CONDUCTORS (WIRING): Wiring Methods
Romex, Aged Wiring,
Replaced/Upgraded Wiring, where visible

EXTERIOR LIGHTING: EXTERIOR LIGHTING CONTROLS
Standard Switches, Motion
Sensors, Undetermined

ELECTRICAL - GENERAL : Electrical - General Overview

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system.

The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.

Common national safety standards require electrical panels to be weatherproof, readily accessible, and have a minimum of thirty-six inches of clear space in front of them for service. Also, they should have a main disconnect, and each circuit within the panel should be clearly labeled. Industry standards only require us to test a representative number of accessible switches, receptacles, and light fixtures. However, we attempt to test every switch or receptacle that is readily accessible at the time of the inspection and unobstructed, but if a home is occupied and/or furnished we will not be able to check every fixture.

MAIN & SUBPANELS: Main Panel/Electrical Service Disconnect Location & Images

Left Side of Home

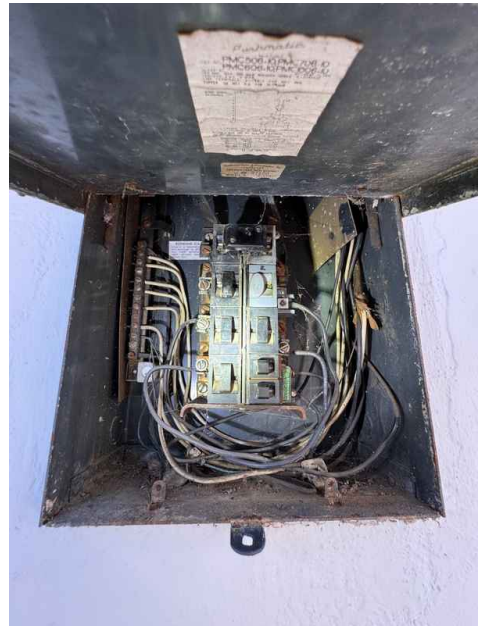
Location and picture(s) of the main electrical panel and service disconnect.



Left Side of Home



Main Panel, Electrical Service Disconnect



Inside Main Panel

SMOKE DETECTORS: Smoke Detectors - General Information

We highly recommend replacing all smoke detectors upon moving into the home. Smoke detectors that are 10 years old or older may have a failure rate as high as 30%, and smoke detectors that are 15 years old or older may have a failure rate as high as 50% according to the National Fire Protection Association www.nfpa.org. Testing the units is outside the scope of this inspection. Simply pushing the test button only indicates power is supplied to the units. Battery operated detectors should be checked routinely and the batteries changed out as necessary. We recommend that a smoke alarm be installed in each bedroom, and at least one on each level outside of bedrooms, and in every location required by local code.

Limitations

ELECTRICAL - GENERAL**ELECTRICAL INSPECTION - LIMITATIONS**

The electrical system of the home was inspected and reported on with the included information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Electrical receptacle covers were not removed and the inspection was of readily visible components only. Any receptacle or switch not readily accessible at the time of the inspection (i.e; those located behind personal belongings, furniture or built-in components) was not tested or inspected. Please be aware that the inspector has your best interest in mind. Any repair and further evaluation recommendation items mentioned in this report should be considered before purchase. Note: This is a general home inspection only, not a specialized inspection by a licensed electrical professional. We therefore highly recommend having the electrical system further explored by a licensed electrical contractor prior to the removal of contingencies to determine if any latent defects exist.

MAIN & SUBPANELS

DISTRIBUTION PANEL(S) - NOT INSPECTED

One or more electrical distribution panels appeared to be installed at the exterior of the home. These panels were not inspected by our company. It is highly advisable to have these panels further evaluated by a licensed electrical contractor to determine if latent defects exist.

SYSTEM GROUNDING

ELECTRICAL SYSTEM GROUNDING - ONLY INSPECTED WHERE VISIBLE

The electrical system grounding for this home was only inspected where readily visible. It is outside the scope of this inspection to verify the entire electrical grounding for this home's electrical system. Note: This is a general home inspection only, not a specialized inspection by a licensed electrical professional. We therefore highly recommend having the electrical system further explored by a licensed electrical contractor, prior to occupying the home, to determine if any latent defects exist.

BRANCH CIRCUIT CONDUCTORS (WIRING)

BRANCH CIRCUIT CONDUCTORS - INSPECTION LIMITATIONS

Due to building materials, such as; wall coverings, insulation, HVAC ductwork and/or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. This is a general home inspection only, not a specialized inspection by a licensed electrical professional. We therefore highly recommend having the branch circuit conductors (wiring) and electrical system further explored by a licensed electrical contractor prior to the removal of contingencies to determine if any latent defects exist.

EXTERIOR LIGHTING

EXTERIOR LANDSCAPE LIGHTING - NOT INSPECTED

Our company does not test or evaluate exterior landscape lighting (including any lights not directly attached to the main structure) as doing so is beyond the scope of a standard home inspection. Should the client have concerns, we recommend asking the seller to demonstrate function of any exterior landscape lighting, and/or have further evaluated by a licensed electrical contractor to ensure proper function.

EXTERIOR LIGHTING

SENSOR/TIMER LIGHTING CONTROLS - NOT TESTED

Our company does not test or evaluate any type of sensor/timer controlled lighting (i.e. motion or daylight sensors) as doing so is beyond the scope of a standard home inspection. Should the client have concerns, we recommend asking the seller to demonstrate function of any sensor/timer controlled lighting, and/or have further evaluated by a licensed electrical contractor to ensure proper function.



Example noted at Right Side of Home



Example noted at Front of Home

SECURITY/COMMUNICATION SYSTEMS

EQUIPMENT - NOT INSPECTED

Security systems, telephone lines, camera devices, intercoms and other specialized equipment are outside the scope of a general home inspection. The equipment was not inspected by our company. Recommend inquiring with the seller and/or provider for any applicable information regarding the system, and/or have the system further evaluated by a qualified professional to determine proper function.



Example noted at Kitchen



Example noted at Rear of Home



Example noted at Living Room



Example noted at Bedroom #2

Discovery items

4.2.1 SERVICE ENTRANCE CONDUCTORS

INSUFFICIENT CLEARANCE/DAMAGED INSULATION AT ELECTRICAL SERVICE CONDUCTORS

EXTERIOR, ROOF

 Safety Concerns

There did not appear to be sufficient clearance from the tree at the overhead electrical service entrance conductors at the rear yard. This can be an electrical safety hazard. Also, protective insulation on service entrance conductors appeared to be damaged in one or more areas. Wires should not be exposed to sunlight, unless rated. Recommend further evaluation by a licensed electrical contractor to determine corrections necessary at this time for safety.

Recommendation

Contact a qualified electrical contractor.



Overhead Clearance Illustration



Rear Yard



Example of damaged insulation noted, Rear Left Side Roof

4.3.1 MAIN & SUBPANELS

60 AMP PUSHMATIC MAIN ELECTRICAL PANEL - UNSAFE/INADEQUATE CAPACITY

MAIN PANEL, LEFT SIDE OF HOME

Panel under 100 amps - Appeared undersized, Rust in panel - Indicative of moisture intrusion, Panel labels missing/illegible, Debris/foreign matter in panel - Fire safety concern, Pushmatic panel - Considered unsafe

The main electric panel for the home appeared to be a 60 amp Pushmatic brand panel. Pushmatic panels are considered unreliable and are no longer manufactured, these panels do not meet today's electrical safety standards and may pose an electrical fire safety hazard due to the circuit breakers failing to trip, and other issues. Some insurance companies may be reluctant to insure a home with a Pushmatic panel due to the associated safety risks. A 60 amp panel is also considered undersized by today's modern electrical capacity requirements for a standard home, typically 100+ amps is required. Rust and debris noted inside the panel, which can lead to failure at the wire connections and is also an electrical safety concern. Homes that are close to the ocean are more susceptible to rust due to salt in the air and water which accelerates corrosion. I recommend further evaluation of the entire electrical panel and wiring by a licensed electrical contractor to determine any repairs or replacement necessary for safe function. Note: Replacing the panel may be recommended by a licensed electrical contractor.

Recommendation

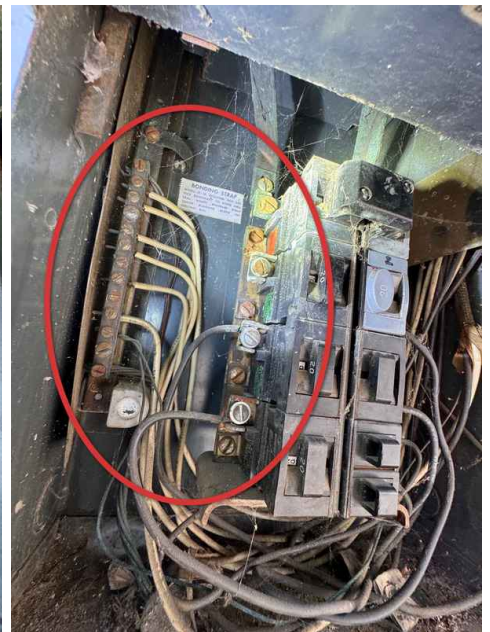
Contact a qualified electrical contractor.



Pushmatic panel



Main Panel, 60 amps



Example of rust noted Inside Main Panel



Dirt/Debris noted Inside Main Panel



Main Panel, Left Side of Home

4.4.1 OVERCURRENT DEVICES (BREAKERS/FUSES)

PUSHMATIC/BULLDOG CIRCUIT BREAKERS - UNSAFE

MAIN PANEL, LEFT SIDE OF HOME

The main electrical panel was equipped with Pushmatic/BullDog circuit breakers, these breakers are no longer considered safe by today's electrical standards. These breakers can become stiff and unresponsive, failing to "trip" when a circuit is overloaded. This can lead to overheating and potential electrical fire hazard. The visual indicators on Pushmatic breakers can also become inaccurate over time, showing a breaker as off when it is actually still energized, leading to shock hazards. Some insurance companies may refuse to insure a home with a Pushmatic panel due to the associated risks. Recommend further evaluation by a licensed electrical contractor to determine any repairs or upgrades necessary at this time for safe function.

Recommendation

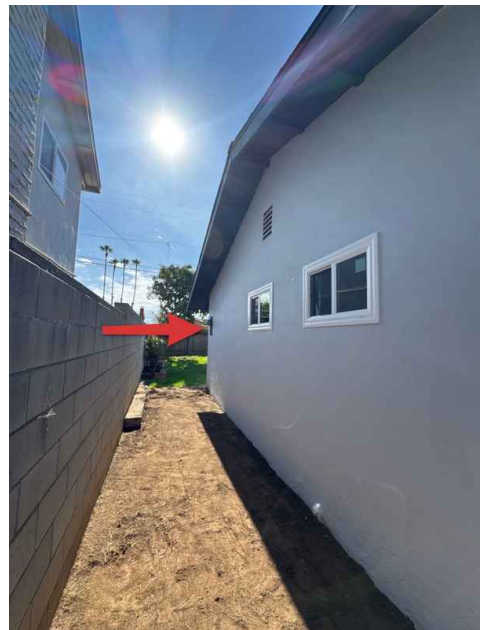
Contact a qualified electrical contractor.



Example noted Inside Main Panel



Main Panel



Main Panel, Left Side of Home

4.6.1 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)

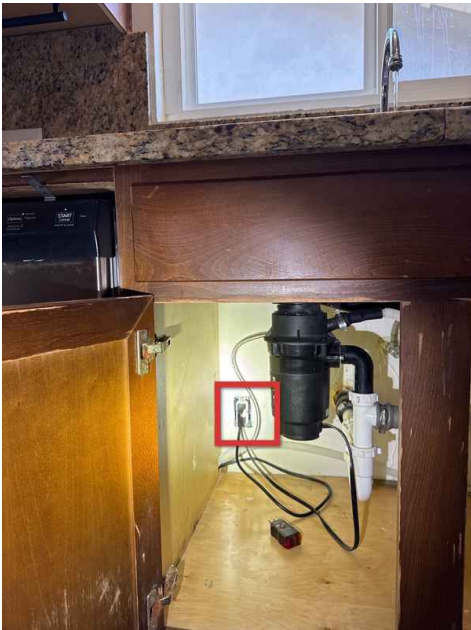

Safety Concerns

LOOSE/DAMAGED ELECTRICAL RECEPTACLES

EXAMPLE NOTED AT GARAGE, KITCHEN, PRIMARY BEDROOM, DINING ROOM, LIVING ROOM, HALLWAY UTILITY CLOSET, DINING ROOM, FRONT ENTRY, PRIMARY BEDROOM

Electrical receptacles (outlets/switches) in several locations in the home and/or at the exterior noted excessively loose, damaged and/or missing adequate faceplates. These conditions are an electrical safety concern, if left uncorrected. Recommend further evaluation of all electrical receptacles throughout the home and exterior by a licensed electrical contractor to determine any repairs or replacement as necessary for safety.

Recommendation
Contact a qualified electrical contractor.



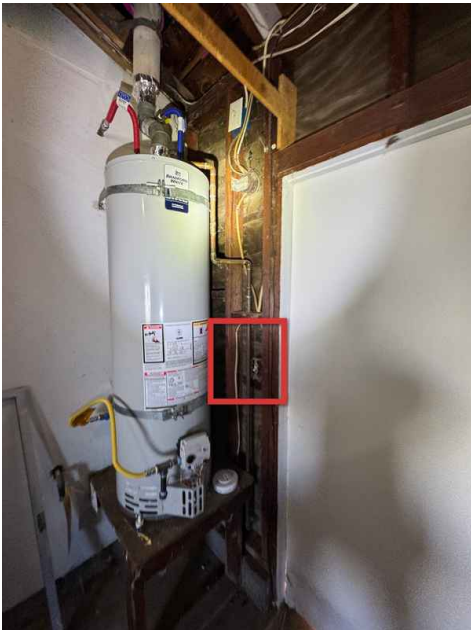
Example noted at Kitchen, Inside Sink Cabinet, missing faceplate



Example noted at Garage, Right Side facing outwards, missing faceplate



Example noted at Garage, missing faceplate



Example noted at Garage, Rear Left Side facing outwards, missing faceplate



Example noted at Garage Rear, missing faceplate



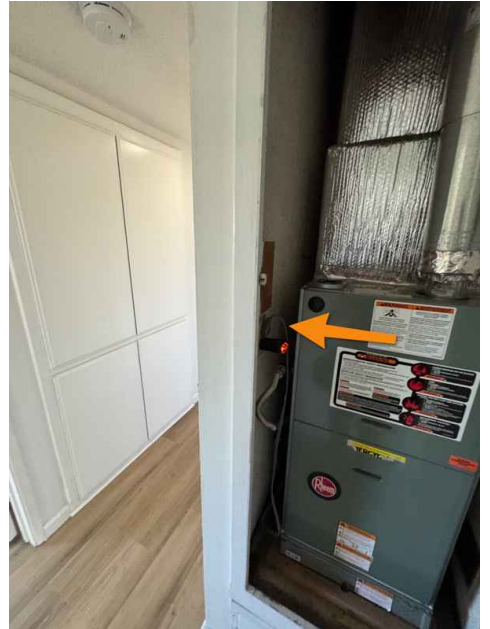
Example noted at Living Room, damaged



Example noted at Primary Bedroom, damaged



Example noted at Kitchen, loose



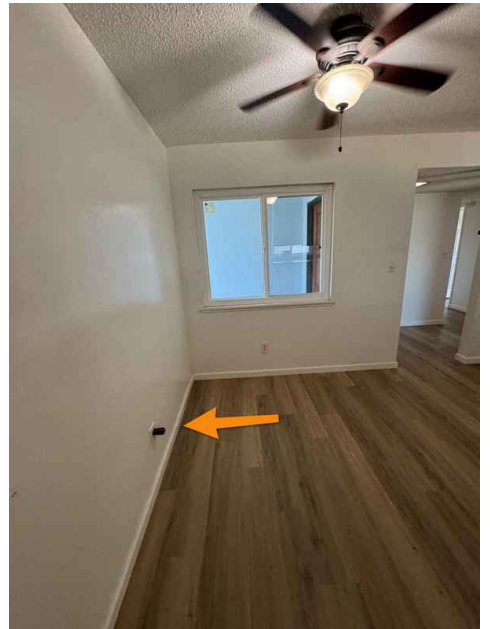
Example noted at Hallway Inside Utility Closet, loose



Example noted at Living Room, loose



Example noted at Kitchen, loose



Example noted at Dining Room, loose



Example noted at Front Entry, missing screws

4.6.2 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)

INOPERABLE LIGHT(S)

BEDROOM #2, GARAGE, EXTERIOR, BEDROOM #2

One or more lights appeared to be inoperable at the time of the inspection. Recommend replacing the light bulb and re-testing the light(s). If the light fails to work, recommend further evaluation by a licensed electrical contractor to determine repairs or replacement necessary.

Recommendation

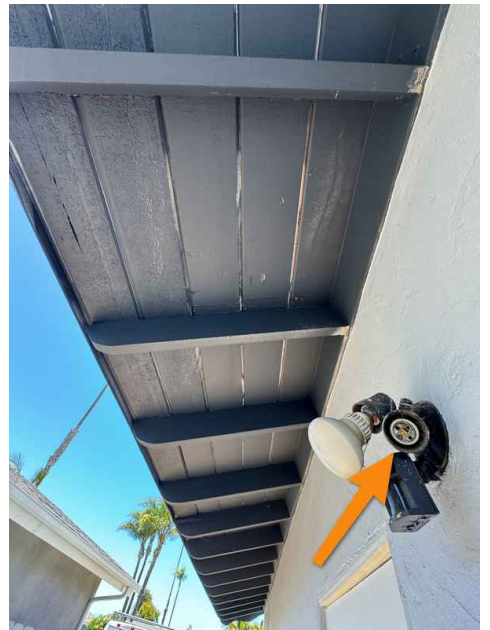
Contact a qualified electrical contractor.



Example noted at Bedroom #2



Example noted at Garage



Example noted at Exterior, Right Side of Home

4.6.3 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)

**LOOSE LIGHT FIXTURE(S)**

EXAMPLE NOTED AT HALL BATHROOM, HALLWAY, BEDROOM #2, PRIMARY BEDROOM

Several loose light fixtures noted. This condition can lead to loose electrical wiring which can be an electrical hazard, if not corrected. Recommend further evaluation by a licensed electrical contractor and repair as necessary.

Recommendation

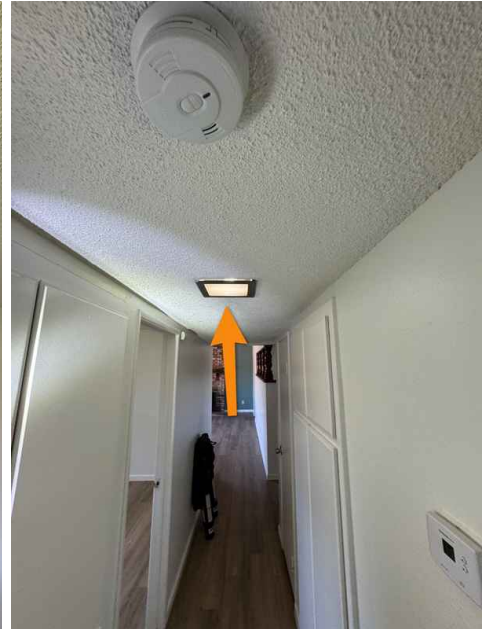
Contact a qualified electrical contractor.



Example noted at Hall Bathroom



Example noted at Bedroom #2



Example noted at Hallway



Example noted at Primary Bedroom

4.6.4 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)

**CEILING FAN(S) ROCK - UNBALANCED**

EXAMPLE NOTED AT DINING ROOM, BEDROOM #3, BEDROOM #2

One or more ceiling fans appeared to be unbalanced and/or rocked when turned on. Recommend further evaluation by a licensed electrical contractor to determine any repairs necessary.

Recommendation

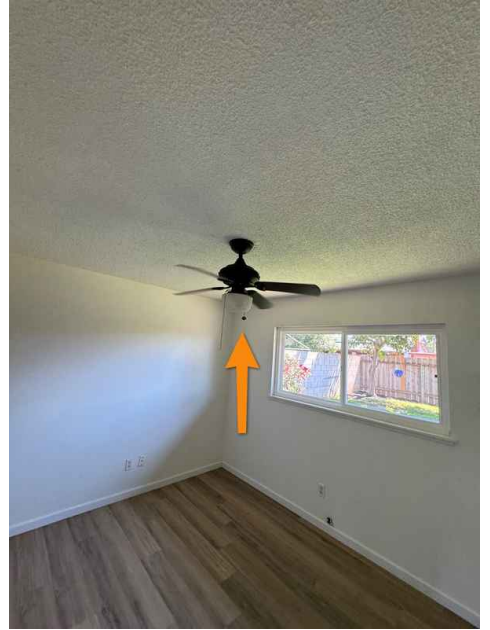
Contact a qualified electrical contractor.



Example noted at Dining Room



Example noted at Bedroom #3



Example noted at Bedroom #2

4.6.5 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)



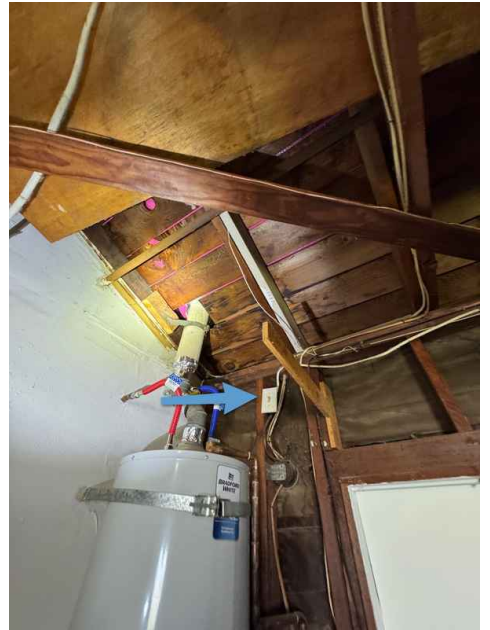
UNKNOWN SWITCHES

EXAMPLE NOTED AT GARAGE

Unable to determine what several switches control. Recommend inquiring with the seller for information and/or a qualified professional to determine function.

Recommendation

Contact a qualified professional.



Example noted at Garage Rear

4.6.6 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)



DOORBELL INOPERABLE

FRONT ENTRY

The doorbell did not appear to function properly. Recommend repair by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.

4.6.7 ELECTRICAL FIXTURES & CONNECTED DEVICES (REPRESENTATIVE NUMBER)



Attention Items

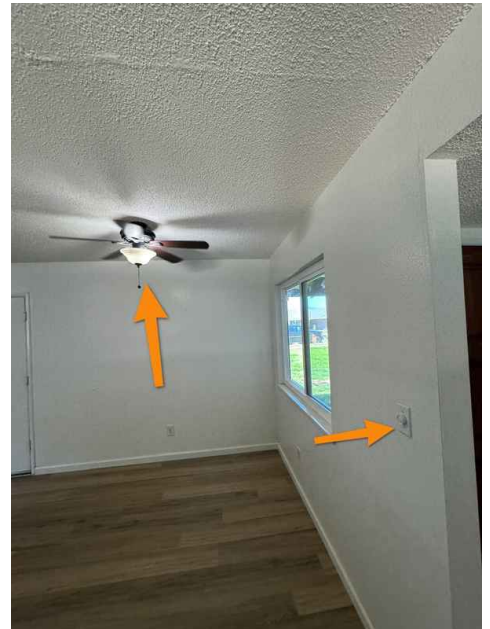
CEILING FAN/NON-DIMMABLE LIGHT CONNECTED TO DIMMER SWITCH

DINING ROOM

The ceiling fan and non-dimmable light bulb in one or more rooms appeared to be connected to a dimmer switch, this is atypical and may not be permitted by today's electrical standards. Recommend further evaluation by a licensed electrical contractor to determine any corrections necessary.

Recommendation

Contact a qualified electrical contractor.



Dining Room

4.7.1 BRANCH CIRCUIT CONDUCTORS (WIRING)

EXPOSED ROMEX WIRING

KITCHEN, GARAGE

Exposed "Romex" type wiring noted at one or more locations. Wires located where they may be subject to physical damage (typically lower than 7 feet.) is a safety concern. Romex type wiring is typically located inside of walls or in approved conduit. Recommend further evaluation by a licensed electrical contractor to determine repairs necessary for safety.

Recommendation

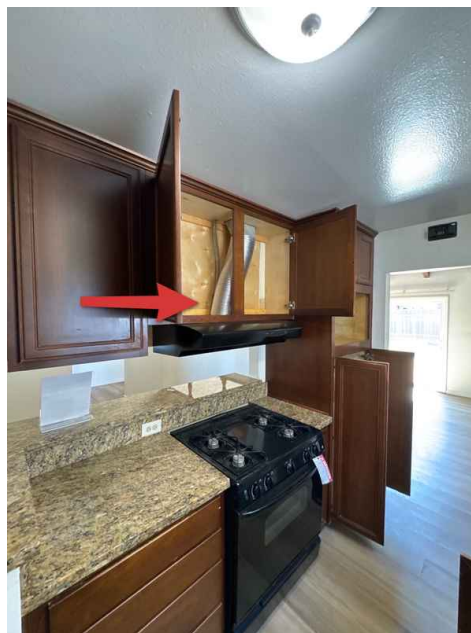
Contact a qualified electrical contractor.



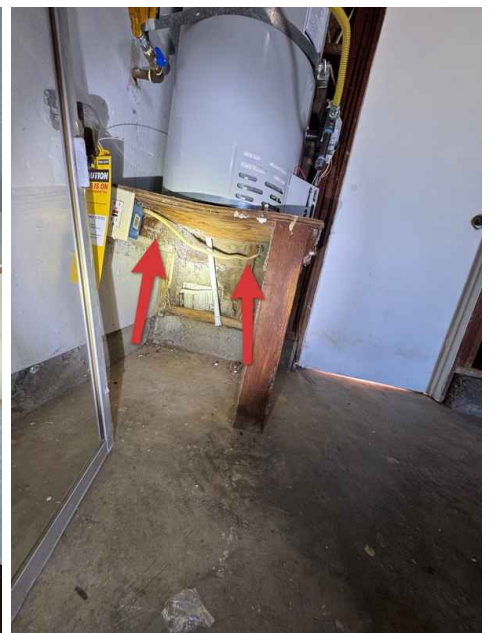
Safety Concerns



Example noted



Example noted at Kitchen, Inside Cabinet



Example noted



Example noted at Garage Rear

4.7.2 BRANCH CIRCUIT CONDUCTORS (WIRING)

AGED WIRING IN ACTIVE USE - ELECTRICAL MODIFICATIONS NOTED

EXAMPLE NOTED AT MAIN PANEL, ATTIC, GARAGE

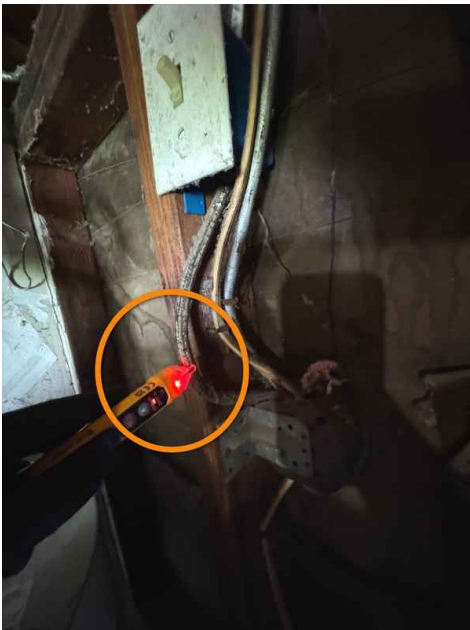
Aged wiring appeared to be in active use in the home and may not be as reliable or safe as modern wiring. There also appeared to be modifications and/or previous repairs at the electrical wiring in areas. Recommend inquiring with the seller for work receipts to verify work was completed by a licensed electrical contractor to today's standards, I also recommend further evaluation by a licensed electrical contractor to determine any repairs or upgrades as necessary to ensure continued function and safety.

Recommendation

Contact a qualified electrical contractor.



Attention Items



Example noted, wires appeared powered



Example noted at Garage Rear

4.7.3 BRANCH CIRCUIT CONDUCTORS (WIRING)

IMPROPERLY TERMINATED WIRE(S) - POWERED

EXAMPLE NOTED AT GARAGE, EXTERIOR

Wires appeared to be improperly terminated at one or more locations. The wire in the garage appeared to be powered or "live". This is a potential electrical shock safety concern. Other wires appeared unpowered, however, verifying this is beyond the scope of this inspection. Recommend further evaluation by a licensed electrical contractor to determine corrections necessary for safety.

Recommendation

Contact a qualified electrical contractor.



Safety Concerns



Example noted, wire appeared powered



Example noted at Garage Rear



Example noted at Exterior, Right Side of Home



Wires did not appear powered

4.8.1 POLARITY & GROUNDING OF RECEPTACLES

REVERSED POLARITY AT RECEPTACLE(S) 2+

EXAMPLE NOTED AT KITCHEN, GARAGE



Safety Concerns

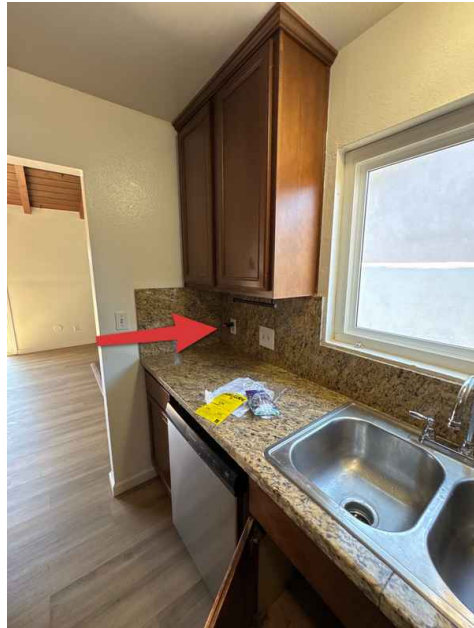
One or more receptacles appeared to have been wired improperly, or with reverse polarity. This can create an electrical shock hazard. Recommend further evaluation by a licensed electrical contractor to determine corrections necessary at this time to ensure proper polarity and safety of the receptacles in the home.

Recommendation

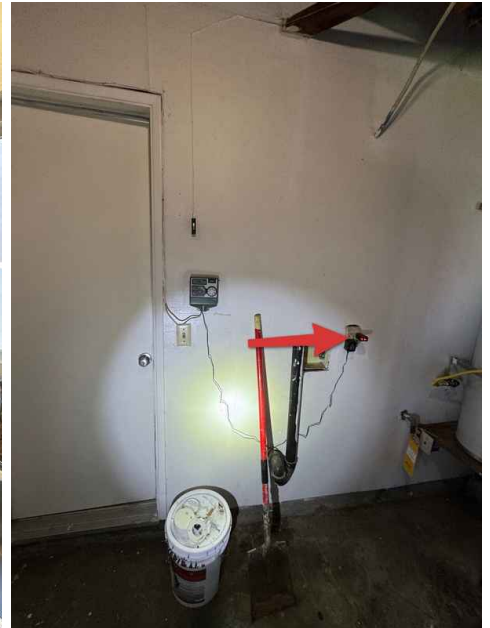
Contact a qualified electrical contractor.



Example noted



Example noted at Kitchen



Example noted at Garage Laundry Area

4.8.2 POLARITY & GROUNDING OF RECEPTACLES

OPEN/UNGROUNDED RECEPTACLES THROUGHOUT HOME

EXAMPLE NOTED AT KITCHEN, DINING ROOM, LIVING ROOM, PRIMARY BEDROOM, BEDROOM #2, BEDROOM #3, GARAGE

Most electrical receptacles throughout the home appeared "open" or ungrounded. This is an electrical safety concern. Recommend further evaluation by a licensed electrical contractor to determine repairs necessary at this time to ensure proper grounding and safety in the home.

Recommendation

Contact a qualified electrical contractor.

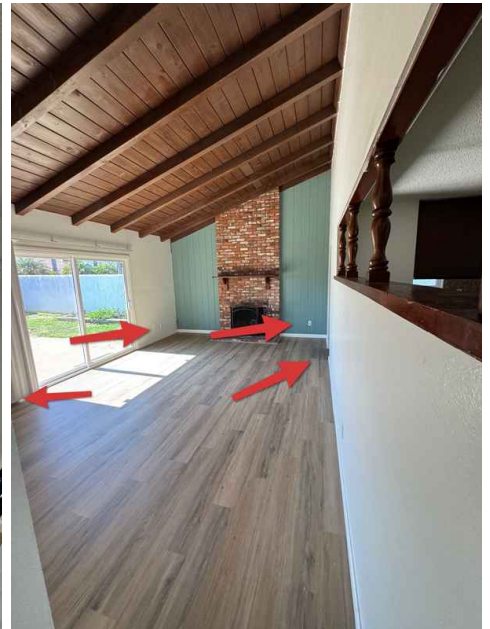




Example noted



Example noted at Primary Bedroom



Example noted at Living Room



Example noted at Garage



Example noted at Dining Room



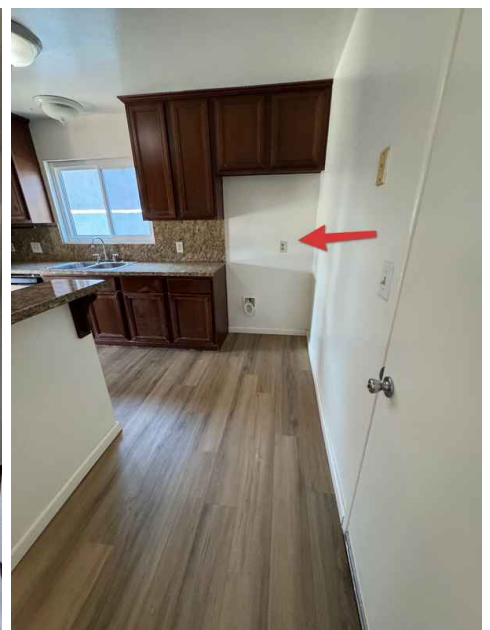
Example noted at Bedroom #3



Example noted at Bedroom #2



Example noted at Primary Bedroom



Example noted at Kitchen

4.9.1 GFCI & AFCI PROTECTION

**AFCI PROTECTION - UPGRADE RECOMMENDED**

MAIN PANEL AT LEFT SIDE OF HOME

This home did not appear to have adequate AFCI protection for all of the 15 and 20 amp circuits, as generally required by today's electrical safety standards. This is a newer requirement. An AFCI is typically a breaker, installed in the main panel, that detects electrical arcs. We recommend further evaluation by a licensed electrical contractor to determine repairs/upgrades possible to comply with today's electrical standards.

Recommendation

Contact a qualified electrical contractor.

4.9.2 GFCI & AFCI PROTECTION

**GFCI - UPGRADE/EXTERIOR RECEPTACLE ADDITIONS RECOMMENDED**

KITCHEN, GARAGE, LAUNDRY AREA, EXTERIOR

This home was built prior to the requirement for the installation of GFCI receptacles in certain locations throughout the home. The locations where GFCI protection is required has increased due to known safety hazards, however, it is not generally required to retrofit older homes unless a substantial remodel takes place. No exterior receptacles found, recommend adding as an upgrade to comply with today's electrical safety standards. I highly recommend a licensed electrical contractor further evaluate and upgrade all required receptacles, including but not limited to; receptacles located within 6 feet of a plumbing fixture, in the garage, all receptacles serving the kitchen counter top, laundry receptacle, and all exterior receptacles, to GFCI protected receptacles.

[Here is a link](#) to read about how GFCI receptacles keep you safe.

Recommendation

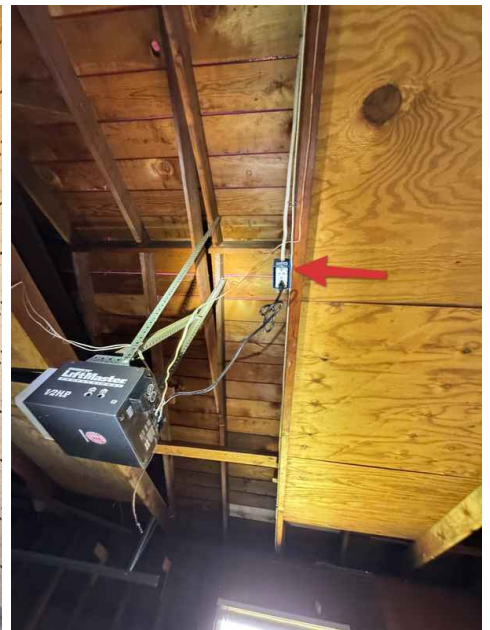
Contact a qualified electrical contractor.



Example noted at Garage Laundry Area



Example noted at Garage, Right Side facing outwards



Example noted at Garage



Example noted at Kitchen

4.9.3 GFCI & AFCI PROTECTION

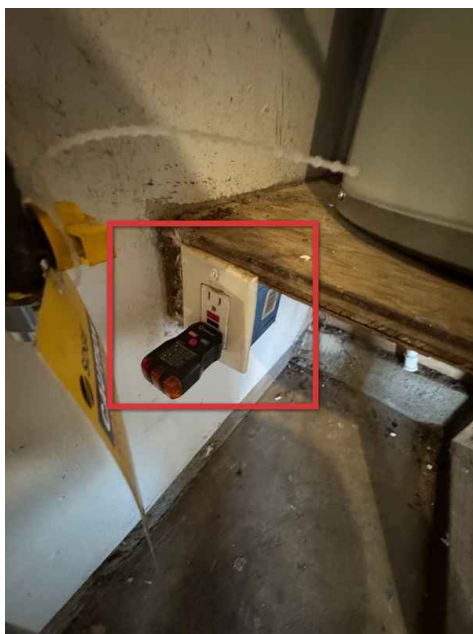
GFCI - NOT POWERED OR FUNCTIONAL

GARAGE

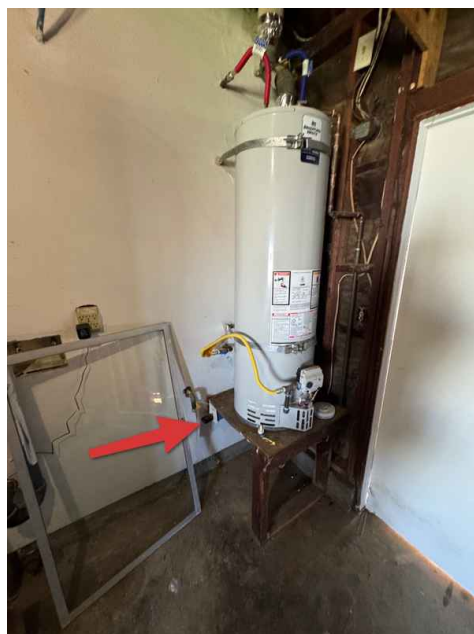
GFCI receptacle did not appear powered and did not test/reset or function properly using standard controls. Unable to determine cause, however, the receptacle also did not appear to have been installed by a licensed electrical contractor. Recommend further evaluation by a licensed electrical contractor to determine any repairs or replacement necessary at this time to ensure proper function and safety.

Recommendation

Contact a qualified electrical contractor.

**Safety Concerns**

Example noted



Example noted at Garage Rear

4.9.4 GFCI & AFCI PROTECTION

LIGHTS CONNECTED TO GFCI RECEPTACLES - A-TYPICAL WIRING

HALL BATHROOM, PRIMARY BATHROOM

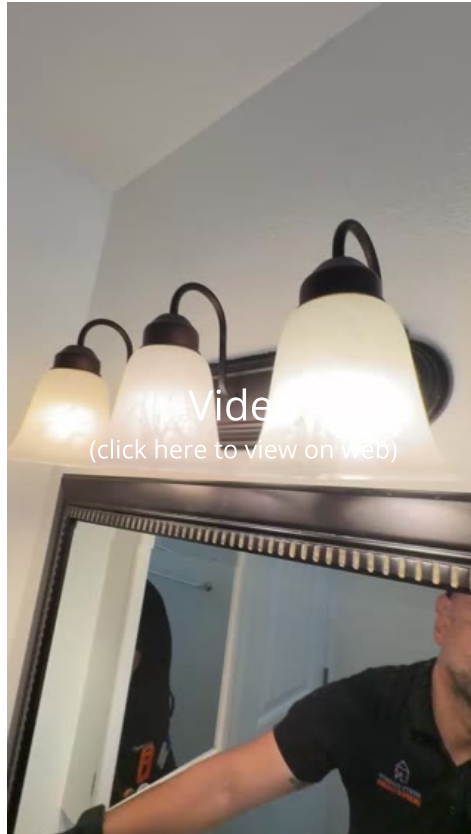
Lights noted connected to GFCI electrical receptacles. The light switches may also sometimes trip the GFCI receptacle. This may be considered a-typical or non-standard by today's electrical standards. It may also sometimes indicate electrical wiring that was not completed by a licensed electrical contractor. Recommend further evaluation by a licensed electrical contractor to determine any corrections as necessary at this time to comply with today's standards.

Recommendation

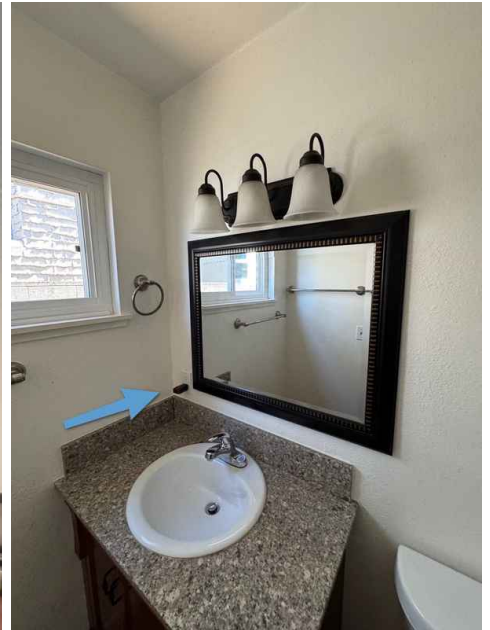
Contact a qualified electrical contractor.



Example noted at Hall Bathroom



Video shown at Hall Bathroom



Example noted at Primary Bathroom

4.9.5 GFCI & AFCI PROTECTION

GFCI DOES NOT RE-SET - ATYPICAL WIRING

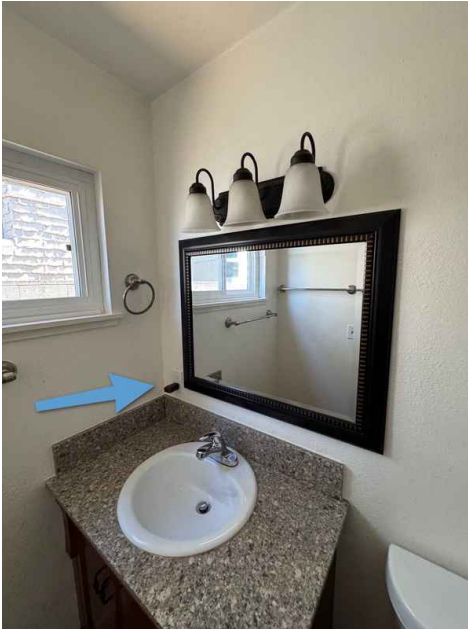
PRIMARY BATHROOM, HALL BATHROOM

The GFCI receptacle at the primary bathroom would not re-set when tested, even though it had a re-set button. The receptacle would only re-set once the hall bathroom GFCI was re-set. This may be considered a-typical or redundant and confusing to use. It may also sometimes indicate electrical wiring that was not completed by a licensed electrical contractor. Should the client have concerns, we recommend further evaluation by a licensed electrical contractor to determine any corrections possible at this time to comply with today's electrical standards.

Recommendation

Contact a qualified electrical contractor.





Primary Bathroom

4.10.1 EXTERIOR LIGHTING

EXTERIOR LIGHTS - LOOSE/NOT ADEQUATELY SEALED

EXTERIOR

Exterior light fixtures noted loose/not adequately sealed to the exterior walls in several locations around the home. This condition can become an electrical safety concern if the wiring becomes loose and/or if water enters in behind the fixtures. Recommend further evaluation of the exterior fixtures by a licensed electrical contractor to determine any repairs necessary.

Recommendation

Contact a qualified electrical contractor.



Example noted at Rear of Home



Example noted at Right Side of Home



Example noted at Front Entry, loose

4.11.1 SMOKE DETECTORS

 Safety Concerns

SMOKE DETECTORS - MISSING/INOPERABLE

PRIMARY BEDROOM, BEDROOM #2, BEDROOM #3

Smoke detectors did not appear to be installed in the required locations, in bedrooms, and one or more units appeared inoperable when tested using test button at time of inspection. Aged units should be replaced. Recommend a qualified person install smoke detectors where necessary to comply with today's safety standards. You can view more information [here](#).

Recommendation
Contact a qualified professional.

Code Check

Smoke & CO Alarm Locations

CO Alarms & Detectors

18 IRC

- ☐ Req'd outside each separate sleeping area **A** 315.3
- ☐ Req'd in bedroom or attached bath w/ fuel-burning device **B** 315.3
- ☐ Alarms must comply w/ NFPA 72 & be listed to UL 217 314.1
- ☐ Req'd in each sleeping room & outside in immediate vicinity **C** 314.3
- ☐ Min 3 ft. from door to bath w/ tub or shower if no conflict w/ above **D** 314.3
- ☐ Min 3 ft. from forced-air outlet or tip of ceiling paddle fan blade **E** 314.1
- ☐ Photoelectric min 6 ft. from permanently installed cooking appliance **F** 314.3.1
- ☐ Ionization min 20 ft. from cooking, 10 ft. OK w/ hush button **F** 314.3.1

Smoke & CO Alarm Locations



Example noted at Bedroom #3, inoperable

4.12.1 CARBON MONOXIDE (CO) ALARMS

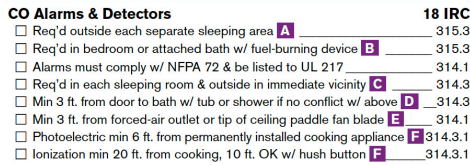
 Attention Items

CARBON MONOXIDE ALARM - IMPROPER LOCATION

HALLWAY

Carbon monoxide alarm(s) (or detector) effectiveness may be compromised due to location. Noted installed outside bedroom #3, which may be considered too far from the primary bedroom hallway location. Recommend adding an alarm and/or relocating according to today's safety standards. You can view more information [here](#).

Recommendation
Contact a qualified professional.



A photograph of a long, narrow hallway with white walls and a wooden floor. A smoke detector is mounted on the ceiling. A green arrow points left towards a doorway at the end of the hallway, and an orange arrow points right towards a wall.

5: INTERIORS

		IN	NI	NP	D
5.1	INTERIORS - GENERAL				X
5.2	CEILINGS				X
5.3	WALLS				X
5.4	WINDOWS (REPRESENTATIVE NUMBER)				X
5.5	DOORS (REPRESENTATIVE NUMBER)				X
5.6	CABINETS (REPRESENTATIVE NUMBER) & COUNTERS				X
5.7	SHOWER ENCLOSURES/BATHTUBS				X
5.8	STAIRWAYS, STEPS, BALCONIES & RAILINGS	X			
5.9	FLOOR COVERINGS				X
5.10	ATTIC				X
5.11	FIREWALLS	X			
5.12	ROOM ADDITIONS & MODIFICATIONS		X		X

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

Vinyl, Sliders, Double Pane, Retro-fit, Fixed, Single Pane, Aged

INTERIORS - GENERAL : Cabinet

Materials

Wood, Composite, Laminate,
Aged, Replaced

INTERIORS - GENERAL : Floor

Covering Materials

Vinyl, Replaced

ATTIC : Attic - General

Information

Attic Access Hatch

INTERIORS - GENERAL : Interiors - General Overview

The home inspector shall observe the **visually accessible areas** of the: walls, ceiling, and doors; steps, stairways, balconies, and railings; counters and **a representative number** of installed cabinets; and **a representative number** of doors and windows. The home inspector shall: operate **a representative number** of windows and interior doors; and report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.

The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and doors; carpeting; or draperies, blinds, or other window treatments.

Limitations

INTERIORS - GENERAL

INTERIOR LIMITATIONS - GENERAL

The interior of the home was inspected and reported on with the included information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve; moving furniture or personal belongings and/or inspecting behind furniture or personal belongings, moving or inspecting beneath area rugs, or any areas obstructed from readily accessible view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors or qualified professionals be used in your further evaluation and repairs as it relates to the comments in this inspection report.

INTERIORS - GENERAL

INTERIOR LIMITATIONS - CONCEALED DAMAGE OR DEFECTS

Please note: Determining if any type of concealed damage or defects exist, including, but not limited to; the presence of organic growths, moisture damage or wood rot concealed behind wall, door and ceiling coverings or in any area not readily visible at the time of the inspection is beyond the scope of this inspection. If you are concerned or believe that these conditions may exist in a non-visible or concealed area, we highly recommend that you have this home further examined by a licensed contractor or qualified environmental hygienist.

INTERIORS - GENERAL

PERSONAL PROPERTY LIMITATION - INTERIORS

Due to personal property items in the home, not all areas were visible at the time of the inspection. The inspector was unable to view or inspect all of the wall, floor, door, counter/cabinet and/or ceiling surfaces and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may be applicable.

INTERIORS - GENERAL

POSSIBLE ASBESTOS MATERIALS - NOT DETERMINED

Acoustic texture material sometimes used in residential construction from the late 1940's into the 1980's was known to contain asbestos, which can lead to health and safety concerns, if present. Verifying the presence of asbestos requires specialized testing, which is beyond the scope of this home inspection. Determining the presence of asbestos material is beyond the scope of this general home inspection. Should the client have concerns, a licensed environmental contractor or asbestos abatement company should be consulted to further evaluate and to determine if any measures are recommended at this time.

WINDOWS (REPRESENTATIVE NUMBER)

DOUBLE-PANE WINDOW INSPECTION LIMITATION

Please be aware that failed or defective seals in double pane (insulated) glass windows are not always observable. Depending on ambient conditions at the time of the inspection, such as humidity and air temperatures, and/or if the windows are dirty at the time of the inspection, moisture between panes of glass with a failed seal may not be visible. Note: Our inspectors make every effort to inspect readily accessible windows, however, as per the InterNACHI Standards of Practice, home inspectors are not required to, or may not be able to, disclose the exact condition of every window in the home. This inspection is also in no way a warranty or guarantee of any kind regarding the integrity of the windows. Windows are reported on as they were noted at the time of the inspection only, seals can fail at any time and this is not an assessment of how the windows may perform in the future. Recommend inquiring with the seller regarding any information or warranty relating to the windows, if applicable. Also, should the client have any concerns regarding the windows, a licensed window contractor should be consulted to further evaluate all the windows in the home to determine if latent defects exist.

WINDOWS (REPRESENTATIVE NUMBER)

RETROFIT WINDOW INSPECTION LIMITATION

Some, or all, windows in the home did not appear to be original, or appeared to have been upgraded/replaced. Please be aware that this inspection is in no way a warranty or guarantee of any kind regarding the integrity of the windows. Windows are reported on as they were noted at the time of the inspection only, seals can fail at any time and this is not an assessment of the quality of installation, or of how the windows may perform in the future. Recommend inquiring with the seller regarding any information or warranty relating to the windows, if applicable. Also, should the client have any concerns regarding the windows, a licensed window contractor should be consulted to further evaluate all the windows in the home to determine they were properly installed, or if latent defects exist.

WINDOWS (REPRESENTATIVE NUMBER)

WINDOW COVERINGS - NOT INSPECTED

Window coverings are not inspected as doing so is outside the scope of this standard home inspection.

WINDOWS (REPRESENTATIVE NUMBER)

DIRTY WINDOWS - LIMITED DUAL PANE GLASS INSPECTION

Windows did not appear fully clean at the time of inspection. This condition limited my inspection of the dual pane window glass. Also, condensation between the glass window panes may only be visible depending on different factors, such as; relative humidity and temperature. Verifying if windows are fogged (failed seals) may require specialized testing by a qualified professional. Once the windows are fully cleaned, we recommend further inspection of all windows by a licensed window contractor to determine if any latent defects exist.

CABINETS (REPRESENTATIVE NUMBER) & COUNTERS

PERSONAL PROPERTY LIMITATION - CABINETS/COUNTERS

Due to personal property and/or cleaning/hygiene products, not all cabinet and/or counter areas were visible at the time of the inspection. The inspector was unable to view or inspect all the cabinets, counters and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable area. Please be aware that a re-inspection fee may be applicable.

SHOWER ENCLOSURES/BATHTUBS

SHOWER PAN - LIMITED EVALUATION

Our inspectors evaluation of the shower pan(s) is very limited. Our company does not do any specialized testing of the water proofing of the shower enclosures and will only report on what is readily visible at the walls and floors, leaks and hidden damage (such as organic mold) can, and may, exist beyond the surfaces in the home and determining this is beyond the scope of this home inspection. Our test of the shower (or bathtub) enclosures is limited to running water from the shower and looking for obvious signs of leaks at the walls and floors. Consult a licensed contractor for further evaluation, should the client have concerns.

FLOOR COVERINGS

PERSONAL PROPERTY LIMITATION - FLOORS/INTERIORS

Due to personal property items in the home, not all areas were visible at the time of the inspection. The inspector was unable to view or inspect all of the wall, floor, door and/or ceiling surfaces and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may be applicable.

ATTIC

ATTIC - NOT FULLY ACCESSIBLE

Due to the roof structure, framing members, insulation, forced air handling and/or other components, some areas of the attic space were not accessible or visible at the time of the inspection. These areas could not be fully inspected.

FIREWALLS

GARAGE FIREWALL VOIDS

Please see garage section for firewall voids noted in garage.

ROOM ADDITIONS & MODIFICATIONS

STRUCTURE ADDITIONS/MODIFICATIONS LIMITATION

Determining if additions or modifications exist and/or were completed by a licensed contractor, and if any required permits exist, is beyond the scope of this general home inspection. Recommend inquiring with the seller for any information regarding additions or modifications made to the home/structure. If information is not available, you may wish to inquire with the local city office having jurisdiction regarding this property.

Note: Home inspectors do not determine property lines or boundaries.

Discovery items

5.1.1 INTERIORS - GENERAL

**RECENTLY PAINTED/TEXTURED INTERIOR**

The interior of the home appeared to have been recently painted/textured at several locations. This is for your information. Note: Recent or fresh paint can sometimes conceal recent repairs and/or possible defects. Determining if latent defects exist is beyond the scope of this inspection. Recommend inquiring with the seller regarding any applicable information, should the client have any concerns.

Recommendation

Contact a qualified professional.

5.1.2 INTERIORS - GENERAL

**ACOUSTIC TEXTURE "POPCORN" AT CEILINGS/WALLS**

DINING ROOM, HALLWAY, PRIMARY BEDROOM, BEDROOM #2, BEDROOM #3

Acoustic texture, often called "popcorn", was noted at the ceilings and utility closet walls. Some of the acoustic texture material used in residential construction from the late 1940's into the 1980's was known to contain asbestos, which can lead to health and safety concerns, if present. Verifying the presence of asbestos requires specialized testing, which is beyond the scope of this home inspection. This material appeared aged throughout the home and was noted deteriorating in areas, this condition may release the fibers into the air, which can be a potential health and safety hazard. Recommend a licensed environmental contractor or asbestos abatement company be consulted to further evaluate and to determine any measures recommended at this time.

Recommendation

Contact a qualified professional.



Example of damage noted



Example noted at Hallway Utility Closet



Example noted

5.1.3 INTERIORS - GENERAL

FAILING INTERIOR PAINT - LEAD PAINT POSSIBLE

INTERIOR

Failing paint noted in several areas at the interior of the home. This home appears to have been built prior to 1978. Homes built before 1978 may contain lead-based paint. Lead from paint, paint chips, and dust can pose a health and safety hazard, if not managed properly. Recommend a qualified professional be consulted for further evaluation and to ensure proper health and safety measures are taken, particularly if the client chooses to remove or alter existing paint. Note: Sellers in the state of California are required to disclose any information regarding lead paint in a home. We recommend referring to the seller disclosures for any applicable information regarding the paint in this home.

Recommendation

Contact a qualified professional.



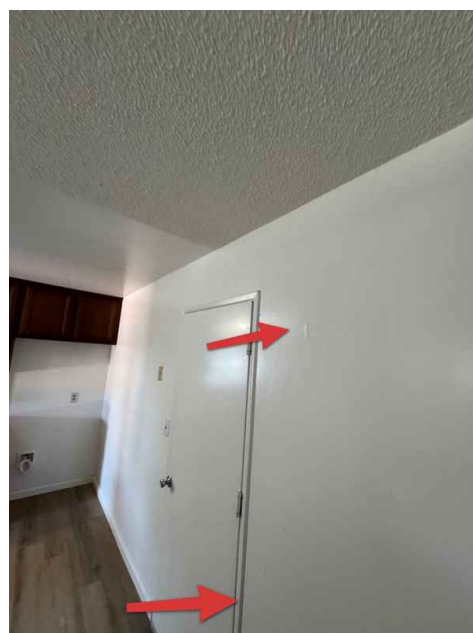
Safety Concerns



Example of failing paint noted



The area appeared to be dry



Example noted at Dining Room

5.2.1 CEILINGS

SETTLEMENT CRACKS - CEILINGS

EXAMPLE NOTED AT DINING ROOM, PRIMARY BEDROOM

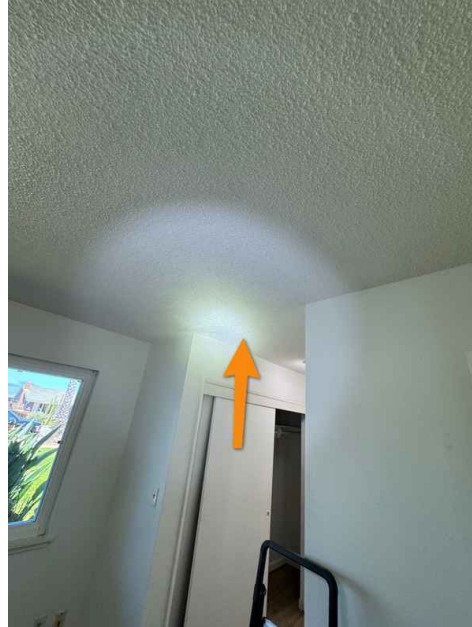
Settlement cracks noted at the ceilings in several locations. Settlement cracks may be considered common and are sometimes due to typical settlement of the structure. However, cracks are structural by nature and home inspectors do not determine the cause or severity of cracks, therefore we recommend further evaluation by a licensed general contractor to determine the cause and any repairs as necessary.

Recommendation

Contact a qualified general contractor.



Example noted at Dining Room



Example noted at Primary Bedroom

5.2.2 CEILINGS

MOISTURE DAMAGE/REPAIRS AT CEILINGS - DRY - PREVIOUS POSSIBLE LEAKS

EXAMPLE NOTED AT DINING ROOM, PRIMARY BATHROOM, LIVING ROOM

There appeared to be moisture staining and evidence of previous repairs noted at the ceiling in several locations. This condition is sometimes indicative of past roof and/or plumbing leaks. Due to a lack of recent heavy rain at time of inspection I am unable to determine if any roof leaks exist. The moisture damage and repairs at the bathrooms may be due to poor ventilation as there were no vent fans installed. The areas appeared dry. Determining the exact cause is outside the scope of this inspection. Recommend inquiring with the seller as to the cause, and for work receipts showing any repairs were completed by licensed professionals. I also recommend further evaluation by a licensed restoration contractor to determine the exact cause and if latent defects exist. Note: Determining if damage (such as mold growth) exists beyond the surfaces of the home is beyond the scope of this inspection.

Recommendation

Contact a qualified professional.

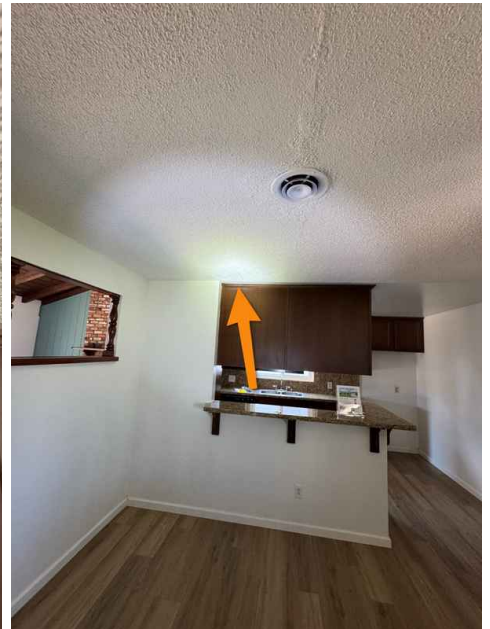




Example noted



The area appeared to be dry



Example noted at Dining Room



Example of repairs and staining noted at Living Room



Example of moisture damage noted



The area appeared to be dry



Example noted at Primary Bathroom Above Shower

5.2.3 CEILINGS

PREVIOUS REPAIRS AT CEILINGS - HOOKS INSTALLED

EXAMPLE NOTED AT KITCHEN, PRIMARY BATHROOM, DINING ROOM

Patching and/or evidence of previous possible repairs noted at the ceiling in one or more locations. Determining the cause is outside the scope of this inspection. Recommend asking the seller for any information regarding any previous repairs. Consult a qualified professional for further evaluation as necessary. Hooks also noted installed at the ceilings in several locations. These hooks should be tested by a qualified person prior to use to ensure they are properly installed to bear weight.

Recommendation
Contact the seller for more info

 Observation Items



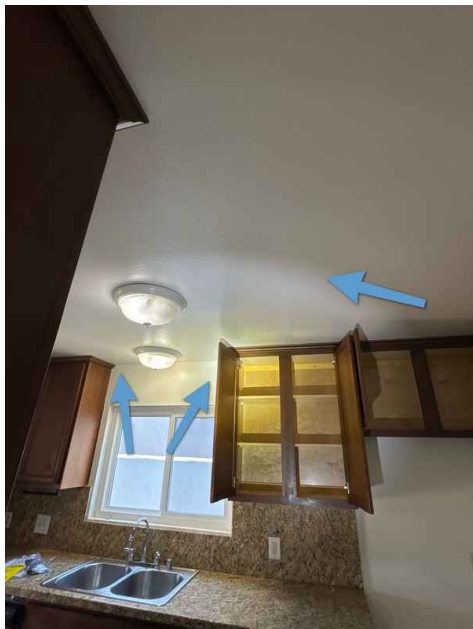
Example noted



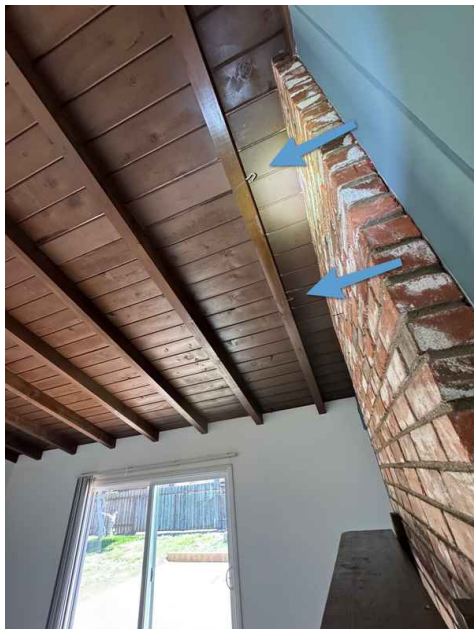
The area appeared to be dry



Example noted at Primary Bathroom Above Shower



Example noted at Kitchen



Example of hooks noted at Living Room

5.3.1 WALLS

SETTLEMENT CRACKS/REPAIRED CRACKS - WALLS

EXAMPLE NOTED AT LIVING ROOM, BEDROOM #3, PRIMARY BEDROOM, BEDROOM #2

Settlement cracks noted at the walls in several locations. There also appeared to be repaired cracks noted in several locations in the home. Recommend inquiring with the seller regarding any repairs. Settlement cracks may be considered common and are sometimes due to typical settlement of the structure. However, cracks are structural by nature and home inspectors do not determine the cause or severity of cracks, therefore we recommend further evaluation by a licensed general contractor to determine the cause and any repairs as necessary.

Recommendation

Contact a qualified general contractor.



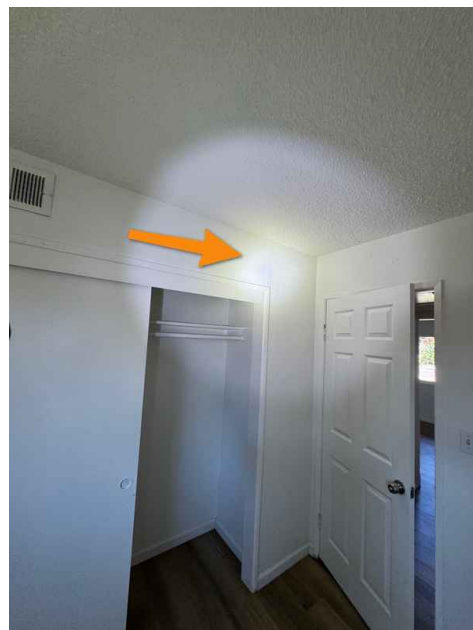
Attention Items



Example of crack noted



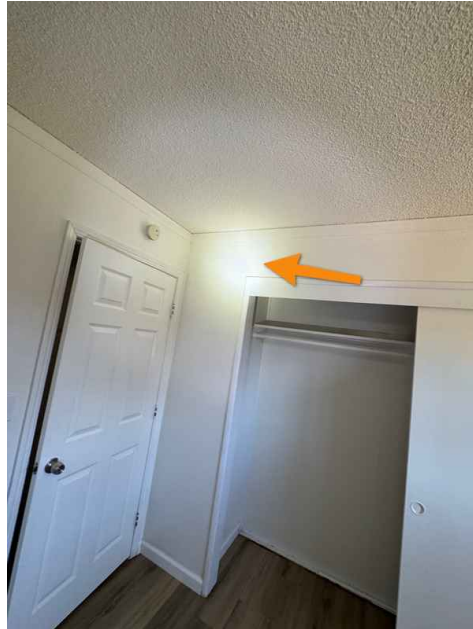
Example noted at Bedroom #2



Example noted at Bedroom #2



Example noted at Living Room



Example noted at Bedroom #3

5.3.2 WALLS

PREVIOUS REPAIRS - WALLS

EXAMPLE NOTED AT HALL BATHROOM, KITCHEN, LIVING ROOM, DINING ROOM, BEDROOM #2, BEDROOM #3, PRIMARY BEDROOM, PRIMARY BATHROOM

Mis-match paint and/or patching/evidence of previous repairs noted at the walls in areas. Determining the cause is outside the scope of this inspection. Should the client have concerns, we recommend asking the seller for any information regarding previous repairs, and/or further evaluation by a qualified professional as necessary.

Recommendation

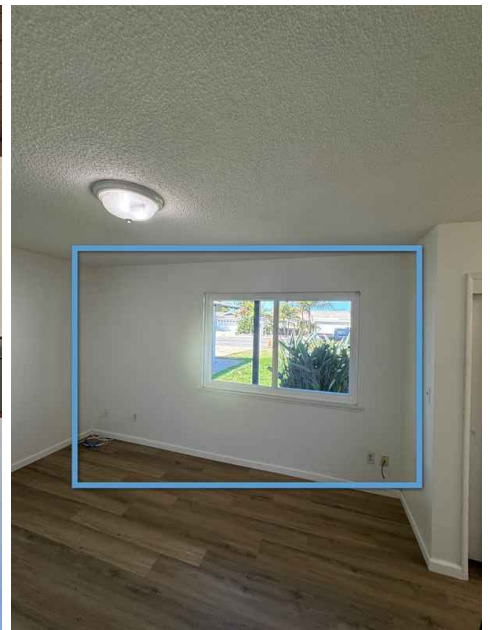
Contact a qualified professional.



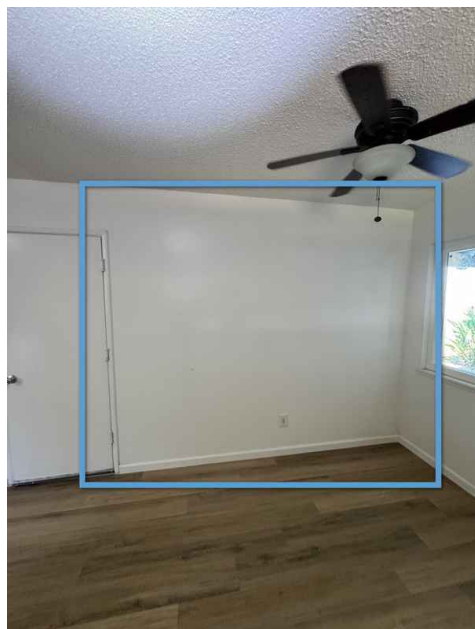
Example noted at Kitchen



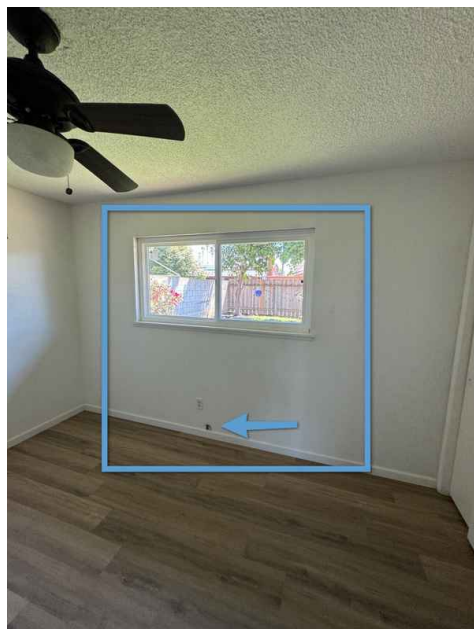
Example noted at Living Room



Example noted at Primary Bedroom



Example noted at Dining Room



Example noted at Bedroom #2



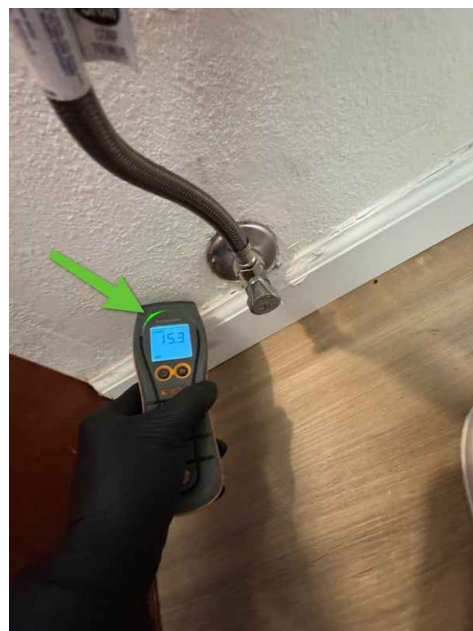
Example noted at Primary Bathroom



The area appeared to be dry



Example noted at Primary Bathroom



The area appeared to be dry

5.3.3 WALLS

MOISTURE AT WALL BY SHOWER/BATHTUB

HALL BATHROOM

Elevated levels of moisture detected at the wall/baseboard by the shower/bathtub at the bathroom(s). This is often the result of water spilling out of the shower/bathtub enclosure. This condition is conducive to moisture damage, such as mold growth. Recommend further evaluation by a licensed restoration contractor to verify cause and any repairs necessary. Note: Determining if damage (such as mold growth) exists beyond the surface is beyond the scope of this inspection.

Recommendation

Contact a qualified professional.





Elevated levels of moisture detected



Elevated levels of moisture detected



Hall Bathroom

5.3.4 WALLS

MOISTURE AT WALL - UNKNOWN CAUSE

KITCHEN, HALL BATHROOM, PRIMARY BATHROOM

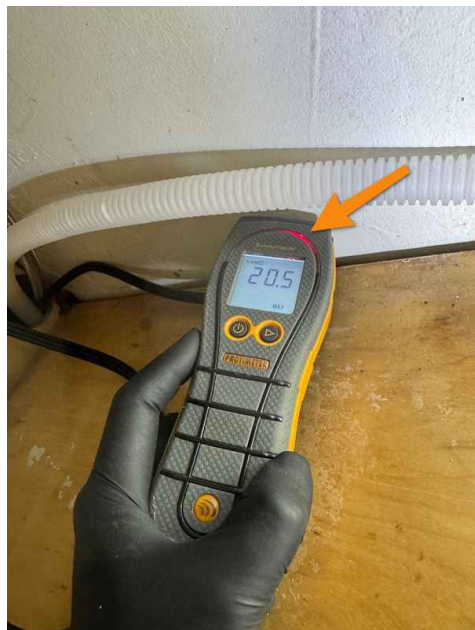
Elevated levels of moisture noted at the walls in several locations. Unable to determine the exact cause. This condition is conducive to moisture damage, such as mold growth. Recommend further evaluation by a licensed restoration contractor to determine the cause and any repairs necessary to forestall further damage. Note: Determining if damage (such as mold growth) exists beyond the surface is beyond the scope of this inspection.

Recommendation

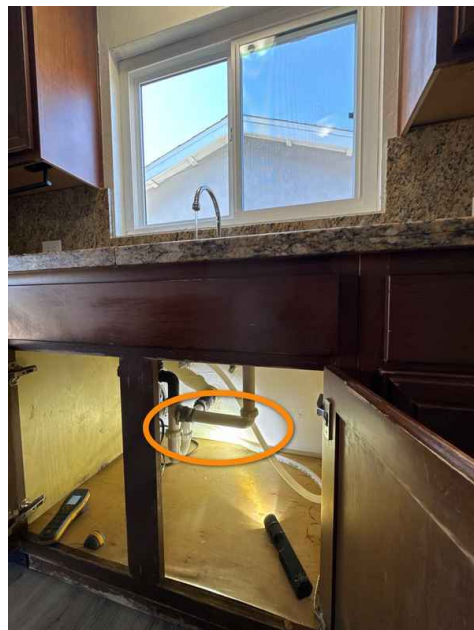
Contact a qualified professional.



Attention Items



Elevated levels of moisture detected



Kitchen, Inside Sink Cabinet



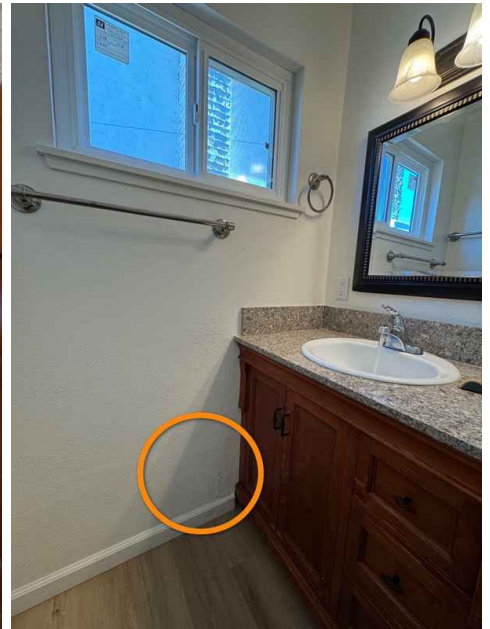
Elevated levels of moisture detected



Hall Bathroom, next to Toilet



Elevated levels of moisture detected



Hall Bathroom next to Sink Cabinet

5.3.5 WALLS

BOWED EFFECT AT WALL

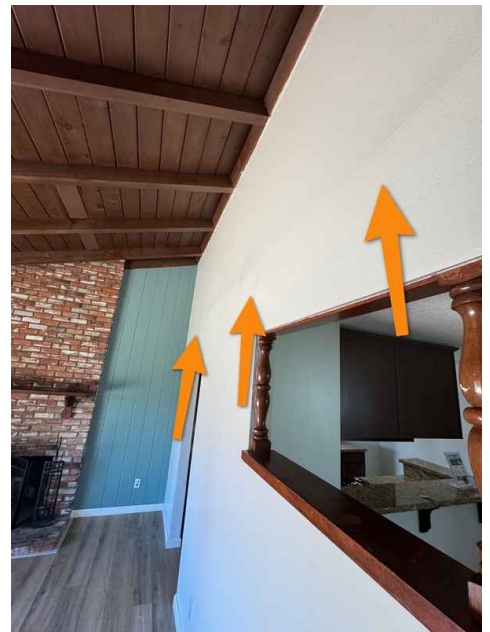
LIVING ROOM

There appeared to be a bowed effect at the wall in one or more locations. Determining the cause is outside the scope of this inspection. Recommend further evaluation by a licensed general contractor to determine the likely cause and/or if latent structural defects exist.

Recommendation

Contact a qualified general contractor.

Attention Items



Example noted at Living Room

5.3.6 WALLS

POSSIBLE ORGANIC GROWTH AT WALL - WET

HALL BATHROOM

Dark staining, possible organic growth (mold), noted at the wall in one or more location. An elevated level of moisture was also detected. Determining the cause and if any organic growth may be a health concern requires specialized testing, which is beyond the scope of this inspection. Recommend further evaluation by a licensed restoration contractor to determine the cause and any repairs necessary. I also recommend a licensed environmental contractor to further evaluate the area(s) to determine if additional measures are necessary at this time to ensure proper air quality in the home and for health and safety of any occupants.

Recommendation

Contact a qualified environmental contractor

Safety Concerns



Example noted



Elevated levels of moisture detected



Example noted at Hall Bathroom, Below Sink

5.4.1 WINDOWS (REPRESENTATIVE NUMBER)

WINDOW LOCK(S) DIFFICULT TO OPERATE - RETRO-FIT WINDOWS INSPECTION LIMITED

EXAMPLE NOTED AT BEDROOM #3

Window lock did not appear to function smoothly at one or more window locations. Recommend repair by a licensed window contractor. Note: The windows in the home were not original and as per conversation with the listing agent they upgraded/retro-fit, completed the day before this inspection. Please be aware that this inspection is in no way a warranty or guarantee of any kind regarding the integrity of the windows. Windows are reported on as they were noted at the time of the inspection only, seals can fail at any time and this is not an assessment of the quality of installation, or of how the windows may perform in the future. Recommend inquiring with the seller regarding any information or warranty relating to the windows, if applicable. Also, should the client have any concerns regarding the windows, a licensed window contractor should be consulted to further evaluate all the windows in the home to determine they were properly installed, or if latent defects exist.

Recommendation

Contact a qualified window repair/installation contractor.

Attention Items



Example noted at Bedroom #3, lock sticks

5.4.2 WINDOWS (REPRESENTATIVE NUMBER)

BEDROOM WINDOW EGRESS - HIGH

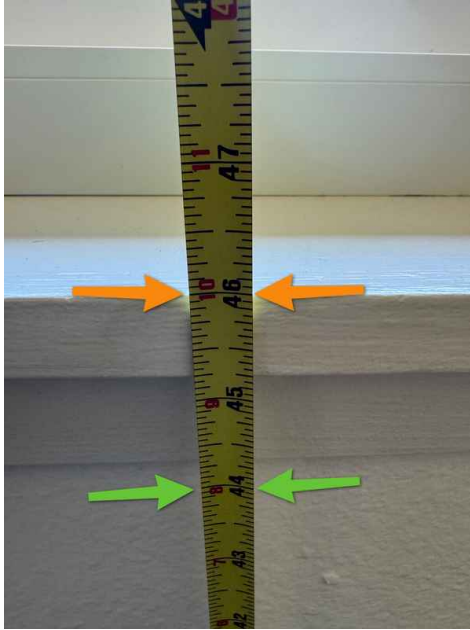
BEDROOM #2, BEDROOM #3

The window sill height at two bedrooms appeared to be too high for emergency egress by today's building standards. The max sill height should typically be 44" from the floor. This may have been acceptable at the time of original construction, and the seller is generally not required to update the windows. However, I recommend further evaluation by a licensed general contractor to determine any corrections possible to comply with today's building safety standards.

Attention Items

Recommendation

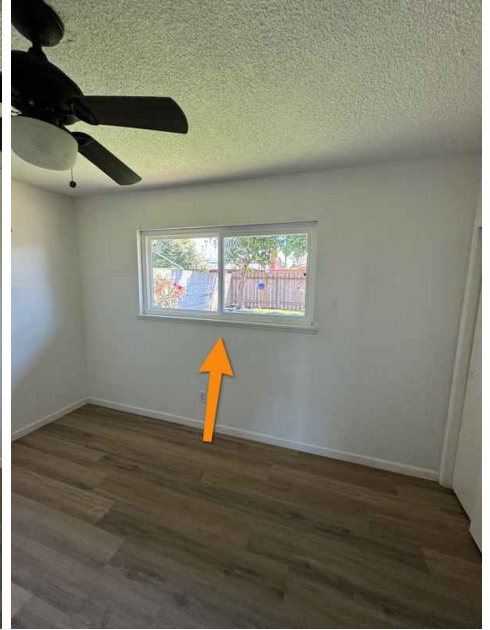
Contact a qualified general contractor.



Example noted



Bedroom #3



Bedroom #2

5.5.1 DOORS (REPRESENTATIVE NUMBER)

INTERIOR DOORS/DOOR HARDWARE REQUIRE FURTHER EVALUATION & REPAIR

EXAMPLE NOTED AT BEDROOM #3, BEDROOM #2, PRIMARY BEDROOM, PRIMARY BATHROOM

Loose door handles, Door stopper(s) missing/inadequate, Door lock installed on outside of room

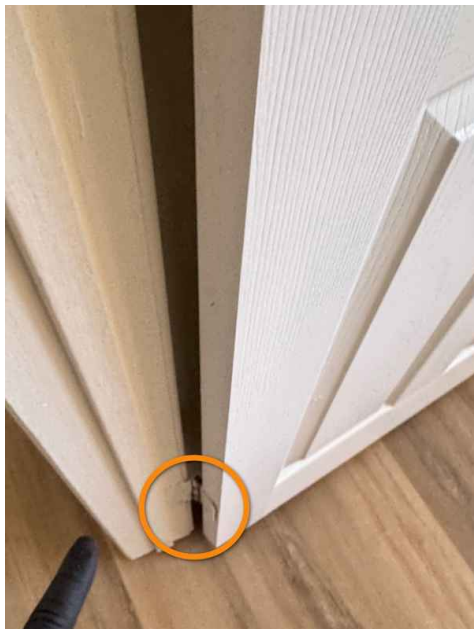
Interior doors/door hardware noted loose and or did not operate properly. Door lock noted installed at exterior side of bedroom, this condition may prevent egress in the case of a Door lock noted installed at exterior side of bedroom #3, this may prevent egress in the case of an emergency, if the door is locked from the exterior side. Door stoppers noted inadequate at most doors. Missing door stops at glass doors can lead to damage. Due to the Discovery Items listed here, I recommend further evaluation of the doors by a licensed door contractor and repair or replacement as necessary to ensure proper function.

Recommendation

Contact a qualified door repair/installation contractor.



Example noted at Bedroom #3, lock on exterior side



Example noted at Bedroom #3, loose hinge, missing stopper



Example noted at Bedroom #2, handle loose, missing stopper



Example noted at Primary Bedroom, loose handle



Example of damage noted, Primary Bathroom, stopper missing

5.5.2 DOORS (REPRESENTATIVE NUMBER)

CLOSET DOOR TRACKS MISSING - DAMAGE NOTED

PRIMARY BEDROOM, BEDROOM #3, BEDROOM #2

Closet door track(s) noted missing at the floor. This condition can allow the doors to swing when operated, which can be a potential pinching hazard. Damage also noted at the closet doors in areas. Recommend further evaluation by a qualified professional to determine repair or replacement necessary to ensure proper function.

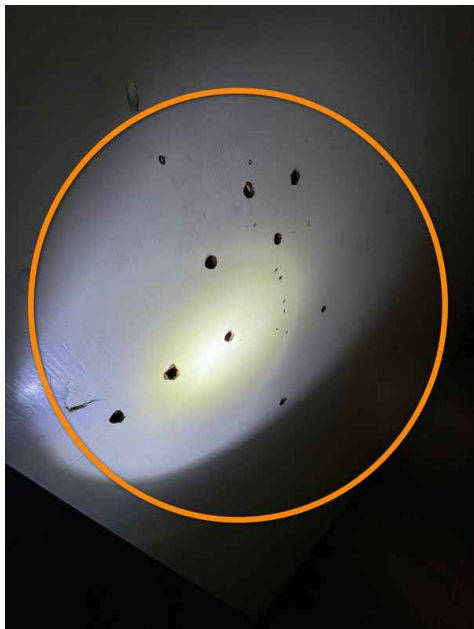
Recommendation

Contact a qualified professional.





Bedroom #2 Closet



Example of damage noted, Bedroom #2 Closet



Primary Bedroom Closet



Bedroom #3 Closet

5.6.1 CABINETS (REPRESENTATIVE NUMBER) & COUNTERS

MOISTURE STAINING/DAMAGE AT SINK CABINET(S) - DRY

EXAMPLE NOTED AT PRIMARY BATHROOM

Moisture damage/staining noted at the cabinet below one or more sinks. This condition can be indicative of a previous leak. The area(s) appeared dry at the time of the inspection. Recommend further evaluation by a licensed plumbing contractor and/or licensed termite inspector to determine any repairs necessary at this time. Note: Determining if hidden damage (such as organic growth) exists beyond the cabinets, walls, floors or other surfaces of the home is beyond the scope of this home inspection.

Recommendation

Contact a qualified plumbing contractor.

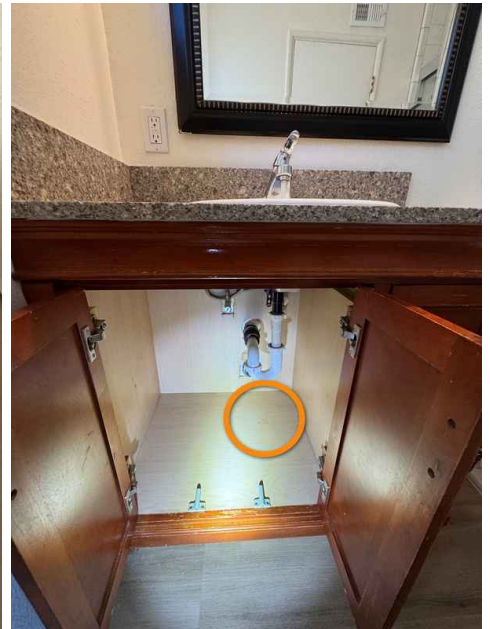




Example noted



The area appeared to be dry



Example noted at Primary Bathroom Sink Cabinet

5.6.2 CABINETS (REPRESENTATIVE NUMBER) & COUNTERS

CRACKED/CHIPPED COUNTERTOPS - MISSING GROUT

KITCHEN, PRIMARY BATHROOM

Cracking/chips noted at the countertop(s) in one or more areas. This can allow debris like food and bacteria to collect and prevent the countertop from being properly cleaned (or food-safe in kitchen). Missing or failing grout also noted at the countertop(s). Recommend further evaluation by a licensed countertop contractor to determine any repairs necessary at this time. The sinks and counters should be resealed as necessary by a qualified person.

Recommendation

Contact a qualified countertop contractor.



Example of cracking noted



Example noted at Kitchen



Example of missing grout noted



Example noted at Primary Bathroom Sink

5.6.3 CABINETS (REPRESENTATIVE NUMBER) & COUNTERS

Attention Items

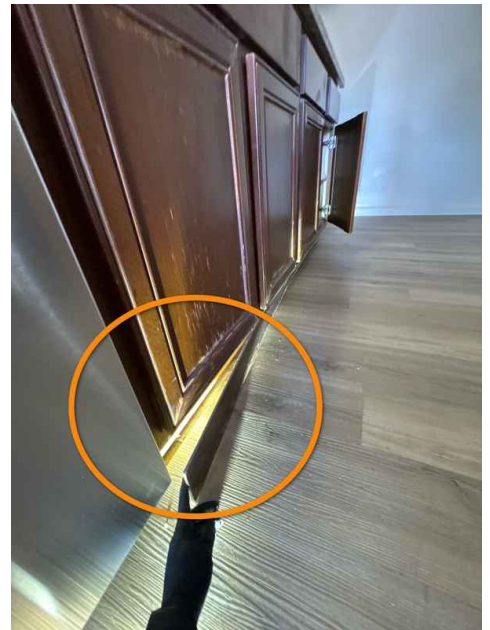
DAMAGE AT CABINETS

EXAMPLE NOTED AT KITCHEN

Damage noted at the cabinet(s) at time of inspection. Recommend a qualified cabinets contractor evaluate and repair as necessary at this time to ensure proper function.

Recommendation

Contact a qualified cabinet contractor.



Example noted at Kitchen Cabinet, Below Sink

5.6.4 CABINETS (REPRESENTATIVE NUMBER) & COUNTERS

Safety Concerns

POSSIBLE ORGANIC GROWTH AT SINK CABINET - WET

KITCHEN

Dark staining, possible organic growth (mold), noted in areas of the sink cabinet. An elevated level of moisture was also detected in the areas. This can be indicative of failing seals at the above sink counter, or it may indicate a leak at the sink plumbing. Determining the exact cause, and if any organic growth may be a health concern, requires specialized testing, which is beyond the scope of this inspection. Recommend further evaluation by a licensed restoration contractor to determine the cause and any repairs necessary. I also recommend a licensed environmental contractor to further evaluate the area(s) to determine if additional measures are necessary at this time to ensure proper air quality in the home and for health and safety of any occupants.

Recommendation

Contact a qualified environmental contractor



Example noted



Elevated levels of moisture detected



Elevated levels of moisture detected



Example noted



Elevated levels of moisture detected



Example noted at Kitchen Sink

5.7.1 SHOWER ENCLOSURES/BATHTUBS

RE-SEAL SHOWERS/TUBS

PRIMARY BATHROOM, HALL BATHROOM

Recommend the shower/tub enclosures, fixtures and floor to tub/shower junctions be cleaned and re-caulked/sealed by a qualified professional as necessary to prevent moisture intrusion beyond the tub and shower enclosure(s).

Recommendation

Contact a qualified professional.

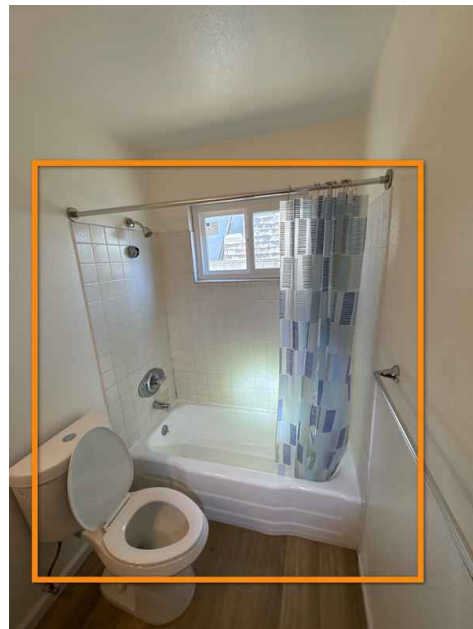




Example noted



Example noted



Half Bathroom Shower Bathtub



Example noted



Example noted at Primary Bathroom Shower

5.7.2 SHOWER ENCLOSURES/BATHTUBS

LOOSE/REPAIRED SHOWER TILE(S) - FAILING GROUT

HALL BATHROOM, PRIMARY BATHROOM

Loose tile(s) noted at the shower/tub surround at the bathroom(s). Repairs noted at the tile enclosure(s). Failing/cracked grout also noted at the enclosures. This condition is conducive to moisture intrusion/damage beyond the shower walls. Determining if the repairs are adequate is beyond the scope of this inspection. Recommend further evaluation by a licensed tile contractor to determine any repairs necessary to forestall further damage, or if latent defects exist. Inquire with the seller regarding any past repairs. Note: Determining if further damage or leaks exist beyond any surface is beyond the scope of this inspection.

Recommendation

Contact a qualified tile contractor

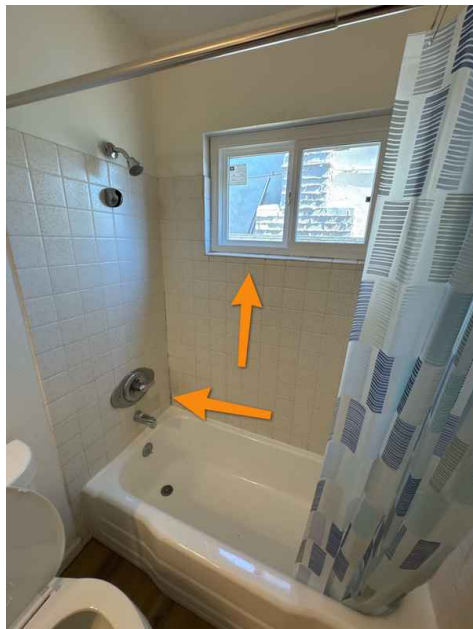




Example of loose tiles noted



Example of Repairs noted at Hall Bathroom Shower



Example noted at Hall Bathroom Shower



Example of failing grout noted



Example of Possible Repairs noted at Primary Bathroom Shower



Example noted at Primary Bathroom Shower

5.7.3 SHOWER ENCLOSURES/BATHTUBS



Attention Items

**GLASS SHOWER DOOR PANELS
MISSING TRACK - SAFETY GLASS NOT VERIFIED**

PRIMARY BATHROOM

Glass doors appeared loose and swing freely at the frame. This can lead to a pinching hazard and breakage, which can also be a potential injury concern. There did appear to be possible safety glass marking, however, I was not able to verify as it was faint and corrosion blocked my view. Recommend further evaluation and repair as necessary by a qualified professional, and to verify the panels are made of an approved safety glass.

Recommendation

Contact a qualified professional.



Primary Bathroom Shower

5.7.4 SHOWER ENCLOSURES/BATHTUBS

LOW WINDOW IN SHOWER ENCLOSURE

HALL BATHROOM

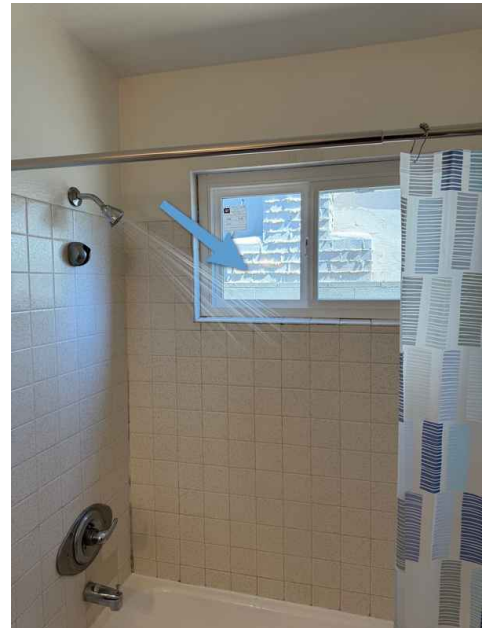
Window in the shower enclosure appeared to be installed too low by today's building standards. The shower sprays towards the window. Water intrusion beyond the window frame/wall remains a possibility when this condition exists. Recommend further evaluation by a licensed general contractor to determine if corrections are necessary at this time to comply with today's standards.

Recommendation

Contact a qualified general contractor.



Observation Items



Hall Bathroom Shower

5.9.1 FLOOR COVERINGS

FLOORING INADEQUATELY SECURED - UNWORKMANLIKE FINISH

EXAMPLE NOTED AT KITCHEN, HALL BATHROOM, PRIMARY BATHROOM, BEDROOM #3,

The installed flooring did not appear adequately secured in several locations, this condition can lead to flooring becoming loose or even damaged over time. This condition is also generally considered unworkmanlike finish, and can sometimes be indicative of work that was not completed by a licensed contractor. Recommend inquiring with the seller if any warranty exists for the replaced flooring installation, and/or further evaluation by a licensed flooring contractor to determine any corrections possible to ensure proper function.

Recommendation

Contact a qualified flooring contractor



Attention Items



Example noted



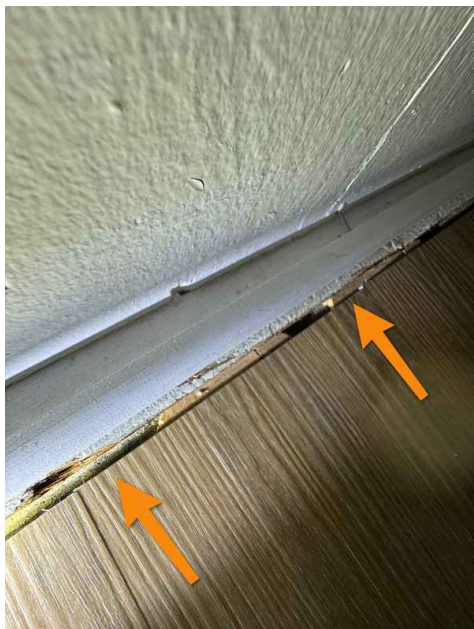
Example noted at Kitchen



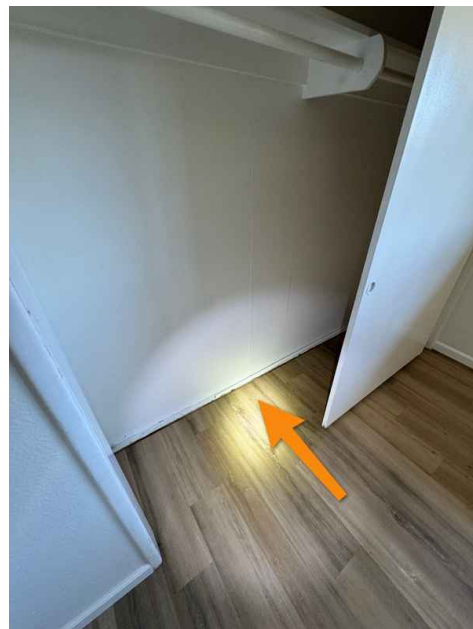
Example noted



Example noted at Kitchen



Example noted



Example noted at Bedroom #3

5.10.1 ATTIC

ATTIC COVER INADEQUATE - ATTIC NOT FULLY ACCESSIBLE

ATTIC, HALLWAY

The attic access cover did not appear adequately sized and/or did not seal the attic hatch. Recommend repair or replacement by a qualified professional to ensure a tight seal from the untreated attic space air to the home. Note: Due to the roof structure, framing members, insulation, storage items, forced air handling and/or other components, some areas of the attic space were not accessible or visible at the time of the inspection. These areas could not be fully inspected.

Recommendation

Contact a qualified professional.





Attic hatch, Hallway



Example noted at Attic



Example noted at Attic



Example noted at Attic

5.10.2 ATTIC

POSSIBLE WOOD BORING ORGANISM ACTIVITY/PEST NESTS IN ATTIC



ATTIC

They appeared to be pest nests noted in several areas of the attic space. Evidence of possible recent wood boring organism activity and/or moisture damaged wood also noted in the attic in several areas. The accessible areas appeared dry, however, this is a very limited test and due to a lack of recent heavy rain at time of inspection I am unable to determine if any roof leaks exist at this time. Recommend a licensed termite inspector or licensed pest control company be consulted to determine any preventative measures and/or repairs necessary. Note: Home inspectors are not licensed termite or pest inspectors and are therefore not qualified to verify the presence of termites or any pests, or to evaluate the extent of possible damage that may be the result of termites or other wood boring organism activity, please refer to the pest inspection report (if one exists).

Recommendation

Contact a qualified pest control specialist.



Example noted



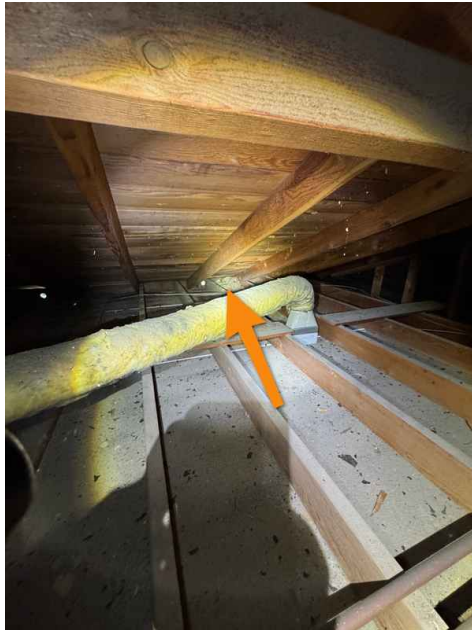
Example noted at Attic, Right Side



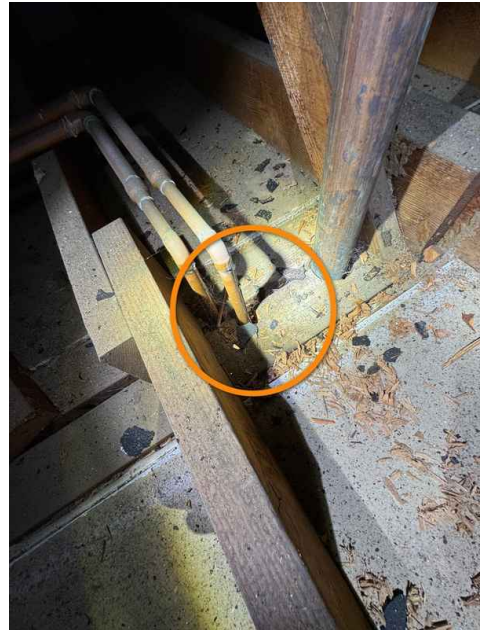
Example of pest nest noted



Example noted at Attic, Front



Example of pest nest noted at Attic, Front Left Side



Example of moisture damage noted at Attic, Above Bathrooms



The area appeared to be dry

5.12.1 ROOM ADDITIONS & MODIFICATIONS



Attention Items

POSSIBLE STRUCTURAL ADDITIONS OR MODIFICATIONS - NOT DETERMINED

EXAMPLE NOTED AT GARAGE, PRIMARY BEDROOM

The original structure appears to have been added to or possibly modified. Determining if any additions or modifications were completed by a licensed contractor, and/or if any required permits may exist, is beyond the scope of this general home inspection. Recommend inquiring with the seller for any information regarding additions or modifications made to the home/structure. If information is not available, we recommend you inquire with the local city office having jurisdiction regarding this property. We also recommend further evaluation by a licensed general contractor to determine if additional repairs are necessary at this time. Note: Home inspectors do not inspect for building codes, nor determine property lines or boundaries.

Recommendation

Contact a qualified professional.



Example noted at Garage

6: FIREPLACES & CHIMNEYS

		IN	NI	NP	D
6.1	FIREPLACES/CHIMNEYS - GENERAL	X			
6.2	FIREPLACES - FIREBOX & HEARTH				X
6.3	GAS/LP FIRE LOGS & CONTROLS			X	
6.4	CHIMNEYS - STRUCTURE, FLUES & VENTS				X

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

FIREPLACES/CHIMNEYS - GENERAL FIREPLACES/CHIMNEYS - GENERAL**: Type of Fireplace(s)**

Masonry, Wood/Solid Fuel
Burning

: Type of Chimney(s)

Masonry, Clay Liner, Partially
Visible

Limitations

FIREPLACES/CHIMNEYS - GENERAL

FIREPLACE/CHIMNEY - LIMITED INSPECTION

Your inspector made every effort to inspect the readily visible fireplace and chimney components at the time of the inspection, per the InterNACHI standards of practice. However, our inspection of the fireplace(s) and chimney(s) is very limited and should not be confused with a specialist's inspection or evaluation, which may reveal defects or issues that are beyond the scope of this standard home inspection. Most specialists consider our inspection of the fireplace/chimney less than a *Phase One* inspection, which is conducted by a licensed fireplace professional. Our inspectors do not determine; the type of fuel approved for use, proper construction methods (beyond the readily visible items as per InterNACHI SOP), proper installation of manufactured units, the draft/draw of any fireplace, nor turn gas valves or light any type of pilot light or flame when inspecting fireplaces. **Please be aware: Fireplaces and chimneys that are improperly installed, and/or not properly maintained, can pose a potential fire safety hazard, therefore, we strongly recommend you consult a licensed fireplace/chimney contractor and/or the local gas provider company for further evaluation prior to using the fireplace(s) installed in the home.** Fireplaces and chimneys should also be cleaned and inspected on a regular basis (per manufacturer/installer recommendations) by a licensed fireplace/chimney contractor to ensure continued proper function and safety.

CHIMNEYS - STRUCTURE, FLUES & VENTS

CHIMNEY LINERS - NOT VISIBLE

Chimney liners are not fully visible and are therefore not fully inspected by our company, as a full inspection of the chimney and liner would require the use of specialized equipment that is beyond the scope of this standard home inspection. Therefore our review of the chimney and liner is very limited. It is highly recommended you have a licensed chimney sweep clean and inspect the chimney and liner for safety, prior to using the fireplace, as they may discover defects and damage not readily visible that may pose a significant safety concern when the fireplace is used.

Discovery items

6.2.1 FIREPLACES - FIREBOX & HEARTH

CRACKS AT FIREBOX - SOLID FUEL FIREPLACE MISSING SCREEN/DRAW NOT VERIFIED



LIVING ROOM FIREPLACE

Cracking and/or gaps noted in the firebox at the fireplace. This can be a fire safety concern. The solid/wood burning fireplace was also noted missing a permanently installed screen. A installed screen cover is generally required to prevent embers from escaping the fireplace. Loose brick(s) noted at hearth extension. Our company does not inspect the shape or design of any fireplace to determine if it has proper drafting/air draw. Recommend the fireplace be further evaluated by a licensed fireplace contractor to determine proper air draw at the fireplace and any repairs or replacement as necessary, prior to using the fireplace.

Recommendation

Contact a qualified fireplace contractor.



Example of cracking noted



Example noted at Living Room Fireplace, missing permanent screen



Example of loose brick noted at Fireplace

6.4.1 CHIMNEYS - STRUCTURE, FLUES & VENTS

CRACKS IN CHIMNEY STRUCTURE - CREOSOTE NOTED

CHIMNEY, FIREPLACE

Cracks/separation noted in multiple areas of the chimney structure and at chimney crown/cap. Missing and failing mortar noted. Determining the extent of the damage is beyond the scope of this inspection. There also appeared to be creosote noted at the liner/firebox inside the chimney and fireplace. This can lead to a fire/carbon monoxide health and safety hazard. This condition also prevented me from fully inspecting the chimney and firebox. Recommend further evaluation by a licensed chimney contractor, prior to using the fireplace, to determine any repairs necessary for safe function.

Recommendation

Contact a qualified chimney contractor.



Safety Concerns



Example of cracking noted, Right Side of Home



Example noted at Chimney, Right Side of Home



Example of cracking noted, Rear Roof



Example of cracking noted



Example of missing mortar noted, Rear Roof



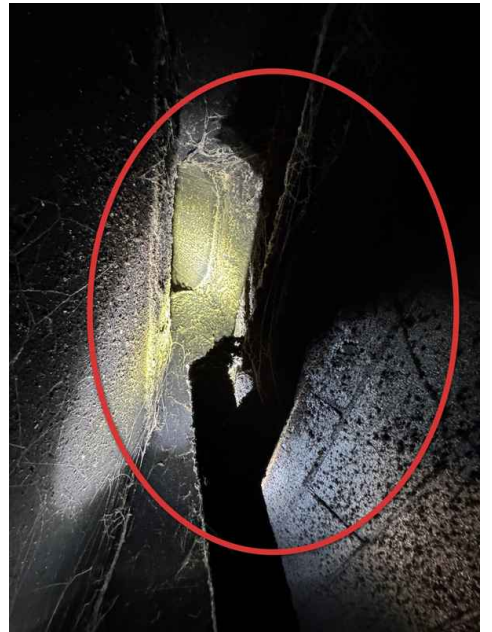
Example of cracking at crown noted



Example noted at Chimney, Rear Right Side Roof



Example of damage noted, Rear Right Side of Home



Creosote visible Inside Fireplace, Chimney

7: HEATING & CENTRAL AIR CONDITIONING SYSTEMS

		IN	NI	NP	D
7.1	HEATING SYSTEMS - GENERAL	X			
7.2	HEATING EQUIPMENT				X
7.3	FURNACE FLUES				X
7.4	NORMAL OPERATING CONTROLS	X			
7.5	PRESENCE OF INSTALLED HEAT SOURCE IN EACH ROOM	X			
7.6	AIR REGISTERS, COMPARTMENTS & FILTERS				X
7.7	DUCTS & SUPPORTS				X
7.8	COOLING EQUIPMENT			X	
7.9	PRESENCE OF INSTALLED COOLING IN HOME			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

HEATING SYSTEMS - GENERAL :
Number of Heating Systems
(Excluding Solid Burning Fuel)
 One

HEATING SYSTEMS - GENERAL :
Heating Equipment
Manufacturer
 Rheem

HEATING SYSTEMS - GENERAL :
Standard Operating Controls -
Type
 Thermostat, Digital, Aged

HEATING SYSTEMS - GENERAL :
Heating Equipment Type
 Replaced, Upright Furnace, Forced
 Air, Upflow, Aging

HEATING SYSTEMS - GENERAL :
Automatic Safety Controls
 Blower Door Switch

HEATING SYSTEMS - GENERAL :
Heating Controls Location
 Hallway

HEATING SYSTEMS - GENERAL :
Heating Equipment Energy
Source
 Natural Gas

HEATING SYSTEMS - GENERAL :
Filter Type
 Washable, Needs Replacement

HEATING SYSTEMS - GENERAL :
Number of Wood Stoves
 None

HEATING EQUIPMENT : Heater

Location and Images

Hallway Utility Closet

Location and picture of heater.



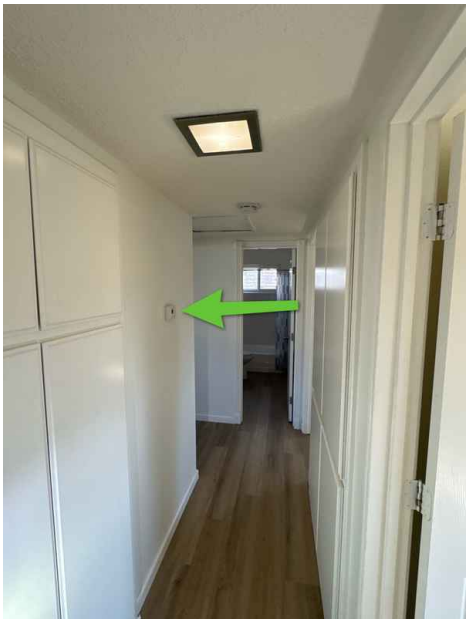
HVAC Unit

NORMAL OPERATING CONTROLS : PRESENCE OF INSTALLED HEAT

Thermostat/Heater Control

Location(s) and Images

Picture(s) of thermostat/heater control.



Hallway

SOURCE IN EACH ROOM :

Installed Heat Source In Each Room

Supply Air Registers, Return Air Register(s), In the walls

Ductwork Type

Metal, Insulated, Possible

Asbestos Material, Aged, where visible

Number of Air Conditioning Systems

No AC installed in the home

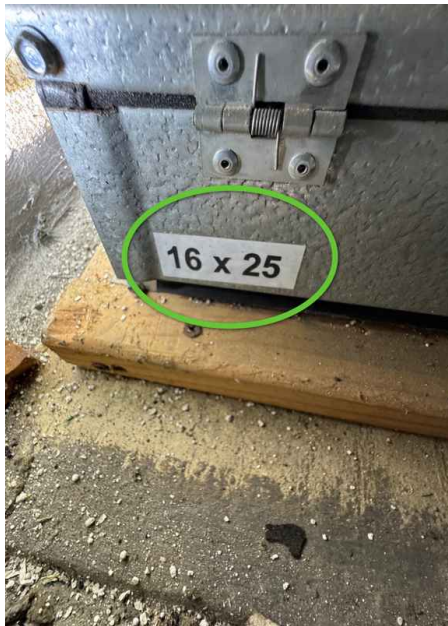
HEATING SYSTEMS - GENERAL : Heating & Central Cooling System - General Information

The home inspector shall observe permanently installed heating and cooling systems including: Heating and cooling Equipment permanently installed and that is central to home; normal operating controls; automatic safety controls (if readily visible); chimneys, flues, and vents, where readily visible; solid fuel heating devices; heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; operate automatic safety controls; Ignite or extinguish solid fuel fires; or observe: The interior of flues; fireplace insert flue connections; humidifiers; electronic air filters; or the uniformity or adequacy of heat supply to the various rooms.

AIR REGISTERS, COMPARTMENTS & FILTERS: HVAC Filter Size/Type Found in Use

HVAC Unit

Picture of HVAC filter size and/or type found in use at time of inspection. Replace/clean filter prior to use. Filter size and type recommended by manufacturer not verified by our company. This is for your information only.



Filter size

PRESENCE OF INSTALLED COOLING IN HOME : No Central AC Installed

This home does not appear to have a central air conditioning system installed. This is for your information only.

Limitations

HEATING SYSTEMS - GENERAL

HEATING & COOLING SYSTEM INSPECTION LIMITATIONS

The heating and cooling system of this home was inspected and reported on with the included information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service doors or dismantling that would otherwise reveal something only a licensed heating and cooling contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

HEATING SYSTEMS - GENERAL

HEATING & COOLING DISTRIBUTION SYSTEM LIMITATIONS

Please note: due to wall and floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. It is advisable to have the HVAC distribution system further explored by a licensed HVAC contractor, prior to using the system, to determine if any latent defects exist.

FURNACE FLUES

FURNACE FLUES - LIMITED INSPECTION

Furnace flues are not fully visible and are therefore not fully inspected by our company. Our review of furnace flues and its connectors is very limited. It is highly recommended to have a licensed HVAC contractor inspect all flues for safety.

HVAC DISTRIBUTION - GENERAL

HVAC DUCTING - INSPECTION LIMITATIONS

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. It is advisable to have the HVAC distribution system further explored by a licensed HVAC contractor to determine if any latent defects exist.

Discovery items

7.2.1 HEATING EQUIPMENT

AGING FURNACE PRODUCED HEAT - NOISY WHEN OPERATED - MISSING GAS SEDIMENT TRAP



HALLWAY UTILITY CLOSET

Replaced unit - Inquire with seller for work receipts, Missing or improper gas sediment trap, Furnace interior requires cleaning, Aging unit - 15+ years

The furnace appeared to produce heat when tested using standard controls. However, the unit is aging and appeared noisy when turned on, often indicative of aged components. There did not appear to be a gas sediment trap installed as required. The unit also does not appear original to the home. Recommend further evaluation and repair as necessary by a licensed HVAC contractor, also, recommend inquiring with the seller for documentation showing the unit was installed by a qualified professional according to manufacturer's requirements.

Recommendation

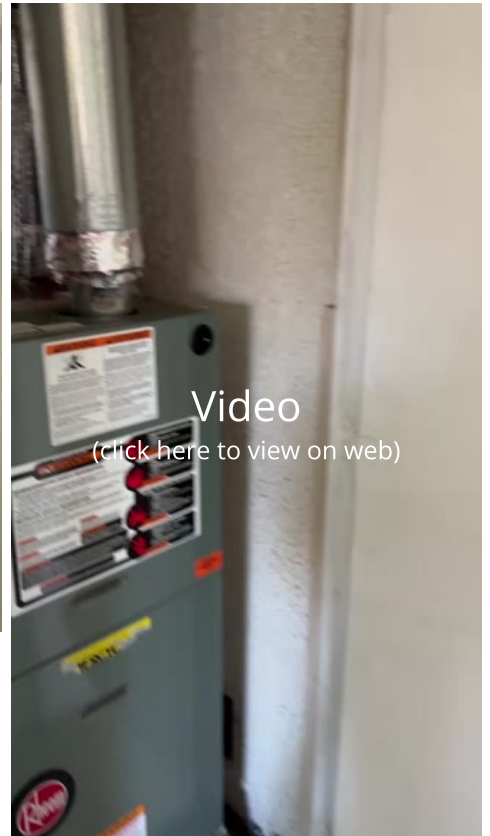
Contact a qualified heating and cooling contractor



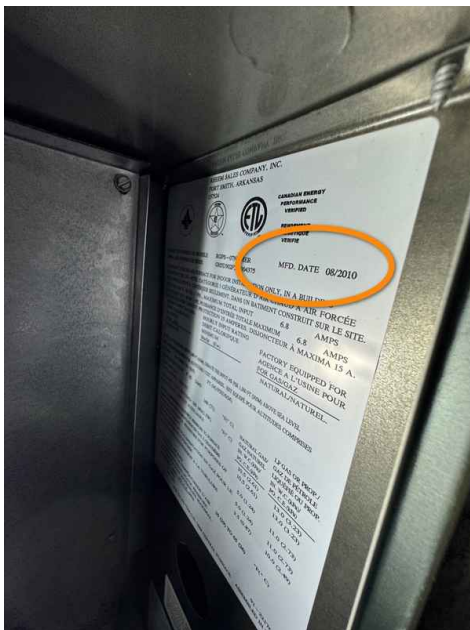
Thermal Image of heat



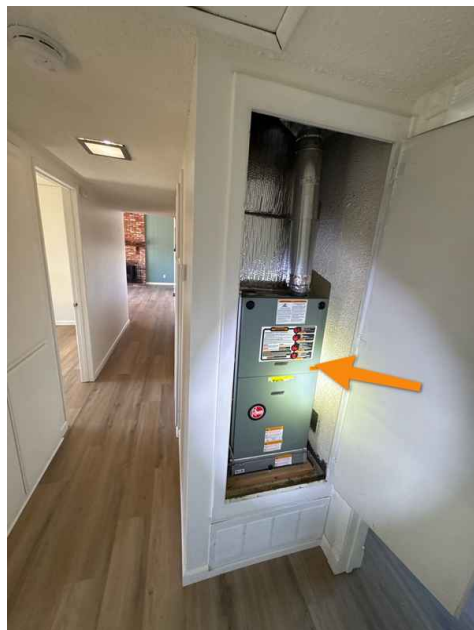
Missing Gas Sediment Trap



Video shown at furnace when turned on



Replaced/aging unit data plate, 2010, 15+ yrs.



HVAC Unit, Hallway Utility Closet

7.3.1 FURNACE FLUES

FURNACE FLUE - INADEQUATE CLEARANCE TO COMBUSTIBLES - MOISTURE STAINING NOTED

ATTIC



Safety Concerns

There appeared to be inadequate clearance from combustible materials noted at the furnace flue pipe in the attic. This condition can prove to be a fire safety concern. Typically, a double wall metal flue (Type B) requires a 2" clearance to combustibles, while a single wall metal vent requires a 6" clearance. Moisture stains also noted at the flue pipe. This condition can be indicative of previous roof leaks in this area. However, this can also be indicative of poor venting. Recommend further evaluation by a licensed HVAC contractor to determine any corrections necessary at this time for safety.

Recommendation

Contact a qualified heating and cooling contractor



Example noted at Attic, Above HVAC Unit



Example of moisture staining noted at flue in Attic

7.6.1 AIR REGISTERS, COMPARTMENTS & FILTERS

INADEQUATE SEAL AT RETURN AIR COMPARTMENT - CLEANING REQUIRED

HALLWAY UTILITY CLOSET

The furnace cabinet appeared to be inadequately sealed at the base/return air compartment. This condition can allow heated air to escape and also may be a carbon monoxide health and safety concern, if not corrected. Dirt/debris also noted in the return air compartment. Recommend further evaluation by a licensed HVAC contractor to determine any repairs necessary, and to clean/service the return.

Recommendation

Contact a qualified HVAC professional.





Example of inadequate seal noted



Dirt/Debris noted Inside return

Example noted Below HVAC Unit,
Hallway Utility Closet

7.7.1 DUCTS & SUPPORTS

DAMAGED INSULATION/DUCT TAPE AT AGED DUCTS

ATTIC, HALLWAY UTILITY CLOSET

Insulation around the air supply ducting was noted damaged in areas. Aged duct tape/seals noted at the ducts. Old style duct tape is no longer recommended for use at air ducts. This condition may be conducive to heat/energy loss and moisture related issues from warm air escaping the ducts. Condensation may develop on the uninsulated sections of the metal ducts, also leading to moisture related issues in the attic. The HVAC unit in this home appeared newer, however, the ducting in the home appeared aged. Generally, when an HVAC unit is replaced, or significant HVAC work has been completed (on or after October 1, 2005) then duct leakage testing is required. Recommend asking the seller for any duct testing reports, if any exist, and further evaluation and testing of the ducting in this home by a licensed HVAC contractor, to determine repairs or replacement as necessary to comply with today's HVAC standards.

Recommendation

Contact a qualified heating and cooling contractor



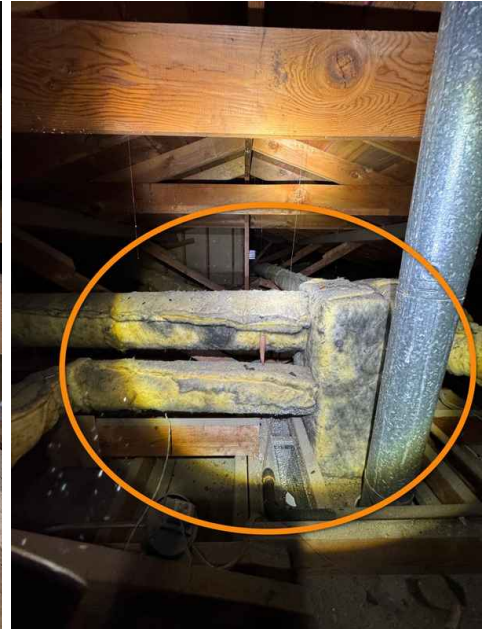
Attention Items



Example of damaged insulation noted, Attic



Example of aged duct tape noted at Attic



Example of shed ducting noted at Attic

7.7.2 DUCTS & SUPPORTS

POSSIBLE ASBESTOS MATERIAL AT AGED DUCTS

ATTIC

The air ducts appeared to be made of a material that may incorporate asbestos. Asbestos is known to be a possible health and safety hazard, especially if improperly handled or if it becomes damaged/friable. Only a licensed professional using specialized testing can confirm the presence of asbestos. Recommend further evaluation by a licensed environmental contractor or qualified professional to determine any corrective measures as necessary at this time for safety.

Recommendation

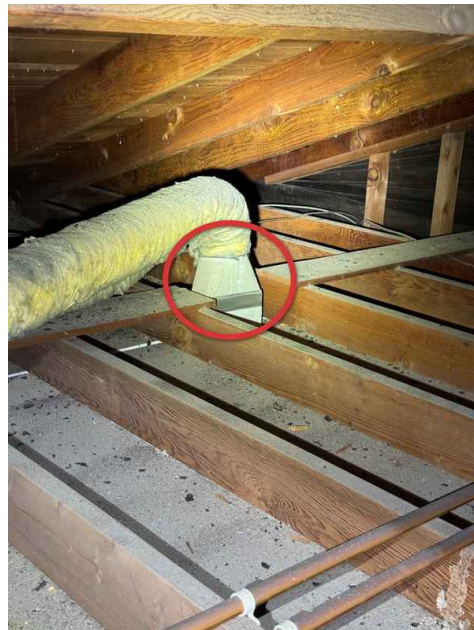
Contact a qualified environmental contractor



Safety Concerns



Example noted at Attic



Example noted at Attic

8: INSULATION & VENTILATION

		IN	NI	NP	D
8.1	ATTIC & FOUNDATION VENTS				X
8.2	ATTIC INSULATION			X	X
8.3	WALL INSULATION		X		
8.4	FLOOR INSULATION (BENEATH FLOORS)		X		
8.5	EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY				X

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

Building Ventilation

Roof Vents, Gable Vents, Garage Vents

Wall Insulation

Not Visible

Flooring Insulation

Not Visible

Exhaust Fans/Systems

Window(s) Only

Dryer Power Source

Natural Gas

Dryer Vent Duct

None Found

Attic Insulation

None Found, where visible

The attic insulation in the home appeared to be functioning as intended, unless otherwise noted below. Note: This is not a specialist evaluation to determine R-value or insulation rating.

Insulation General Information

The home inspector shall observe: Insulation and vapor retarders in unfinished spaces; ventilation of attics and foundation areas; kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fans, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and absence of insulation in unfinished spaces at conditioned surfaces. The home inspector shall: Move insulation only where readily visible evidence indicates the need to do so; and when readily accessible; Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Limitations

INSULATION & VENTILATION - GENERAL

INSULATION AND VENTILATION INSPECTION LIMITATIONS

The insulation and ventilation of the home was inspected and reported on with the included information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryers cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall, floor and ceiling coverings). Only insulation that is readily visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY

DRYER VENT DUCT REQUIRES REGULAR MAINTENANCE

We recommend cleaning/servicing the dryer vent duct by a qualified person as part of regular ongoing home maintenance. Clogged dryer vent ducts can be a fire safety concern, if not properly cleaned and maintained. Consult a qualified professional as necessary.

Discovery items

8.1.1 ATTIC & FOUNDATION VENTS

DAMAGED/BLOCKED ATTIC VENT SCREENS



ATTIC

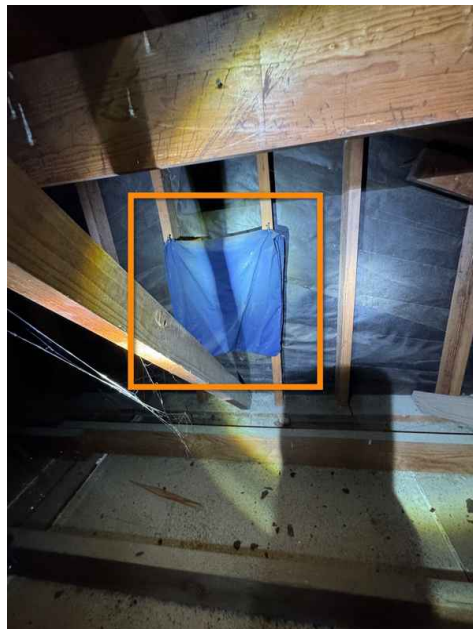
Damaged screens noted at one or more building vents (attic). This condition can allow pest intrusion. Pests can cause damage to the home. Attic vent noted blocked, this will limit proper ventilation. Recommend further evaluation by a licensed pest control contractor and repair as necessary at this time to forestall pest intrusion.

Recommendation

Contact a qualified pest control specialist.



Example noted at Attic, Right Side



Blocked vent noted, Left Side Attic

8.2.1 ATTIC INSULATION

INSULATION MISSING IN ATTIC



ATTIC

The attic space did not appear to be properly insulated. This condition may lead to energy loss and higher energy bills. Recommend further evaluation by a licensed insulation contractor to determine any corrections necessary to ensure the home is properly insulated.

Recommendation

Contact a qualified insulation contractor.



Attic



Attic

8.5.1 EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY

BATHROOMS EQUIPPED WITH WINDOW ONLY - POOR VENTILATION

PRIMARY BATHROOM, HALL BATHROOM

The bathrooms were noted equipped with only a window for ventilation. This may not be to today's building standards as moisture issues can occur, without proper ventilation when shower is used. Recommend further evaluation by a licensed general contractor to determine any corrections or upgrades possible at this time to ensure proper ventilation occurs.

Recommendation

Contact a qualified general contractor.



Attention Items

8.5.2 EXHAUST SYSTEMS - KITCHEN, BATHROOM, LAUNDRY

NON-STANDARD/VINYL DRYER VENT - DAMAGED DAMPER

GARAGE, EXTERIOR

Dryer vent termination and damper appeared to be non-standard. This vinyl type material and damper style is generally considered unsafe and is also conducive to lint buildup, which is a fire safety concern. Damage noted at the damper. Recommend further evaluation by a qualified professional to determine any replacement necessary to ensure safe function. Note: Recommend cleaning/servicing the dryer vent ducts by a qualified professional upon moving into the home. Clogged dryer vent ducts can be a fire safety concern, if not properly cleaned and maintained.

Recommendation

Contact a qualified professional.



Attention Items



Dryer vent

Right Side of Home

9: GARAGE

		IN	NI	NP	D
9.1	GARAGE - GENERAL				X
9.2	OCCUPANT DOOR FROM GARAGE				X
9.3	GARAGE CEILING/ROOF SHEATHING				X
9.4	GARAGE WALLS & FIREWALLS				X
9.5	GARAGE FLOOR				X
9.6	GARAGE VEHICLE DOOR & OPENER				X
9.7	GARAGE VENTS				X

IN = InspectedNI = Not InspectedNP = Not PresentD = Discovery

Information

GARAGE - GENERAL : Garage Door Type	GARAGE - GENERAL : Garage Door Material	GARAGE - GENERAL : Auto Door Opener Manufacturer
One Automatic	Metal	LiftMaster

Limitations

GARAGE - GENERAL

PERSONAL PROPERTY LIMITATION - GARAGE

Due to personal property items in the garage, not all areas were visible at the time of the inspection. The inspector was unable to view or inspect all of the wall, floor, door, cabinet and/or ceiling surfaces and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may be applicable.

GARAGE CEILING/ROOF SHEATHING

OVERHEAD STORAGE LIMITED VIEW

GARAGE

Overhead storage racks and/or storage items limited my view of the garage ceiling. Defects may exist that were not visible at the time of the inspection. Recommend further review by a qualified professional once items have been removed, to determine if latent defects exist.

GARAGE CEILING/ROOF SHEATHING

SEE ALSO ROOF SHEATHING COMMENT

See also Roof Sheathing section of report for information regarding the garage ceiling.

GARAGE WALLS & FIREWALLS

LIMITED VIEW OF WALLS

Due to personal/storage items in the garage, not all areas were visible at the time of the inspection. The inspector was unable to view or inspect all of the wall surfaces and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may apply.

GARAGE FLOOR

LIMITED VIEW OF FLOOR

Due to personal/storage items in the garage, not all areas were visible at the time of the inspection. The inspector was unable to view or inspect all of the floor surface and related components. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may apply.

GARAGE VEHICLE DOOR & OPENER

VEHICLE DOOR AND OPENER - LIMITED INSPECTION

Our company tests the garage vehicle door and automatic door opener (if present) using standard controls readily available at the time of the inspection. Please be aware that this is simply a general inspection of the garage vehicle door and opener, it is not a specialist inspection or evaluation. Our company elects to not test the force resistance and manual release features of the vehicle door, as doing so may cause damage. We also do not test or verify remote controls not permanently installed. You should be aware that the garage door is typically the largest moving object in the house, and many of its components are under high tension. Improper installation or maintenance of a garage door can create a hazardous condition that can cause serious injury or worse. We highly recommend that you have the garage vehicle door and door opener further evaluated and tested by a licensed garage door contractor to ensure proper function and safety, prior to using the vehicle door.

GARAGE VEHICLE DOOR & OPENER

AUTOMATIC DOOR REVERSE FEATURE - NOT TESTED

The automatic reverse feature of the garage vehicle door opener was not tested by our company. We elected to not test this feature to avoid causing possible damage to the garage. The automatic reverse feature is important for safety as it will reverse the travel of the door should it contact an object or person. Recommend contacting a licensed garage door contractor to test this important safety feature to ensure proper function for safety, prior to using the vehicle door.

GARAGE VENTS

VENTS NOT FULLY VISIBLE

GARAGE

Garage vents were not fully visible due to being blocked by occupant's belongings at time of inspection. I could not fully inspect the garage vents. Consult a qualified professional, once the items have been removed.

Discovery items

9.1.1 GARAGE - GENERAL

POSSIBLE RODENT ACTIVITY - GARAGE

GARAGE

Material which may be rodent droppings was observed in the garage. If present, pests may chew, damage or contaminate components. Rodents have been found throughout San Diego County which have Hantavirus, which is a health hazard, according to [San Diego Vector Control](#).

Home inspectors are not licensed pest inspectors and are not qualified to determine the severity of rodent infestation. We recommend consulting with a qualified pest control professional for a complete review, and for removal of any pests or waste material.

Recommendation

Contact a qualified pest control specialist.



Safety Concerns



Example noted at Garage, Rear Left Side Below Water Heater

9.1.2 GARAGE - GENERAL



Attention Items

PERSONAL ITEMS LIMITED GARAGE INSPECTION

GARAGE

Due to personal/storage items in the garage, several areas were not fully visible at the time of the inspection. The inspector was unable to view or inspect all of the wall, floor and ceiling surfaces and any related components located there. Damage can exist in these areas that were not visible. Our company's inspectors do not move personal property as doing so is beyond the scope of a general home inspection. Because of this limitation, we highly recommend a careful evaluation of these areas during your final walk-through, or once the items have been moved. If issues are discovered during your final walk-through, you may wish to contact our company to immediately arrange a re-inspection of the applicable areas. Please be aware that a re-inspection fee may apply.

Recommendation

Contact a qualified professional.



Garage



Garage

9.1.3 GARAGE - GENERAL



Attention Items

MUSTY ODOR NOTED IN GARAGE

GARAGE

An unidentifiable musty-like odor was noted in the garage at the time of the inspection. Determining the exact cause is beyond the scope of this inspection. However, this condition can sometimes be indicative of the presence of organic growth. Determining if any organic growth may be a health and safety concern requires specialized testing, which is also beyond the scope of this inspection. Recommend further evaluation by a licensed environmental contractor to further evaluate the area to determine if any corrective measures are necessary at this time for health and safety of the home's occupants.

Recommendation

Contact a qualified professional.

9.1.4 GARAGE - GENERAL



Attention Items

DAMAGE AT GARAGE CABINETS

GARAGE

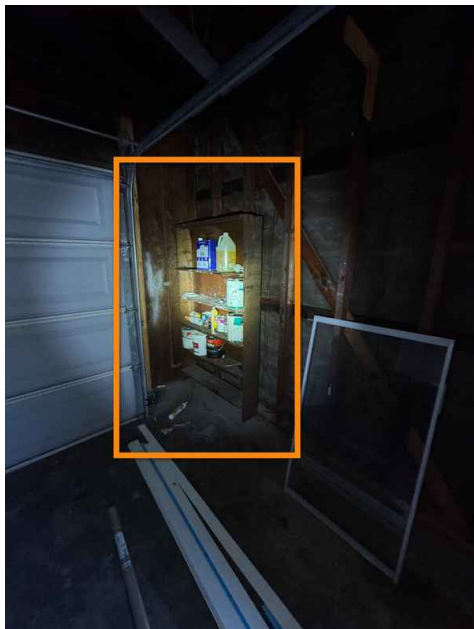
Damage noted at the installed garage cabinet(s). Recommend repair as necessary by a qualified professional.

Recommendation

Contact a qualified professional.



Example noted at Garage, Left Side facing outwards



Example noted at Garage, Right Side facing outwards

9.2.1 OCCUPANT DOOR FROM GARAGE

GARAGE OCCUPANT DOOR SELF-CLOSING HINGES NOT FULLY FUNCTIONAL - INADEQUATE SEALS

GARAGE

The self-closing hinges at the occupant door from the garage to the interior of the home did not appear to adequately close the door at the time of the inspection. For safety, it is recommended the occupant door be self-closing/latching. Damaged door/weather seals also noted at the occupant doorway. Inadequate seals may void the fire separation. Door seals can also help to prevent carbon monoxide or other hazardous gasses or odors from entering the home. Recommend further evaluation and repair of the door and hinges by a licensed door contractor as necessary to ensure proper function and safety.

Recommendation

Contact a qualified door repair/installation contractor.



Safety Concerns



Garage occupant door



Example of inadequate seals noted at occupant doorway

9.3.1 GARAGE CEILING/ROOF SHEATHING

OVERHEAD STORAGE RACKS - LIMITED INSPECTION

Attention Items

GARAGE

Overhead storage racks and/or hooks noted present at the garage ceiling. Storing additional weight on the roof structure can sometimes promote damage to the structure. Recommend further evaluation by a licensed general contractor to determine if corrections are necessary at this time. Note: Overhead storage racks and/or storage items blocked full view of the garage ceiling. Defects may exist that were not visible at the time of the inspection. Recommend further review by a qualified person once items have been removed.

Recommendation

Contact a qualified general contractor.



Example noted at Garage



Example noted at Garage

9.4.1 GARAGE WALLS & FIREWALLS

VOIDS IN FIREWALL - GARAGE WALL(S)

Safety Concerns

GARAGE

There appeared to be void(s)/gaps in the firewall separation at the garage wall(s) and/or ceiling in one or more locations. Wherever a garage or attic shares a wall with an adjacent living space, fire rated drywall is typically required to be installed and intact for fire resistance purposes. Gaps or holes void the firewall, and are a possible fire safety concern. Recommend further evaluation by a licensed drywall contractor to determine repairs necessary at this time for safety.

Recommendation

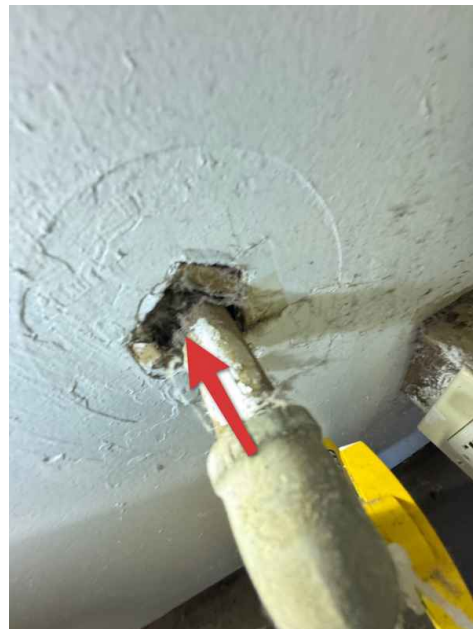
Contact a qualified drywall contractor.



Example of gap noted



Example of gap noted



Example of gap noted



Example noted at Garage Rear

9.4.2 GARAGE WALLS & FIREWALLS

MOISTURE STAINING/DAMAGE AT GARAGE WALLS - DRY

GARAGE

Moisture staining/damage noted at the garage walls in several areas. The areas appeared dry at the time of the inspection. Determining the exact cause is beyond the scope of this inspection. Recommend further evaluation by a licensed restoration contractor to determine any repairs necessary. Note: Determining if hidden damage (such as organic growth) exists beyond the surfaces is beyond the scope of this inspection.

Recommendation

Contact a qualified professional.

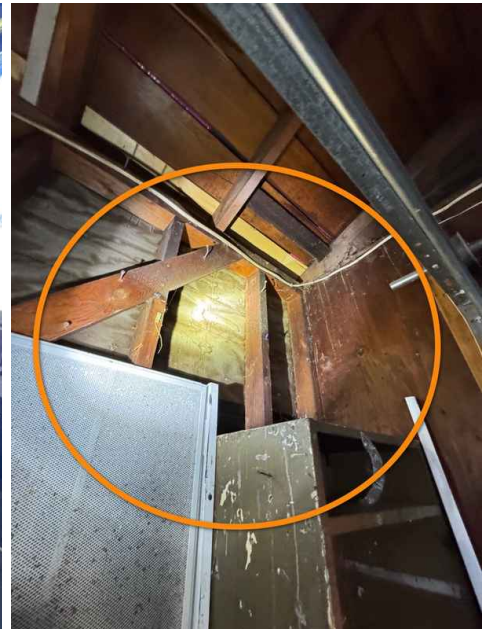




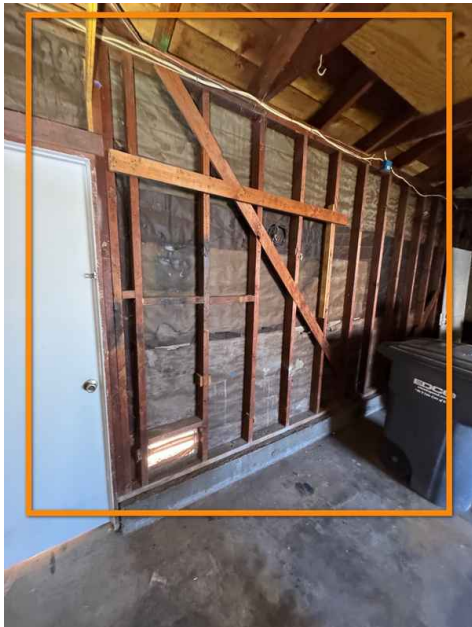
Example noted



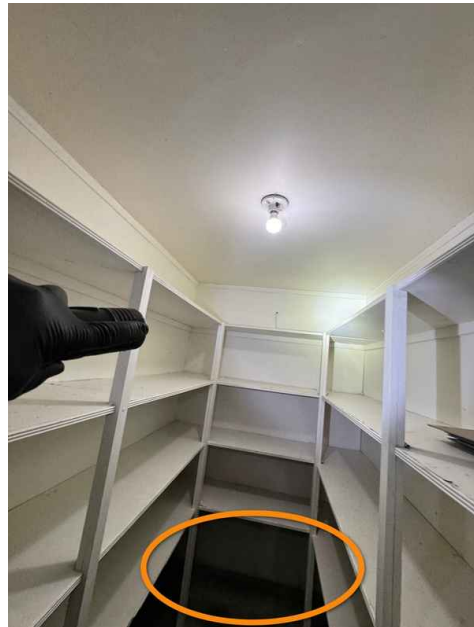
Example noted at Garage, Right Side facing outwards



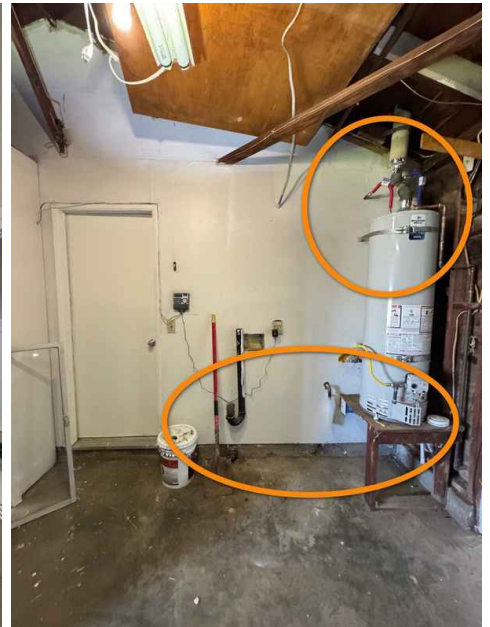
Example noted at Garage, Front Left Side facing outwards



Example noted at Garage, Left Side facing outwards



Example noted at Garage Rear, Inside Closet



Example noted at Garage Rear



The area appeared to be dry

9.5.1 GARAGE FLOOR

CRACKS AT GARAGE FLOOR

GARAGE

Settlement (or other type) cracks noted at the garage floor in one or more areas. This can be an indication of possible structural settlement/movement in the home. Recommend further evaluation by a licensed foundation contractor to monitor and/or repair as necessary at this time.

Recommendation

Contact a foundation contractor.



Attention Items



Example of crack noted, Garage, Front Left Side facing outwards

9.6.1 GARAGE VEHICLE DOOR & OPENER

VEHICLE DOOR DAMAGE - DAMAGED WEATHER STRIPPING

GARAGE

Damage noted at the garage vehicle door in one or more areas. This damage may worsen over time, and may even lead to failure of the door system, which can be a safety concern. Determining the extent of damage is beyond the scope of this inspection. Damaged weather stripping and/or door trim also noted at the door/doorway. This condition can be conducive to moisture and pest intrusion. Recommend further evaluation of the vehicle door and door opener by a licensed garage door contractor, prior to using the door, to determine any repairs or replacement necessary to ensure proper function and safety.

Recommendation

Contact a qualified garage door contractor.



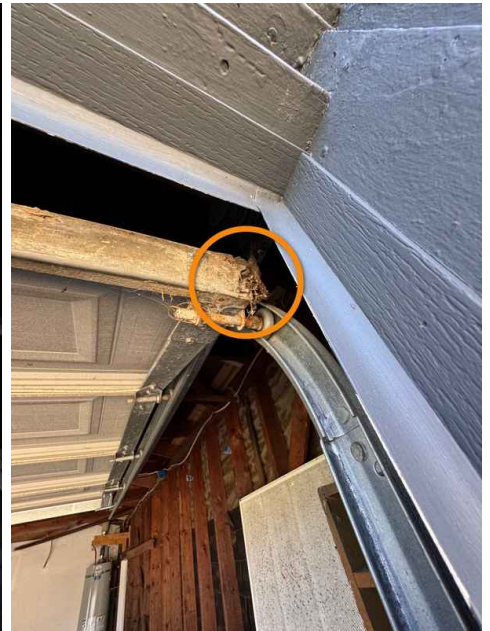
Attention Items



Example of damage noted



Example noted at Garage



Example of damaged weather stripping noted

9.6.2 GARAGE VEHICLE DOOR & OPENER

VEHICLE DOOR PHOTO EYE SENSORS NOT FUNCTIONAL - OPENER MISSING BATTERY BACKUP

GARAGE

The photoelectric eye sensors at the garage vehicle door did not reverse the door travel when tested. The sensors also should typically be installed no more than 6" from the garage floor. This condition can be a potential safety hazard, particularly for small children or pet pets. The auto door opener also did not appear to be equipped with battery backup. Battery backups are now required by California state law for new or replaced garage door opener installations. Recommend further evaluation by a licensed garage door contractor to determine corrections or upgrades necessary at this time for safety.

Recommendation

Contact a qualified garage door contractor.



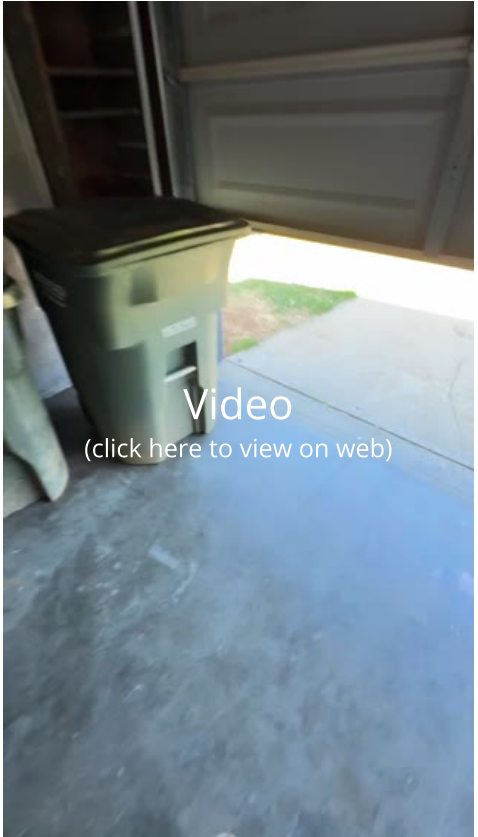
Safety Concerns



Example noted at Garage door photo eye sensors



Garage automatic door opener missing battery backup



Video shown at Garage

9.7.1 GARAGE VENTS

DAMAGED GARAGE VENT SCREEN(S)

GARAGE

Damaged screen(s) noted at garage vents. This condition can allow pest intrusion. Pests can cause damage to the home. Recommend further evaluation by a licensed pest control contractor and repair as necessary to forestall pest intrusion.

Recommendation

Contact a qualified professional.

Attention Items



Example noted



Garage, Left Side facing outwards

10: ROOF

		IN	NI	NP	D
10.1	ROOF - GENERAL	X			
10.2	ROOF COVERINGS				X
10.3	ROOF SHEATHING (AS VISIBLE FROM ATTIC)				X
10.4	ROOF FLASHINGS/SEALS & PENETRATIONS				X
10.5	ROOF DRAINAGE SYSTEMS			X	

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

ROOF - GENERAL : Roof Inspection

Method

From the Ground, From Ladder,
Walked Roof, Limited View

ROOF - GENERAL : Roofing

Material

Asphalt/Fiberglass Composition
Shingles, Replaced

ROOF - GENERAL : Chimney

Material (Exterior)

Brick, Masonry

ROOF - GENERAL : Roof Gutter

Material

Not Present

ROOF - GENERAL : Roof - General Overview

The home inspector shall observe: Roof covering; roof drainage systems; visible flashings; skylights, chimneys, and roof penetrations, and; signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials, and report the methods used to observe the roofing. The home inspector is not required to: Walk on the roof, or observe attached accessories including, but not limited to; solar systems, antennae, and lightning arrestors. If this home is identified as having a tile roof covering, it was inspected from the ground and attic to avoid damaging the roof covering, and possibly voiding the warranty. This is in accordance with the InterNACHI and ASHI standards of practice. The entire roof was not visible and we cannot guarantee that all of the tiles are in good condition. We recommend that you have the roof inspected by a licensed roofing contractor prior to the removal of contingencies if you are concerned that there may be tiles that are broken or have slipped out of position. We recommend that you include "roof" coverage in a home warranty. To guarantee this roof will not leak, you would need to have a roofing company perform a water test and issue a roof certification, which is beyond the scope of a home inspection. However, the sellers or occupants will generally have the most intimate knowledge of the roof, and you should ask them about its history and then schedule a regular maintenance service. Please note that a home inspection is neither a guarantee of any kind against leaking, nor a warranty of the longevity of the roof. It is a visual inspection only of the roof and the attic below. We strongly recommend that you purchase and maintain a roof rider with your home warranty.

Limitations

ROOF - GENERAL

ROOF INSPECTION LIMITATIONS

The roof was inspected and reported on with the included information. Home inspectors are generalists and not specialists, therefore this is not a specialized nor comprehensive roof inspection, which should be performed by a licensed roofing professional who may discover defects not included in this general home inspection report. While your inspector has your best interest in mind and makes every effort to find all areas of concern, some areas can go unnoticed, and/or are not readily visible at the time of the inspection, such as the roof underlayment. Roof coverings and flashings can also appear to be functional and leak-free at the time of the inspection, yet defects and leaks may go undetected, sometimes due to weather conditions and a lack of recent heavy rain at the time of the inspection. Tiled roofs are never walked on by our inspectors. This report should in no way deter you from seeking further evaluation of the roof by a licensed roofing contractor. Any repair items mentioned in this report should be considered before purchase.

ROOF - GENERAL

ROOF UNDERLAYMENT - INSPECTION LIMITATION

Due to lack of visibility as a result of the installed roof coverings, we are not able to inspect, evaluate or comment on the condition or installation of the roof underlayment system. Deficiencies with the underlayment can include, but are not limited to; premature failure, shrinkage, not being installed, improper installation or physical damage. As a result of these limitations, we recommend further evaluation by a licensed roofing contractor to determine if latent defects exist.

ROOF SHEATHING (AS VISIBLE FROM ATTIC)

ATTIC ACCESS - LIMITED

The attic space was not fully inspected due to one or more of the following obstructions: roof framing members, HVAC and/or venting and plumbing systems, electrical components, insulation and/or other components blocking view and/or safe access. The inspector was unable to access the entire attic space to inspect the roof sheathing, structure and other components. It is advisable to have this area further explored by a licensed roofing contractor to determine if latent defects exist.

ROOF FLASHINGS/SEALS & PENETRATIONS

ROOF WATER TEST - NOT PERFORMED

Performing a water test on a roof (spraying water onto the roof for a period of time to determine if it leaks) is outside the scope of this home inspection. The inspector inspects the roof in accordance with the Standards of Practice set forth by the Inter-National Association of Certified Home Inspectors. Because of this limitation, we strongly recommend you consult a licensed roofing contractor to determine if latent defects exist.

ROOF FLASHINGS/SEALS & PENETRATIONS

LIMITED VIEW OF ROOF FLASHINGS/SEALS

My view of the roof flashings and seals was limited at the time of inspection due to finished building materials and other obstructions. It is highly advisable to have the flashings/seals and roof penetrations further evaluated by a licensed roofing contractor to determine if any latent defects exist.

ROOF DRAINAGE SYSTEMS

ROOF GUTTERS NOT PRESENT - UPGRADE RECOMMENDED

The home is not equipped with a full roof drainage system of gutters and downspouts/drain lines. While gutters and drain lines may not be a requirement, and the seller is not required to add them, we recommend adding them to ensure water drains away from the home/structure, and to help prevent moisture intrusion and damage. It is advisable to seek further evaluation by a licensed gutter contractor to determine the options to upgrade, should the client wish.

[Discovery items](#)

10.2.1 ROOF COVERINGS

EXPOSED NAIL HEADS AT REPLACED ROOF - INQUIRE WITH SELLER FOR PERMIT

Attention Items

ROOF

Replaced Roof - Inquire with seller for work receipts and roof warranty, Damage at shingles, Exposed nail heads at shingles/flashings - Conducive to moisture intrusion

The roof installed on this home does not appear to be original. Replacing a roof requires permits, and should be completed per the manufacturers installation guidelines. Nail/bolt head at the roof did not appear adequately sealed, which is conducive to roof leaks developing. Also, there appeared to be minor damage at the shingles in one or more areas. Recommend asking the seller for documentation showing that the roof was permitted and installed by a licensed roofing contractor per installation requirements. Due to Discovery Items noted, I also recommend further evaluation of the roof by a licensed roofing contractor to determine any repairs as necessary.

Recommendation

Contact the seller for more info



Example of damage noted, Front Left Side Roof



Example of expose nail heads noted



Example of exposed nail heads noted at Roof flashings



Left Side Roof



Right Side Roof



Front, Garage Roof

10.3.1 ROOF SHEATHING (AS VISIBLE FROM ATTIC)



Attention Items

WATER STAINING AT ROOF SHEATHING/FRAMING - DAMAGE/REPAIRS AT SHEATHING

ATTIC, GARAGE, LIVING ROOM

Moisture stains at roof sheathing/framing, Brittle/damaged roof sheathing - Indicative of age and/or past leaks, Evidence of past repairs at roof sheathing, Possible termite activity - Refer to termite inspection report (if one exists)

Roof sheathing appeared brittle/damaged in areas of the attic and garage and at living room ceiling, often indicative of age and/or past leaks. Water stains also noted at the roof sheathing and/or framing in multiple areas. The area(s) appeared dry at time of the inspection, however, determining if stains are due to an active or past roof leak is beyond the scope of this inspection. The Discovery Items listed here may also affect proper function of the roof sheathing. Recommend to consult a licensed roofing contractor to further evaluate the roof system to determine if latent defects or leaks exist, and repair or replacement as necessary. Also, recommend to inquire with the seller regarding any past repairs. Note: Home inspectors are not licensed termite inspectors, refer to the termite inspection report (if one exists) regarding the condition of the wood.

Recommendation

Contact a qualified roofing professional.



Example of staining and repairs noted at Attic



Example of damage, staining noted at Attic



Example of damage noted, Attic



Example of damage noted, Attic



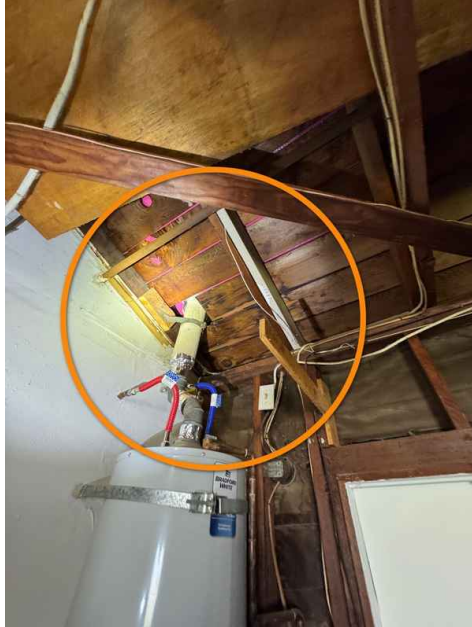
Example of staining noted at Attic



Example of staining noted at Attic



Example of staining, damage and repairs noted at Garage, Front Left Side facing outwards



Example of staining, damage and repairs noted at Garage Rear, Above Water Heater



Example noted at Garage



Example of staining noted at Living Room



Example of Possible Repairs noted at Living Room



Example of Possible Repairs noted at Living Room

10.4.1 ROOF FLASHINGS/SEALS & PENETRATIONS

DRIP EDGE FLASHING OVER ROOF UNDERLAYMENT - UNDERLAYMENT NOT INSPECTED

 Attention Items

ROOF

The drip edge flashing appeared to be installed over the roof underlayment. Generally most manufacturers recommend the drip edge flashing be installed beneath the underlayment to prevent moisture intrusion beneath the flashing. The roof underlayment was not visible at the time of inspection and was not inspected by our company. Recommend further evaluation by a licensed roofing contractor to determine any corrections as necessary.

Recommendation

Contact a qualified roofing professional.



Example noted



Example noted at Right Side Roof



Example noted



Example noted at Front Roof

11: STRUCTURE

		IN	NI	NP	D
11.1	STRUCTURAL COMPONENTS - GENERAL	X			
11.2	ROOF STRUCTURE & ATTIC				X
11.3	CEILING STRUCTURE				X
11.4	WALL STRUCTURE				X
11.5	FLOOR STRUCTURE	X			
11.6	FOUNDATION				X

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

STRUCTURAL COMPONENTS - GENERAL : Roof Type Cross Gable	STRUCTURAL COMPONENTS - GENERAL : Roof Structure Stick-Built, Wood Joists, Wood Sheathing, Rafters, Ceiling Joists, Struts, where visible, Collar Ties	STRUCTURAL COMPONENTS - GENERAL : Attic Info Attic Hatch, Entrance Location:, Hallway
STRUCTURAL COMPONENTS - GENERAL : Attic Inspection Method From Entrance, Crawled, Limited Access	STRUCTURAL COMPONENTS - GENERAL : Ceiling Structure 6 Inches or Greater, Wood Joists, Partially Visible	STRUCTURAL COMPONENTS - GENERAL : Wall Structure Wood Beams, Partially Visible
STRUCTURAL COMPONENTS - GENERAL : Floor Structure Concrete Slab, Garage - Concrete Slab, Not Visible	STRUCTURAL COMPONENTS - GENERAL : Foundation Type Slab, Not Visible, Stem Walls, Not Fully Visible, Not Fully Visible	STRUCTURAL COMPONENTS - GENERAL : Foundation Material Poured Concrete

STRUCTURAL COMPONENTS - GENERAL : Structural Inspection - General Information

The home Inspector shall observe and describe structural components including; foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall: probe structural components where deterioration is suspected; enter under floor crawlspaces, basements, and attic spaces, except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawlspaces and attics; and; Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or that may be deemed dangerous, or likely to adversely effect the health and safety of the home inspector or other persons.

FOUNDATION: Main House - Foundation Bolts Visible

The main house appeared to be equipped with foundation bolts. This is for your information. Our company does not determine the adequacy of the bolts or proper installation.

Limitations

STRUCTURAL COMPONENTS - GENERAL

STRUCTURAL INSPECTION LIMITATIONS

The structure of the home was inspected and reported on with the included information. The inspector is not a licensed contractor or structural engineer and is therefore not qualified to determine the integrity or quality of this entire home structure. And while the inspector makes every effort to find all areas of possible concern, some areas can go unnoticed and/or may be beyond the scope of this general home inspection. The inspection of the structure was limited to items readily visible at the time of the inspection only and is not meant to be exhaustive, nor is it to be confused with a specialist inspection, which may discover issues that are not included in this report. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

ROOF STRUCTURE & ATTIC

ATTIC ACCESS LIMITED

The attic space was not fully inspected due to one or more of the following obstructions: roof framing members, HVAC and/or venting and plumbing systems, electrical components, insulation and/or other components blocking view and/or safe access. The inspector was unable to access the entire attic space to inspect the roof sheathing, structure and other components. It is advisable to have this area further explored by a licensed roofing contractor to determine if latent defects exist.

CEILING STRUCTURE

CEILING INSPECTION LIMITATION

Most of the ceilings are covered with drywall or other building materials and structural members were not visible. I could not see behind these coverings. Any obvious defects discovered at the time of the inspection were noted in this report. However, it is advisable to have this home's structure further evaluated by a licensed structural engineer to determine if any latent defects exist.

WALL STRUCTURE

WALL INSPECTION LIMITATION

Most of the walls are covered with drywall or other building materials and structural members were not visible. I could not see behind these coverings. Any obvious defects discovered at the time of the inspection were noted in this report. However, it is advisable to have this home's structure further evaluated by a licensed structural engineer to determine if any latent defects exist.

FLOOR STRUCTURE

FLOOR/FOUNDATION INSPECTION LIMITATIONS

Due to floor coverings, vegetation, siding and/or other obstructions, not all areas of the floor structure and foundation were visible at the time of the inspection. Our review of the home's floor structure and foundation is limited. It is advisable to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

FOUNDATION

OBSTRUCTIONS LIMITED FOUNDATION INSPECTION

Due to floor coverings, vegetation, siding and/or other obstructions, not all areas of the foundation were visible at the time of the inspection. Our review of the home's foundation is limited. It is advisable to have this home's foundation further explored by a licensed foundation contractor or a licensed structural engineer prior to the removal of contingencies to determine if latent defects exist. These licensed contractors are specialists who may use specialized equipment and testing to determine if defects exist and if the floors are level. Floors are rarely perfectly level and generally a slope of up to 1 inch in 20 feet or less may be considered commonplace.

Discovery items

11.2.1 ROOF STRUCTURE & ATTIC

PREVIOUS REPAIRS AT ROOF FRAMING

ATTIC, GARAGE, LIVING ROOM

 Attention Items

Evidence of previous possible repairs noted in several areas of the roof framing. This can be indicative of previous damage. Recommend inquiring with the seller for any work receipts for work completed, and if the work was done by a licensed roofing contractor. I also recommend consulting a licensed roofing contractor to determine if additional repairs are necessary or if latent defects exist.

Recommendation

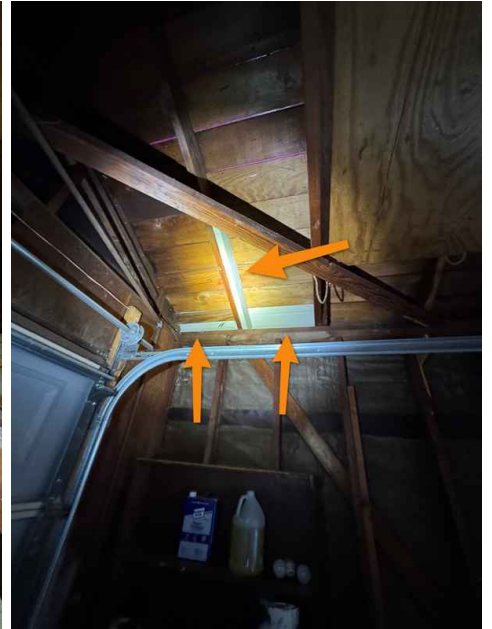
Contact a qualified roofing professional.



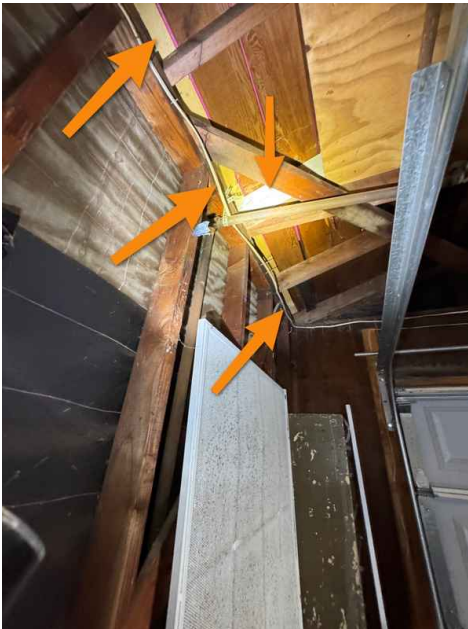
Example noted at Attic, Rear Left Side



Example noted at Attic, Front



Example noted at Garage, Front Right Side facing outwards



Example noted at Garage, Front Left Side facing outwards

11.2.2 ROOF STRUCTURE & ATTIC

UNEVEN ROOF SECTION

ROOF

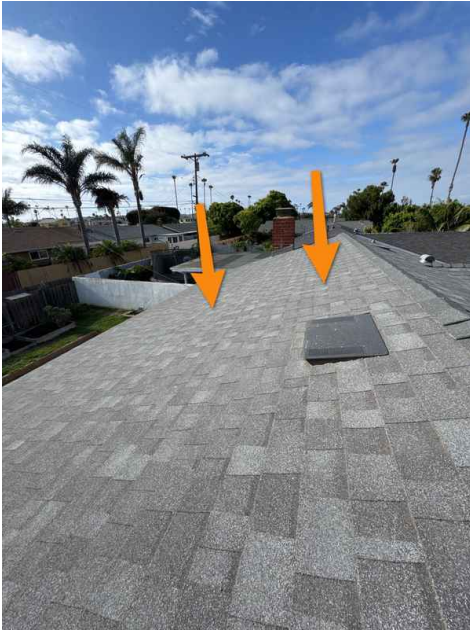
One or more sections of the roof appeared to be uneven or possibly protruding. This can sometimes be due to uneven roof sheathing/framing members, however, it can also sometimes indicate issues with the roof structure. Recommend further evaluation by a licensed roofing contractor to determine if latent defects exist at this time.

Recommendation

Contact a qualified roofing professional.



Attention Items



Example noted at Rear Right Side Roof

11.3.1 CEILING STRUCTURE

PREVIOUS POSSIBLE REPAIRS/MODIFICATIONS AT CEILINGS



ATTIC

Evidence of previous possible repairs and/or modifications noted at the ceiling structure in one or more areas. Recommend inquiring with the seller for any repairs completed and any work receipts or permits, if applicable. I also recommend further evaluation by a licensed general contractor to determine if the repairs are adequate.

Recommendation

Contact a qualified general contractor.



Example noted at Attic



Example noted at Attic, Rear

11.4.1 WALL STRUCTURE

MOISTURE DAMAGE/POSSIBLE WBO ACTIVITY AT WALL STRUCTURE

Attention Items

GARAGE

Moisture damage and/or evidence of possible wood boring organism activity noted at the wall structure in one or more locations. Recommend a licensed termite inspector or licensed structural engineer be consulted to further evaluate and to determine any preventative measures and/or repairs necessary at this time. Note: Home inspectors are not licensed termite inspectors and are therefore not qualified to verify the presence of termites, or to evaluate the extent of possible damage that may be the result of termites or other wood boring organism activity, please refer to the pest inspection report (if one exists).

Recommendation

Contact a qualified professional.



Example noted at Garage, Front Left
Side facing outwards

11.6.1 FOUNDATION

CRACKS/DAMAGE AT FOUNDATIONAL WALLS - EFFLORESCENCE NOTED

Attention Items

EXTERIOR, GARAGE

Spalling/efflorescence at foundational wall(s), Evidence of previous repairs - Inquire with seller, Foundational wall crack(s)

There appeared to be cracks and spalling/deterioration noted at the foundational walls in areas. Evidence of past repairs noted. Efflorescence (white powder-like substance) was noted, which occurs when moisture is in contact with the concrete. This condition may be indicative of excessive irrigation and moisture in the area and can lead to further deterioration. Determining the cause or extent of damage is beyond the scope of this inspection. Recommend further evaluation by a licensed foundation contractor to determine the cause and any repairs as necessary. Inquire with the seller regarding any past repairs to the foundation.

Recommendation

Contact a foundation contractor.



Example of cracking noted



Example of crack noted



Example noted at Front Left Side of Home



Example of damage noted



Example noted at Rear of Home



Example of damage noted



Example of damage and repairs noted,
Rear Left Side of Home



Example of efflorescence noted,
Garage, Left Side facing outwards



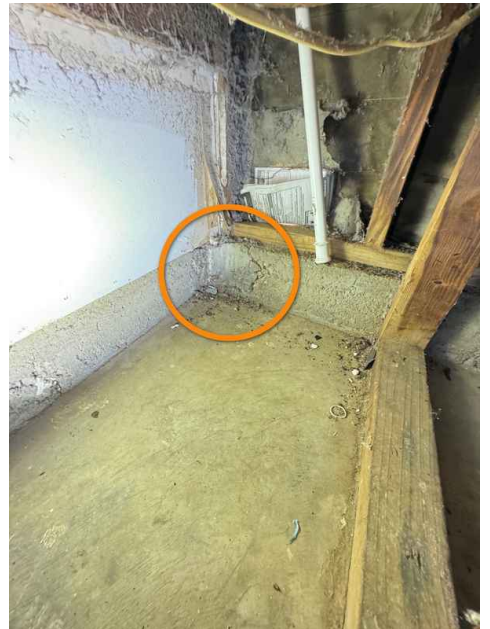
Example of efflorescence noted,
Garage, Right Side facing outwards



Example of spalling noted



Example noted at Garage Rear



Example of repairs noted



Example noted at Garage Rear

12: EXTERIOR

		IN	NI	NP	D
12.1	EXTERIOR - GENERAL				X
12.2	EAVES, SOFFITS & FASCIA				X
12.3	WALL CLADDING, FLASHING & TRIM				X
12.4	WINDOWS - EXTERIOR				X
12.5	EXTERIOR DOORS				X
12.6	ATTACHED DECKS, BALCONIES, PORCHES & STEPS	X			
12.7	VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME)				X
12.8	WALKWAYS, DRIVEWAYS, PATIOS & HARDSCAPE (DIRECTLY NEXT TO HOME)				X
12.9	FENCING & GATES (DIRECTLY NEXT TO HOME)				X
12.10	DETACHED STRUCTURES & SHEDS		X		

IN = Inspected NI = Not Inspected NP = Not Present D = Discovery

Information

EXTERIOR - GENERAL : Siding Material

Stucco, Wood, Aged, Recently painted/textured, Possibly Repaired, Replaced

EXTERIOR - GENERAL : Exterior Entry Doors

Wood, Aged, Retro-fit, Vinyl, Double Pane, Glass

EXTERIOR - GENERAL : Appurtenance

Entryway, Stoop, Sidewalk, Retaining Wall, Patio

EXTERIOR - GENERAL : Driveway Material

Concrete, Aged

EXTERIOR - GENERAL : Exterior - General Information

The home inspector shall observe: Wall cladding, visible flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; and Probe exterior wood components where deterioration is suspected. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Fences; Presence of safety glazing in doors and windows; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Limitations

EXTERIOR - GENERAL

EXTERIOR INSPECTION LIMITATIONS

The exterior of the home was inspected and reported on with the included information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed and/or may be beyond the scope of this general home inspection. The inspector inspects the main structure only, but will also make an effort to inspect the immediate area around the home that may have a direct and obvious affect on the home or its occupants. This is not an exhaustive property inspection. The inspector **does not**; determine property lines, inspect or walk the entire grounds of the property, view all fences, gates or walls, or inspect other landscaping and other structures. When present, detached items such as pergolas, detached decks/stairs, fountains, planters and other items may pose a significant safety risk to occupants, especially children, if not properly secured or installed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that licensed contractors be used in your further inspection or repairs, as it relates to the comments in this inspection report.

EXTERIOR - GENERAL

EXTERIOR OF HOME - NOT FULLY ACCESSIBLE

The entire home exterior was not fully accessible for inspection due to being blocked by walls, vegetation and/or other items. I was unable to inspect these areas of the structure, or any components located there. Latent defects may exist in these areas that were not inspected. Home inspectors are generalists and only visually inspect the areas readily accessible at the time of the inspection, therefore, we highly recommend the areas be further evaluated by qualified professionals, prior to close of escrow.

WINDOWS - EXTERIOR

RETRO-FIT WINDOWS INSPECTION LIMITATION

Some, or all, windows in the home did not appear to be original, or appeared to have been upgraded/replaced. Please be aware that this inspection is in no way a warranty or guarantee of any kind regarding the integrity of the windows. Windows are reported on as they were noted at the time of the inspection only, seals can fail at any time and this is not an assessment of the quality of installation, or of how the windows may perform in the future. Recommend inquiring with the seller regarding any information or warranty relating to the windows, if applicable. Also, should the client have any concerns regarding the windows, a licensed window contractor should be consulted to further evaluate all the windows in the home to determine they were properly installed, or if latent defects exist.

WINDOWS - EXTERIOR

EXTERIOR WINDOW INSPECTION LIMITED

Due to the location of the windows and the structure of the home the inspector's view of the windows is very limited. Our company does not utilize ladders or other devices to view areas that are up high or blocked by the structure and/or other obstructions such as vegetation. We highly recommend you have all windows in the home further reviewed by a licensed window contractor to determine if latent defects exist at this time.

ATTACHED DECKS, BALCONIES, PORCHES & STEPS

ATTACHED DECK CONSTRUCTION - NOT DETERMINED

Deck construction (as well as added balconies/porches/stoops) is required to meet specific building safety standards. Our company inspects decks permanently attached to the main home structure and looks for any obvious defects. However, our inspection is not a specialist inspection, determining if the deck(s) on this property were correctly constructed to today's standards, or if latent defects exist, is beyond the scope of this home inspection. We also do not inspect decks or structures that are not permanently attached to the main home, nor do we verify any permits that may be required for additions. You should be aware that decks that are improperly constructed or that show signs of deterioration can be a safety hazard, and in some instances may even collapse causing serious injury or death. It is advisable to have all deck structures (as well as added balconies/porches/stoops) further evaluated by a qualified professional to ensure proper installation and safety.

ATTACHED DECKS, BALCONIES, PORCHES & STEPS

PATIO FLOOR NOT VISIBLE

Patio floor was covered at the time of inspection. Our company was unable to inspect the flooring.

FENCING & GATES (DIRECTLY NEXT TO HOME)

VEHICLE GATE - NOT INSPECTED

There appeared to be a vehicle gate installed at the property. Determining if this gate was installed properly is beyond the scope of this general home inspection. It is advisable to have this gate further evaluated by a licensed gate contractor to determine if the gate was installed properly.

FENCING & GATES (DIRECTLY NEXT TO HOME)

FENCING NOT FULLY VISIBLE

Sections of the fencing and/or gates around the home were not fully visible due to being blocked by vegetation or occupants items at the time of the inspection. These sections were not inspected, only the sections directly next to the main home structure were inspected. Should the client have concerns, I recommend clearing of the vegetation or belongings away by a qualified person and having the fencing and gates further evaluated by a qualified professional, to determine if latent defects exist.

FENCING & GATES (DIRECTLY NEXT TO HOME)

EXTERIOR COMMUNITY FENCING NOT INSPECTED

The exterior community fencing was not inspected by our company. This fencing is typically maintained by the HOA and/or city. Recommend inquiring with the seller for further information, you may wish to seek further evaluation by qualified professional as necessary.

DETACHED STRUCTURES & SHEDS

DETACHED STRUCTURES/FEATURES - NOT INSPECTED

This standard home inspection was of the main home structure only. Detached structures or out-buildings/sheds were excluded from my inspection of the home. This exclusion includes, but is not limited to; detached decks, patios/covers, stairways, out-buildings, sheds, storage units, playground or sports equipment/courts, pools, spas, water features, outdoor kitchens or BBQ's, fire places chimneys and fire features, fencing/gates and walls (not directly next to the main home), fuel tanks or other power supply sources, septic tanks, water wells/springs, solar equipment (all solar equipment is excluded) and any other feature not permanently attached to the main home. When present, detached items such as pergolas, detached decks/stairs, fountains, planters and other items may pose a significant safety risk to occupants, especially children, if not properly secured or installed. Home inspectors also do not determine property lines, or if any structure encroaches on the property boundaries set forth by the city. You should consider having these items inspected by a qualified professional as necessary, prior to occupying the home.

Discovery items

12.1.1 EXTERIOR - GENERAL



RECENTLY PAINTED/TEXTURED EXTERIOR

EXTERIOR

The exterior of the home appeared to have been recently painted and/or textured in several locations. This is for your information. Note: Recent or fresh paint can sometimes conceal recent repairs and/or possible defects. Determining if latent defects exist is beyond the scope of this inspection. Recommend inquiring with the seller regarding any applicable information, should the client have any concerns.

Recommendation

Contact a qualified professional.

12.1.2 EXTERIOR - GENERAL



FAILING EXTERIOR PAINT - LEAD PAINT POSSIBLE

EXTERIOR

Failing paint noted in several areas at the exterior of the home. This home appears to have been built prior to 1978. Homes built before 1978 may contain lead-based paint. Lead from paint, paint chips, and dust can pose a health and safety hazard, if not managed properly. Recommend a qualified professional be consulted for further evaluation and to ensure proper health and safety measures are taken, particularly if the client chooses to remove or alter existing paint. Note: Sellers in the state of California are required to disclose any information regarding lead paint in a home. I recommend referring to the seller disclosures for any applicable information regarding the paint in this home.

Recommendation

Contact a qualified professional.



Example noted



Example noted at Left Side of Home

12.2.1 EAVES, SOFFITS & FASCIA

MOISTURE DAMAGE/REPAIRS AT EAVES/FASCIA

EXTERIOR, ROOF

Moisture damage/possible wood boring organism activity, Previous repairs at eaves/fascia - Inquire with seller, Failing paint at eaves/fascia

Moisture damage and evidence of past repairs noted at the eaves/fascia in areas. The Discovery Items listed here can lead to moisture/pest intrusion and further damage. Recommend further evaluation by a licensed termite inspector and/or roofing contractor, and repair or replacement as necessary. Also, inquire with the seller regarding any past repairs. Note: Home inspectors are not licensed pest inspectors and do not determine the extent of damage, refer to the pest inspection report (if one exists). See also Lead Paint comment in Exterior - General section of this report.

Recommendation

Contact a qualified professional.

Attention Items



Example of moisture damage noted



Example of damage and repairs noted, Right Side Roof



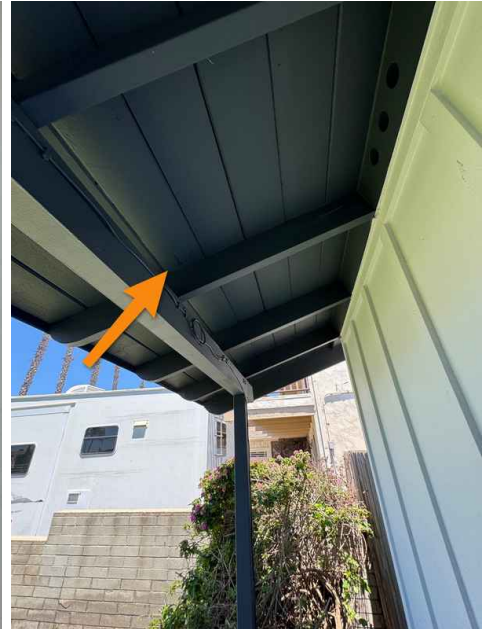
Example of damage noted



Example of damage noted



Example noted at Left Side Roof



Example noted at Front Left Side of Home

12.3.1 WALL CLADDING, FLASHING & TRIM

DAMAGE/GAPS AT STUCCO SIDING - FURTHER EVALUATION RECOMMENDED



EXTERIOR

Moisture damaged stucco, Gaps/holes at siding - Conducive to moisture/pest intrusion, Stucco cracks - Further evaluate, Previous stucco repairs - Inquire with seller, Inadequate clearance from stucco to grade - Conducive to moisture damage, Vegetation in contact with stucco - Conducive to moisture damage, Recently painted/textured stucco - Limits view of possible defects, Failing paint

Damage and gaps noted in areas of the exterior stucco walls. Inadequate clearance from stucco to grade noted, which is conducive to moisture damage to the stucco/framing. The Discovery Items listed here can lead to moisture and pest intrusion, and further damage. Recommend further evaluation of the exterior walls by a licensed stucco contractor to determine the cause of damage, and any repairs as necessary. Inquire with the seller regarding any past repairs to exterior walls. See also Lead Paint comment in Exterior - General section of this report.

Recommendation

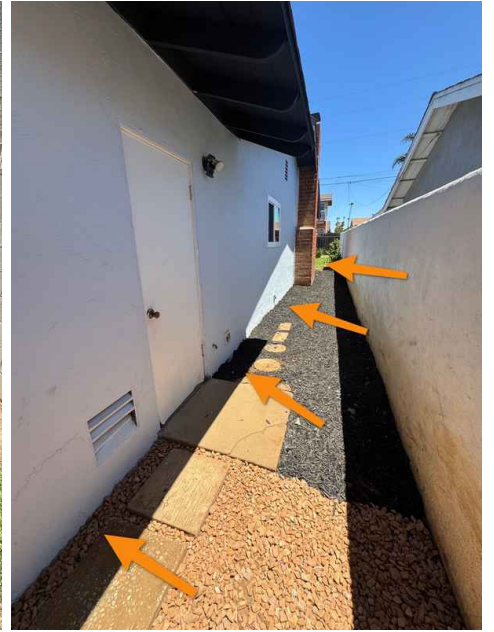
Contact a stucco repair contractor



Example of moisture damage noted



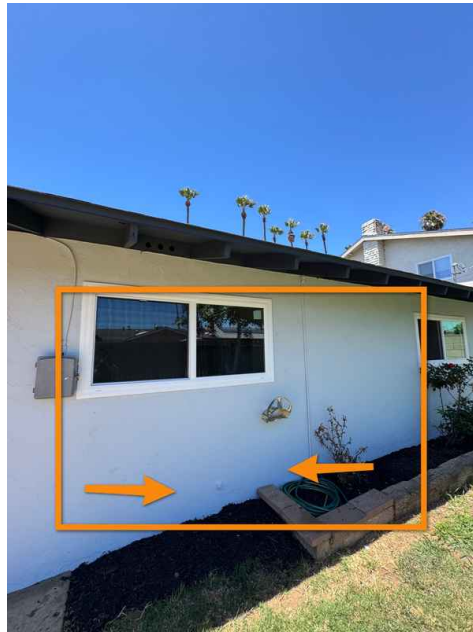
Example of damage, siding at grade noted at Rear, Left Side



Example of siding to ground contact noted at Right Side



Example of cracks noted



Example of cracks, repairs noted at Rear



Example of damage noted



Example noted at Front, Right Side



Example of repairs noted at Front

12.3.2 WALL CLADDING, FLASHING & TRIM

DIAGONAL STUCCO CRACKS AT DOORS/WINDOWS

EXTERIOR

There appeared to be diagonal cracking in the stucco around the door/window locations. Repairs at the cracks noted. This condition is typically indicative of structural settlement or movement. Recommend further evaluation by a licensed stucco contractor to determine the cause, and any repairs necessary to prevent further damage. Inquire with the seller regarding any past repairs to determine work was completed by a licensed contractor.

Recommendation

Contact a stucco repair contractor



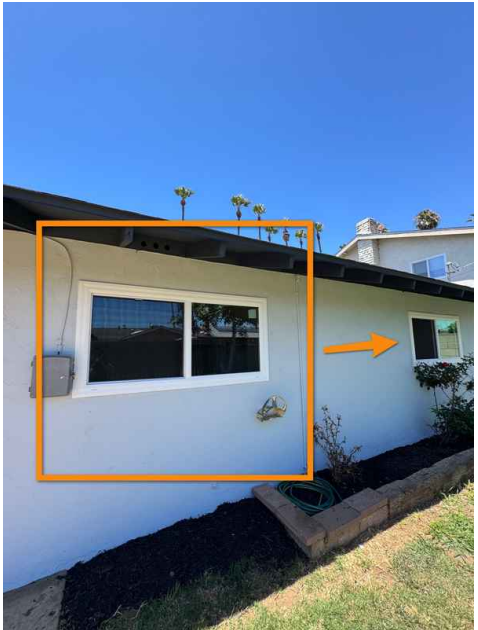
Attention Items



Example noted at Front Entry



Example noted at Right Side of Home



Example noted at Rear of Home

12.4.1 WINDOWS - EXTERIOR

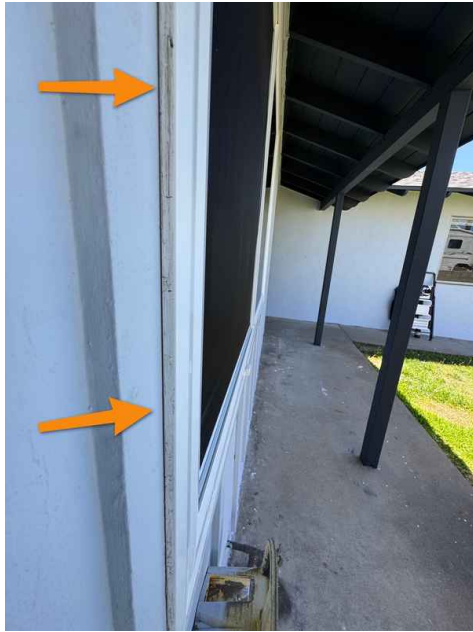
MISSING EXTERIOR WINDOW SEALS

EXTERIOR

Window seals appeared to be missing at several exterior window locations. Inadequate seals may lead to leaks at the windows. Recommend further evaluation by a licensed window contractor to determine any repairs necessary to forestall further deterioration and leaks. Note: As per conversation with the listing agent, the windows were installed the day before the date of this inspection, recommend to inquire with the seller for any warranty that may exist for these windows.

Recommendation

Contact a qualified window repair/installation contractor.



Example noted at Front Left Side of Home



Example noted



Example noted at Right Side of Home

12.5.1 EXTERIOR DOORS

EXTERIOR DOORS/DOOR HARDWARE REQUIRE FURTHER EVALUATION & REPAIR

GARAGE, LIVING ROOM, FRONT ENTRY

Moisture Damage at door(s) - Dry at time of inspection, Missing/inadequate weather stripping at doors - Conducive to moisture and pest intrusion, Screen door locks inoperable, Screen door does not glide properly, Door(s) added or retro-fit - Verify proper installation, Door stopper(s) missing/inadequate

Dry moisture damage noted at garage pedestrian exterior door, indicative of moisture intrusion. Inadequate weather stripping also noted at several doors, which is conducive to moisture/pest intrusion. The sliding living room door appeared retro-fit, inquire with the seller to determine the door was properly installed by a licensed contractor. Due to the multiple Discovery Items listed here, I recommend further evaluation of the exterior doors by a licensed door contractor and repair as necessary to ensure proper function.

Recommendation

Contact a qualified door repair/installation contractor.





Example of moisture damage noted, Garage pedestrian door



The area appeared to be dry



Garage pedestrian door handle loose



Example of damage, missing weather stripping noted



Example noted at Front Entry



Example noted at Living Room, screen does not glide/latch, glass sliding door latch loose when closed

12.5.2 EXTERIOR DOORS

DOOR NOT SQUARE IN OPENING - DOES NOT CLOSE PROPERLY

FRONT ENTRY

The front entry door did not appear to be square in its opening. The door would not close properly and rubs at frame. This condition may simply be due to misaligned hinges, or it can sometimes indicate possible settlement of the structure. Recommend further evaluation by a licensed door contractor to determine the cause and any repairs necessary at this time to ensure proper function.

Recommendation

Contact a qualified door repair/installation contractor.



Attention Items



Front Entry

12.7.1 VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME)



Attention Items

LARGE PLANTS/PLANTERS NEXT TO HOME - LIMITED INSPECTION

EXTERIOR

Large plants and planters are located next to the home. This condition is conducive to moisture intrusion and damage to the home and its foundation, particularly if proper drainage does not occur. Vegetation growing too close to the home can cause damage in several ways. Vegetation in contact with and/or hanging near the roof and/or siding should be trimmed to prevent damage to the building, as well as to prevent pest infestation. Roots and limbs can also cause damage to the siding, hardscape, plumbing, and the foundation as they grow. This condition also limited my view of the home exterior. Recommend further evaluation by a licensed landscaping contractor or qualified arborist to determine any corrections necessary, and if latent defects exist.

Recommendation

Contact a qualified landscaping contractor



Example noted at Rear of Home

12.7.2 VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME)



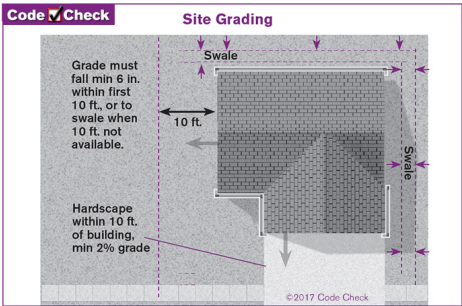
Attention Items

LOW/NEUTRAL AREAS AT GRADING - SUBSURFACE DRAIN(S) NOT EVALUATED

EXTERIOR

There appeared to be low/neutral areas at the grading next to the home, however, subsurface drainage was visible in just one or more areas at the exterior. Determining if further drains are present, and if drains are functional is beyond the scope of this inspection. Moisture intrusion and deterioration to the home remains a possibility if drainage is inadequate. Recommend further evaluation and monitoring of the grading and any existing drains around the home by a licensed landscaping contractor, and any corrections as necessary.

Recommendation
Contact a qualified landscaping contractor



Site Grading Illustration



Example noted at Front, Right Side of Home



Example noted at Front of Home



Example noted at Rear, Left Side of Home



Example noted at Rear, Right Side of Home



Example of low areas noted at Right Side of Home



Example noted at Front Left Side of Home

12.7.3 VEGETATION, GRADING/DRAINAGE & RETAINING WALLS (DIRECTLY NEXT TO HOME)



CRACKS/DAMAGE AT RETAINING WALL(S) - WEEP HOLES NOT VISIBLE

EXTERIOR

Cracking and separation sections visible at the retaining wall(s) in several areas. Moisture damage also noted. Damage in retaining walls can be caused by many reasons, including ground movement or improper design. The wall(s) did not appear to have weep holes, which allow water to drain from behind the walls. Determining the cause of damage is beyond the scope of this inspection. Recommend further evaluation of the retaining/yard walls by a licensed masonry contractor to determine any repairs necessary. Note: The retaining walls appeared to be shared with the neighboring properties, recommend to inquire with the seller to determine client's responsibility regarding the walls.

Recommendation

Contact a qualified masonry professional.



Example of cracking noted



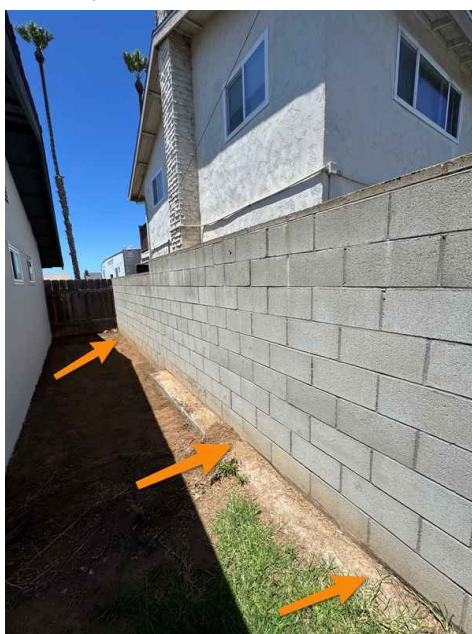
Example noted at Front Left Side Yard, no weep holes visible



Example noted at Right Side wall, cracking noted, no weep holes visible



Example noted at Right Side wall, cracking noted, no weep holes visible



No weep holes visible at Left Side wall

12.8.1 WALKWAYS, DRIVEWAYS, PATIOS & HARDSCAPE (DIRECTLY NEXT TO HOME)

CRACKED/HEAVING HARDSCAPE - POSSIBLE TRIPPING CONCERN NOTED

EXTERIOR

Several sections of the hardscape noted cracking and damaged. Hardscape noted uneven or heaving in one or more locations, this can result in a potential trip and fall safety concern. General settlement is normal and can be expected, however, determining the nature or cause of the cracking/damage and any possible affect on the home is beyond the scope of this inspection. Recommend further evaluation of the hardscape and grading around the home by a licensed grading contractor to determine the cause, and any repairs as necessary to forestall further damage.

Recommendation

Contact a qualified grading contractor.

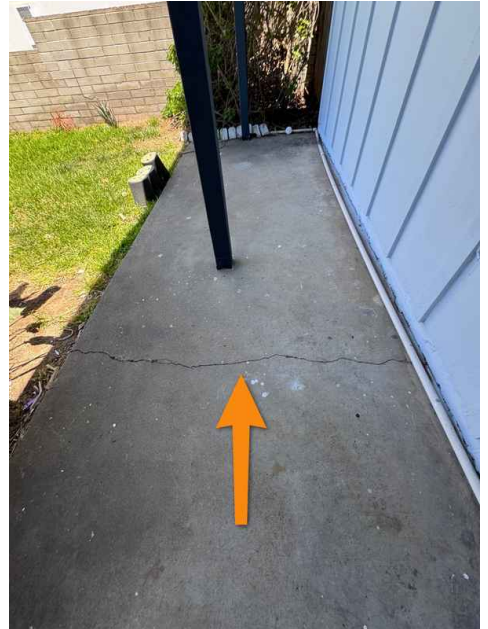




Example of heaving, possible tripping concern noted at Front of Home



Example of cracks noted at Front driveway



Example of crack noted, Front Left Side of Home



Example of crack noted at Right Side of Home

12.8.2 WALKWAYS, DRIVEWAYS, PATIOS & HARDSCAPE (DIRECTLY NEXT TO HOME)



Attention Items

NEUTRAL SLOPE AT PATIO/WALKWAY

EXTERIOR

The slope at the patio/walkway directly next to the home appeared to be neutral, or even slightly negative in areas, which may be considered inadequate for proper drainage. This condition may prevent water from properly draining away from the home, particularly during periods of heavy rain. Water next to, or draining towards, the home can lead to damage. Recommend further evaluation and monitoring by a licensed concrete contractor, and any corrections as necessary.

Recommendation

Contact a qualified concrete contractor.



Example noted at Front of Home

12.9.1 FENCING & GATES (DIRECTLY NEXT TO HOME)

**LEANING/DAMAGED FENCING - GATE DIFFICULT TO OPERATE -
INSPECTION LIMITED**

EXTERIOR

Leaning and damaged fencing noted in several locations. Rusty metal noted at the rear gate, the gate did not appear to operate smoothly. Fencing was also not fully visible due to vegetation, unreasonable access and/or other obstructions limiting my view. Failing paint at wood fencing can lead to termite damage and premature deterioration. Recommend further evaluation of all fencing and repair as necessary by a licensed fence contractor.

Recommendation

Contact a qualified fencing contractor



Example of damage noted, Rear Yard



Example of rust and damage noted



Example noted at Rear Yard, gate difficult to operate