



KEEN EYE PROPERTY INSPECTIONS

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KEEN EYE PRE-LISTING INSPECTION

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07/01/2026



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TABLE OF CONTENTS

1: General Information / Overview	6
2: Lots, Grounds, and Exterior	10
3: Foundation	24
4: Roof	26
5: Attic Insulation & Ventilation	39
6: Plumbing	41
7: Electrical	53
8: HVAC	64
9: Garage / Carport	71
Standards of Practice	77

SUMMARY

Various items on the subject property have been identified that either require maintenance now or in the normal course of ownership. This is only a summary report and it is recommended that the client read the complete full report as additional details and information about the subject property are contained therein. Items listed in the summary report were not operating as intended, health and/or safety concerns or need further evaluation by a professional. When hiring professionals, it is always advisable to use experienced, licensed and qualified tradespeople.

- ⚠ 1.1.1 General Information / Overview - General: Moisture Damage- Interior Flooring
- 🔧 2.1.1 Lots, Grounds, and Exterior - Driveways, Sidewalks, Patios: Minor Deterioration - Monitor
- ⚠ 2.1.2 Lots, Grounds, and Exterior - Driveways, Sidewalks, Patios: Lifted / Raised Area(s) and/or Damage Noted
- ⊖ 2.1.3 Lots, Grounds, and Exterior - Driveways, Sidewalks, Patios: Missing Expansion Joints
- ⚠ 2.1.4 Lots, Grounds, and Exterior - Driveways, Sidewalks, Patios: Loose / Settled / Separating Pavers
- ⊖ 2.2.1 Lots, Grounds, and Exterior - Drainage or Grading: Improper Grading / Drainage Away From Structure
- ⊖ 2.4.1 Lots, Grounds, and Exterior - Exterior Walls / Trim: Stucco Crack(s) / Damage Needs Repair
- ⊖ 2.4.2 Lots, Grounds, and Exterior - Exterior Walls / Trim: Termite Damaged Wood
- ⊖ 2.4.3 Lots, Grounds, and Exterior - Exterior Walls / Trim: Caulking/Sealant Needed
- ⊖ 2.4.4 Lots, Grounds, and Exterior - Exterior Walls / Trim: Holes / Gaps
- 🔧 2.4.5 Lots, Grounds, and Exterior - Exterior Walls / Trim: Stains On Building
- ⊖ 2.4.6 Lots, Grounds, and Exterior - Exterior Walls / Trim: Loose/Damaged Trim / Siding
- ⊖ 2.4.7 Lots, Grounds, and Exterior - Exterior Walls / Trim: Paint Deterioration Noted
- ⊖ 2.4.8 Lots, Grounds, and Exterior - Exterior Walls / Trim: Termite Droppings
- ⊖ 2.5.1 Lots, Grounds, and Exterior - Eaves / Soffits: Rafter Tails Damaged / Deteriorated
- ⊖ 2.5.2 Lots, Grounds, and Exterior - Eaves / Soffits: Paint Failing
- ⊖ 2.5.3 Lots, Grounds, and Exterior - Eaves / Soffits: Termite Damage
- ⊖ 2.6.1 Lots, Grounds, and Exterior - Vegetation: Tree Near / Contacting Building
- ⊖ 2.6.2 Lots, Grounds, and Exterior - Vegetation: Tree Near Foundation
- ⊖ 2.6.3 Lots, Grounds, and Exterior - Vegetation: Vegetation Contact / Clearance
- ⊖ 2.7.1 Lots, Grounds, and Exterior - Retaining Wall(s): Retaining Wall Cracks / Deterioration
- ⚠ 2.8.1 Lots, Grounds, and Exterior - Exterior Windows: Damage / Deterioration - Repair
- ⊖ 4.1.1 Roof - General: Leaking Pool Solar
- ⊖ 4.2.1 Roof - Coverings: Composition Roof Shingle Crazing Cracks
- ⊖ 4.2.2 Roof - Coverings: Exposed Staple / Screw Head(s) and/or Nail Head(s)
- ⊖ 4.4.1 Roof - Skylights, Chimneys & Other Roof Penetrations: Seal Roof Jack Flashing at Penetration(s)
- ⊖ 4.4.2 Roof - Skylights, Chimneys & Other Roof Penetrations: Cricket Not Installed

- ⊖ 4.4.3 Roof - Skylights, Chimneys & Other Roof Penetrations: Crown Cracked/Deteriorated
- ⚠ 4.4.4 Roof - Skylights, Chimneys & Other Roof Penetrations: Skylight(s) Dry Stains
- ⊖ 4.4.5 Roof - Skylights, Chimneys & Other Roof Penetrations: Chimney Brick/Grout Crack(s) / Damage Noted
- ⊖ 4.4.6 Roof - Skylights, Chimneys & Other Roof Penetrations: Skylight Trim Sealant
- ⊖ 4.4.7 Roof - Skylights, Chimneys & Other Roof Penetrations: Ridge skylight substandard
- ⊖ 4.5.1 Roof - Roof Drainage Systems: Partial Gutters Noted
- ⊖ 4.5.2 Roof - Roof Drainage Systems: Gutter(s) and/or Downspout(s) Sections Separated / Damaged / Loose
- ⊖ 4.5.3 Roof - Roof Drainage Systems: Leaking Behind
- ⊖ 4.5.4 Roof - Roof Drainage Systems: Improper Downspout Termination
- ⊖ 6.1.1 Plumbing - Excluded Items: Water Softener / Treatment / Filtration Device
- 🔧 6.1.2 Plumbing - Excluded Items: Whole House Vacuum
- 🔧 6.4.1 Plumbing - Drain, Waste, & Vent Systems: Sewer Scope Video-Seek Rigid Report
- ⊖ 6.5.1 Plumbing - Water Heater(s): Catch Pan Drain Not To Exterior
- ⊖ 6.5.2 Plumbing - Water Heater(s): TPR Drain Does Not Terminate To The Exterior
- ⊖ 6.6.1 Plumbing - Sinks / Fixtures: Corrosion / Damage - Angle Stops
- ⊖ 6.6.2 Plumbing - Sinks / Fixtures: Corroded Sink Fixture
- ⊖ 6.7.1 Plumbing - Bathtubs / Showers: Tub Diverter
- ⊖ 6.7.2 Plumbing - Bathtubs / Showers: Re-Caulk Shower/Tub enclosure
- ⊖ 6.9.1 Plumbing - Laundry: Upgrade 240 Outlet
- ⊖ 6.10.1 Plumbing - Exhaust Fans / Ventilation: Exhaust Fan Noisy
- ⊖ 6.11.1 Plumbing - Fuel Systems: Cut Piping
- ⊖ 6.11.2 Plumbing - Fuel Systems: Vegetation Around Unit
- 🔧 7.1.1 Electrical - Excluded Items: Cable / Satellite / Telephone / Inter Communication / Alarm Systems
- 🔧 7.1.2 Electrical - Excluded Items: Photovoltaic Solar Energy System
- ⚠ 7.2.1 Electrical - Service: Masthead Leaning
- ⚠ 7.3.1 Electrical - Electrical Panel(s): Zinsco / Sylvania Panel
- ⚠ 7.5.1 Electrical - GFCI / AFCI Protection: GFCI Issues
- ⚠ 7.5.2 Electrical - GFCI / AFCI Protection: Missing GFCI Protection
- 🔧 7.7.1 Electrical - Outlets / Switches / Lighting / Fans: Bulb(s) Inoperable and/or Missing
- ⚠ 7.7.2 Electrical - Outlets / Switches / Lighting / Fans: Receptacle / Switch Damaged
- ⊖ 7.7.3 Electrical - Outlets / Switches / Lighting / Fans: Lights Flickering
- ⊖ 7.7.4 Electrical - Outlets / Switches / Lighting / Fans: Rust At Light Cover
- ⚠ 7.8.1 Electrical - Smoke Detectors / CO Alarms / Door Bell: Smoke Detector(s) Missing
- ⊖ 7.8.2 Electrical - Smoke Detectors / CO Alarms / Door Bell: Updating Detectors Recommended
- ⊖ 8.1.1 HVAC - General: Service HVAC System
- ⊖ 8.2.1 HVAC - Heating (Forced Air): Sediment Trap Missing
- ⚠ 8.2.2 HVAC - Heating (Forced Air): Flexible Gas Line Into Unit
- ⊖ 8.2.3 HVAC - Heating (Forced Air): Yellow/Orange Flame
- ⚠ 8.2.4 HVAC - Heating (Forced Air): Near Or At Lifespan (Forced Air)
- ⊖ 8.3.1 HVAC - Ducts and Registers: Old Metal
- 🔧 8.4.1 HVAC - Filter(s) & Thermostat(s): Old Thermostat

-  9.3.1 Garage / Carport - Occupant Door(s): Self-Closing Device Needs Repair or Replacement
-  9.4.1 Garage / Carport - Vehicle Door(s): Paint Damage / Deterioration - Repair
-  9.4.2 Garage / Carport - Vehicle Door(s): Wood Door(s) Noted
-  9.5.1 Garage / Carport - Automatic Opener(s): Cover Missing / Damaged
-  9.5.2 Garage / Carport - Automatic Opener(s): Age - Nearing the End
-  9.6.1 Garage / Carport - Floor, Walls, Ceiling: Floors / Walls Obscured
-  9.6.2 Garage / Carport - Floor, Walls, Ceiling: Fire Wall Gaps, Holes, Damage
-  9.6.3 Garage / Carport - Floor, Walls, Ceiling: Tripping Hazard
-  9.6.4 Garage / Carport - Floor, Walls, Ceiling: Termite Droppings Noted
-  9.6.5 Garage / Carport - Floor, Walls, Ceiling: Cracking Noted
-  9.7.1 Garage / Carport - Exterior Door(s): Rubs in Jamb

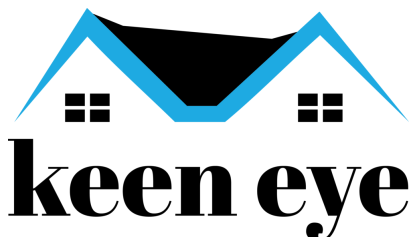
1: GENERAL INFORMATION / OVERVIEW

		IN	NI	NP	F
1.1	General	X			X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Overview



PROPERTY INSPECTIONS

A property inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the InterNACHI [Standards of Practice](#), that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors. This should take place within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs. Further evaluation of repair items could uncover more potential issues than able to be noted from a purely visual inspection of the property. Specialized inspections may reveal issues that our general inspection does not cover. This inspection will not cover any HOA items, will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

The inspector's job is to point out an issue and to give a course of action, which is why we always include a recommendation after the issue. We also write "one or more" comments for your protection. Since we are the generalist, if you have a specialist come out then we recommend they inspect all of the specific items and not just the one we identify in the report.

General: Notes

Note: Read the [Standards of Practice](#) set forth by InterNACHI (International Association of Certified Home Inspectors) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Regular maintenance will be required in several areas. Identifying these areas is beyond the scope of this inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. **The purchase of a home/building warranty is recommended.**

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

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Note: [For the purpose of this report, all directional references \(left, right, front, rear\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: The client is advised that a mold inspection / testing is recommended by a qualified specialist. This is especially important if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector or if issues have been disclosed.

HOA Note: HOA (Home Owner's Association) areas and items located in HOA areas are beyond the scope of this inspection and this typically only applies to condo and townhouses. It is unknown what items if any may be a part of an HOA and note that if any item isn't expressly marked as inspected then it is believed to be an HOA item. Inquire with the seller and/or the HOA for more information. If any HOA items were reported on then they were mentioned as a courtesy and were not fully inspected nor were all the HOA items inspected.

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Attention Required**" or "**Safety Item/Defective**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Observation = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Attention Required = The item, component, or system while perhaps functioning as intended is in need **repair or service**; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or qualified licensed contractor** and are not considered routine maintenance (DIY) items. All "**Attention Required**" items should be evaluated before the close of the contingency period.

Safety Item = The item, component or system poses a **safety concern** to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk. Items may vary in severity, and require attention from either a **homeowner/handyman** (for example, replacing smoke detector batteries or installing CO detectors), **or a qualified licensed professional**.

-OR-

Defective = The item, component or system is **not functioning** as intended, and requires further evaluation and/or repair by a **specialized, qualified, licensed contractor**. Damage to the structure may occur if left unaddressed. All "**Defective**" items are considered high-priority, and should be evaluated before the close of the contingency period. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

General: Limited Inspection

This is a limited inspection requested by the buyer and or agent. This report will only show major components and health/safety issues. Other items will not be reported on.

Findings

1.1.1 General

MOISTURE DAMAGE- INTERIOR FLOORING

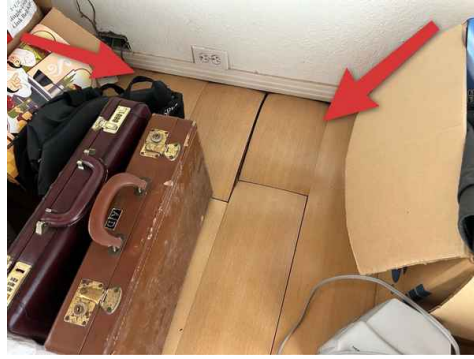


Defective/Safety Hazard

Our inspection was limited to major components. We did observed what appeared to be moisture related damages to the flooring. Appears to be from a past leak but has not been properly remediated. Potential for mold and other related damages. Recommend seeking further evaluation by a licensed contractor before the close of sale to determine scope of repairs that are needed.

Recommendation

Contact a qualified professional.



2: LOTS, GROUNDS, AND EXTERIOR

		IN	NI	NP	F
2.1	Driveways, Sidewalks, Patios	X			X
2.2	Drainage or Grading	X			X
2.3	Fences / Gates	X			
2.4	Exterior Walls / Trim	X			X
2.5	Eaves / Soffits	X			X
2.6	Vegetation	X			X
2.7	Retaining Wall(s)	X			
2.8	Exterior Windows	X			X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Exterior Walls / Trim:

Construction Material

Wood Frame, Concrete Block

Exterior Walls / Trim: Wall

Covering Material

Stucco, Wood

Limitations

Drainage or Grading

GROUND'S LIMITATIONS

The following items are beyond the scope of this inspection, as per the InterNACHI (International Association of Certified Home Inspectors) Standards of Practice. Unless otherwise stated in another section, comments in this report were made as a courtesy, and the items or systems listed were not inspected in their entirety; Detached buildings or structures; fences and gates; retaining walls; underground drainage systems, catch basins or concealed sump pumps; swimming pools and related safety equipment, spas, hot tubs or saunas; whether deck, balcony and/or stair membranes are watertight; trees, landscaping, properties of soil, soil stability, erosion and erosion control; ponds, water features, irrigation or yard sprinkler systems; sport courts, playground, recreation or leisure equipment; areas below the exterior structures with less than 3 feet of vertical clearance; invisible fencing; sea walls, docks and boathouses; retractable awnings.

Exterior Walls / Trim

EXTERIOR LIMITATIONS

Readily accessible/visible areas of the exterior were inspected, which excludes areas that were obscured by vegetation, stored items, areas concealed by coverings, siding or trim, and areas that may be difficult to observe due to height.

Findings

2.1.1 Driveways, Sidewalks, Patios

MINOR DETERIORATION - MONITOR



Observation

Minor deterioration such as cracks, deterioration and or gaps were noted in one or more areas. Corrections may be desired, mainly for cosmetic reasons. We recommend monitoring these conditions and making repairs if conditions worsen.

Recommendation

Recommend monitoring.



2.1.2 Driveways, Sidewalks, Patios

LIFTED / RAISED AREA(S) AND/OR DAMAGE NOTED



Defective/Safety Hazard

One or more areas appeared to be lifted and/or raised. This could be a tripping/safety hazard. A qualified professional is recommended for modification or repair.

Recommendation

Contact a qualified professional.



2.1.3 Driveways, Sidewalks, Patios

MISSING EXPANSION JOINTS



Attention Required

Missing expansion joints were noted in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



2.1.4 Driveways, Sidewalks, Patios

LOOSE / SETTLED / SEPARATING PAVERS

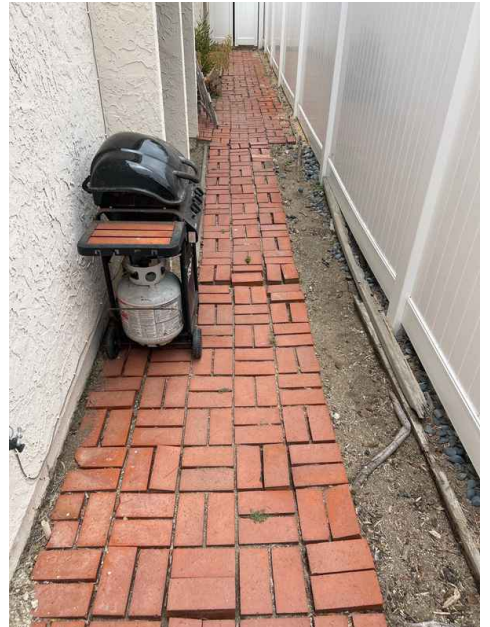


Defective/Safety Hazard

Loose, settled, uneven and/or separating pavers/tiles were noted in one or more areas. Trip hazards were present. A qualified professional is recommended to make repairs as needed for improved safety.

Recommendation

Contact a qualified professional.



2.2.1 Drainage or Grading

IMPROPER GRADING / DRAINAGE AWAY FROM STRUCTURE



Attention Required

The perimeter grading does not slope down and away from the structure in one or more areas. No drainage was visible. This could trap water near the structure. Inquire with the seller to verify that drainage has been installed that is not visible or underground. Wet soil may cause the foundation to settle and possibly fail over time. Recommend having all soil and or hardscape so it slopes down and away from the structure properly or adding drainage as necessary using standard building practices.

Recommendation

Contact a qualified professional.



2.4.1 Exterior Walls / Trim



Attention Required

STUCCO CRACK(S) / DAMAGE NEEDS REPAIR

Cracking, damage, and/or deterioration was noted at one or more areas of stucco siding. This condition could allow moisture intrusion behind the stucco.

Hairline cracks (less than 1/16 inch) are usually cosmetic and can be repaired with a paintable elastomeric caulk or stucco patch.

Larger cracks (more than 1/16 inch) require more extensive repair, such as filling with a stucco patching material or replacing sections of stucco.

A qualified professional is recommended to evaluate and repair the stucco as necessary.

Recommendation

Contact a qualified professional.



2.4.2 Exterior Walls / Trim



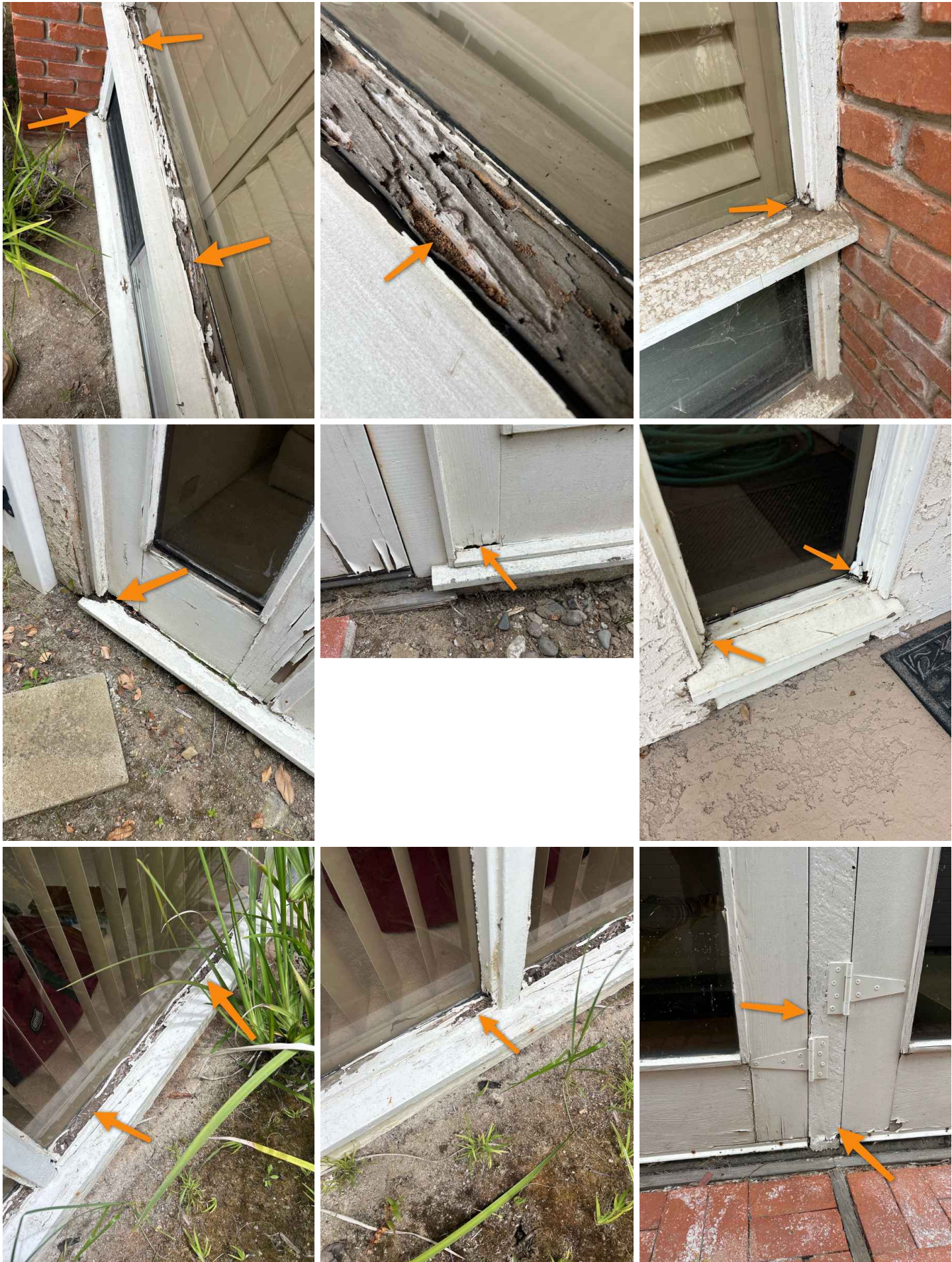
Attention Required

TERMITE DAMAGED WOOD

Damaged, soft and/or deteriorated wood was noted in one or more areas. A qualified pest control professional is recommended for further evaluation and repairs.

Recommendation

Contact a qualified professional.



2.4.3 Exterior Walls / Trim

CAULKING/SEALANT NEEDED

Attention Required

Caulk and/or silicone was substandard and/or missing in some areas. A qualified person is recommended to renew or install caulk as necessary. This is a possible water intrusion area and/or rodent intrusion concern. Where gaps are wider than 1/4 inch, an appropriate material other than caulk should be used.

Recommendation

Contact a handyman or DIY project



2.4.4 Exterior Walls / Trim

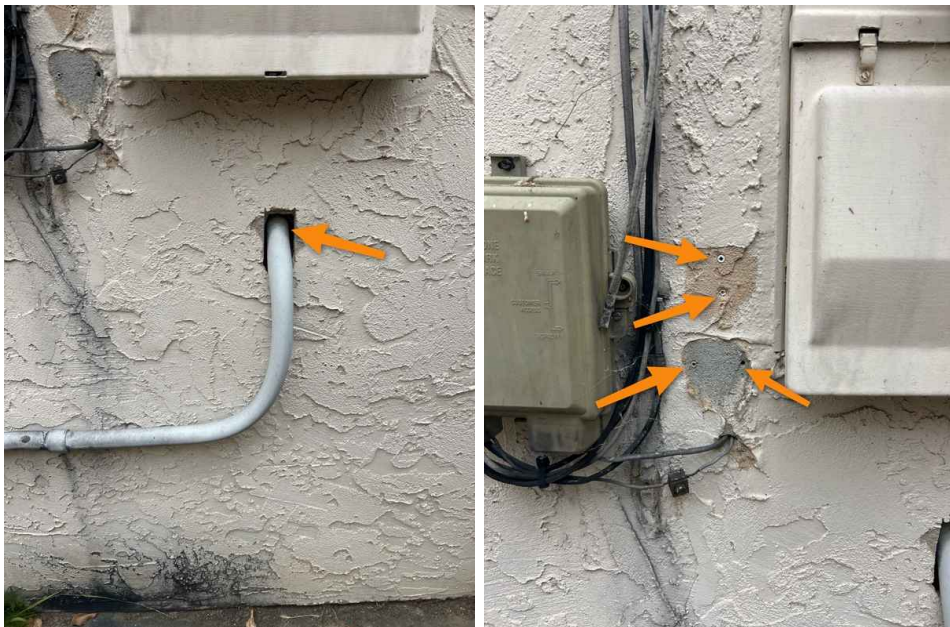
HOLES / GAPS

Attention Required

Holes or gaps were noted at the exterior siding in one or more areas, which may allow for pest and/or moisture intrusion. A qualified handyperson is recommended to repair as necessary.

Recommendation

Contact a qualified handyman.



2.4.5 Exterior Walls / Trim

STAINS ON BUILDING

Observation

Stains were present at one or more areas of the exterior. It appears that exterior of the home needs cleaning and/or paint. A qualified professional is recommended for the maintenance.

Recommendation

Contact a qualified professional.



2.4.6 Exterior Walls / Trim

LOOSE/DAMAGED TRIM / SIDING

Exterior trim and/or siding was loose/damaged at one or more locations. A qualified professional is recommended to make repairs as needed.

Recommendation

Contact a qualified professional.



2.4.7 Exterior Walls / Trim

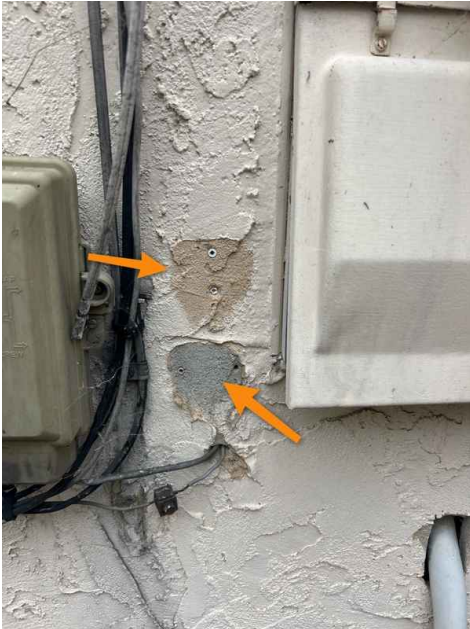
PAINT DETERIORATION NOTED

Paint was flaking and/or deteriorated in one or more areas. Touch up paint is recommended

Recommendation

Contact a qualified professional.





2.4.8 Exterior Walls / Trim

TERMITE DROPPINGS

What appeared to be termite droppings were noted in one or more areas. These could be from prior activity. A qualified pest control professional is recommended for further evaluation.

Recommendation

Contact a qualified professional.



Attention Required



2.5.1 Eaves / Soffits

RAFTER TAILS DAMAGED / DETERIORATED

Rafter tails at one or more areas was damaged and/or deteriorated. A qualified professional is recommended for repairs. For example, by replacing all deteriorated wood and correct the cause of the damage / deterioration.

Recommendation

Contact a qualified general contractor.



Attention Required



2.5.2 Eaves / Soffits

PAINT FAILING

The paint on eaves/fascia was failing/loose. A qualified professional is recommended for paint maintenance as needed.

Recommendation

Contact a qualified painting contractor.



Attention Required



2.5.3 Eaves / Soffits

TERMITE DAMAGE

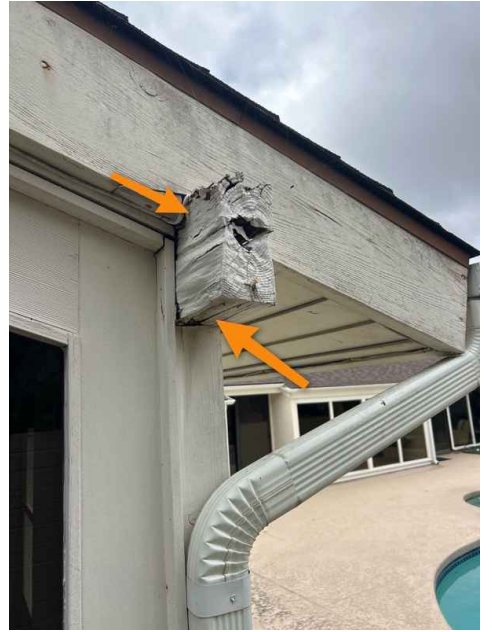
Damaged, soft and/or deteriorated wood was noted in one or more areas. A qualified pest control professional is recommended for further evaluation and repair.

Recommendation

Contact a qualified pest control specialist.



Attention Required



2.6.1 Vegetation

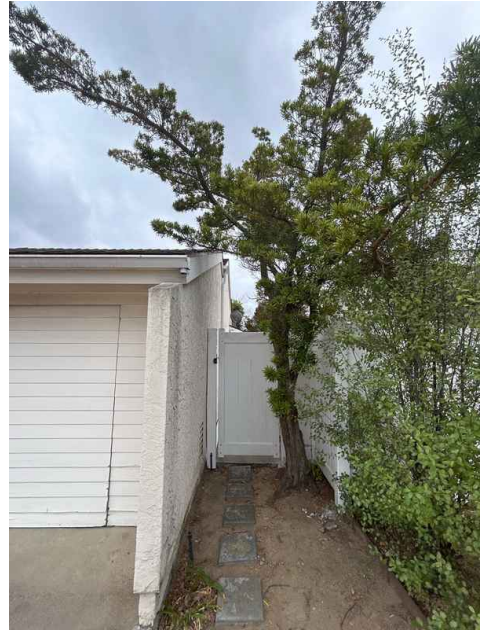
TREE NEAR / CONTACTING BUILDING

Tree(s) were in contact or in very close proximity to the structure in one or more areas. A qualified tree service contractor is recommended for pruning/trimming or removal to prevent future damage to the structure.

Recommendation

Contact a qualified tree service company.





2.6.2 Vegetation

TREE NEAR FOUNDATION



Attention Required

Tree(s) were noted in close proximity to the foundation. Tree roots can cause significant damage to foundations. A qualified tree service contractor is recommended for evaluation and repairs as necessary.

Recommendation

Contact a qualified tree service company.



2.6.3 Vegetation

VEGETATION CONTACT / CLEARANCE

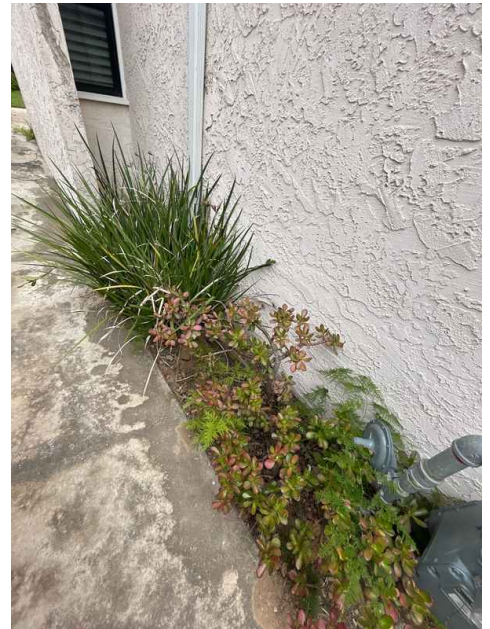


Attention Required

Vegetation was in contact with and/or too close to the structure's exterior. This is a conducive condition for wood destroying organisms. Recommend pruning or removing vegetation as necessary so there is at least a one foot gap between all vegetation and the structure's exterior.

Recommendation

Contact a handyman or DIY project



2.7.1 Retaining Wall(s)

RETAINING WALL CRACKS / DETERIORATION



Attention Required

Cracks and/or damage was noted in one or more retaining walls. A qualified professional is recommended to repair cracks/damage. Monitoring the cracks moving forward is needed.

Recommendation

Contact a qualified professional.



2.8.1 Exterior Windows

DAMAGE / DETERIORATION - REPAIR



Defective/Safety Hazard

Cracking to the glazing was present at one or more windows areas. Correction is recommended. Seek a licensed window contractor to repair and or replace.

Recommendation

Contact a qualified professional.



3: FOUNDATION

		IN	NI	NP	F
3.1	Foundation	X			
3.2	Floor Structure		X		
3.3	Seismic Re-Inforcement	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Foundation: Foundation Type Concrete Slab on Grade	Foundation: Foundation / Stem Wall Material Slab on grade	Foundation: Footing Material Concrete slab
Seismic Re-Inforcement: Anchor Bolts / Hold Downs Installed		

Limitations

Foundation

FOUNDATION LIMITATIONS

The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted.

Foundation

HILLSIDE NOTICE

The property was built on or near a hillside. The slab was not fully visible due to flooring installed. No readily visible issues were noted at the time of the inspection but the client(s) may wish to consult with a civil engineer or qualified professional to verify (measure elevations of the slab) that significant movement has not occurred.

Floor Structure

FOUNDATION LIMITATIONS

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Seismic Re-Inforcement

FOUNDATION LIKELY BOLTED

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be viewed because of this. Confirmation by a foundation contractor might be considered.

4: ROOF

		IN	NI	NP	F
4.1	General	X			X
4.2	Coverings	X			X
4.3	Flashings	X			
4.4	Skylights, Chimneys & Other Roof Penetrations	X			X
4.5	Roof Drainage Systems	X			X
4.6	Maintenance / Other	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Inspection Method
Fully Traversed

General: Roofing Material
Asphalt

General: Flashing Material
Metal

General: View of Roof

View of roof.







Limitations

General

ROOF LIMITATIONS

This is a general condition report on the roof condition and materials. The home inspector is a generalist and for a more detailed report, the client may wish to hire a qualified licensed roofing contractor for a roof certification and/or a leak-tight warranty. Skylight(s), flashings and roof(s) are not water tested for leaks. As part of your ongoing annual maintenance, a roof inspection is recommended.

General

SOLAR PANELS

This home is equipped with Solar Panels. This limits our view of the roof penetrations. Because of this, we recommend having the roof further evaluated by a licensed roofer before the end of your contingency period to determine if any corrections are needed.

General

POOL SOLAR

The roof is not fully visible due to pool solar.

Findings

4.1.1 General

LEAKING POOL SOLAR

Attention Required

It appears that the pool solar may be leaking. A qualified licensed contractor is recommended to evaluate and estimate repairs.

Recommendation

Contact a qualified professional.



4.2.1 Coverings

COMPOSITION ROOF SHINGLE CRAZING CRACKS



Composition roof shingles showing signs of crazing cracks. This will shorten the life expectancy of the roof. Seek a licensed roofing contractor for further evaluation to determine life expectancy.

Monitoring for signs of future damage/deterioration is recommended.

Recommendation

Contact a qualified roofing professional.



4.2.2 Coverings

EXPOSED STAPLE / SCREW HEAD(S) AND/OR NAIL HEAD(S)

Attention Required

Nails, screws, and/or staple heads were exposed at one or more shingles. A qualified roofing professional is recommended to apply an approved sealant over exposed fasteners now and as necessary in the future to prevent leaks.

Recommendation

Contact a qualified professional.



4.4.1 Skylights, Chimneys & Other Roof Penetrations



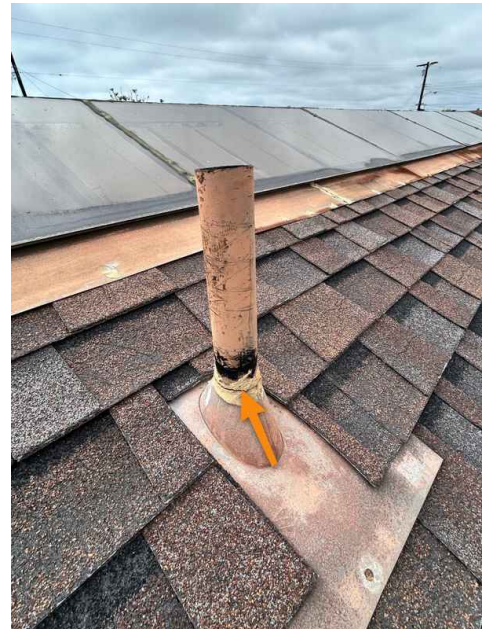
Attention Required

SEAL ROOF JACK FLASHING AT PENETRATION(S)

One or more roof jacks in need of tar maintenance at pipes and/or other penetrations. Leaks can occur as a result. This is a conducive condition for wood-destroying organisms. Recommend that a qualified contractor seal roof jack flashing where necessary.

Recommendation

Contact a qualified roofing professional.



4.4.2 Skylights, Chimneys & Other Roof Penetrations

CRICKET NOT INSTALLED

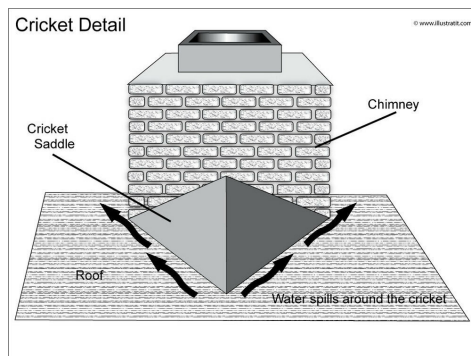


Attention Required

A cricket is a peaked saddle behind the chimney/skylight that diverts water around the sides of the chimney. Without a cricket, debris such as leaves, needles or moss is likely to accumulate above the chimney, and can cause leaks. At a minimum, monitor this area and its flashings for accumulated debris, and clean debris as necessary. Consideration should be given to contacting a qualified roofing professional to install a cricket as a preventative maintenance measure.

Recommendation

Contact a qualified roofing professional.



4.4.3 Skylights, Chimneys & Other Roof Penetrations

CROWN CRACKED/DETERIORATED



Attention Required

The top portion of a masonry chimney is referred to as the chimney crown. The crown at one or more areas was cracked, worn and/or substandard. This could allow moisture intrusion behind the chimney. A qualified tradesperson is recommended to repair or replace crowns as needed.

Recommendation

Contact a qualified chimney contractor.



4.4.4 Skylights, Chimneys & Other Roof Penetrations



Defective/Safety Hazard

SKYLIGHT(S) DRY STAINS

Dry water stains were found around one or more skylights. It is unknown if these stains are due to an active leak. If available, inquire with the seller in this regard. It's possible these stains are from a previous leak that has since been addressed. Consideration should be given to having a qualified roofer further evaluate and determine if repairs are needed at this time.

Recommendation

Contact a qualified roofing professional.



4.4.5 Skylights, Chimneys & Other Roof Penetrations



Attention Required

CHIMNEY BRICK/GROUT CRACK(S) / DAMAGE NOTED

Cracks and or damage were noted in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



4.4.6 Skylights, Chimneys & Other Roof Penetrations

SKYLIGHT TRIM SEALANT

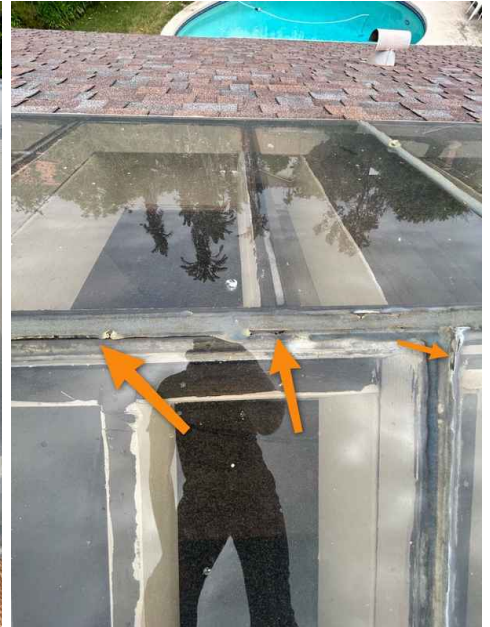
The sealant for the skylight trim was deteriorated and/or substandard. A qualified professional is recommended to make repairs as needed.

Recommendation

Contact a qualified professional.



Attention Required



4.4.7 Skylights, Chimneys & Other Roof Penetrations

RIDGE SKYLIGHT SUBSTANDARD

We observed what appears to be a skylight installed in a substandard manner. Observed glass panes glued down on roof joists, sealant damages and flashing that needs to be evaluated. We recommend the area to be further evaluated by a licensed roofer to determine if the installation method is acceptable and water tight. Also the roofer is to determine the scope of repairs that are needed at this time.

Recommendation

Contact a qualified professional.



Attention Required



4.5.1 Roof Drainage Systems

PARTIAL GUTTERS NOTED

A partial gutter system was noted. A qualified professional is recommended to add full gutters for improved drainage.

Recommendation

Contact a qualified professional.



Attention Required



4.5.2 Roof Drainage Systems

GUTTER(S) AND/OR DOWNSPOUT(S) SECTIONS SEPARATED / DAMAGED / LOOSE

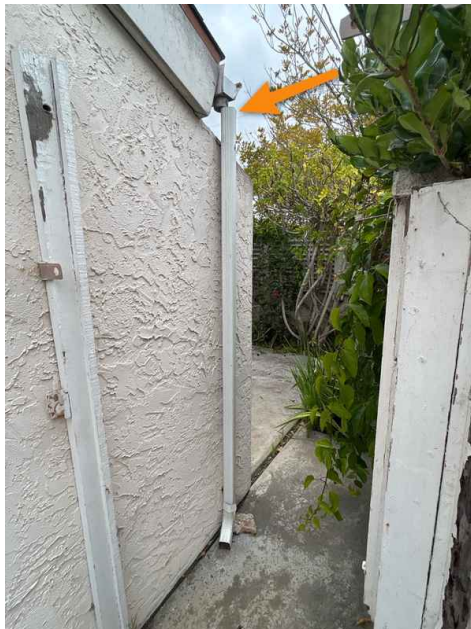
Gutters and/or downspouts at one or more areas were separated, buried, loose and/or substandard. Repairs are needed to ensure proper function and direct water away from the home. A qualified professional is recommended to repair gutters and/or downspouts as needed

Recommendation

Contact a qualified gutter contractor



Attention Required



4.5.3 Roof Drainage Systems

LEAKING BEHIND



Attention Required

The gutters at one or more areas were leaking or showed evidence due to improper connection, failed sealant or substandard installation. A qualified handyperson is recommended to repair gutters as needed.

Recommendation

Contact a qualified gutter contractor



4.5.4 Roof Drainage Systems

IMPROPER DOWNSPOUT TERMINATION



Attention Required

The downspout terminations were improper and/or substandard. Terminating the downspouts directly next to the home will typically create and/or accelerate issues with moisture intrusion, erosion, and can lead to abnormal settlement of the foundation. This is because roof run-off is now concentrated into a specific area. Recommend having elbows and splashblocks installed where possible, some areas may need a buried drainline to properly divert water away from home.

Recommendation

Contact a qualified gutter contractor



5: ATTIC INSULATION & VENTILATION

		IN	NI	NP	F
5.1	Access	X			
5.2	Structure, Framing & Sheathing	X			
5.3	Insulation, Ventilation, and Exhaust	X			
5.4	Moisture Intrusion	X			

IN = Inspected

NI = Not Inspected

NP = Not Present

F = Finding

Information

Access: Access Location(s)

Master Bedroom Closet



Access: How Viewed

Traversed

Structure, Framing & Sheathing: Types

Trusses, Ceiling joists, Plywood Sheathing, Spaced wood sheathing

Insulation, Ventilation, and Exhaust: Insulation Type

Batts/Blankets

Insulation, Ventilation, and Exhaust: Approx. Insulation Depth

Not Determined

Insulation, Ventilation, and Exhaust: Ventilation Type

Gable Vents, Roof vents

Access: Attic Views



Limitations

Access

ATTIC LIMITATIONS

Areas that could not be traversed or viewed clearly due to lack of access, areas covered with insulation or obscured by limited height, areas or components obscured by stored items are beyond the scope of this inspection. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. The inspector is not an engineer and does not determine the adequacy of roof structure components such as rafters, trusses or ceiling beams, or their spacing / sizing.

Insulation, Ventilation, and Exhaust

INSULATION/VENTILATION LIMITATIONS

The insulation and ventilation of the home was inspected and reported on with the above information. Only the visible areas of insulation and ventilation were inspected. Wall insulation type and value could not be verified. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings).

6: PLUMBING

		IN	NI	NP	F
6.1	Excluded Items	X			X
6.2	Service	X			
6.3	Supply Lines / Hose Bibs	X			
6.4	Drain, Waste, & Vent Systems	X			X
6.5	Water Heater(s)	X			X
6.6	Sinks / Fixtures	X			X
6.7	Bathtubs / Showers	X			X
6.8	Toilets	X			
6.9	Laundry	X			X
6.10	Exhaust Fans / Ventilation	X			X
6.11	Fuel Systems	X			X
6.12	Irrigation		X		
6.13	Caulking	X			

IN = Inspected

NI = Not Inspected

NP = Not Present

F = Finding

Information

Service: Water Meter Location

By Street

Service: Water Service Type

Public

Service: Water Service Material

Copper

Service: Water Shut-Off Location

Garage

Service: Pressure Regulator
Present

Yes

Service: Sewer Type

Public


Supply Lines / Hose Bibs:
Materials

Copper


Drain, Waste, & Vent Systems:
Waste and Vent Materials

ABS, Cast Iron

Drain, Waste, & Vent Systems:
Clean-out Location(s)

Exterior



Water Heater(s): Estimated Mfg. Year
2018

Water Heater(s): Location
Garage

Water Heater(s): Energy Source / Type
Tank, Gas

Laundry: Information
120 Volts, 240 Volt Electric, Dryer Present (not tested), Clothes Washer Present (not tested), Gas

Water Heater(s): Capacity
50 Gallons

Exhaust Fans / Ventilation: Type
Window, Exhaust fan

Fuel Systems: Equipment Photo



Fuel Systems: Fuel Service Type
Natural Gas

Fuel Systems: Main Gas Shut-off Location
Gas Meter

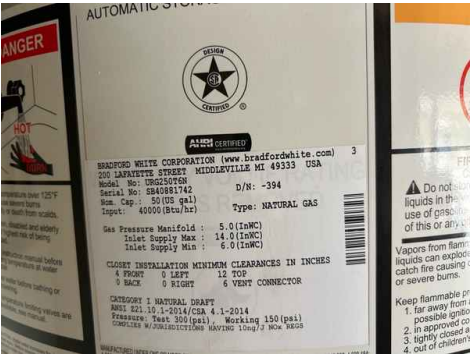
Service: Water Pressure

70-80 PSI

View of water pressure at the time of the inspection. 50 to 80 PSI is acceptable 60 to 75 PSI is ideal.



Water Heater(s): Equipment Photo



Water Heater(s): Bradford White Age - Serial Number

The first two characters of the SERIAL NUMBER represent the year and month of manufacture. The remainder of the serial is a sequential production number, seven digits in length before December 2007 (DM), and eight digits in length after.

For example:



Production Year

Production Month

A = 1984 or 2004

B = 1985 or 2005

C = 1986 or 2006

D = 1987 or 2007

E = 1988 or 2008

F = 1989 or 2009

G = 1990 or 2010

H = 1991 or 2011

J = 1992 or 2012

K = 1993 or 2013

L = 1994 or 2014

M = 1995 or 2015

N = 1996 or 2016

P = 1997 or 2017

S = 1998 or 2018

T = 1999 or 2019

W = 2000 or 2020

X = 2001 or 2021

Y = 2002 or 2022

Z = 2003 or 2023

A=January

B=February

C=March

D=April

E=May

F=June

G=July

H=August

J=September

K=October

L=November

M=December

For the year column, we do not use the letters : I, O, Q, R U, V

For the month column we do not use the letters: I & N – Z

Fuel Systems: Fuel Supply Piping Type

Steel

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Irrigation: Irrigation System - Not Inspected

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. We recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

The following items are not included in this inspection: irrigation systems; private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; automatic soap dispensing machines; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices; heated towel racks, saunas, steam generators, air compressors, clothes washers, or clothes dryers. Any comments made regarding these items are mentioned as a courtesy only.

Note: The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated.

The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances. Wall coverings, rugs, and contents in drawers and cabinets were not moved and may have prevented a complete inspection.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection, but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Excluded Items

FIXTURE FLOW / CAPACITY NOT INSPECTED

The fixture(s) flow or capacity (determining if items are low flow based on today's standards or the real estate industry's definition of low flow) is beyond the scope of this inspection as per the industry standards.

Water Heater(s)

WATER HEATER LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Water Heater(s)

RECIRCULATING PUMPS / EXPANSION TANKS NOT INSPECTED

Hot water recirculating pumps and or expansion tanks are outside the scope of a home inspection. Recommend asking seller about this and/or have further evaluated by a qualified plumber to determine if any corrections are needed at this time.



Bathtubs / Showers

BATHTUB/SHOWER LIMITATIONS

Tub overflow drains are beyond the scope of this inspection, as set forth by the [Standards of Practice](#). Determining if shower pans and shower enclosures are leaking is beyond the scope of this inspection. Steam units are beyond the scope of this inspection. The inspection may be limited due to personal belongings.

Laundry

LAUNDRY LIMITATIONS

The inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. **Note:** Laundry appliances are beyond the scope of this inspection, as set forth by the Standards of Practice.

Fuel Systems

GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumber contractor before the end of your contingency period to determine if any latent defects exist.

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Findings

6.1.1 Excluded Items

WATER SOFTENER / TREATMENT / FILTRATION DEVICE

Attention Required

A water softener system / water treatment device / water filter was installed on the premises. These are specialty systems and are excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation by a qualified specialist. Water softeners typically work by removing unwanted minerals (e.g. calcium, magnesium) from the water supply. Recommend consulting with the property owner about this system to determine its condition, required maintenance, age, expected remaining life, etc.

Note: Water from a water softener system is not recommended for drinking due to its increased sodium content. If the system installed is a water softener (as opposed to a water treatment or filtration system), then we recommend confirming that a water filter is installed in conjunction with this device so that drinking water is present in the house.

Recommendation

Contact a qualified professional.



6.1.2 Excluded Items

WHOLE HOUSE VACUUM

Observation

Whole house vacuum systems are outside the scope of a home inspection. Recommend having seller demonstrate proper function of this system.

Recommendation

Contact a qualified professional.



6.4.1 Drain, Waste, & Vent Systems

SEWER SCOPE VIDEO-SEEK RIGID REPORT

Observation

A sewer scope was performed and all piping appeared functional at the time of the inspection. Waste line is a combination of ABS and Re-lined cast iron.

*Seek Rigid Report for video and summary.

Recommendation

Contact a qualified professional.

6.5.1 Water Heater(s)



Attention Required

CATCH PAN DRAIN NOT TO EXTERIOR

The catch pan underneath the water heater did not terminate at the exterior. Newer building standards require catch pans to be drained to an exterior point to prevent damage. Adding a drain to exterior is recommended. At a minimum a water alarm should be installed.

Recommendation

Contact a qualified plumbing contractor.



6.5.2 Water Heater(s)



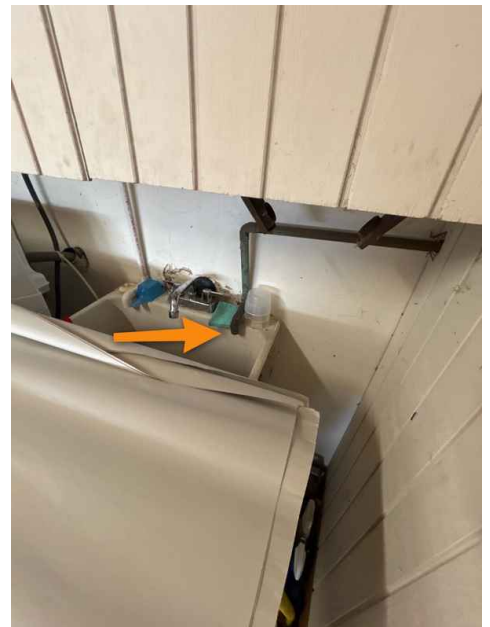
Attention Required

TPR DRAIN DOES NOT TERMINATE TO THE EXTERIOR

The drain for the temperature pressure relief (TPR) valve does not terminate to the exterior of the building. These valves often leak over time. If this valve leaks, significant amounts of water can accumulate where the drain line terminates. Recommend that a qualified plumber repair per standard building practices, and so the drain line terminates outside at a readily accessible location.

Recommendation

Contact a qualified plumbing contractor.



6.6.1 Sinks / Fixtures

CORROSION / DAMAGE - ANGLE STOPS

HALL BATHROOM

Some of the angle stops, shut off valves or supply lines under the sinks or behind the toilets appear to be corroding, damaged, or have mineral deposits or rust. This is indicative of a previous leak that has sealed itself. Monitoring this situation is recommended. A qualified plumbing contractor is recommended for further evaluation and repairs.

Recommendation

Contact a qualified professional.



Attention Required



6.6.2 Sinks / Fixtures

CORRODED SINK FIXTURE

PRIMARY BATHROOM

Corroded sink fixture noted at one or more location. Monitoring this situation and replace the fixture as needed.

Recommendation

Contact a qualified professional.



Attention Required



6.7.1 Bathtubs / Showers

TUB DIVERTER

The tub diverter(s) did not function properly at the time of the inspection. Water sprays from shower head and tub spout at the same time. This is typically due to corrosion and or hard water build-up. A qualified professional is recommended for repairs.

Recommendation

Contact a qualified professional.



Attention Required



6.7.2 Bathtubs / Showers

RE-CAULK SHOWER/TUB ENCLOSURE

The tub/shower enclosures need to be cleaned and re-caulked to prevent moisture intrusion beyond the shower enclosure walls.

Recommendation

Contact a qualified professional.



Attention Required



6.9.1 Laundry

UPGRADE 240 OUTLET

A 3-slot receptacle was installed for the clothes dryer but most modern clothes dryers use a 4-slot receptacle. While 3 wire clothes dryer circuits were allowed prior to 1996 and are commonly still in use; they are not up today's safety standards. Note that this may require installing a new circuit wire. A qualified electrician is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified electrical contractor.



Attention Required



6.10.1 Exhaust Fans / Ventilation

EXHAUST FAN NOISY

Attention Required

The exhaust fan was noisy or vibrated excessively. A qualified handyperson is recommended to clean, repair or replace fans as necessary.

Recommendation

Contact a qualified handyman.



6.11.1 Fuel Systems

CUT PIPING

Gas piping was cut and capped at one or more areas. Inquire with the seller and/or a qualified professional regarding the piping.

Recommendation

Contact the seller for more info



Attention Required



6.11.2 Fuel Systems

VEGETATION AROUND UNIT

Vegetation was noted around the unit and it was not fully visible. Correction is recommended for safety reasons.

Recommendation

Contact a handyman or DIY project



Attention Required



7: ELECTRICAL

		IN	NI	NP	F
7.1	Excluded Items	X			X
7.2	Service	X			
7.3	Electrical Panel(s)	X			X
7.4	Breakers & Panel Wiring	X			
7.5	GFCI / AFCI Protection	X			X
7.6	Electrical Wiring	X			
7.7	Outlets / Switches / Lighting / Fans	X			X
7.8	Smoke Detectors / CO Alarms / Door Bell	X			X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Information

120-240 Voltage, 1 phase 3 wire
Voltage

Service: Entrance Conductor

Material
Copper

Electrical Panel(s): Main Panel

Location
Exterior left side

Electrical Panel(s): Panel Capacity

125 Amps

Electrical Panel(s): Main

Disconnect Rating
125 Amps

Electrical Panel(s): Sub Panel

Location(s)
N/A

Breakers & Panel Wiring: Over Protection Devices

Breakers

GFCI / AFCI Protection: GFCI Reset Location(s)

Hall Bathroom, Master Bathroom,
Exterior

Electrical Wiring : Wiring Type

Copper

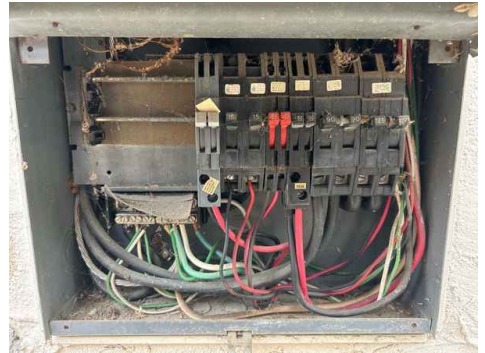
Service: Old Panel Warning

This electric panel appears older. Aside from any visual deficiencies noted elsewhere in this report, it may be prudent to consider updating this panel to a more modern panel that allows room for expansion and modern breaker (GFCI/AFCI) protection. Client should consult with a qualified electrician regarding cost.

Service: Grounding System Requirement

Note: Based on today's standards homes and all detached buildings with electric panels should be provided with 2 grounding rods. Prior to 2016 only one ground rod was required. Grounding rods are metal electrode (rods) placed within the soil to ground the house to the earth. This is mentioned only for your information. This property may or may not comply or need to comply with these new standards. Further evaluation by a qualified electrician should be considered to determine if upgrades are needed.

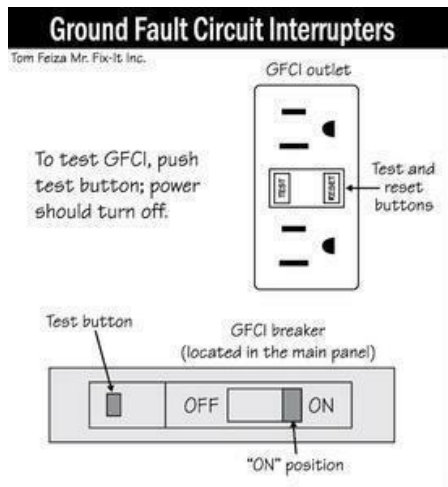
Electrical Panel(s): Panel Equipment Photographs



GFCI / AFCI Protection: GFCI Protection Present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior and garage outlets, and "wet areas" to prevent electrical shock. There is a small reset / test button on the receptacle and/or breaker. To reset a receptacle, the button must be pressed. For a breaker the device must be fully turned off, then back on.

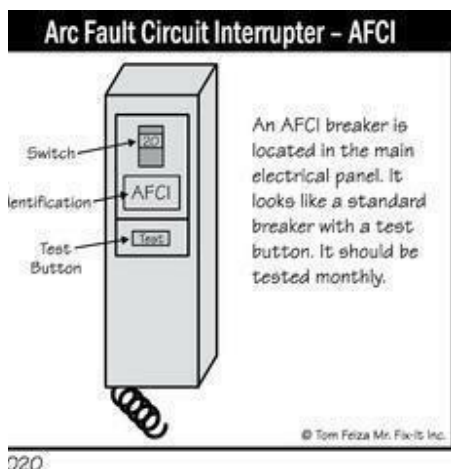


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GFCI / AFCI Protection: AFCI Protection Present

No

An **Arc Fault Circuit Interrupter (AFCI)** is a **circuit breaker** that breaks the circuit when it detects an **electric arc** in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors in All Required Locations

No

Note: Smoke detectors are tested only for audibility and not tested using actual smoke.

Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) in All Required Locations

Yes

Note: Carbon Monoxide alarms are tested only for audibility and not tested using actual Carbon Monoxide.

Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Some parts of the electrical system are excluded from this inspection: inaccessible wiring, underground utilities and system, low-voltage lighting or lighting on timers or sensors, alarm systems, security cameras, generators, intercom and audio systems. Any comments made regarding these items are as a courtesy only and further evaluation may be desired.

Breakers & Panel Wiring

LABELING ACCURACY NOT VERIFIED

Inspectors do not verify the accuracy of the labeling, but it appears to be typical. When the opportunity arises, we suggest verifying the labeling by manually operating the breakers.

Electrical Wiring

WIRING LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the end of your contingency period to determine if any latent defects exist.

Smoke Detectors / CO Alarms / Door Bell

DETERMINING IF DETECTORS HARDWIRED

Determining if the units are hardwired is beyond the scope of this inspections.

Findings

7.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM SYSTEMS



Observation

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.

7.1.2 Excluded Items

PHOTOVOLTAIC SOLAR ENERGY SYSTEM



Observation

Note: A photovoltaic solar energy system was installed. Evaluating these systems is beyond the scope of a home inspection. The condition of the system is unknown and it is excluded from this inspection. A qualified professional is recommended to review this system and make repairs if necessary.

Recommendation

Contact a qualified solar panel contractor.

7.2.1 Service

MASTHEAD LEANING



Defective/Safety Hazard

The service utility masthead was leaning. A qualified professional is recommended for repairs as needed.

Recommendation

Contact a qualified electrical contractor.



7.3.1 Electrical Panel(s)

ZINSCO / SYLVANIA PANEL

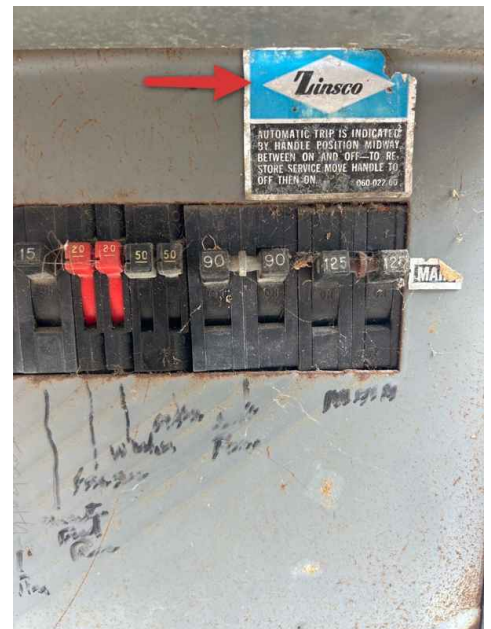


Defective/Safety Hazard

The panel was manufactured by the Zinsco/Sylvania company. These panels and their circuit breakers have a history of problems including: bus bars made from aluminum that oxidizes and corrodes, breakers that don't trip under normal overload conditions and breakers that appear to be tripped when they're not. These panels are known to be problematic. A qualified electrician is recommended for further evaluation of the panel and to provide quotes for replacement.

Recommendation

Contact a qualified electrical contractor.



7.5.1 GFCI / AFCI Protection

GFCI ISSUES



Defective/Safety Hazard

One or more ground fault circuit interrupter (GFCI) receptacles (outlets) were not functioning properly (would not trip / would not reset / still energized when tripped). A qualified electrician is recommended to replace GFCI receptacle(s) as needed.

Recommendation

Contact a qualified electrical contractor.



7.5.2 GFCI / AFCI Protection

MISSING GFCI PROTECTION

GARAGE, LAUNDRY AREA, KITCHEN



One or more locations at this property were noted as not having GFCI protection or the inspector was unable to verify if GFCI protection existed at these locations. This is a safety hazard. Adoption of GFCI outlets was generally phased in over numerous years/decades. The client should evaluate upgrading these areas to GFCI protection at their discretion.

General guidelines for GFCI-protected receptacles include the following locations:

1. Outdoors and pools (since 1971)
2. Bathrooms (since 1975)
3. Garages(since 1978)
4. Hot tub and/or spa (1981)
5. Kitchens (since 1987)
6. Crawl spaces and/or unfinished basements (since 1990)
7. Wet bar sinks (since 1993)
8. Laundry and utility sinks (since 2005)
9. Dishwasher/disposal and laundry equipment (2014)

Recommendation

Contact a qualified electrical contractor.



7.7.1 Outlets / Switches / Lighting / Fans

BULB(S) INOPERABLE AND/OR MISSING



A bulb was not functioning or not installed at one or more fixtures. The repair could be as simple as bulb replacement or further repair may be necessary. A qualified professional is recommended to further evaluate as needed.

Recommendation

Contact a qualified professional.



7.7.2 Outlets / Switches / Lighting / Fans

RECEPTACLE / SWITCH DAMAGED



Defective/Safety Hazard

An electric outlet and/or switch was damaged at one or more areas. A qualified electrician is recommended to replace damaged outlets/switches where needed.

Recommendation

Contact a qualified electrical contractor.



7.7.3 Outlets / Switches / Lighting / Fans



Attention Required

LIGHTS FLICKERING

Lights flicker at one or more areas. A qualified electrician is recommended for further evaluation and repairs.

Recommendation

Contact a qualified electrical contractor.



7.7.4 Outlets / Switches / Lighting / Fans



Attention Required

RUST AT LIGHT COVER

Rust/corrosion was noted at one or more exterior light covers. Monitoring for signs of damage/deterioration and replace as needed.

Recommendation

Contact a qualified professional.



7.8.1 Smoke Detectors / CO Alarms / Door Bell



Defective/Safety Hazard

SMOKE DETECTOR(S) MISSING

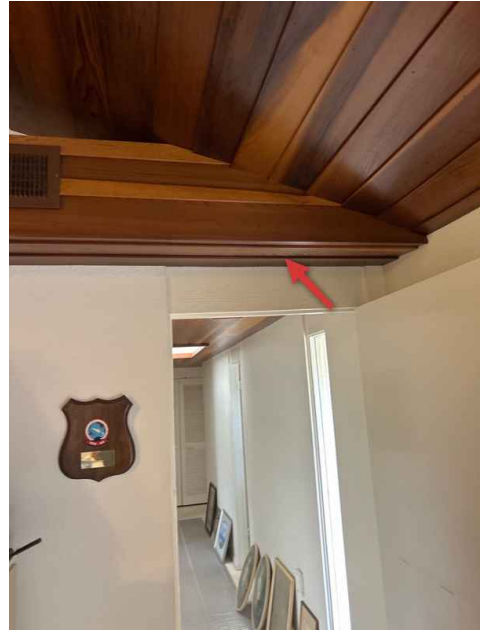
BEDROOMS

Smoke alarms were missing and/or not installed in one or more recommended locations. Smoke alarms should be replaced as necessary and installed per standard building practices (e.g. in each hallway leading to bedrooms, in each bedroom, and on each floor). Installing photoelectric-type smoke detectors / alarms is recommended.

Note: Homes built prior to 1992 were not required to have smoke detectors installed in each bedroom, only hallways. Regardless, installing smoke detectors in each bedroom is recommended for increased safety.

Recommendation

Contact a handyman or DIY project



7.8.2 Smoke Detectors / CO Alarms / Door Bell

UPDATING DETECTORS RECOMMENDED

ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS

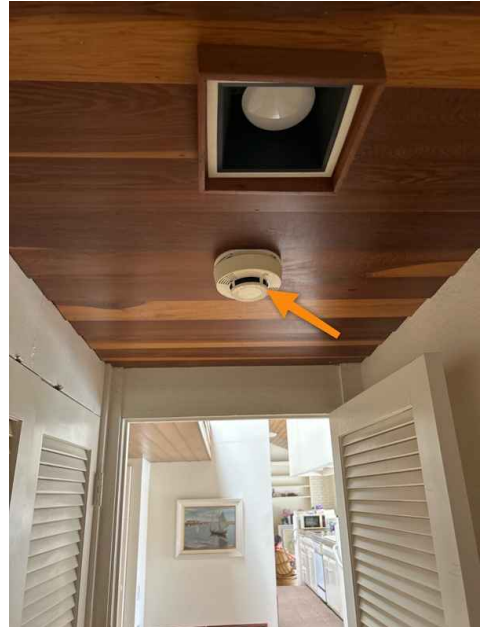
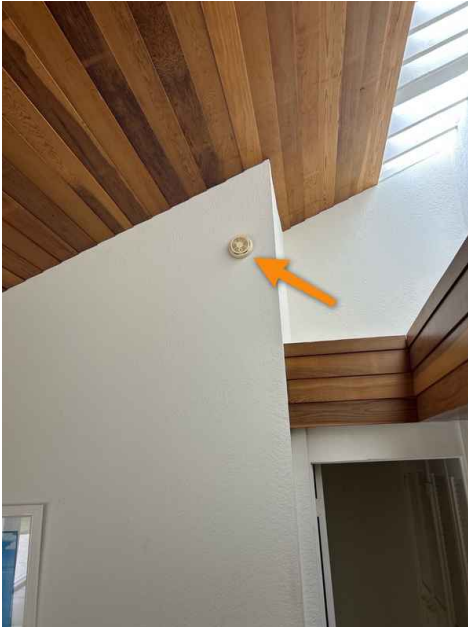
Updating the detectors to the newer style with an internal 10-year battery is recommended. A qualified handyperson is recommended to update detectors where needed for added safety.

Recommendation

Contact a handyman or DIY project



Attention Required





8: HVAC

		IN	NI	NP	F
8.1	General	X			X
8.2	Heating (Forced Air)	X			X
8.3	Ducts and Registers	X			X
8.4	Filter(s) & Thermostat(s)	X			X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: No Air Conditioning Provided

Note: Some areas of the structure are not provided with air conditioning.

Heating (Forced Air): Equipment Photos



Heating (Forced Air): Location Interior closet

Heating (Forced Air): Estimated Year Mfg. 1974

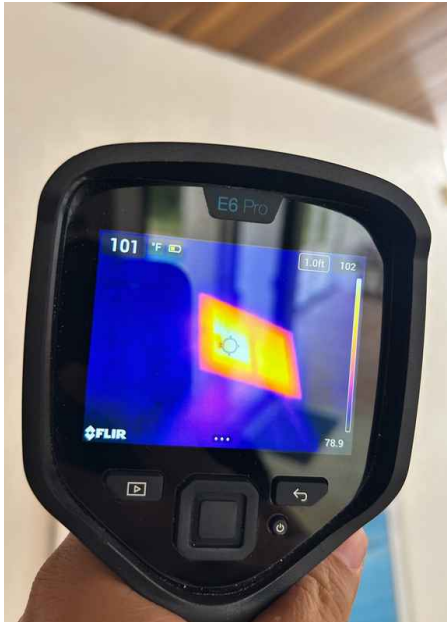
**Filter(s) & Thermostat(s):
Equipment Photos****Filter(s) & Thermostat(s): Filter
Location****Heating (Forced Air): Energy source**

Natural gas

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Heating (Forced Air): Appears Functional - Thermal Image(s) During Operation

Heat system appears to be in working order.





Filter(s) & Thermostat(s): Thermostat and Air Filter(s) Disclaimer

Thermostats are not checked for calibration or timed functions. Only the basic functions are tested. The adequacy of the air filter and/or air filter size is beyond the scope of this inspection.

Limitations

General

HVAC LIMITATIONS

This inspection excludes estimating the remaining life of heating or cooling components, determining system suitability, or testing certain aspects of the system. Inspection does not guarantee the integrity of furnace heat exchangers or the absence of clogs or leaks in condensation pans and drain lines. In buildings with furnishings, the presence of a heat source may not be verified in all "live-able" rooms. Testing air conditioners in colder seasons might provide inaccurate results due to system pressures.

Heating (Forced Air)

GAS APPLIANCES - SAFETY INSPECTION RECOMMENDED

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Ducts and Registers

HVAC DUCTING LIMITATIONS

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. You may wish to have the HVAC distribution system further explored by a qualified HVAC professional to determine if any latent defects exist.

Ducts and Registers

MOST DUCTING NOT VISIBLE

Most of the ducting was noted accessible and could not be inspected.

Findings

8.1.1 General

SERVICE HVAC SYSTEM

— Attention Required

The forced-air HVAC system has not been serviced in over a year, or its last service date is unknown. It is recommended to ask the homeowner for the most recent service records. If the system has not been serviced within the past year or if the service history is unclear, an HVAC contractor should inspect, clean, and perform any necessary repairs. For optimal performance and safety, annual servicing is advised moving forward.

Recommendation

Contact a qualified HVAC professional.

8.2.1 Heating (Forced Air)

SEDIMENT TRAP MISSING

— Attention Required

The furnace is not equipped with a sediment trap. A qualified professional is recommended to install a sediment trap where needed.

Recommendation

Contact a qualified HVAC professional.

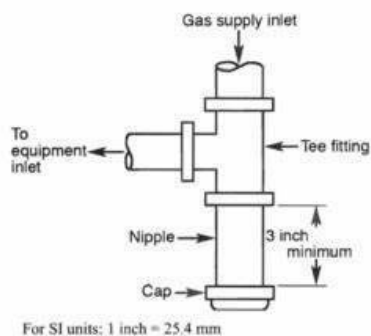


FIGURE 1212.8
METHOD OF INSTALLING A
TEE FITTING SEDIMENT TRAP
[NFPA 54: FIGURE 9.6.7]

Sediment Trap Installation



8.2.2 Heating (Forced Air)

FLEXIBLE GAS LINE INTO UNIT

⚠ Defective/Safety Hazard

The flexible gas line passes through the sidewall of the furnace. This soft flex gas line is easily damaged if it contacts the sharp edge of the furnace wall. A qualified HVAC professional is recommended to repair per standard building practices.

Recommendation

Contact a qualified HVAC professional.



8.2.3 Heating (Forced Air)

YELLOW/ORANGE FLAME

The furnace appeared to turn on and produce heat at time of inspection. However, the flame color was not a consistent blue, which may indicate inefficient combustion, this is most commonly caused by rust or dirt on the burners, but may also indicate cracks in the heat exchanger, which is a potential CO hazard and safety concern. This cannot be determined within the scope of a home inspection. I recommend further evaluation/safety check be performed by a licensed HVAC contractor or the local gas company before the end of your contingency period.

Recommendation

Contact a qualified professional.



Attention Required



8.2.4 Heating (Forced Air)

NEAR OR AT LIFESPAN (FORCED AIR)

The estimated useful life for most forced air furnace(s) is typically 15-20 years, but they often exceed this in Southern California's mild climate. This furnace seems to be nearing or past its lifespan. Consider budgeting for replacement and have a qualified HVAC professional further evaluate the system. A home warranty is also advisable.

Recommendation

Contact a qualified HVAC professional.



Defective/Safety Hazard



8.3.1 Ducts and Registers

OLD METAL

Older metal ductwork was noted in the attic. This type of ducting is generally viewed as not as energy efficient as modern plastic flexi insulated ducts. Condensation can often occur on these ducts, occasionally resulting in water staining on ceiling areas. These ducts often are also not sealed, reducing efficiency. Recommend a qualified HVAC company evaluate the entire duct system and bid for replacement to more modern flexible insulated and properly sealed ducts.

Recommendation

Contact a qualified HVAC professional.



Attention Required



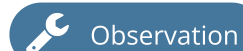
8.4.1 Filter(s) & Thermostat(s)

OLD THERMOSTAT

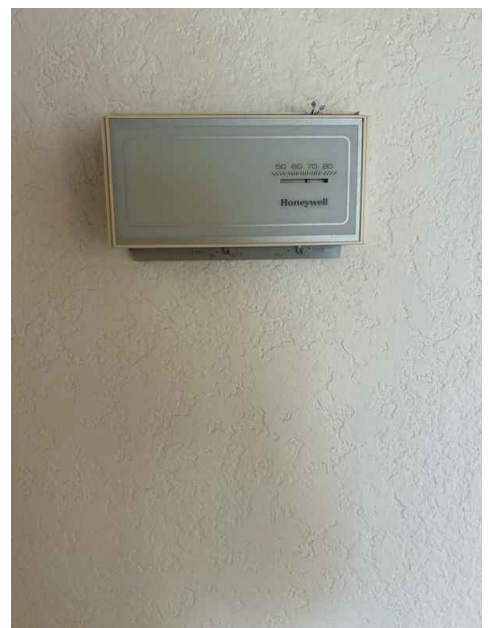
The thermostat is nearing the end of its lifespan and replacement is recommended.

Recommendation

Contact a qualified handyman.



Observation



9: GARAGE / CARPORT

		IN	NI	NP	F
9.1	General	X			
9.2	Structure	X			
9.3	Occupant Door(s)	X			X
9.4	Vehicle Door(s)	X			X
9.5	Automatic Opener(s)	X			X
9.6	Floor, Walls, Ceiling	X			X
9.7	Exterior Door(s)	X			X
9.8	Garage Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Structure Type

Attached Garage

General: Occupant Door

Solid

General: Vehicle Door

Tilt-up, Wood

General: Automatic Opener Safety Devices

Pressure sensitive, Electronic eye

General: Wall Type

Finished

General: Ceiling Type

Finished, Open framing

General: Garage Ventilation

Present

Floor, Walls, Ceiling: Laundry Hook-Ups in Garage

Washer/dryer or laundry hookups were present in the garage. This is a standard building practice. However, it is recommended that the equipment be installed 18" above the garage floor since vapors from gas or other flammable liquids heavier than air may be present. Motors or circuitry in laundry equipment are a potential source of spark, or flame in a gas dryer. Recommend modification as necessary by a qualified person for added safety.



Limitations

General

GARAGE LIMITATIONS

Determining adequacy of firewall ratings is beyond the scope of the inspection. Ventilation requirements vary by municipality.

Vehicle Door(s)

NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Findings

9.3.1 Occupant Door(s)

SELF-CLOSING DEVICE NEEDS REPAIR OR REPLACEMENT

The self-closing mechanism on the door between the garage and dwelling did not close and/or latch the door. The mechanisms are designed to keep the door closed to prevent spread of fire and fumes from the garage to the dwelling. A qualified professional is recommended to make repairs per standard building practices.

Recommendation

Contact a qualified professional.

**Defective/Safety Hazard**

9.4.1 Vehicle Door(s)

PAINT DAMAGE / DETERIORATION - REPAIR

Damage and or deterioration was present at one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.

**Attention Required**

9.4.2 Vehicle Door(s)

 Attention Required**WOOD DOOR(S) NOTED**

The original wood door(s) were noted which is unusually heavy based on today's standards. Upgrading the door may be desired for added safety.

Recommendation

Contact a qualified professional.



9.5.1 Automatic Opener(s)

 Observation**COVER MISSING / DAMAGED**

The cover was missing and/or damaged at one or more areas. A qualified person is recommended to replace as needed.

Recommendation

Contact a qualified professional.



9.5.2 Automatic Opener(s)

 Attention Required**AGE - NEARING THE END**

One or more unit(s) appear to be nearing the end of their useful life spans. Budgeting for replacement is recommended.



9.6.1 Floor, Walls, Ceiling



Observation

FLOORS / WALLS OBSCURED

Floor and/or wall areas were obscured by stored items and couldn't be fully evaluated.



9.6.2 Floor, Walls, Ceiling



Defective/Safety Hazard

FIRE WALL GAPS, HOLES, DAMAGE

Gaps, holes or openings were present at the attached garage walls or ceilings. Walls and ceilings between the garage and house are required to provide limited fire resistance rating to prevent the spread of fire between the garage and house. A qualified contractor is recommended to repair per standard building practices.

Recommendation

Contact a qualified drywall contractor.



9.6.3 Floor, Walls, Ceiling



Defective/Safety Hazard

TRIPPING HAZARD

Uneven surface was noted at one or more areas. This is considered a trip / fall hazard. A qualified professional is recommended to make repairs for safety reasons.

Recommendation

Contact a qualified professional.



9.6.4 Floor, Walls, Ceiling



Attention Required

TERMITE DROPPINGS NOTED

What appeared to be termite droppings were noted in one or more areas. The inspector is not a termite professional and further evaluation is recommended qualified and licensed termite inspector.

Recommendation

Contact a qualified professional.



9.6.5 Floor, Walls, Ceiling

CRACKING NOTED

Attention Required

One or more hairline cracks (1/8 inch or less) were observed in the concrete slab. These do not currently appear to pose a structural concern. However, sealing the cracks is recommended to help prevent moisture intrusion and further deterioration. Suitable products include hydraulic cement, non-shrinking grout, flexible caulks, or epoxy sealants. Continued monitoring is advised, and further evaluation and repair by a qualified professional is recommended.

Recommendation

Contact a qualified professional.





9.7.1 Exterior Door(s)

RUBS IN JAMB

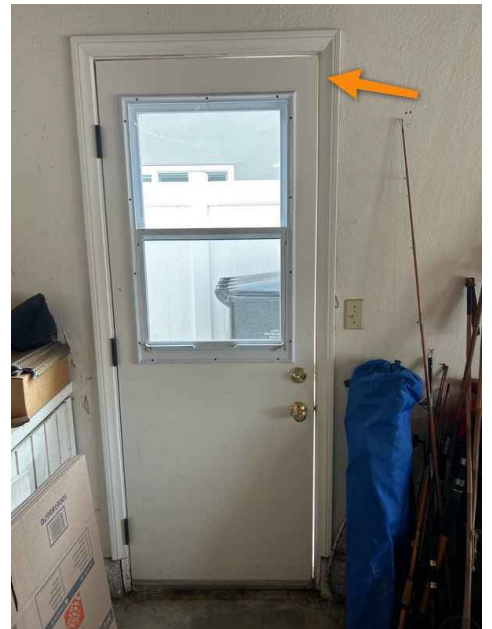
The door rubs in the jamb and/or floor in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required



STANDARDS OF PRACTICE
