



AZTEC PROPERTY INSPECTIONS

(858) 245-9329

aztecpropertyinspections@gmail.com

<http://www.aztecpropertyinspections.com>



PROPERTY INSPECTION REPORT

1234 Oribia Rd
Del Mar, CA 92014

Beth Burrough & Adam Bowman & Summer Ramsay-Burrough & David Ramsey Ramsay

07/22/2026



Inspector

Dallas Compton

InterNACHI Certified Inspector

(858) 245-9329

aztecpropertyinspections@gmail.com



Agent

Eric Iantorno

Compass

+1 (858) 692-5505

eric.iantorno@compass.com

TABLE OF CONTENTS

1: General Information / Overview	6
2: Inspection / Property Details	9
3: Misc. Concerns / Comments	10
4: Lots, Grounds & Exterior	12
5: Foundation	23
6: Roof	25
7: Attic, Insulation & Ventilation	29
8: Plumbing	30
9: Electrical	43
10: HVAC	51
11: Interior, Doors & Windows	55
12: Appliances	62
13: Fireplaces & Gas Appliances	67
14: Garage / Carport	69
15: Portable Hot Tub / Freestanding Spa	72
16: Sewer Scope	81
17: Complimentary Pictures	85

SUMMARY

The Summary version is not the entire report and should not be considered exclusive. The Summary listed items are considered by the inspector as inoperative, not operating properly or as intended, health and/or safety concerns, warranting further investigation by a specialist, or warranting continued observation by others. Not all findings listed in the full report are listed in the Summary. **Client is advised to read the entire full report.**

- ⚠ 3.1.1 Misc. Concerns / Comments - Misc. Concerns / Comments: Rodent Evidence
- ⊖ 3.1.2 Misc. Concerns / Comments - Misc. Concerns / Comments: 20+ Years Note
- 🔧 3.1.3 Misc. Concerns / Comments - Misc. Concerns / Comments: Check for Permits
- ⚠ 4.1.1 Lots, Grounds & Exterior - Driveways, Sidewalks, Patios: Tripping Hazard - Object
- ⚠ 4.1.2 Lots, Grounds & Exterior - Driveways, Sidewalks, Patios: Walk Off Hazard(s) Noted
- ⊖ 4.2.1 Lots, Grounds & Exterior - Drainage or Grading: Geotechnical Engineer to Evaluate Soils
- ⊖ 4.2.2 Lots, Grounds & Exterior - Drainage or Grading: Poor Drainage / Low Areas
- 🔧 4.2.3 Lots, Grounds & Exterior - Drainage or Grading: Planter Not Separated From Structure
- ⊖ 4.3.1 Lots, Grounds & Exterior - Exterior Walls / Trim: Damaged Wood - Termite Inspection Recommended
- ⊖ 4.3.2 Lots, Grounds & Exterior - Exterior Walls / Trim: Rebar / repairs noted
- ⊖ 4.5.1 Lots, Grounds & Exterior - Vegetation: Tree Limbs Close/In Contact with Roof
- ⊖ 4.6.1 Lots, Grounds & Exterior - Retaining Wall(s): Hillside Slippage Or Erosion
- ⊖ 4.6.2 Lots, Grounds & Exterior - Retaining Wall(s): Soil Not Supported
- ⊖ 4.6.3 Lots, Grounds & Exterior - Retaining Wall(s): Retaining Wall Cracks
- ⚠ 4.6.4 Lots, Grounds & Exterior - Retaining Wall(s): Retaining Wall Cracks-Significant
- ⚠ 4.7.1 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Missing Handrails Noted
- ⚠ 4.7.2 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Walk Off Hazard(s) Noted
- ⚠ 4.7.3 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Railing(s) Missing
- ⊖ 4.7.4 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Termite Inspection Needed - Damaged Wood
- ⊖ 4.7.5 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Earth (Soil) To Wood Contact
- ⊖ 4.7.6 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Footing Damaged / Deteriorated / Substandard
- ⊖ 5.1.1 Foundation - Foundation: Limited View of Foundation
- ⊖ 5.1.2 Foundation - Foundation: Slab Cracks
- ⊖ 6.2.1 Roof - Coverings: Ponding - Flat Roof
- ⊖ 6.2.2 Roof - Coverings: Tree / Vegetation Near
- ⊖ 7.1.1 Attic, Insulation & Ventilation - Access: No Attic Access Located
- ⊖ 8.1.1 Plumbing - Excluded Items: Private Septic
- 🔧 8.1.2 Plumbing - Excluded Items: Propane Tank(s) Present
- 🔧 8.1.3 Plumbing - Excluded Items: Advise Installing Leak Detectors
- ⊖ 8.2.1 Plumbing - Service: Water Pressure Under 40 PSI
- 🔧 8.3.1 Plumbing - Supply Lines / Hose Bibs: Hose Bib Missing Backflow Preventer

- ⊖ 8.4.1 Plumbing - Drain, Waste, & Vent Systems: Cap Missing
- ⊖ 8.4.2 Plumbing - Drain, Waste, & Vent Systems: Septic Not Inspected
- ⊖ 8.5.1 Plumbing - Water Heater(s): No Catch Pan Installed
- ⊖ 8.5.2 Plumbing - Water Heater(s): Catch Pan Drain - Not To Exterior
- ⊖ 8.5.3 Plumbing - Water Heater(s): No Expansion Tank
- ⊖ 8.5.4 Plumbing - Water Heater(s): Older than 10 years
- ⊖ 8.9.1 Plumbing - Laundry: No Catch Pan
- ⊖ 8.9.2 Plumbing - Laundry: Dryer Vent Needs Cleaning
- ⊖ 8.9.3 Plumbing - Laundry: No Powered Fan Installed
- 🔧 9.1.1 Electrical - Excluded Items: Cable / Satellite / Telephone / Inter Communication / Alarm Systems
- 🔧 9.1.2 Electrical - Excluded Items: Electric Car Charger
- 🔧 9.3.1 Electrical - Electrical Panel(s): Newer Panel
- ⚠️ 9.6.1 Electrical - Electrical Wiring : Exposed Wiring Not In Conduit
- ⚠️ 9.6.2 Electrical - Electrical Wiring : Open Splice
- ⚠️ 9.8.1 Electrical - Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) Missing
- 🔧 10.1.1 HVAC - General: Service Heating System
- ⊖ 10.3.1 HVAC - Ducts and Registers: Ducts - Under Slab
- ⊖ 10.3.2 HVAC - Ducts and Registers: Registers Damaged
- ⊖ 10.3.3 HVAC - Ducts and Registers: Register Rusted
- 🔧 10.4.1 HVAC - Filter(s) & Thermostat(s): Filter Dirty
- ⚠️ 11.2.1 Interior, Doors & Windows - Exterior Doors: Fogging / Staining / Condensation
- ⚠️ 11.2.2 Interior, Doors & Windows - Exterior Doors: Keyed Deadbolt Inside
- 🔧 11.2.3 Interior, Doors & Windows - Exterior Doors: Locked - No Key Provided
- 🔧 11.2.4 Interior, Doors & Windows - Exterior Doors: Recommend Re Keying All Exterior Doors
- ⊖ 11.4.1 Interior, Doors & Windows - Windows: Tempered Glass Not Verified
- ⚠️ 11.4.2 Interior, Doors & Windows - Windows: Broken / Cracked / Chipped Window(s)
- 🔧 11.5.1 Interior, Doors & Windows - Ceiling: Recently Painted Walls and Ceilings
- ⊖ 11.7.1 Interior, Doors & Windows - Floors: Cracked / Damaged
- ⊖ 11.7.2 Interior, Doors & Windows - Floors: 9x9 Tiles Noted
- 🔧 12.1.1 Appliances - General: Unknown Age(s)
- ⚠️ 12.3.1 Appliances - Exhaust / Ventilation: Missing Ventilation
- ⊖ 12.4.1 Appliances - Dishwasher: No Air Gap Installed
- 🔧 12.6.1 Appliances - Microwave: Picture of Microwave Working
- ⊖ 13.1.1 Fireplaces & Gas Appliances - Fireplaces, Stoves & Inserts: Debris Needs To Be Cleaned
- 🔧 13.2.1 Fireplaces & Gas Appliances - Chimney(s): Liner Not Inspected
- ⊖ 14.3.1 Garage / Carport - Automatic Opener(s): Light cover missing
- 🔧 14.4.1 Garage / Carport - Floor, Walls, Ceiling: Floors / Walls Obscured
- ⚠️ 14.4.2 Garage / Carport - Floor, Walls, Ceiling: Homeowner Shelving
- ⊖ 14.4.3 Garage / Carport - Floor, Walls, Ceiling: Dry Water Stains
- ⚠️ 14.4.4 Garage / Carport - Floor, Walls, Ceiling: Stairs / Steps loose
- ⊖ 14.4.5 Garage / Carport - Floor, Walls, Ceiling: Common Cracking

-  15.2.1 Portable Hot Tub / Freestanding Spa - Spa Cover / Safety Features: Alarms on Doors Missing
-  15.3.1 Portable Hot Tub / Freestanding Spa - Electrical: Main Disconnect - OK - Spa
-  15.4.1 Portable Hot Tub / Freestanding Spa - Spa Jets: Spa Jets - Functioned
-  15.5.1 Portable Hot Tub / Freestanding Spa - Lights: Light - Functional
-  16.1.1 Sewer Scope - General: Sewer Scope Video(s)
-  16.1.2 Sewer Scope - General: Limited View
-  16.1.3 Sewer Scope - General: Recommend Adding - Double Sweep Clean Out Access
-  16.1.4 Sewer Scope - General: Cap could not be removed

1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview



A property inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the CREIA and/or InterNACHI [Standards of Practice](#), that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. Specialized inspections may reveal issues that our general inspection does not cover. This inspection will not cover any HOA items will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

The inspector's job is to point out an issue and to give a course of action, which is why we always include a recommendation after the issue. We also write "one or more" comments for your protection. Since we are the generalist, if you have a specialist come out then we recommend they inspect all of the specific items and not just the one we identify in the report.

General: Notes

Note: Read the [Standards of Practice](#) set forth by the [California Real Estate Inspectors Association](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Regular maintenance will be required in several areas. Identifying these areas is beyond the scope of this inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. **The purchase of a home/building warranty is recommended.**

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

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Note: [For the purpose of this report, all directional references \(left, right, front, rear\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: The client is advised that a mold inspection / testing is recommended by a qualified specialist. This is especially important if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector or if issues have been disclosed.

HOA Note: HOA (Home Owner's Association) areas and items located in HOA areas are beyond the scope of this inspection and this typically only applies to condo and townhouses. It is unknown what items if any may be a part of an HOA and note that if any item isn't expressly marked as inspected then it is believed to be an HOA item. Inquire with the seller and/or the HOA for more information. If and HOA items were reported on then they were mentioned as a courtesy and were not fully inspected nor were all the HOA items inspected.

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Attention Required**" or "**Safety Item/Defective**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Observation = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Attention Required = The item, component, or system while perhaps functioning as intended is in need **repair or service**; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or qualified licensed contractor** and are not considered routine maintenance (DIY) items. All "**Attention Required**" items should be evaluated before the close of the contingency period.

Safety Item = The item, component or system poses a **safety concern** to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk. Items may vary in severity, and require attention from either a **homeowner/handyman** (for example, replacing smoke detector batteries or installing CO detectors), **or a qualified licensed professional**.

-OR-

Defective = The item, component or system is **not functioning** as intended, and requires further evaluation and/or repair by a **specialized, qualified, licensed contractor**. Damage to the structure may occur if left unaddressed. All "**Defective**" items are considered high-priority, and should be evaluated before the close of the contingency period. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: In Attendance Buyer's Agent, Listing Agent, Buyers, Inspector, Septic Inspector, Mold Inspector	General: Building Type Single Family with Additions	General: Occupancy Occupied, Furnished
General: Utilities All Utilities On	General: Temperature 70-80 F	General: Weather Conditions Partly Cloudy, Overcast

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Areas of the property were obscured or access was obstructed by furniture and/or stored items. The inspector does not move furnishings, personal belongings, carpets or appliances. Any areas not readily accessible are excluded from the inspection. Be aware that hidden damage or problems may be present and special attention should be taken when conducting the final walk through.

Misc. Concerns / Comments: Lead and/or Asbestos Note

Note: Homes constructed before approximately 1985 may contain lead-based paint and/or asbestos-containing materials. Lead is most often associated with older paint layers and certain plumbing fixtures or pipes; applying new paint over old lead-based paint does not, per EPA guidance, count as sealing off the hazard. Asbestos can turn up in a range of building products, including insulation, exterior siding, and tile flooring or ceiling materials. While federal restrictions on these substances took effect in 1978, existing supplies containing lead and asbestos continued to be installed in homes for years afterward. Both substances pose recognized health risks.

This inspection does not include testing or assessment for lead or asbestos. Where these materials are referenced in this report, it is solely to flag the possibility for the client's awareness and to recommend further evaluation. For accurate testing and guidance, clients should engage qualified professionals — such as certified industrial hygienists, accredited testing labs, or licensed abatement contractors.

Misc. Concerns / Comments: Additions and or Alterations Noted

It is believed that additions and or alterations were noted to the original property. Recommend inquiring with the city building department and or seller to verify that permits have been completed for all alterations.

Misc. Concerns / Comments: Ocean Proximity Corrosion

Rust and corrosion is possible at several areas. This is consistent with homes close to the ocean. Continuing maintenance will be needed to protect items that may be affected by the ocean air.

Findings

3.1.1 Misc. Concerns / Comments

RODENT EVIDENCE

GARAGE

Evidence of rodent activity was found in one or more locations. We recommend inquiring with the current owner and further inspection by a licensed pest control specialist.

Recommendation

Contact a qualified pest control specialist.



Safety Item/Defective



3.1.2 Misc. Concerns / Comments



Attention Required

20+ YEARS NOTE

NOTE: This home is more than 20 years old. The client should understand that any original components in the home are likely worn. Home inspectors do not predict the remaining service life of any component. Original items that may be nearing the end of their useful life and could require maintenance or replacement in the near future include the roof and/or roof underlayment, window rollers and glides, appliances, garage doors, plumbing components, pool equipment and surfaces, and tile shower enclosures.

It is important to understand that, because this residence is more than 15 years old, it may not conform to many current building standards and practices. A home inspection is non-invasive, primarily visual in nature, and intended to alert consumers to material defects that exist at the time of the inspection—defects that could significantly affect the value of the property or pose a threat to health and safety.

A property inspection is not technically exhaustive and is not intended to reveal every defect or deficiency. Some defects may be latent and/or become apparent at a later date, which is why inspections are often characterized as a snapshot in time. It is essential that consumers understand these limitations and maintain reasonable expectations regarding the scope of the inspection.

Recommendation

Contact a qualified professional.

3.1.3 Misc. Concerns / Comments



Observation

CHECK FOR PERMITS

Additions and/or modifications were observed in one or more locations of the property. It is unknown if the proper permitting exists. We recommend consulting with the sellers and/or the local municipality to check for permits.

Recommendation

Contact a qualified professional.

4: LOTS, GROUNDS & EXTERIOR

		IN	NI	NP	F
4.1	Driveways, Sidewalks, Patios				X
4.2	Drainage or Grading				X
4.3	Exterior Walls / Trim				X
4.4	Eaves / Soffits	X			
4.5	Vegetation				X
4.6	Retaining Wall(s)				X
4.7	Decks / Balconies / Stairs				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Exterior Walls / Trim:

Construction Material

Wood Frame, Poured concrete

Exterior Walls / Trim: Wall

Covering Material

Wood

Limitations

Driveways, Sidewalks, Patios

GROUND LIMITATIONS

The items listed below fall outside the scope of this inspection under CREIA Standards of Practice. Except where addressed elsewhere in this report, any comments touching on these items or systems are offered purely as a courtesy and should not be taken as a full evaluation:

- Standalone structures or outbuildings not attached to the main dwelling
- Fencing and gates
- Retaining walls
- Buried drainage lines, catch basins, or hidden sump pumps
- Pools and associated safety features, spas, hot tubs, and saunas
- Water-tightness of membranes on decks, balconies, or stairs
- Trees, landscaping, and soil-related conditions including stability, erosion, or erosion control measures
- Ponds, decorative water features, and irrigation or sprinkler systems
- Sport courts, play structures, and recreational or leisure equipment
- Spaces beneath exterior portions of the structure with under 3 feet of clearance
- Invisible/electronic pet fencing
- Seawalls, docks, and boathouses
- Retractable awnings

Drainage or Grading

HILLSIDE

This house is located within a hill setting. Geological or structural evaluations relating to and including the potential for earth movement, types of soil (expansive, clay, etc), and effectiveness of grading and soil preparation, are beyond the scope of our inspection. Home inspectors are generalists and not structural or geotechnical engineers. We advise consulting with a structural and/or geotechnical engineer if you are concerned by conditions about which you are aware, or if you would like additional information before the close of escrow.

Drainage or Grading

SURFACE DRAINS

Surface drains were noted and the inside of the drains could not be evaluated. Inquire with the seller as to the termination point(s) of the surface drains.



Exterior Walls / Trim

EXTERIOR LIMITATIONS

Readily accessible/visible areas of the exterior were inspected, which excludes areas that were obscured by vegetation, stored items, areas concealed by coverings, siding or trim, and areas that may be difficult to observe due to height.

Exterior Walls / Trim

DARK PAINT COLOR

Trim and or eaves were dark colored which makes it difficult to view properly. Not fully visible.

Eaves / Soffits

DARK PAINT COLOR

Trim and or eaves were painted a dark color, which makes them difficult to view properly. Not fully visible.

Eaves / Soffits

RECENTLY PAINTED

One or more areas were recently painted. Fresh paint may conceal damage that could not be properly viewed during the inspection. Only the areas that were visible could be inspected.

Retaining Wall(s)

NOT FULLY VISIBLE

This item is not fully visible at the time of the inspection. Further evaluation may be desired.

Decks / Balconies / Stairs

SUBSTRUCTURE NOT EVALUATED

The sub structure could not be evaluated and further evaluation may be desired.

Decks / Balconies / Stairs

ENCLOSED OR UNACCESSIBLE AREAS BEYOND SCOPE

Underneath the surface(s) (decks, stairs or balconies) and any enclosed framing which is not visible or easily accessible to the inspector is beyond the scope of this inspection. Further evaluation may be desired.

Findings

4.1.1 Driveways, Sidewalks, Patios

TRIPPING HAZARD - OBJECT

REAR EXTERIOR

An object was installed presenting a trip hazard noted in one or more areas. We recommend that a qualified contractor repair as necessary for improved safety.

Recommendation

Contact a qualified professional.



Safety Item/Defective



4.1.2 Driveways, Sidewalks, Patios

WALK OFF HAZARD(S) NOTED

SEVERAL AREAS

A walk off or drop off hazard was noted in one or more areas. Recommend installing guardrails for added safety. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



Safety Item/Defective



4.2.1 Drainage or Grading

GEOTECHNICAL ENGINEER TO EVALUATE SOILS

SEVERAL AREAS

We recommend consulting a geotechnical expert for the evaluation of soils in one or more locations around the property due to signs of movement, erosion, expansion, drop offs, soft soils, or sink holes.

Recommendation

Contact a qualified professional.



Attention Required



4.2.2 Drainage or Grading

POOR DRAINAGE / LOW AREAS

Low/neutral areas were observed at the grading which will cause water to pond during rain or extended irrigation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.

Recommendation

Contact a qualified professional.



Attention Required



4.2.3 Drainage or Grading

PLANTER NOT SEPARATED FROM STRUCTURE

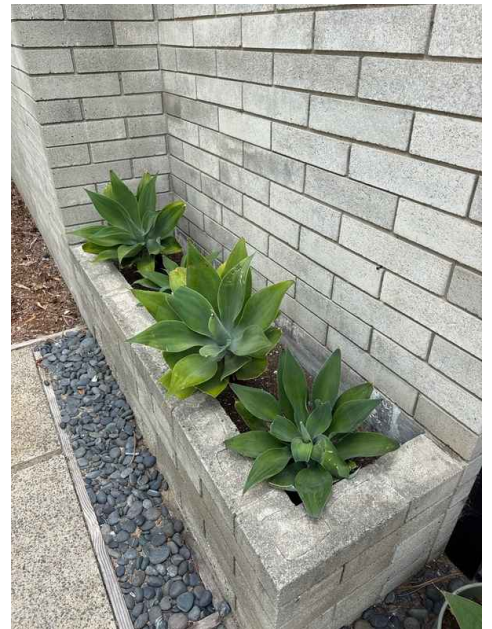
Planters in one or more areas do not appear to have the proper clearance (2") from the house. Correction is recommended.

Recommendation

Recommend monitoring.



Observation



4.3.1 Exterior Walls / Trim

DAMAGED WOOD - TERMITE INSPECTION RECOMMENDED

Damaged, soft and or deteriorated wood was noted in one or more areas. Further evaluation is recommended by a qualified and licensed pest control specialist.

Recommendation

Contact a qualified professional.



Attention Required



4.3.2 Exterior Walls / Trim

REBAR / REPAIRS NOTED

Exposed rebar and evidence of repairs noted at the exterior wall. Unable to determine cause or effectiveness of the repairs. Advise further review by a licensed general contractor to determine scope of repairs needed and inquiry with the sellers for more information.

Recommendation

Contact a qualified professional.



Attention Required



4.5.1 Vegetation

TREE LIMBS CLOSE/IN CONTACT WITH ROOF

The tree limbs that are in contact with roof or hanging near roof should be trimmed. I recommend further evaluation and repair by a qualified tree expert.

Recommendation

Contact a qualified professional.



Attention Required



4.6.1 Retaining Wall(s)

HILLSIDE SLIPPAGE OR EROSION

SEVERAL AREAS

The soil and or hillside has given way in one or more areas. Further evaluation is recommended.

Recommendation

Contact a qualified professional.



Attention Required



4.6.2 Retaining Wall(s)

SOIL NOT SUPPORTED

SEVERAL AREAS

Soil in one or more areas was not supported. This may be acceptable if the soil/rock is deemed as stable enough by a licensed professional. Determining this is beyond the scope of this inspection. Further evaluation may be desired.

Recommendation

Contact a qualified professional.



4.6.3 Retaining Wall(s)

RETAINING WALL CRACKS

Cracking was present. A qualified licensed contractor is recommended to evaluate and estimate repairs.

Recommendation

Contact a qualified professional.





4.6.4 Retaining Wall(s)

RETAINING WALL CRACKS-SIGNIFICANT

SEVERAL AREAS

The retaining wall shows significant signs of movement (cracking, leaning). A qualified licensed contractor is recommended to evaluate and estimate repairs.

Recommendation

Contact a qualified professional.



Safety Item/Defective



4.7.1 Decks / Balconies / Stairs



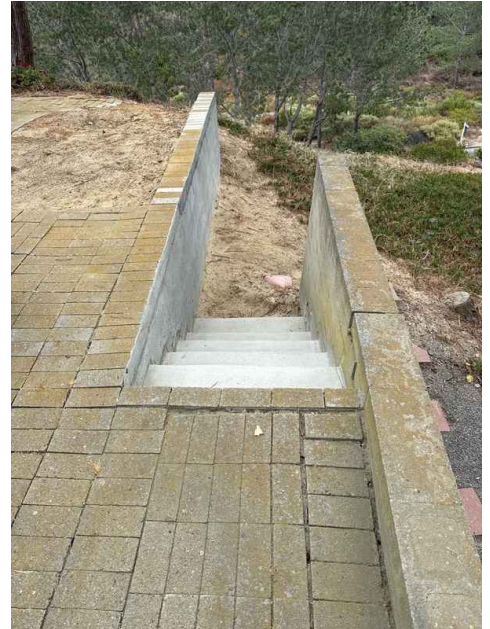
Safety Item/Defective

MISSING HANDRAILS NOTED

Handrails and/or guard rails were missing in one more areas. Corrections are recommended for improved safety.

Recommendation

Contact a qualified professional.



4.7.2 Decks / Balconies / Stairs



Safety Item/Defective

WALK OFF HAZARD(S) NOTED

A walk off or drop off hazard was noted in one or more areas. Recommend installing guardrails for added safety. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



4.7.3 Decks / Balconies / Stairs



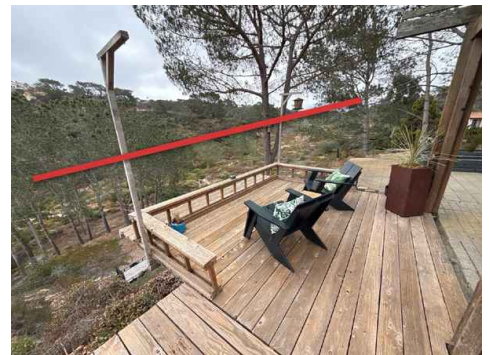
Safety Item/Defective

RAILING(S) MISSING

Handrail(s) and/or guardrail(s) were missing in one more areas (required when more than 3 stairs). This is a safety concern. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified general contractor.



4.7.4 Decks / Balconies / Stairs

TERMITE INSPECTION NEEDED - DAMAGED WOOD

SEVERAL AREAS

Damaged, soft and/or deteriorated wood was noted in one or more areas (not necessarily termite damage). Further evaluation is recommended by a qualified and licensed pest control specialist.

Recommendation

Contact a qualified pest control specialist.



Attention Required



4.7.5 Decks / Balconies / Stairs

EARTH (SOIL) TO WOOD CONTACT

Attention Required

Earth to wood contact noted. This condition is conducive to the attraction of wood destroying organisms. Recommend further evaluation by a licensed general contractor and or termite inspector to determine repairs necessary at this time.

Recommendation

Contact a qualified professional.



4.7.6 Decks / Balconies / Stairs

**FOOTING DAMAGED /
DETERIORATED / SUBSTANDARD**

One or more deck support footings were cracked, deteriorated and/or substandard. Recommend repairs be made by a qualified licensed contractor.

Recommendation

Contact a qualified deck contractor.



Attention Required



5: FOUNDATION

		IN	NI	NP	F
5.1	Foundation				X
5.2	Seismic Re-Inforcement				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Foundation: Foundation Type Concrete Slab on Grade	Foundation: Foundation / Stem Wall Material Concrete, Slab on grade	Foundation: Footing Material Concrete slab
Seismic Re-Inforcement: Anchor Bolts / Hold Downs Not visible		

Limitations

Foundation

FOUNDATION LIMITATIONS

The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted.

Foundation

HILLSIDE NOTICE

The property was built on or near a hillside. The slab was not fully visible due to flooring installed. No readily visible issues were noted at the time of the inspection but the client(s) may wish to consult with a civil engineer to verify (measure elevations of the slab) that significant movement has not occurred.

Foundation

ADDITION NOTE

An addition was noted in one or more areas and it is unknown if this area was permitted / inspected. The type of construction and or quality of construction could not viewed or verified. Inquire with the seller and or building department for more information.

Seismic Re-Inforcement

FOUNDATION LIKELY BOLTED

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be viewed because of this. Confirmation by a licensed foundation contractor is recommended.

Findings

5.1.1 Foundation

**LIMITED VIEW OF FOUNDATION**

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Recommendation

Contact a qualified professional.

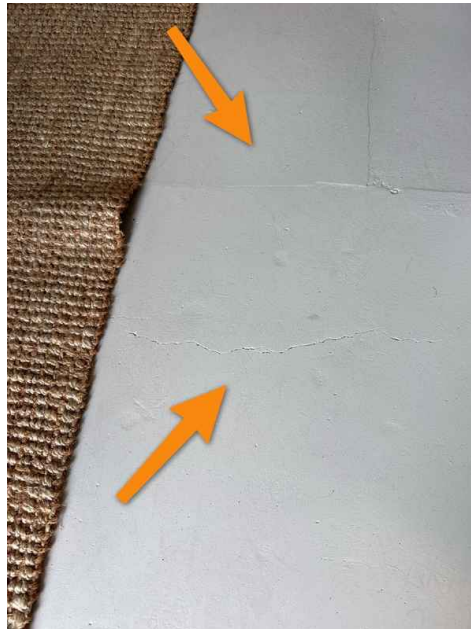
5.1.2 Foundation

**SLAB CRACKS**

One or more cracks (1/8 inch or less) were found in the concrete slab. These didn't appear to be a structural concern, but recommend sealing them and monitor them in the future. Numerous products exist to seal such cracks including hydraulic cement, non-shrinking grout, resilient caulks and epoxy sealants. Further evaluation by a licensed foundation contractor may be desired.

Recommendation

Contact a qualified professional.



6: ROOF

		IN	NI	NP	F
6.1	General	X			
6.2	Coverings				X
6.3	Flashings				X
6.4	Roof Drainage Systems				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Inspection Method
Walked roof

General: Roofing Material
TPO

General: Flashing Material
TPO

General: View of Roof
View of roof.



Limitations

General

ROOF LIMITATIONS

This is a general condition report on the roof condition and materials. The home inspector is a generalist and for a more detailed report, the client may wish to hire a qualified licensed roofing contractor for a roof certification and/or a leak-tight warranty. Skylight(s), flashings and roof(s) are not water tested for leaks. As part of your ongoing annual maintenance, a roof inspection is recommended.

Coverings

ROOF INSPECTION LIMITATIONS

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Flashings

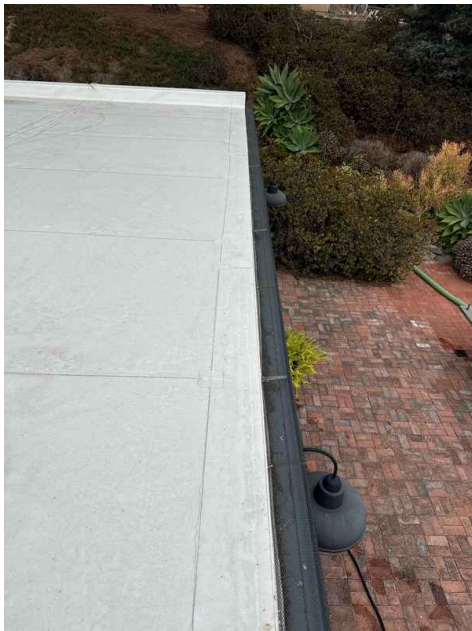
FLASHING LIMITED VIEW

The inspection of the roof penetrations was limited to what could be seen from the inspector's vantage points. We cannot guarantee that all the roof penetrations are in good condition. We highly recommend contacting a licensed roof contractor for further evaluation.

Roof Drainage Systems

GUTTER / DOWNSPOUT ADEQUACY BEYOND SCOPE

Gutter and/or downspout adequacy or calculating adequacy is beyond the scope of this inspection. Further evaluation may be desired.

**Findings**

6.2.1 Coverings

PONDING - FLAT ROOF

Attention Required

Low areas noted on the roof that causes water to pool or collect and not drain properly. This condition could lead to leaks. Pooling is defined as water that remains on a roof for 48-hours after a rain. Due to the lack of recent rain the inspector is unable to determine if pooling will result. We recommend further evaluation by a licensed roof contractor before the end of your contingency period.

Recommendation

Contact a qualified professional.



6.2.2 Coverings

TREE / VEGETATION NEAR

Attention Required

Trees and or vegetation was noted close to the roof. Recommend ongoing maintenance to keep the vegetation and or trees 10 feet away from the roof.

Recommendation

Contact a qualified landscaping contractor



7: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	F
7.1	Access		X		X

IN = InspectedNI = Not InspectedNP = Not PresentF = Finding

Information

Access: Access Location(s)	Access: How Viewed
No Attic	No access

Findings

7.1.1 Access

NO ATTIC ACCESS LOCATED

No accessible attic space(s) found at the property. Inquire with the owner for more information. Inaccessible areas could not be inspected and are beyond the scope of this inspection.

Recommendation

Contact a qualified professional.

⊖

Attention Required

8: PLUMBING

		IN	NI	NP	F
8.1	Excluded Items		X		
8.2	Service				X
8.3	Supply Lines / Hose Bibs				X
8.4	Drain, Waste, & Vent Systems				X
8.5	Water Heater(s)				X
8.6	Sinks / Fixtures	X			
8.7	Bathtubs / Showers	X			
8.8	Toilets	X			
8.9	Laundry				X
8.10	Exhaust Fans / Ventilation	X			
8.11	Fuel Systems	X			
8.12	Irrigation		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Water meter location

By street



Service: Water Service Type

Public

Service: Water Service Material

Copper, Not Fully Visible

Service: Water Shut-Off Location

Exterior, Left front

**Service: Pressure Regulator**

Present

Yes

**Service: Sewer Type**

Private septic

Supply Lines / Hose Bibs:

Materials

Copper

Drain, Waste, & Vent Systems:

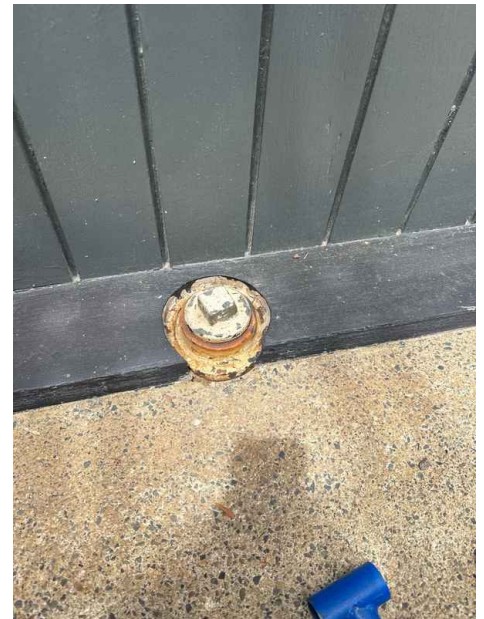
Waste and Vent Materials

See Sewer Scope Section

Drain, Waste, & Vent Systems:

Clean-out Location(s)

Exterior

**Water Heater(s): Energy Source /**

Type

Tank, Electric

Water Heater(s): Capacity

40 Gallon, 50 Gallon

Water Heater(s): Location

Garage, Exterior closet

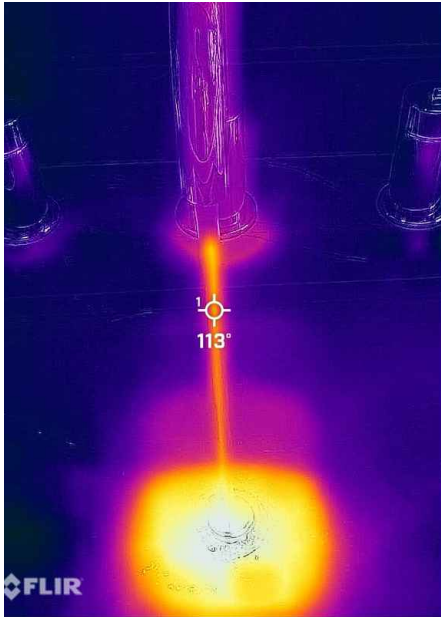
Water Heater(s): Thermal Image - Laundry: Information**Water Heater Operational**

240 Volt Electric

Exhaust Fans / Ventilation: Type

Window, Exhaust fan

Thermal image of the water heater producing hot water.

**Fuel Systems: Equipment Photo****Fuel Systems: Fuel Service Type**

Liquid Propane

Fuel Systems: Main Gas Shut-off Location

Propane Tank

**Excluded Items: Irrigation / Sprinklers - Not Inspected**

Note: The property appears to be equipped with a yard irrigation/sprinkler system, which falls outside the scope of this inspection. Any references to this system in the report are offered only as a courtesy and should not be relied upon as a complete assessment. When the system is in use, it's advisable to confirm that spray patterns don't hit the exterior walls or pool near the foundation. Some sprinkler heads may require adjustment, replacement, or deactivation. A licensed plumber should also be consulted to confirm a backflow prevention device is properly installed, in line with standard practices, to guard against contamination of the potable water supply. Beyond this, a qualified irrigation specialist should assess the system for issues such as leaks or faulty heads and complete repairs as needed.

Service: Water Pressure

Under 40

View of water pressure at the time of the inspection. 50 to 80 PSI is acceptable 60 to 75 PSI is ideal.



Water Heater(s): Equipment Photo



Water Heater(s): Estimated Mfg. Year

2011, 2014



Fuel Systems: Fuel Supply Piping Type

Steel, CSST (corrugated stainless steel tubing)

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Irrigation: Irrigation System - Not Inspected

Note: The property appears to be equipped with a yard irrigation/sprinkler system, which falls outside the scope of this inspection. Any references to this system in the report are offered only as a courtesy and should not be relied upon as a complete assessment. When the system is in use, it's advisable to confirm that spray patterns don't hit the exterior walls or pool near the foundation. Some sprinkler heads may require adjustment, replacement, or deactivation. A licensed plumber should also be consulted to confirm a backflow prevention device is properly installed, in line with standard practices, to guard against contamination of the potable water supply. Beyond this, a qualified irrigation specialist should assess the system for issues such as leaks or faulty heads and complete repairs as needed.

Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

The following items are not included in this inspection: irrigation systems; private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices; heated towel racks, saunas, steam generators, clothes washers, or clothes dryers. Any comments made regarding these items are mentioned as a courtesy only.

Note: The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated.

The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances. Wall coverings, rugs, and contents in drawers and cabinets were not moved and may have prevented a complete inspection.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection, but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Excluded Items

FIXTURE FLOW / CAPACITY NOT INSPECTED

The fixture(s) flow or capacity (determining if items are low flow based on today's standards or the real estate industry's definition of low flow) is beyond the scope of this inspection as per the industry standards.

Supply Lines / Hose Bibs

RECOMMEND CONFIRMING SUPPLY NOT IN SLAB

The majority the water lines were not visible. Recommend verifying that the waterlines are not run / routed in the slab. Inquire with the seller and or a plumber for more information

Drain, Waste, & Vent Systems

PUBLIC/PRIVATE SEWER

Determining if a home is on Public or a Private sewer system is outside the scope of this inspection. Recommend asking the sellers checking city/county records or have this further evaluated by a licensed plumber.

Water Heater(s)

WATER HEATER LIMITATIONS

It's recommended that SDG&E be contacted to perform their complimentary safety check on all gas-fired appliances before the contingency period closes. This inspection does not evaluate or determine the adequacy or completeness of the following: water recirculation pumps, solar water heating systems, Energy Smart or energy-saving control features, and catch pan drain lines. Any references to these items in this report are offered only as a courtesy.

Additionally, no estimate is provided regarding the remaining service life of water heaters, and this inspection does not assess whether a water heater is properly sized for the home. Evaluations requiring a pilot light to be lit or a shut-off valve to be operated are not performed.

Water Heater(s)

RECIRCULATING PUMPS / EXPANSION TANKS NOT INSPECTED

Hot water recirculating pumps and or expansion tanks are outside the scope of a home inspection. Recommend asking seller about this and/ or have further evaluated by a licensed plumber to determine if any corrections are needed at this time.

Bathtubs / Showers

BATHTUB/SHOWER LIMITATIONS

Tub overflow drains are beyond the scope of this inspection, as set forth by the [Standards of Practice](#). Determining if shower pans and shower enclosures are leaking is beyond the scope of this inspection. Steam units are beyond the scope of this inspection. The inspection may be limited due to personal belongings.

Laundry

LAUNDRY LIMITATIONS

The inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. **Note:** Laundry appliances are beyond the scope of this inspection, as set forth by the [Standards of Practice](#).

Fuel Systems

GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumber contractor before the end of your contingency period to determine if any latent defects exist.

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Findings

8.1.1 Excluded Items

PRIVATE SEPTIC



Attention Required

The property appears to have a private sewage disposal (septic) system. These are specialty systems and are beyond the scope of this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to substitute for a full evaluation by a qualified specialist. We recommend that a plumbing contractor familiar with septic systems conduct an inspection on the system, and that any information, maintenance requirements, or repair history related to the system is requested from the sellers.

Recommendation

Contact a qualified professional.

8.1.2 Excluded Items

PROPANE TANK(S) PRESENT

Propane tanks and service are beyond the scope of this inspection.

Recommendation

Contact a qualified professional.



Observation

8.1.3 Excluded Items

ADVISE INSTALLING LEAK DETECTORS

Advise installing leak detectors anywhere water intrusion could occur. I.e. kitchen, bathroom, laundry area, water heater area, HVAC area. This product can be purchased and/or can help avoid potential water damage in the future.

Recommendation

Contact a qualified professional.



Observation

8.2.1 Service

WATER PRESSURE UNDER 40 PSI

The water pressure was lower than 40 PSI. Recommend further evaluation by a licensed plumber to determine corrections needed at this time.

Recommendation

Contact a qualified professional.



Attention Required



8.3.1 Supply Lines / Hose Bibs

HOSE BIB MISSING BACKFLOW PREVENTER

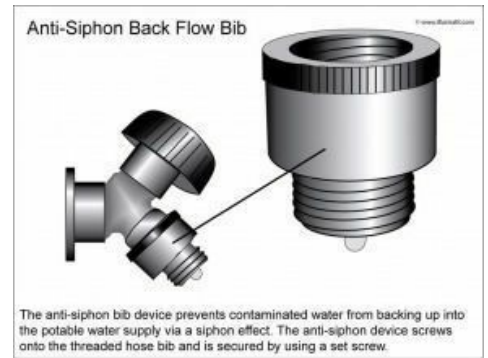
Backflow prevention devices were missing at one or more hose bibs. These devices reduce the likelihood of gray water entering the potable water supply. We recommend installing these devices where necessary.



Observation

Recommendation

Contact a handyman or DIY project



8.4.1 Drain, Waste, & Vent Systems

CAP MISSING

HALL BATHROOM

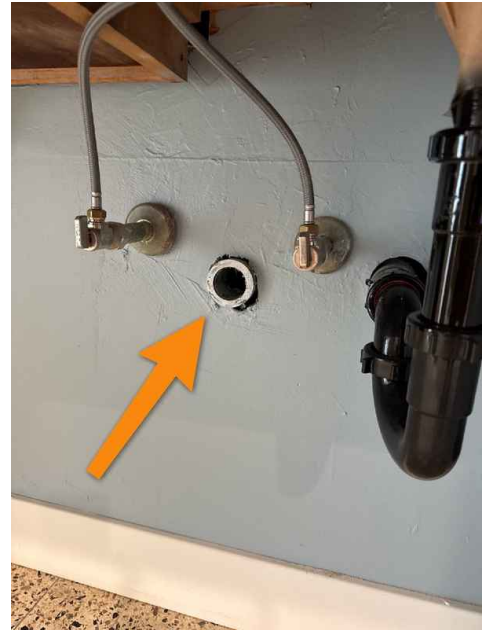
One or more clean out caps were missing. This can let out sewer gases (potential safety concern) and correction is needed.

Recommendation

Contact a handyman or DIY project



Attention Required



8.4.2 Drain, Waste, & Vent Systems

SEPTIC NOT INSPECTED

It was disclosed or the inspector believes that a septic system is present at the property. These systems are expensive and are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). This inspection did not access the septic tank or determine its location. For a detailed inspection, you should contact a septic pumping company or qualified plumber and have the tank inspected.

Recommendation

Contact a qualified professional.



Attention Required



8.5.1 Water Heater(s)

NO CATCH PAN INSTALLED

GARAGE

No catch pan with a proper drain to the exterior was installed. Catch pans and drains prevent water damage to finished interior spaces or anywhere that can cause damage if or when the water heater leaks or is drained. If concerned, consult with a qualified contractor about installing these.



Attention Required

Recommendation

Contact a qualified plumbing contractor.



8.5.2 Water Heater(s)

CATCH PAN DRAIN - NOT TO EXTERIOR

EXTERIOR

The catch pan underneath the water heater did not terminate at the exterior. Newer building standards require catch pans to be drained to an exterior point to prevent damage. Adding a drain to exterior is recommended. At a minimum a water alarm should be installed.

Recommendation

Contact a qualified plumbing contractor.



Attention Required



8.5.3 Water Heater(s)

NO EXPANSION TANK

SEVERAL AREAS

No expansion tank was present. Expansion tanks allow for the thermal expansion of water in the pipes. These have been required in certain areas for new installs or replacement since 2012. Recommend a qualified plumber evaluate and install.

Recommendation

Contact a qualified plumbing contractor.



Attention Required



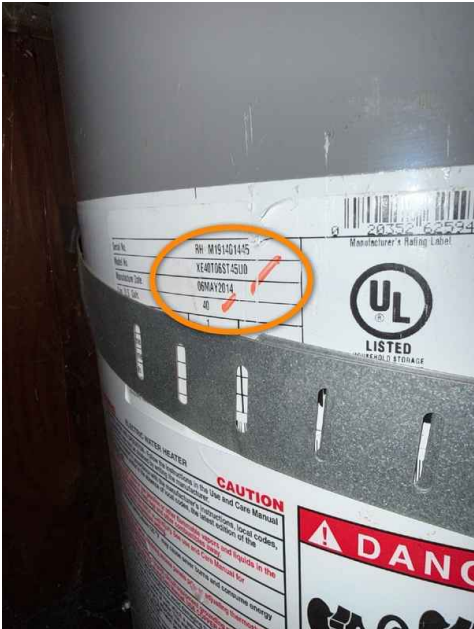
8.5.4 Water Heater(s)
OLDER THAN 10 YEARS

⊖ Attention Required

SEVERAL AREAS

The water heater appeared to be functional at the time of inspection. However, it appears to be an older unit (10 years+), and repairs or even failure can be expected. You should consider replacing this water heater as a preventive measure.

Recommendation
Contact a qualified professional.



8.9.1 Laundry
NO CATCH PAN

⊖ Attention Required

A clothes washer was or can be installed over a finished space or in an area where leaking can cause damage, and no catch pan or drain was installed. This used to be required but is not now. Catch pans and drains prevent water damage to finished interior spaces below if or when the washing machine leaks, overflows or is drained. If concerned, consult with a qualified contractor about installing a catch pan. Note that installing a drain line for a catch pan routed to the outdoors may not be feasible. As an alternative, a water alarm can be installed in the catch pan.

Recommendation

Contact a qualified professional.



8.9.2 Laundry

DRYER VENT NEEDS CLEANING



Attention Required

The dryer exhaust duct appeared to be in the need of cleaning. This condition may reduce air flow which could become a fire hazard. Recommend cleaning this duct now and as necessary in the future.

Recommendation

Contact a qualified professional.



8.9.3 Laundry

NO POWERED FAN INSTALLED



Attention Required

A powered vent fan has not been installed. We recommend adding a powered fan for improved ventilation.

Recommendation

Contact a handyman or DIY project



9: ELECTRICAL

		IN	NI	NP	F
9.1	Excluded Items		X		
9.2	Service		X		
9.3	Electrical Panel(s)				X
9.4	Breakers & Panel Wiring				X
9.5	GFCI / AFCI Protection	X			
9.6	Electrical Wiring				X
9.7	Outlets / Switches / Lighting / Fans	X			
9.8	Smoke Detectors / CO Alarms / Door Bell				X

IN = Inspected

NI = Not Inspected

NP = Not Present

F = Finding

Information

Service: Information

Below ground

Electrical Panel(s): Main Panel

Location

Exterior

Electrical Panel(s): Panel Capacity

200 AMP



Electrical Panel(s): Main disconnect rating

200 AMP

Electrical Panel(s): Sub Panel

Location(s)

Garage

Breakers & Panel Wiring: Over Protection Devices

Breakers

GFCI / AFCI Protection: GFCI Reset Electrical Wiring : Wiring Type

Location(s)

Hall Bathroom, Exterior, Kitchen,
Bedroom Bathroom #1

Copper, Not Fully Visible

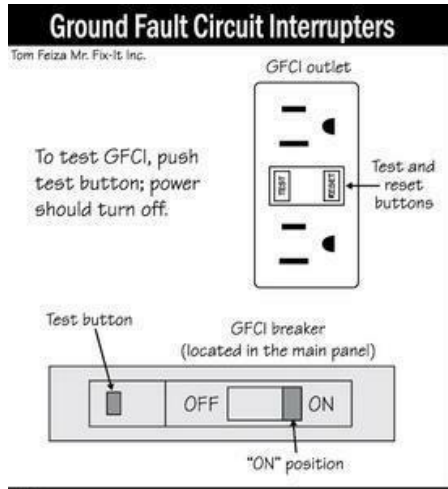
Electrical Panel(s): Panel Equipment Photographs



GFCI / AFCI Protection: GFCI protection present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

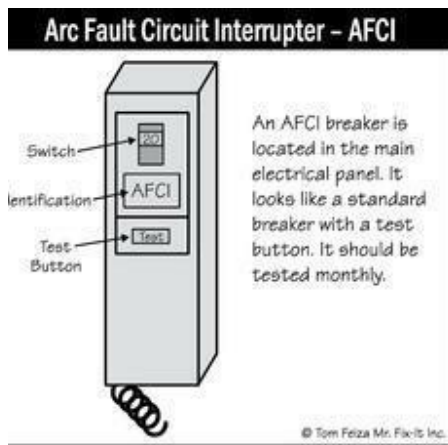


078

GFCI / AFCI Protection: AFCI protection present

Yes - Some Areas

An **Arc Fault Circuit Interrupter** (AFCI) is a [circuit breaker](#) that breaks the circuit when it detects an [electric arc](#) in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



020



Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors in All Required Locations

Yes

Note: Smoke detectors are tested only for audibility and not tested using actual smoke.

Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) in All Required Locations Partially Installed

Note: Carbon Monoxide alarms are tested only for audibility and not tested using actual Carbon Monoxide.



Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Some parts of the electrical system are excluded from this inspection: inaccessible wiring, underground utilities and system, low-voltage lighting or lighting on timers or sensors, alarm systems, generators, intercom and audio systems. Any comments made regarding these items are as a courtesy only and further evaluation may be desired.

Excluded Items

UNDERGROUND SERVICE - NOT VISIBLE

The service to the house was underground and thus was not visible and could not be inspected. Note that hidden issues may be present that were not visible to the inspector.

Breakers & Panel Wiring

LABELING ACCURACY NOT VERIFIED

Inspectors do not verify the accuracy of the labeling, but it appears to be typical. When the opportunity arises, we suggest verifying the labeling by manually operating the breakers.



Electrical Wiring

WIRING LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the end of your contingency period to determine if any latent defects exist.

Smoke Detectors / CO Alarms / Door Bell

DETERMINING IF DETECTORS HARDWIRED

Determining if the units are hardwired is beyond the scope of this inspections.

Findings

9.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM STYSTEMS

 Observation

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.

9.1.2 Excluded Items

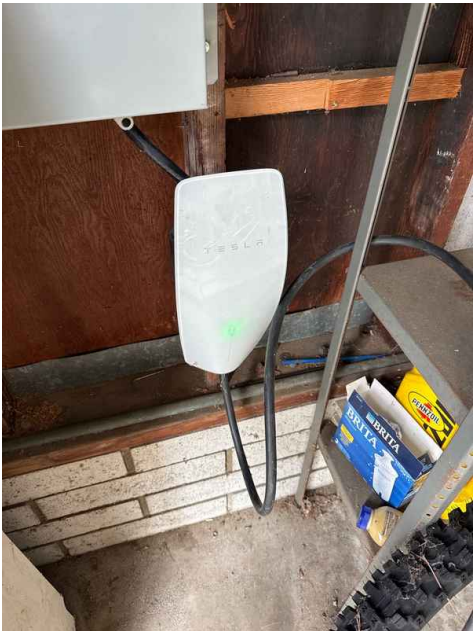
ELECTRIC CAR CHARGER

 Observation

Note: An electric car charger was installed. Evaluating these systems is beyond the scope of a home inspection. Its condition is unknown, and it is excluded from this inspection. Recommend that a qualified professional review this system and make repairs if necessary.

Recommendation

Contact a qualified solar panel contractor.



9.3.1 Electrical Panel(s)

NEWER PANEL

 Observation

The main electrical panel has been upgraded. This upgrade would require a permit. I recommend contacting the local building/permit department to verify the work was permitted. If the work was not permitted you should have the panel further evaluated by a licensed electrician.

Recommendation

Contact a qualified professional.



9.6.1 Electrical Wiring

EXPOSED WIRING NOT IN CONDUIT

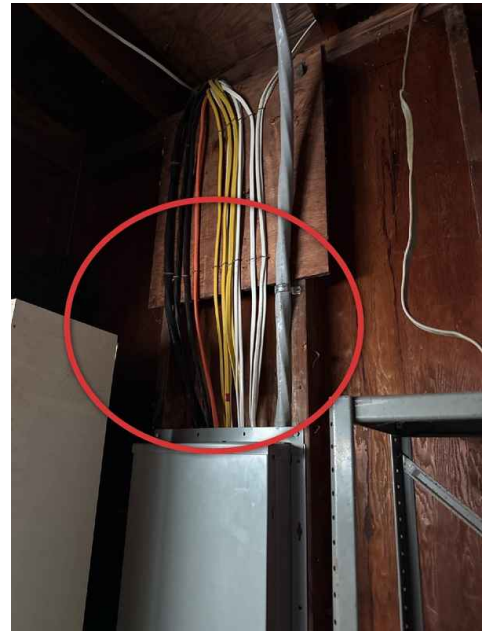
GARAGE

 Safety Item/Defective

Exposed wiring was noted at one or more wall or ceiling surfaces that could easily be damaged. This is a safety concern if used below 7 feet. Exposed wire is normally installed in conduit for protection. A qualified electrician is recommended to install conduit as needed.

Recommendation

Contact a qualified electrical contractor.



9.6.2 Electrical Wiring

OPEN SPLICE

GARAGE SEVERAL AREAS

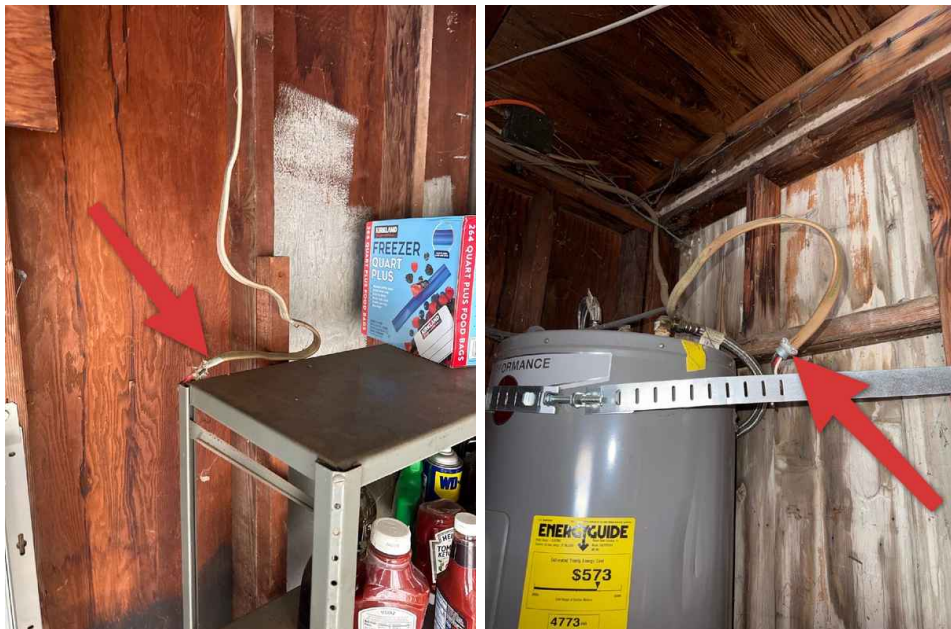
Open wire splices were observed at one or more location. All Romex connections must be enclosed in a covered junction box that is secured to a framing member of the house. Recommend further evaluation by a licensed electrical contractor before the end of your contingency period to determine repairs possible at this time.

Recommendation

Contact a qualified professional.



Safety Item/Defective



9.8.1 Smoke Detectors / CO Alarms / Door Bell

CARBON MONOXIDE ALARM(S) MISSING

BEDROOM HALLWAYS



Safety Item/Defective

Permanently-installed carbon monoxide alarms were missing in one or more areas. This is a potential safety hazard. We recommend installing approved CO alarms outside of each separate sleeping area in the immediate vicinity of the bedrooms, and on each level of the structure and in accordance with the manufacturer's recommendations.

Recommendation

Contact a handyman or DIY project



10: HVAC

		IN	NI	NP	F
10.1	General	X			
10.2	Heating (Forced Air)				X
10.3	Ducts and Registers		X		X
10.4	Filter(s) & Thermostat(s)				X

IN = InspectedNI = Not InspectedNP = Not PresentF = Finding

Information

General: No Air Conditioning Provided

Note: Some areas of the structure are not provided with air conditioning.

Heating (Forced Air): Equipment Photos



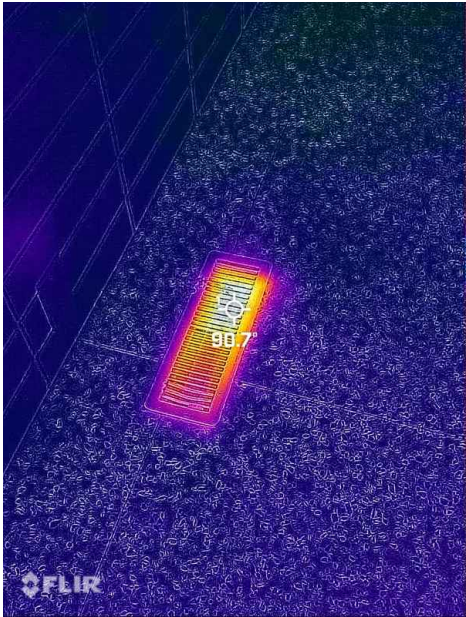
Heating (Forced Air): Location Garage

Heating (Forced Air): Estimated Year Mfg. 2024



Heating (Forced Air): Appears Functional

The heating system appears to be in working order.



Heating (Forced Air): Energy source

Liquid propane

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Filter(s) & Thermostat(s): Thermostat and Air Filter(s) Disclaimer

Thermostats are not checked for calibration or timed functions. Only the basic functions are tested. The adequacy of the air filter and or air filter size is beyond the scope of this inspection.

Limitations

General

HVAC LIMITATIONS

This inspection excludes estimate the remaining life of heating or cooling components, determine system suitability, or test certain aspects of the system or guarantee the integrity of furnace heat exchangers or the absence of clogs or leaks in condensation pans and drain lines. In buildings with furnishings, the presence of a heat source may not be verified in all "live-able" rooms. Testing air conditioners in colder seasons might provide inaccurate results due to system pressures.

Heating (Forced Air)

GAS APPLIANCES - SAFETY INSPECTION RECOMMENDED

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Ducts and Registers

HVAC DUCTING LIMITATIONS

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. You may wish to have the HVAC distribution system further explored by a licensed HVAC contractor before the end of your contingency period to determine if any latent defects exist.

Ducts and Registers

DUCTING NOT VISIBLE

Most or all of the ducting was noted inaccessible and could not be inspected.

Findings

10.1.1 General

SERVICE HEATING SYSTEM



The forced air system hasn't been serviced in over a year or has an unknown service date. We recommend asking the owner for the last service date. If it's over a year or unknown, advise getting an HVAC contractor to inspect, clean, and make necessary repairs. Future annual servicing is recommended for safety, and inform the contractor about any noted repairs.

Recommendation

Contact a qualified HVAC professional.

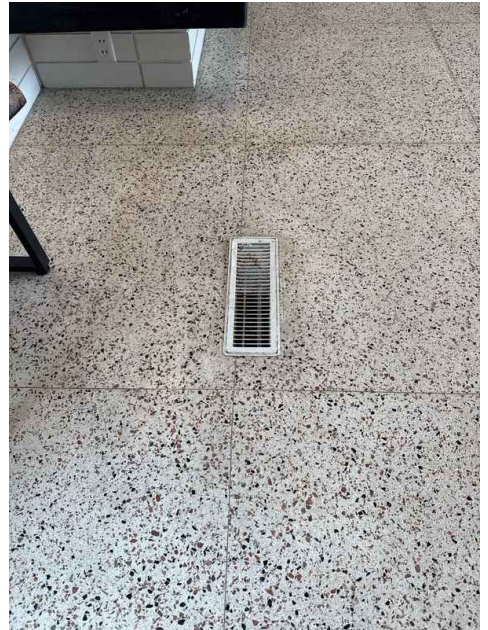
10.3.1 Ducts and Registers

**Attention Required****DUCTS - UNDER SLAB**

Some or all of the ducts are located under the slab. This can expose the ducts to a high level of moisture, and can cause the ducts to rust or even accumulate water. This condition can be conducive to bacterial or organic growth. We therefore recommend that you have the ducts video-scoped to determine their condition. Failed or damaged ducts may need to be re-routed through the attic or walls which can be a major repair. We recommend having the ducts inspected prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



10.3.2 Ducts and Registers

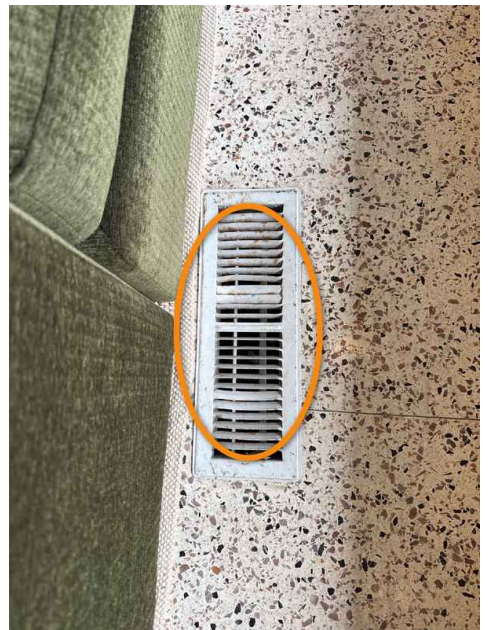
**Attention Required****REGISTERS DAMAGED**

SEVERAL AREAS

One or more heating or cooling air supply registers were loose, damaged and/or missing. The air flow cannot be controlled as a result. Recommend repair.

Recommendation

Contact a qualified HVAC professional.



10.3.3 Ducts and Registers

**Attention Required****REGISTER RUSTED**

SEVERAL AREAS

Rust and corrosion observed at the air register grill in one or more areas. Advise correcting and repair by qualified professional.

Recommendation

Contact a qualified professional.



10.4.1 Filter(s) & Thermostat(s)

FILTER DIRTY

GARAGE

The heating and/or cooling system's air filters were found dirty at one or more locations. To ensure efficiency, they should be cleaned and appropriately sized. Recommend addressing this by cleaning, repairing, or replacing the filters as necessary.

Recommendation

Recommended DIY Project



Observation



11: INTERIOR, DOORS & WINDOWS

		IN	NI	NP	F
11.1	General	X			
11.2	Exterior Doors				X
11.3	Interior Doors	X			
11.4	Windows				X
11.5	Ceiling				X
11.6	Walls	X			
11.7	Floors				X
11.8	Countertops & Cabinets				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Windows: Type

Multi-pane, Vinyl

Limitations

General

WATER TIGHTNESS NOT TESTED

Determining if the doors /windows and or their assemblies are water tight is beyond the scope of this inspection. Home inspectors are looking for obvious and visual deficiencies / defects. There are companies that can water test with spray rigs if desired.

General

INTERIOR LIMITATIONS

National standards of practice state that the inspector is not required to: A) Move any personal items or other obstructions such as but not limited to: throw rugs, carpeting, wall coverings, furniture, ceiling tiles, window coverings, equipment, plants, debris, water, dirt, or anything else that might restrict the visual inspection. B) Address normal wear and tear items, such as: dents, blemishes, dings, scuffs, nail-pops, hairline cracks or minor damage to walls, floors and ceilings.

General

INSULATION NOT DETERMINED

Determining the insulation value and/or the lack of insulation inside walls / ceilings is beyond the scope of this inspection. Further evaluation may be desired.

Windows

DOUBLE PANE WINDOWS

Please Note: Failed seals in insulated glass (double-pane) windows are not always detectable. In some instances inspector may not be able to disclose the exact condition of every window, depending on the ambient conditions (weather) or if the windows are dirty at time of inspection. Moisture between panes of glass in a double-pane window with a failed seal may or may not be observable depending on variations in ambient conditions such as temperature and humidity. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns regarding the integrity of thermal pane seals, it is strongly suggested that you consult with a licensed window contractor for further evaluation. This inspection is not a warranty or guarantee of any kind regarding the integrity of the windows.

Windows

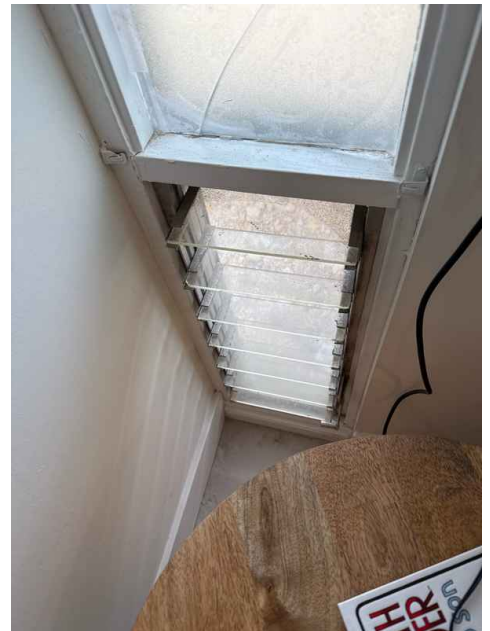
RETRO FIT WINDOWS

Many of the windows have been upgraded/replaced. I cannot guarantee that they will not leak. Windows are reported as they are observed at the time of the inspection only. If you have present or future concerns regarding the integrity of weatherproofing ability of the windows installed, it is strongly suggested that you consult with a licensed window contractor for further evaluation. This inspection is not a warranty or guarantee of any kind regarding the integrity of the windows.

Windows

LOUVERED WINDOWS

Louvered windows were noted. These windows are not energy efficient and not a safe as other windows. Replacement should be considered.



Windows

SINGLE PANE WINDOWS

Single pane windows were noted. These windows are not energy efficient and replacement should be considered.



Windows

WINDOW COVERINGS

Windows coverings are beyond the scope of this inspection.

Countertops & Cabinets

OBSCURED BY STORED ITEMS

The countertops and/or areas below sink(s) were obscured by stored items and couldn't be fully evaluated.



Findings

11.2.1 Exterior Doors

FOGGING / STAINING / CONDENSATION

REAR BEDROOM

A double pane window seal and/or low E protection has failed or is substandard at one or more glass doors. This is noted by condensation build up or staining visible between the glass. The inspector attempts to identify each door glass pane that has failed, however, this is sometimes difficult depending on atmospheric conditions. Depending on the age and/or the manufacturer, doors could still be under warranty. A qualified door/window contractor is recommended to further evaluate the door glass, determine where seals have failed and replace doors as needed.



Safety Item/Defective

Recommendation

Contact a qualified window repair/installation contractor.



11.2.2 Exterior Doors

KEYED DEADBOLT INSIDE

LAUNDRY ROOM

A key is necessary to open one or more doors from the inside, which could pose a safety hazard for evacuation in the event of an emergency. A qualified professional is recommended for replacement of hardware as needed.

Recommendation

Contact a qualified handyman.



Safety Item/Defective



11.2.3 Exterior Doors

LOCKED - NO KEY PROVIDED

REAR BEDROOM

One or more exterior doors were locked and no key was provided. These doors were unable to be fully inspected/tested. Further evaluation is recommended.



Observation



11.2.4 Exterior Doors

RECOMMEND RE KEYING ALL EXTERIOR DOORS

We recommend re keying all the exterior doors for improved safety.

Recommendation

Contact a qualified professional.

 Observation

11.4.1 Windows

TEMPERED GLASS NOT VERIFIED

SEVERAL AREAS

Tempered glass could not be verified at one or more windows (this is sometimes difficult to view).
Recommend confirming that the glass is tempered. If not then upgrades are recommended for added safety.

Recommendation

Contact a qualified professional.

 Attention Required





11.4.2 Windows

BROKEN / CRACKED / CHIPPED WINDOW(S)

REAR BEDROOM, KITCHEN

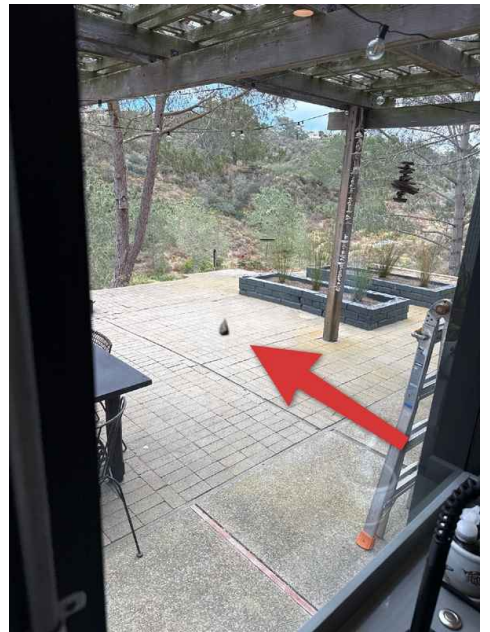
Broken and or damaged glass was noted in one or more areas. Further evaluation is recommended by a licensed specialist.

Recommendation

Contact a qualified window repair/installation contractor.



Safety Item/Defective



11.5.1 Ceiling

RECENTLY PAINTED WALLS AND CEILINGS

The walls and ceilings were recently painted. These areas were not properly visible and paint can hide issues and/or imperfections.



Observation

11.7.1 Floors

CRACKED / DAMAGED

BEDROOM BATHROOM #1

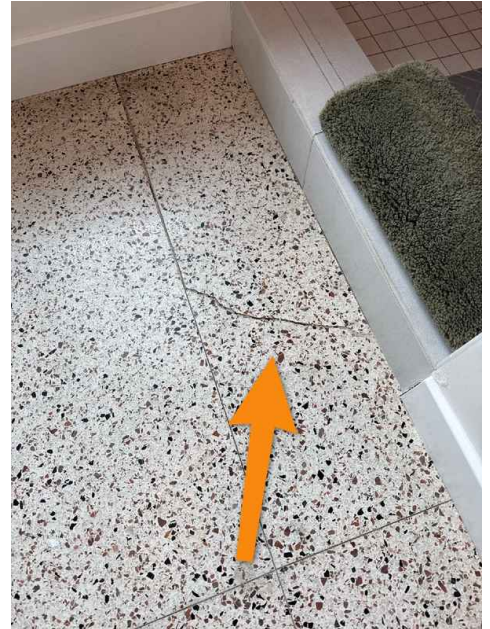


Attention Required

Areas in the flooring in one or more areas appear to be cracked, damaged and/or deteriorated. Recommend that a qualified contractor repair as necessary.

Recommendation

Contact a qualified flooring contractor



11.7.2 Floors

9X9 TILES NOTED

BEDROOM #6

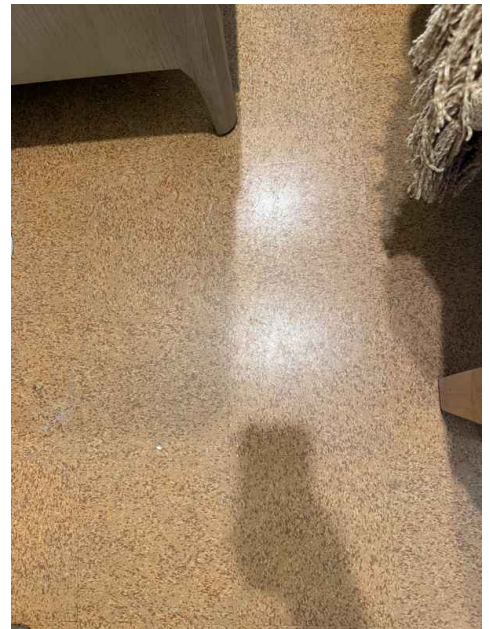
9x9 tiles were noted which typically contain asbestos and further evaluation may be desired.

Recommendation

Contact a qualified professional.



Attention Required



12: APPLIANCES

		IN	NI	NP	F
12.1	General	X			
12.2	Range/Oven/Cooktop	X			
12.3	Exhaust / Ventilation				X
12.4	Dishwasher				X
12.5	Garbage / Food Disposal	X			
12.6	Microwave	X			
12.7	Refrigerator		X		
12.8	Washer/Dryer		X		

IN = Inspected

NI = Not Inspected

NP = Not Present

F = Finding

Information

General: Range / Oven / Cooktop
Energy Source / Supply
 Electric

General: Exhaust / Ventilation
Type
 None

Range/Oven/Cooktop: Thermal Image of Oven Working

Thermal image of the oven working. This unit appeared functional.



Dishwasher: Equipment Photo**Garbage / Food Disposal: Equipment Photo****Microwave: Equipment Photo****Refrigerator: Fridge Conveys?**

Unknown

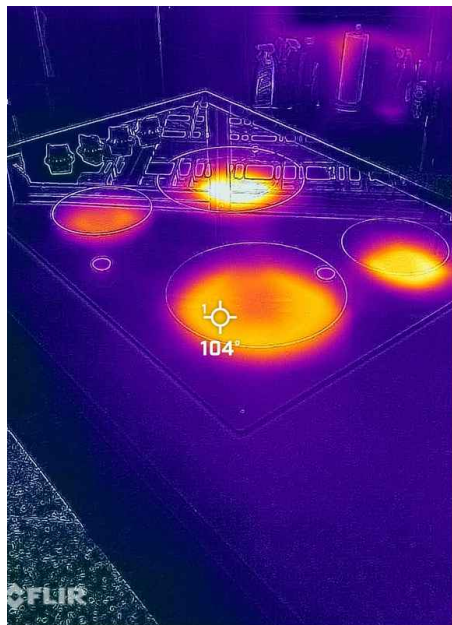
Refrigerator: Fridge Water Supply Connection

Yes

Range/Oven/Cooktop: Equipment Photo

Range/Oven/Cooktop: Thermal Image of Range Working

Infrared picture of range/cooktop in operation. This unit appeared operational.



Dishwasher: Dishwasher Functional

The dishwasher turned on and appeared to complete a wash cycle at the time of the inspection. However, this is not a guarantee that this unit will not leak at some time in the future. We recommend purchasing a home warranty to cover the unit an possible damages that may result from a leak.

Refrigerator: Refrigerator(s) Not Inspected

Refrigerators and wine fridges are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). Fridges are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Washer/Dryer: Washer(s)/Dryer(s) Not Inspected

Washer(s) and dryer(s) are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). These items are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Limitations

General

APPLIANCE LIMITATIONS

This inspection does not include the following: outdoor barbecue units, refrigerators, freezers, ice makers, warming drawers, griddles, broilers, appliance timers and clocks, coffee makers, trash compactors, hot water dispensers, water filtration units, cooking functions, self-cleaning cycles, thermostat or temperature accuracy, built-in lighting, central vacuum systems, and elevators or stair lifts. Any references made to these items elsewhere in this report are offered strictly as a courtesy.

We do not estimate the remaining service life of any appliances, nor do we assess whether they're functioning adequately. Model numbers, serial numbers, and manufacturer details are not recorded, and we do not check for active recalls on any appliances. Additionally, areas or components hidden or blocked by appliances are considered inaccessible and are not part of this inspection.

Dishwasher

DISHWASHER CYCLE LIMITATIONS

Determining the adequacy of the washing and drying functions of the dishwasher is not a part of this inspection.

Findings

12.1.1 General

UNKNOWN AGE(S)



Observation

The inspector was unable to determine the age of one or more appliances. Further research (internet searches of model/serial numbers) may be desired to determine the age of the units and to determine if they are beyond their intended life spans.

12.3.1 Exhaust / Ventilation

MISSING VENTILATION

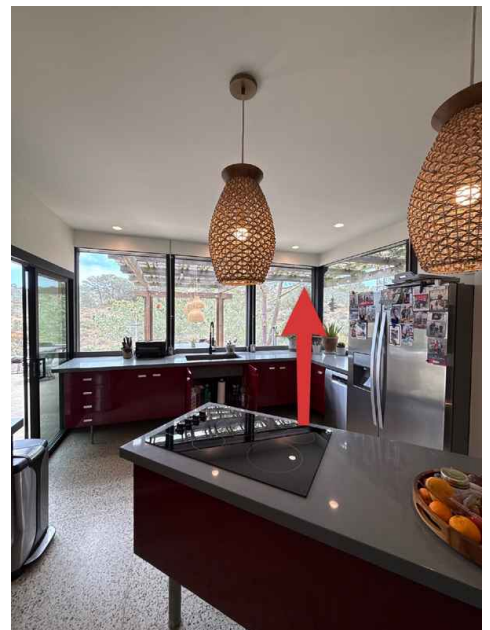


Safety Item/Defective

Missing ventilation noted above the stove top. Recommend correcting and advise repair or installation by qualified appliance specialist.

Recommendation

Contact a qualified professional.



12.4.1 Dishwasher

NO AIR GAP INSTALLED

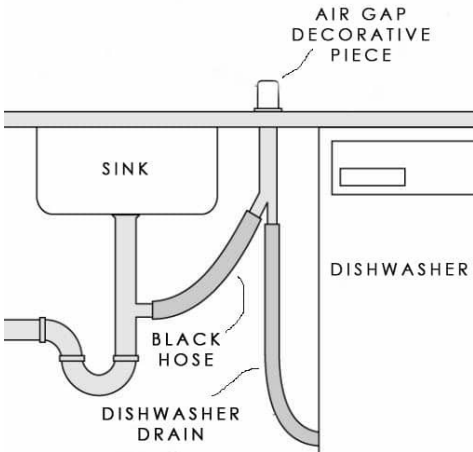


Attention Required

No air gap overflow had been installed. Some high-end dishwashers have an internal air gap but this could not be verified; inquire with the manufacturer. If no internal air gap exists, recommend installation of an air gap overflow by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



12.6.1 Microwave

PICTURE OF MICROWAVE WORKING

The operation of the microwave was tested using a microwave tester. This unit appeared functional at the time of inspection.

 Observation



13: FIREPLACES & GAS APPLIANCES

		IN	NI	NP	F
13.1	Fireplaces, Stoves & Inserts				X
13.2	Chimney(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Fireplaces, Stoves & Inserts: Equipment Photos



Fireplaces, Stoves & Inserts: Type
Masonry

Fireplaces, Stoves & Inserts: Gas Log Lighter
No

Chimney(s): Equipment Photos



Chimney(s): Type
Masonry

Limitations

Fireplaces, Stoves & Inserts

FIREPLACE / STOVE / CHIMNEY / FLUE LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector, who is a generalist. The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety. We do not inspect the shape of fireplace or the design to determine if your fireplace has a proper air draw.

Findings

13.1.1 Fireplaces, Stoves & Inserts

DEBRIS NEEDS TO BE CLEANED



Attention Required

Construction debris needs to be cleaned around the unit for improved safety



13.2.1 Chimney(s)

LINER NOT INSPECTED



Observation

The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety.

Recommendation

Contact a qualified professional.

14: GARAGE / CARPORT

		IN	NI	NP	F
14.1	General	X			
14.2	Vehicle Door(s)	X			
14.3	Automatic Opener(s)				X
14.4	Floor, Walls, Ceiling				X
14.5	Exterior Door(s)	X			
14.6	Garage Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Structure Type Attached Garage	General: Vehicle Door Roll-up, Metal	General: Automatic Opener Safety Devices Pressure sensitive, Electronic eye
General: Wall Type Open framing	General: Ceiling Type Open framing	General: Garage Ventilation Present

Limitations

General

GARAGE LIMITATIONS

Determining adequacy of firewall ratings is beyond the scope of the inspection. Ventilation requirements vary by municipality.

General

OCCUPIED / PERSONAL BELONGINGS

Personal belongings where noted in one or more areas in the garage. The garage was not fully or properly visible and further evaluation may be desired.

Vehicle Door(s)

NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Floor, Walls, Ceiling

NOT FULLY ACCESSIBLE

One or more areas were not fully accessible. Further evaluation may be desired.

Findings

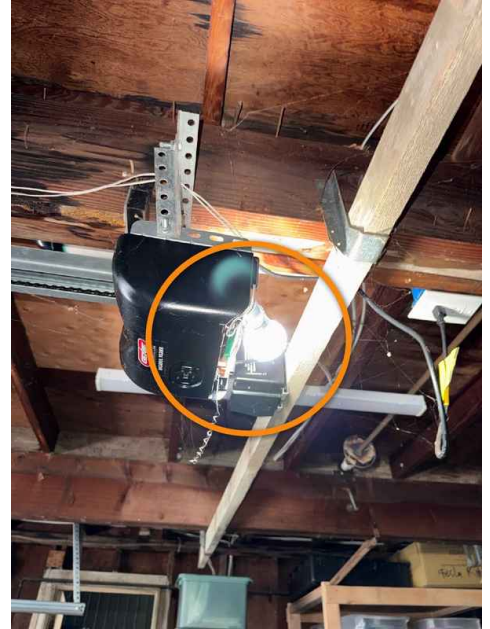
14.3.1 Automatic Opener(s)

LIGHT COVER MISSING

The light cover was missing / damaged. We recommend replacement by qualified individual.



Attention Required



14.4.1 Floor, Walls, Ceiling

FLOORS / WALLS OBSCURED

Floor and / or wall areas were obscured by stored items and couldn't be fully evaluated.



Observation



14.4.2 Floor, Walls, Ceiling

HOMEOWNER SHELVEING

Shelving was installed which could pose a safety hazard due to collapse. Recommend removing shelving, or repair/modification as necessary by a qualified person.

Recommendation

Contact a qualified handyman.



Safety Item/Defective



14.4.3 Floor, Walls, Ceiling



Attention Required

DRY WATER STAINS

Dry water stains noted at the interior of the garage. Recommend inquiring with the seller for additional information and further evaluation by a qualified contractor.

Recommendation

Contact a qualified professional.



14.4.4 Floor, Walls, Ceiling



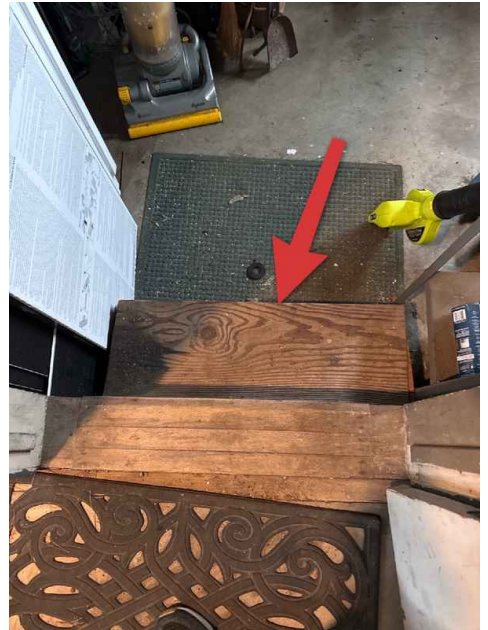
Safety Item/Defective

STAIRS / STEPS LOOSE

Stairs / steps were loose and/unsecured in one or more areas. Recommend stairs / steps be installed by a qualified licensed contractor and to current building practices.

Recommendation

Contact a qualified general contractor.



14.4.5 Floor, Walls, Ceiling



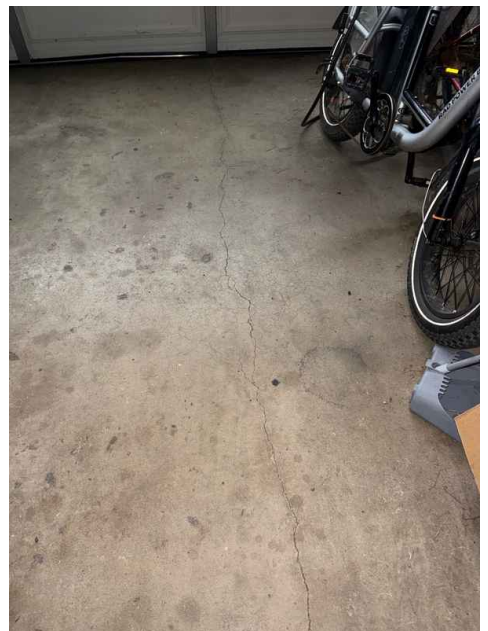
Attention Required

COMMON CRACKING

The concrete garage slab has common to moderate cracks at one or more area. These are typical for all concrete items. Recommend monitoring these cracks and contacting a qualified licensed contractor if changes occur.

Recommendation

Contact a qualified professional.



15: PORTABLE HOT TUB / FREESTANDING SPA

		IN	NI	NP	F
15.1	General	X			
15.2	Spa Cover / Safety Features				X
15.3	Electrical	X			
15.4	Spa Jets	X			
15.5	Lights	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Equipment Photo(s)



General: General Spa Condition
Clear Water



General: Remote Information
Spa Controls

Spa Cover / Safety Features:
Drowning Prevention Safety
Features Present
Cover with Clips



Limitations

Spa Cover / Safety Features
SB-442 WHAT DOES IT ALL MEAN

SB-442 What Does It All Mean David Pace, MCI, Chair, Legislative Committee

On October 11, 2017 Governor Brown signed into law SB 442. The bill is known as the Pool Safety Act. The bill is very similar to one, which the governor vetoed during the previous legislative session. His stated reason for the veto was that pool safety is the primary responsibility of parents.

The Reason For The Bill

The reason stated is contained within the bill.

"According to both federal Centers for Disease Control and Prevention's National Center for Injury Prevention and Control and the State Department of Public Health's EpiCenter data, drowning is the second leading cause of death for California children one to four years of age inclusive. EpiCenter data shows that between the years 2010 and 2014 more than 160 children one to four years of age, inclusive, suffered fatal drownings, with the majority of the incidents involving residential pools, and between the years 2010 and 2015 more than 740 children one to four years of age, inclusive, were hospitalized after suffering a near drowning incident with the leading cause of hospitalization being brain injury due to the lack of oxygen, also known as asphyxiation."

The bill goes on to say:

"Additional children suffer near drowning incidents and survive, but many of those children suffer irreversible brain injuries, which can lead to lifelong learning deficiencies that impact not only the affected child and his or her family, but also the resources and moneys available to California's health care system, regional centers, and special education school programs. The State Department of Developmental Services reported that as of December 2016 the agency was providing care for more than 755 near-drowning victims with severe brain damage resulting from the near drowning."

The legislature also finds and declares:

"Close parental supervision of children with access to swimming pools is essential to providing pool safety for children. Barriers, such as those required pursuant to section 115922 of the Health and Safety Code, can help deter young children from gaining unsupervised access to pools."

CREIA'S Position on the Bill

During this last legislative session Jerry Desmond, our legislative advocate, and I met on several occasions with the office of Senator Newman, the author of the legislation, as well as the primary representatives of the 40 bill sponsors to learn of their concerns and to set forth our perspective on how best to meet those concerns. Over the course of several months CREIA produced a SB-442 White Paper setting forth our perspective and offered proposed amendments to the bill. In our meetings I argued:

1. The bill will only effect a fraction of residential pools in California.
2. Home inspectors are not certified or capable of validating that safety provisions are compliant with ASTM standards.
3. Home inspectors cannot verify that pool barriers are properly installed or that pool alarms function properly.
4. Home inspectors identify items, as they exist at the time of the inspection.
5. Professional Pool inspectors are best equipped and trained to identify pool safety devices.
6. This bill significantly increases legal exposure for home inspectors who are not trained or qualified to make responsible evaluations.
7. A prudent home inspector will defer specific evaluation of safety devices to a qualified professional.
8. Each home inspector will need to secure their own copy of the various ASTM Standards to find out what standards they are expected to adhere to.
9. Inspection fees will increase by as much as 30%.
10. Insurance cost for home inspectors will increase.
11. The provisions of this bill are best addressed by professional pool inspectors who have the background, experience and training to perform pool inspections.

12.Home owners should provide all appropriate disclosures and documentations related to the pool and pool safety provisions.

13.THERE IS NO REQUIREMENT TO MAKE ANY SAFETY REPAIRS

During our conversations with Senator Newman's office and the sponsors of the bill, I made it clear that the reason CREIA exists is to "To protect lives, health and investments." That is our Vision Statement.Safety was never the question.The question was, who is best qualified to review the safety provisions specified by the bill.Review of those safety provisions are now the responsibility of the homes inspector.

Preliminary Thoughts and Considerations

1.Regarding the Nature of our Inspection

Our inspection of pool safety features is not unlike our inspection of other aspects of the home itself.7195 (a) (1) states that a "Home inspection is a noninvasive, physical examination... of the mechanical, electrical, or plumbing systems or the structural and essential components of a residential dwelling of 1 to 4 units designed to identify material defects in those systems, structures, and components."

Section 7195(a)(2) states, "In connection with the transfer, as defined in subdivision (e), of real property with a swimming pool or spa, an appropriate inspection shall include a noninvasive physical examination of the pool or spa and dwelling for the purposes of identifying" the safety features present.

Our inspection of the safety features is to be "appropriate."Merriam-Webster defines "appropriate" as "especially suitable or compatible: fitting." The task of our inspection if further defined to be a "noninvasive physical examination."As we shall see later many of the safety features cannot be verified by a noninvasive physical examination.(I would not think it appropriate to get two adults and one child to walk out onto a pool cover to make sure it meets the 485 lb. (220.0 kg) static load test required by ASTM 1346.)

2.Regarding the Nature of our Inspection Report.

7195 (c) states "A 'home inspection report' is a written report...(that) clearly describes and identifies the inspected systems, structures, or components of the dwelling, any material defects identified, and any recommendations regarding the conditions observed or recommendations for evaluation by appropriate persons."It goes on to state, "in a dwelling with a pool or spa, the report shall identify which of any of the seven drowning prevention safety features listed in sub division (a) of section 115922 of the Health and Safety Code the pool or spa is equipped with and shall specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features."

Our "appropriate," "noninvasive physical examination" observations of the pool safety features are to be a part of the "home inspection report" in which we describe and identify conditions and provide recommendations for evaluation by appropriate persons.Our standard of care is not that of a trained and qualified ASTM professional.Our standard of care is that of a reasonable prudent home inspector (7196).To be sure we need to be careful and diligent in our inspection, our standard of care requires it.When we see a foundation deficiency, we do not play engineer.We recommend further evaluation by a qualified and registered engineer and appropriate repairs be made.When we see a fried breaker in a sub-panel, we do not play electrician.We recommend further evaluation and repair by a qualified and licensed electrician.Inspection of pool safety features is no different.

What Does The Bill Require

The bill requires:

1.When a single family residence with a pool (see definitions below) is transferred and a home inspection is performed on the home, the home inspection report shall identify which, if any, of seven specific drowning prevention safety features are present. Those safety features are defined in section 115922 of the Health & Safety Code.

2.The home inspection report shall specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features.

Applicable Definitions(Health and Safety Code 115921)

Section 11591 defines terms related to the requirements of the Bill.

"**Swimming pool**" or "**pool**" means any structure intended for swimming or recreational bathing that contains water over 18 inches deep. "Swimming pool" includes in-ground and above-ground structures and includes, but is not limited to, hot tubs, spas, portable spas, and non-portable wading pools.

"**Public swimming pool**" means a swimming pool operated for the use of the general public with or without charge, or for the use of the members and guests of a private club.Public swimming pool does not include a swimming pool located on the grounds of a private single-family home.

"**Enclosure**" means a fence, wall, or other barrier that isolates a swimming pool from access to the home.

"**Approved safety pool cover**" means a manually or power-operated safety pool cover that meets all of the performance standards of the American Society for Testing and Materials (ASTM), in compliance with standard F1346-91.

"**Exit alarms**" means devices that make audible, continuous alarm sounds when any door or window, that permits access from the residence to the pool area that is without any intervening enclosure, is opened or is left ajar.Exit alarms may be battery operated or may be connected to the electrical wiring of the building.

The Seven Drowning Safety Provisions (Health and Safety Code 115922)

Section 115922 of the Health and Safety Code states that "Except as provided in Section 115925, when a building permit is issued for the construction of a new swimming pool or spa or the remodeling of an existing swimming pool or spa at a private single-family home, the respective swimming pool or spa shall be equipped with at least two of the... seven drowning prevention safety features."

The requirement for the safety features is triggered by the issuance of a permit for the construction or remodeling of a pool or spa.An inspection by the local building department is required prior to the issuance of a final approval.

With the passage of this bill, inspection of safety features is also triggered when a home inspection is completed on a single-family home with a swimming pool in conjunction with the transfer of a property. **NOTE** *that there is no requirement for there to be a pool inspection AND there is no requirement for a pool inspection to verify the presence of the "2 of 7" safety features.*It only applies when there is a transfer of the property with a swimming pool and a home inspection is performed on the single family home.

Safety Feature One - Health and Safety Code 115922 (a)(1)

"An enclosure that meets the requirements of section 115923 and isolates the swimming pool or spa from the private single-family home."

As noted earlier an "Enclosure" means a fence, wall, or other barrier that isolates a swimming pool from access to the home.There are six characteristics for an enclosure to comply with the bill.All six are required or the enclosure does not meet the requirement of the legislation.The first five requirements are from section 115923.

1.Any access gates through the enclosure must open away from the swimming pool, and must be self-closing with a self-latching device placed no lower than 60 inches above the ground.

2.The enclosure must be a minimum height of 60 inches.

3.The maximum vertical clearance from the ground to the bottom of the enclosure shall be no more than 2 inches.

4.Any gaps or voids in the enclosure shall not allow passage of a sphere equal to or greater than 4 inches.

5.The outside surface shall be free of protrusions, cavities, or other physical characteristics that would serve as handholds or footholds that could enable a child below the age of five years to climb over the enclosure.

6.The enclosure shall isolate the swimming pool or spa from the private single-family home. [Health and Safety Code 511922 (a)(1)]

If **ALL** six are present the enclosure meets the requirements as a safety feature.

Safety Feature Two - Health and Safety Code 115922 (a)(1)

"Removable mesh fencing that meets American Society for Testing and Materials (ASTM) Specifications F2286 standards in conjunction with a gate that is self-closing and self-latching and can accommodate a key lockable device."

ASTM F2286 is a document, which includes many design and performance requirements.

Some of the design requirements can be measured.

- The top of a fence or wall used as a barrier needs to be a minimum of 48 inches above the exterior side of the grade.
- If there is a hinge to gate used in addition to, or as part of the mesh safety barrier, the gate shall be self-closing and self-latching. The gate shall accommodate a locking device and open outward from the pool, spa or hot tub. The locking device shall be located a minimum of 54 inches above the grade and be mounted on the outside of the gate.
- There must be a clear zone of 20 inches between the barrier and the pool/spa/hot tub.
- There must be a latching device no lower than 45 inches above grade for each barrier section. The latching device needs to provide security equal to or greater than that of a hook-and-eye-type latch incorporating a spring actuated retaining lever.
- The bottom of the mesh barrier can be no more than 1 inch above the deck or surface grade.

Some of the design requirements may not be conclusively verified.

- The distance between vertical support poles and the attached mesh shall be designed and fabricated to hinder the child's ability to climb the mesh safety barrier.
- Any decorative details cannot allow a child to use those details to climb mesh safety barrier.
- The mesh safety barrier shall be removable.
- The mesh safety barrier shall continuous and constant protection. When used outdoors or in an unenclosed pool/spa/hot tub, the mesh safety barrier may provide 360 protection or may be attached to another property or perimeter fence to prevent unsupervised access to the pool.

Many of the requirements of ASTM F2286 CANNOT be verified by a non-invasive physical examination of the safety feature.

- There 40% open space requirement in the mesh to allow visibility from the outside to the inside of the mesh fence.
- The posts shall be embedded 3 inches below grade and be spaced no more than 40 inches apart.
- There is a tensile strength test requirement for the mesh material.
- There is a discoloration test for the mesh material.
- There is a specific screw size requirement for attachment of a molding strip to the vertical posts.
- The deck sleeves shall be of a non-conductive material.

- There are specific Vertical Load Test and Impact Tests.
- There are labeling and warning sign requirements for the mesh safety barrier.

This raises the question, "Can any mesh fence be considered fully compliant by means of a non-invasive physical examination?"

Safety Feature Three - Health and Safety Code 115922 (a)(1)

"An approved safety pool cover, as defined in subsection (d) of section 115921."

ASTM F1346-91 is a seven page, two-column document that contains many design and performance requirements.

The requirements include but are not limited to:

- Knowledge of the materials and manufacturing process.
- Knowledge of the installation and the delivery of detailed instructions for installation.
- Extensive labeling requirements for the cover.(These include product labeling, warning labeling, proper signal words, safety alert symbols, word messaging, label color, font size, letter style, life expectancy of the cover, cover protection advice, attachment of the labels, replacement of labeling, instruction/use labeling, packaging labeling and compliance labeling.)
- Proper markings for the safety cover are to include manufacturer's name, date manufactured or installed and instructions to the consumer to inspect the cover for premature wear or deterioration.
- No visible damage to seams, ties or welds that will impair intended performance of the device when subjected to safety cover tests.
- No gaps or openings between the cover and the deck surface or coping wall or both which could allow passage a test object to gain access to the water or be subject to entrapment.
- There are *specific test requirements and test methods* for testing Static Load, Perimeter Deflection, Surface Drainage and Opening Tests.

Most of the requirements of ASTM F1346 **CANNOT** be confirmed by means of a non-invasive physical examination.

Safety Feature Four - Health and Safety Code 115922 (a)(1)

"Exit alarms on the private single-family homes doors that provide direct access to the swimming pool or spa. The exit alarms may cause either an alarm noise or a verbal warning, such as a repeated notification that 'the door to the pool is open.'"

As indicated earlier, an exit alarm means devices that make audible, continuous alarm sounds when any door or window, that permits access from the residence to the pool area that is without any intervening enclosure, is opened or is left ajar. Exit alarms may be battery operated or may be connected to the electrical wiring of the building. (Health and Safety Code 115921)

Exit alarms are required on ANY door or window that permits access from the residence to the pool area without an enclosure between the pool and the residence. The exit alarm is required to make an audible sound when the door or window is opened or is left ajar. If a door or window is opened the alarm must sound. The exit alarm may be battery operated or hard wired.

Safety Feature Five - Health and Safety Code 115922 (a)(1)

"A self-closing, self-latching device with a release mechanism placed no lower than 54 inches above the floor on the private single-family home's doors providing direct access to the swimming pool or spa."

Any door providing direct access to the swimming pool or spa must be self-closing and self-latching. Does this include sliding glass doors? Yes, ANY door. In addition to the door being self-closing and self-latching there must be a release mechanism no lower than 54 inches above the floor. This can be in addition to the standard lock mechanism.

Safety Feature Six - Health and Safety Code 115922 (a)(1)

"An alarm, when placed in a swimming pool or spa, will sound upon detection of accidental or an authorized entrance into the water. The alarm shall meet and be independently certified to the ASTM standard F 2208 'Standard Safety Specification for Residential Pool Alarms,' which includes surface motion, pressure, sonar, laser, and infrared type alarms. A swimming protection alarm feature designed for individual use, including an alarm attached to a child that sounds when the child exceeds a certain distance or become submerged in water, is not a qualifying drowning prevention safety feature."

The key phrase is the exit alarm "shall meet and be independently certified to ASTM standard F 2208". All exit alarms complying with this standard SHALL be labeled or marked "Meets requirements of ASTM Safety Specification F 2208". "The name, model number, date of manufacturer, and contact information is required to be placed permanently on the product as appropriate."

There are four classifications of alarms, Surface, Subsurface, Pool Perimeter and Personal Immersion Alarms.

Most of the requirements of ASTM F2208-08 **CANNOT** be confirmed by means of a non-invasive physical examination.

These include but are not limited to:

- Alarm shall sound within 20 seconds both at the pool and within the residence via a remote receiver.
- The operational condition of the alarm shall be made known by means of an energized lamp at a distance of 10 feet +/- 1 foot and specified at a specified angle of view (45 degrees from perpendicular +/- % degrees).
- The alarm must have a minimum rating of 85 dba.
- If the alarm is battery operated there must be a low-battery indicator.
- The alarm must automatically reset.
- Wireless alarms must be FCC Part-15 compliant.
- If the alarm deactivates or has reduced sensitivity due to environmental factors, the alarm must provide a visual and audible warning.
- There are various tests and test procedures for each type of alarm. Child tests may include repeated drop tests, vertical drop tests and horizontal drop tests using a child intrusion simulator called "Rescue Timmy" who meets the requirements of the National Center(s) for Disease Control for a one year old child.
- Instructions are required to be shipped with each unit using ANSI Z53 5.6 as a guide. At a minimum the instructions shall address proper installation, any needed adjustments, size and shape limitations of the pool, troubleshooting instructions, contact information for the manufacturer, power or battery requirements, recommended distance from transmitter to receiver and a statement that states: "This device is not intended to replace any other safety consideration; that is, adult supervision, lifeguards, fences, gates, pool covers, locks, and so forth, and some devices may not detect gradual entry."

Safety Feature Seven - Health and Safety Code 115922 (a)(1)

"Other means of protection, if the degree of protection afforded is equal to or greater than that afforded by any of the feature set forth above and has been independently verified by an approved testing laboratory as meeting standards for those features established by ASTM or the American Society of Mechanical Engineers (ASME)."

While I cannot confirm, I do not believe a "Baywatch" lifeguard qualifies.

What do I report?

The bill requires that we identify which, if any, of the 7 specified safety drowning prevention safety features the pool or spa is so equipped. Further we are required to specifically state if the pool or spa has fewer than two of the listed drowning prevention safety features.

To identify is to "say what something is. "Merriam-Webster lists many synonyms for identify. They include the words: distinguish, pinpoint, locate, examine, inspect, investigate, notice, scrutinize, disclose, discover etc. A prudent home inspector (the standard to which we are held) will identify the pool safety deficiencies (material defects) he or she is able to as specified in the bill. It is obvious many of the provisions of the bill cannot be identified within the confines of our non-invasive physical inspection. As with any other aspect of our home inspection, if we can't inspect it...disclose it.

Are there exceptions to the bill?

Section 115925 was amended to indicate there are three exceptions to the bill.

- 1.Public swimming pools.
- 2.Hot tubs or spas with locking safety covers that comply with the American Society for Testing and Materials (ASTM F1346).
- 3.An apartment complex, or any other residential setting other than a single-family home.

Findings

15.2.1 Spa Cover / Safety Features

ALARMS ON DOORS MISSING



Safety Item/Defective

The alarm for one or more doors between the house and the pool and/or spa was inoperable, missing and/or removed. All doors which give access to a swimming pool should be equipped with an audible alarm. A qualified person should evaluate and repair as necessary.

Recommendation

Contact a qualified professional.

15.3.1 Electrical

MAIN DISCONNECT - OK - SPA



Observation

The main disconnect for the hot tub was properly located and appeared to be in serviceable condition. It was not operated.



15.4.1 Spa Jets

SPA JETS - FUNCTIONED

The spa jets functioned when tested.

 Observation

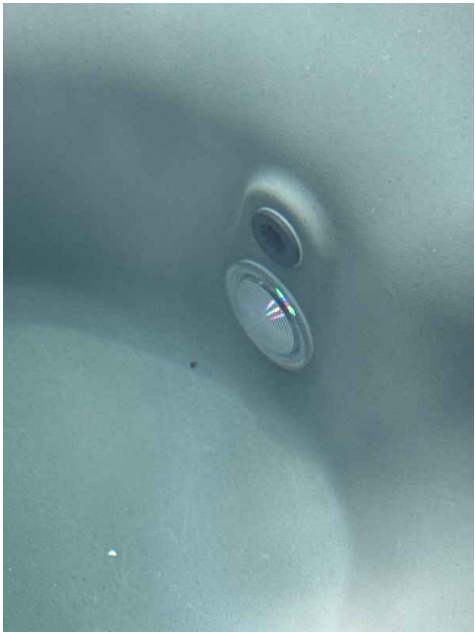


15.5.1 Lights

LIGHT - FUNCTIONAL

Spa light(s) functioned properly when tested.

 Observation



16: SEWER SCOPE

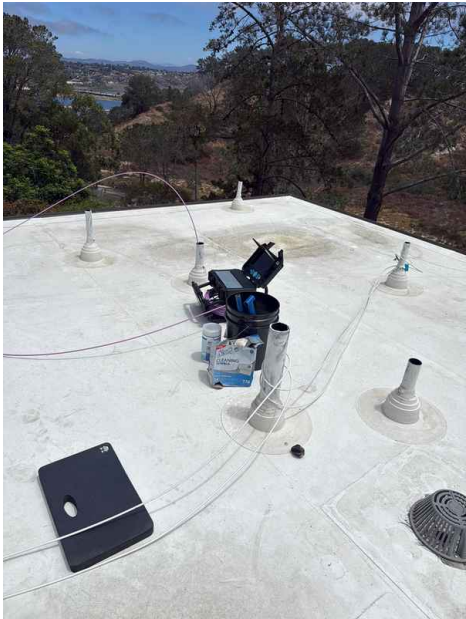
		IN	NI	NP	F
16.1	General				X

IN = InspectedNI = Not InspectedNP = Not PresentF = Finding

Information

General: Main Sewer Pipe Materials
ABS, PVC, Partially Visible

General: Scoping Access Location(s)
Roof



General: Recommended Maintenance Tips

Do not flush paper towels, wet wipes, feminine products, or plastics down the toilet. Use screens on sink and tub drains to catch hair and other items from falling into the drain. Do not pour grease or oil into the sewer line.

Limitations

General
SEWER SCOPE LIMITATIONS

Limitations, Exceptions & Exclusions

1. Limitations

1. A sewer scope inspection is not technically exhaustive.
2. A sewer scope inspection will not identify concealed or latent defects.
3. This Standards of Practice applies to properties with four or fewer residential units unless otherwise agreed upon.

2. Exceptions

1. The sewer scope inspection is based on the observations made on the date of the inspection, and not a prediction of future conditions.
2. The sewer scope inspection will not reveal every issue that exists or ever could exist, but only those material defects observed on the date of the inspection.

3. Exclusions

The inspector is not required to:

1. Remove or pull toilets to access the main or lateral sewer line.
2. Move any personal items or other obstructions, such as, but not limited to: throw rugs, carpeting, wall coverings, boxes, furniture, ceiling tiles, window coverings, equipment, plants, debris, or anything else that might restrict the sewer scope inspection.
3. Climb a roof to access a sewer vent pipe if deemed unsafe by the inspector.
4. Enter or access any area or do anything that may, in the inspector's opinion, be unsafe or dangerous to him/herself or others, or damage property.
5. Enter crawlspaces or other areas that may be unsafe or not readily accessible.
6. Locate and/or mark any defect observed in the sewer scope video.
7. Provide the length of the main or lateral sewer line to the municipality's or HOA's tap or septic tank.
8. Scope or inspect underfloor or in-house portions of the building drain or sewer system.
9. Give correction, replacement or repair cost estimates.

The camera is run only through the main sewer line, and no secondary lines or branch lines will be inspected or included as part of this report unless otherwise specified. Lines smaller than 2" in diameter and traps less than 6" in diameter will not be inspected. Marked areas are for reference only and may not be exact due to signal interference and/or depth of sewer. Damage may exist beyond the marked areas (especially in cast iron). A licensed plumbing contractor is recommended to relocate and/or ensure accuracy of markings prior to repair.

General

CLEAN OUT NOT ACCESSIBLE

KITCHEN EXTERIOR

A clean out was not able to be accessed due to stored items.

General

NO REAR CLEAN OUT

No clean out was visible at the back of the plumbing (usually in back but could be in the front if plumbing runs to the back of the property). the waste lines were not be visible while performing the sewer scope. Inquire with the seller for more info and further evaluation may be desired.

Findings

16.1.1 General

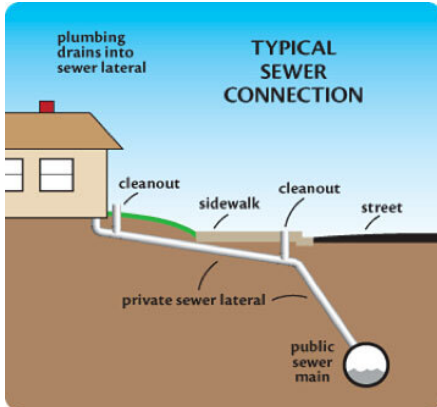
SEWER SCOPE VIDEO(S)



Here is the sewer scope video link. If you have problems accessing the video, you may have to copy and paste to your browser.

1-<https://youtu.be/Z5gDlDqtfpc?is=DX1VfOmWozG1wRLT>

2-<https://youtu.be/fvX7x6xnhaA?is=xwCUYQGH2O8xiEii>



16.1.2 General

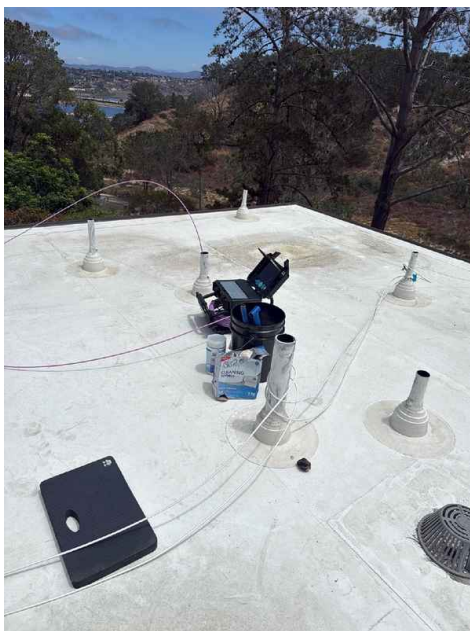
LIMITED VIEW



The camera was able to scope 38 feet from the roof access point in the main sewer pipe to the septic tank. Kitchen exterior clean out was unable to be accessed. The majority of the main drain line was not able to be inspected. The remaining length of the pipe through the home main drain line could not be evaluated. Advise removal of the kitchen exterior clean out cap to allow access for a full inspection of the main drain line throughout the home.

Recommendation

Contact a qualified plumbing contractor.



16.1.3 General

RECOMMEND ADDING - DOUBLE SWEEP CLEAN OUT ACCESS

FRONT EXTERIOR

Recommend adding double sweep clean out at the exterior for proper access of the main drain line.



Attention Required

16.1.4 General

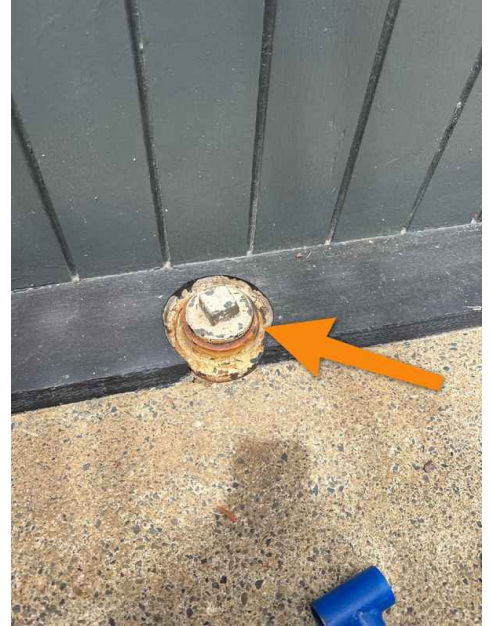
CAP COULD NOT BE REMOVED

EXTERIOR KITCHEN

A clean out cap could not be removed. We recommend correction by a qualified plumbing contractor.



Attention Required



17: COMPLIMENTARY PICTURES

		IN	NI	NP	F
17.1	General	X			
17.2	Interior	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Interior: Kitchen



Interior: Living Room



Interior: Bedroom #1



Interior: Bedroom #2



Interior: Bedroom #4



Interior: Bedroom #5



Interior: Bedroom #6



Interior: Hall Bathroom



Interior: Bedroom Bathroom #1



Interior: Laundry Room/Area**Interior: Garage****General: Complementary Photos**

These photos have been provided to define areas of the home as indicated in the report. These photos have been provided as a courtesy and are not intended to identify issues/defects.