



AZTEC PROPERTY INSPECTIONS

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PROPERTY INSPECTION REPORT

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09/03/2026



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SUMMARY

The Summary version is not the entire report and should not be considered exclusive. The Summary listed items are considered by the inspector as inoperative, not operating properly or as intended, health and/or safety concerns, warranting further investigation by a specialist, or warranting continued observation by others. Not all findings listed in the full report are listed in the Summary. **Client is advised to read the entire full report.**

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1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview



A property inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the CREIA and/or InterNACHI [Standards of Practice](#), that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. Specialized inspections may reveal issues that our general inspection does not cover. This inspection will not cover any HOA items will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

The inspector's job is to point out an issue and to give a course of action, which is why we always include a recommendation after the issue. We also write "one or more" comments for your protection. Since we are the generalist, if you have a specialist come out then we recommend they inspect all of the specific items and not just the one we identify in the report.

General: Notes

Note: Read the [Standards of Practice](#) set forth by the [California Real Estate Inspectors Association](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Regular maintenance will be required in several areas. Identifying these areas is beyond the scope of this inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. **The purchase of a home/building warranty is recommended.**

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Notice to Third Parties: This report is copyright protected. This report is the exclusive property of Aztec Property Inspections and the Client(s) listed above and is not transferable to any third parties or subsequent buyers. Our Inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Unauthorized recipients are therefore advised not to rely upon this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified on the cover page of this report.

Note: [For the purpose of this report, all directional references \(left, right, front, rear\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: The client is advised that a mold inspection / testing is recommended by a qualified specialist. This is especially important if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector or if issues have been disclosed.

HOA Note: HOA (Home Owner's Association) areas and items located in HOA areas are beyond the scope of this inspection and this typically only applies to condo and townhouses. It is unknown what items if any may be a part of an HOA and note that if any item isn't expressly marked as inspected then it is believed to be an HOA item. Inquire with the seller and/or the HOA for more information. If and HOA items were reported on then they were mentioned as a courtesy and were not fully inspected nor were all the HOA items inspected.

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Attention Required**" or "**Safety Item/Defective**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Observation = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Attention Required = The item, component, or system while perhaps functioning as intended is in need **repair or service**; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or qualified licensed contractor** and are not considered routine maintenance (DIY) items. All "**Attention Required**" items should be evaluated before the close of the contingency period.

Safety Item = The item, component or system poses a **safety concern** to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk. Items may vary in severity, and require attention from either a **homeowner/handyman** (for example, replacing smoke detector batteries or installing CO detectors), **or a qualified licensed professional**.

-OR-

Defective = The item, component or system is **not functioning** as intended, and requires further evaluation and/or repair by a **specialized, qualified, licensed contractor**. Damage to the structure may occur if left unaddressed. All "**Defective**" items are considered high-priority, and should be evaluated before the close of the contingency period. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: In Attendance Listing Agent, Inspector, Workers	General: Building Type Single Family	General: Occupancy Vacant
General: Utilities All Utilities On	General: Temperature 70-80 F	General: Weather Conditions Sunny

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Areas of the property were obscured or access was obstructed by furniture and/or stored items. The inspector does not move furnishings, personal belongings, carpets or appliances. Any areas not readily accessible are excluded from the inspection. Be aware that hidden damage or problems may be present and special attention should be taken when conducting the final walk through.

Misc. Concerns / Comments: Vacant / Not Occupied

The property is currently vacant and it is unknown how long the property has been unoccupied. Because plumbing systems/fixtures have not been in use for some time, it is possible for small leaks to occur once regular usage resumes. These leaks may or may not be detectable to the inspector during their limited time at the property. It is recommended that the client monitors the plumbing systems for leaks after taking occupancy.

Misc. Concerns / Comments: Lead and/or Asbestos Note

Note: Homes constructed before approximately 1985 may contain lead-based paint and/or asbestos-containing materials. Lead is most often associated with older paint layers and certain plumbing fixtures or pipes; applying new paint over old lead-based paint does not, per EPA guidance, count as sealing off the hazard. Asbestos can turn up in a range of building products, including insulation, exterior siding, and tile flooring or ceiling materials. While federal restrictions on these substances took effect in 1978, existing supplies containing lead and asbestos continued to be installed in homes for years afterward. Both substances pose recognized health risks.

This inspection does not include testing or assessment for lead or asbestos. Where these materials are referenced in this report, it is solely to flag the possibility for the client's awareness and to recommend further evaluation. For accurate testing and guidance, clients should engage qualified professionals — such as certified industrial hygienists, accredited testing labs, or licensed abatement contractors.

Misc. Concerns / Comments: Pre Listing Inspection

This is a pre listing inspection report. The scope of this inspection will be agreed upon by the client(s) and Aztec. Any comments made in this report regarding other systems and components are only a courtesy and do not represent the condition of those entire systems or components. Any potential buyers of this property are advised to get their own inspection report.

Misc. Concerns / Comments: Additions and or Alterations Noted

It is believed that additions and or alterations were noted to the original property. Recommend inquiring with the city building department and or seller to verify that permits have been completed for all alterations.

Findings

3.1.1 Misc. Concerns / Comments



Attention Required

FIXER

NOTE: This home is considered a "fixer upper." The property has been neglected. Extensive deferred maintenance was observed throughout, and we will not comment further on the obvious and numerous less significant deficiencies. You should be aware of obvious areas that need prep and paint, or replacement of coverings. The inspection of main components/systems is the purpose of this inspection. Components such as structure, roof, plumbing, heating and electrical are main components. However, you should obtain estimates from a licensed general contractor, because the cost of renovation could significantly affect your evaluation of the property. Due to the condition of the home, this report is intended to report on significant defects only.

Recommendation

Contact a qualified professional.

4: LOTS, GROUNDS & EXTERIOR

		IN	NI	NP	F
4.1	Driveways, Sidewalks, Patios				X
4.2	Drainage or Grading				X
4.3	Fences / Gates				X
4.4	Exterior Walls / Trim				X
4.5	Eaves / Soffits				X
4.6	Vegetation				X
4.7	Decks / Balconies / Stairs				X
4.8	Shed(s)		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Exterior Walls / Trim: Construction Material

Wood Frame

Exterior Walls / Trim: Wall Covering Material

Stucco, Wood

Limitations

Driveways, Sidewalks, Patios

GROUPS LIMITATIONS

The items listed below fall outside the scope of this inspection under CREIA Standards of Practice. Except where addressed elsewhere in this report, any comments touching on these items or systems are offered purely as a courtesy and should not be taken as a full evaluation:

- Standalone structures or outbuildings not attached to the main dwelling
- Fencing and gates
- Retaining walls
- Buried drainage lines, catch basins, or hidden sump pumps
- Pools and associated safety features, spas, hot tubs, and saunas
- Water-tightness of membranes on decks, balconies, or stairs
- Trees, landscaping, and soil-related conditions including stability, erosion, or erosion control measures
- Ponds, decorative water features, and irrigation or sprinkler systems
- Sport courts, play structures, and recreational or leisure equipment
- Spaces beneath exterior portions of the structure with under 3 feet of clearance
- Invisible/electronic pet fencing
- Seawalls, docks, and boathouses
- Retractable awnings

Exterior Walls / Trim

EXTERIOR LIMITATIONS

Readily accessible/visible areas of the exterior were inspected, which excludes areas that were obscured by vegetation, stored items, areas concealed by coverings, siding or trim, and areas that may be difficult to observe due to height.

Shed(s)

BEYOND SCOPE OF INSPECTION

Beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association).

Findings

4.1.1 Driveways, Sidewalks, Patios

**Attention Required****COMMON TO MODERATE CRACKS NOTED**

Common to moderate cracks noted in one or more areas. Sealing the cracks properly is recommended to avoid water intrusion which can cause further cracking and or damage.

Recommendation

Contact a qualified handyman.



4.1.2 Driveways, Sidewalks, Patios

**Safety Item/Defective****TRIP HAZARD -
DAMAGE/DETERIORATION (REPAIR)**

A raised or settled surface was noted thus creating a trip hazard noted in one or more areas. We recommend that a qualified contractor repair as necessary for improved safety.

Recommendation

Contact a qualified professional.



4.2.1 Drainage or Grading

 Attention Required**IMPROPER GRADING / DRAINAGE AWAY FROM STRUCTURE**

The perimeter grading does not slope down and away from the structure in one or more areas. No drainage was visible. This could trap water near the structure. Wet soil may cause the foundation to settle and possibly fail over time. Moisture intrusion is a possibility. Recommend having all soil and or hardscape so it slopes down and away from the structure properly or adding drainage as necessary using standard building practices.

Recommendation

Contact a qualified professional.

4.3.1 Fences / Gates

 Attention Required**DAMAGE / DETERIORATION - REPAIR**

Damage and or deterioration was present at one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.

4.4.1 Exterior Walls / Trim

 Attention Required**DAMAGED WOOD - TERMITE INSPECTION RECOMMENDED**

Damaged, soft and or deteriorated wood was noted in one or more areas. Further evaluation is recommended by a qualified and licensed pest control specialist.

Recommendation

Contact a qualified professional.



4.4.2 Exterior Walls / Trim

 Attention Required**STUCCO CRACK(S) / DAMAGE NEEDS REPAIR**

Cracking, damage, and/or deterioration was noted at one or more areas of stucco siding. This condition could allow for excessive moisture intrusion behind the stucco. A qualified professional is recommended for evaluation and repairs as necessary.

Recommendation

Contact a stucco repair contractor



4.4.3 Exterior Walls / Trim

NO WEEP SCREED



Attention Required

Stucco on older homes built prior to the 1970's was installed without a weep screed. The weep screed is a metal band at the bottom of the stucco which has holes to allow the stucco to "breathe" and water to "weep" from the stucco. Having the soil in contact with stucco will lead to stucco damage due moisture. Installing a weep screed will be needed to avoid cracking and deterioration. Recommend further evaluation and correction by a qualified contractor.

Recommendation

Contact a qualified professional.

4.4.4 Exterior Walls / Trim

DAMAGED STUCCO



Attention Required

Damage was noted at the stucco. Advise further evaluation and repair by a licensed stucco contractor to help prevent moisture intrusion.

Recommendation

Contact a qualified professional.



4.5.1 Eaves / Soffits

FASCIA BOARD DAMAGED / DETERIORATED

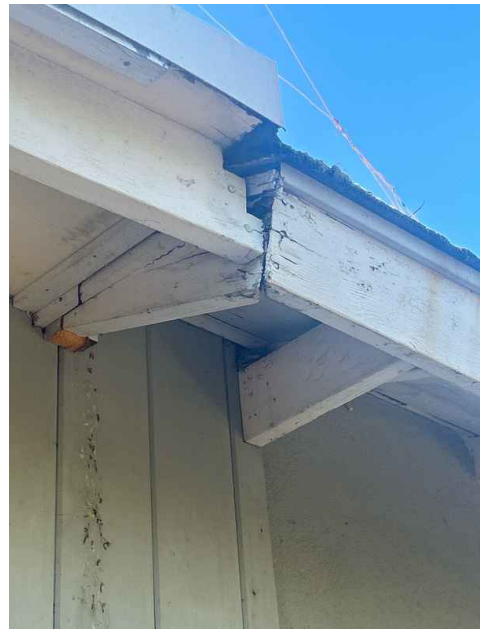


Attention Required

Fascia board at one or more areas was deteriorated and/or damaged. Recommend repairs be made by a qualified contractor. For example, by replacing all deteriorated wood and correct the cause of the damage / deterioration.

Recommendation

Contact a qualified general contractor.



4.5.2 Eaves / Soffits

PAINT FAILING



Attention Required

The paint on eaves/fascia was failing/loose. We recommend prep and paint as needed.

Recommendation

Contact a qualified painting contractor.



4.5.3 Eaves / Soffits

WOOD DAMAGE - TERMITE INSPECTION RECOMMENDED



Attention Required

Damaged, soft and or deteriorated wood was noted in one or more areas. Further evaluation is recommended by a qualified and licensed pest control specialist.

Recommendation

Contact a qualified pest control specialist.



4.6.1 Vegetation

VEGETATION CONTACT / CLEARANCE



Attention Required

Vegetation was in contact with and/or too close to the structure's exterior. This is a conducive condition for wood destroying organisms. Recommend pruning or removing vegetation as necessary so there is at least a one foot gap between all vegetation and the structure's exterior.

Recommendation

Contact a handyman or DIY project

4.7.1 Decks / Balconies / Stairs

WOBBLY / LOOSE RAIL(S) NOTED

Railing(s) (handrails or guardrails) at one or more areas were wobbly or loose and could pose a fall hazard. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified deck contractor.



Safety Item/Defective



4.7.2 Decks / Balconies / Stairs

DECK BOARDS LOOSE / MISSING

One or more decking boards were loose and/or missing. In some cases this may pose a trip / fall hazard. Recommend that a qualified person repair as necessary.

Recommendation

Contact a handyman or DIY project



Attention Required



5: FOUNDATION

		IN	NI	NP	F
5.1	Foundation				X
5.2	Seismic Re-Inforcement		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Foundation: Foundation Type Concrete Slab on Grade, Crawlspace	Foundation: Foundation / Stem Wall Material Slab on grade, Post-pier	Foundation: Footing Material Concrete, Pre-cast concrete
Seismic Re-Inforcement: Anchor Bolts / Hold Downs Unknown / Not visible		

Limitations

Foundation FOUNDATION LIMITATIONS The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted.
Seismic Re-Inforcement NOT FULLY VISIBLE Bolts were not visible in all areas (poor access).

Findings

5.1.1 Foundation SETTLEMENT CRACKS MAJOR ADDITION Signs of abnormal settlement or foundation movement visible. Recommend further evaluation and needed repairs be made by a qualified licensed contractor. Recommendation Contact a qualified structural engineer.	 Safety Item/Defective
---	--



5.1.2 Foundation

CRACKING AT STEM-WALL

GARAGE

Cracking noted at the stem-wall. This did not appear to be affecting the overall performance of the home. However, I recommend further review by a qualified/licensed professional.

Recommendation

Contact a qualified professional.



Attention Required



6: CRAWLSPACE

		IN	NI	NP	F
6.1	Access	X			
6.2	Foundation				X
6.3	Substructure / Framing	X			
6.4	Insulation / Ventilation				X
6.5	Moisture Intrusion				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Access: Location

Rear

Access: How Viewed

Partially Traversed

Foundation: Foundation Type

Concrete Slab on Grade,
Crawlspace

Foundation: Foundation / Stem Wall Material

Concrete, Concrete block

Foundation: Footing Material

Pre-cast concrete, Concrete block

Substructure / Framing: Sub floor material

Diagonal Wood Sub Floor

Substructure / Framing: Beam & Joist Material

Solid Wood Beam Noted

Substructure / Framing: Pier/Support Material

Precast Piers, Post & pier

Insulation / Ventilation: Ventilation Type

Vented

Insulation / Ventilation:

Insulated

Partially

Access: Crawl Space Limitations

Components such as joists / beams, and other components such as wiring, piping and/or ducting that are obscured by under floor insulation are excluded from this inspection. The inspector does not determine adequacy of support posts, columns, beams, joists, studs, trusses, etc. The inspector does not know if water will accumulate in the crawl spaces in the future. The inspector attempts to locate all crawl space access points and areas but while under the house determining if all areas were accessible is very difficult and therefore beyond the scope of this inspection. Access points could be obscured or otherwise hidden by furnishings or stored items. The client should ask the property owner where all access points. Note that crawl space areas should be checked at least annually for several reasons.

Limitations

Foundation

FOUNDATION LIMITATIONS

The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement but know that earthquake insurance is recommended. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted. Determining if the wood to wood connections are proper or fully bearing is beyond the scope of this inspection. The inspector makes every attempt to look for gaps or loose posts / beams but sometimes this is only visible based on the orientation or the way the inspector is traveling under the house. Metal framing straps are always recommended for improved stability and seismic strength.

Substructure / Framing

BEARING (WOOD TO WOOD CONNECTIONS) NOTICE

Determining if the wood to wood connections are proper or fully bearing is beyond the scope of this inspection. The inspector makes every attempt to look for gaps or loose posts / beams but sometimes this is only visible based on the orientation or the way the inspector is traveling under the house. Metal framing straps are always recommended for improved stability and seismic strength.

Findings

6.2.1 Foundation

CRACKED SOIL NOTED



Attention Required

Cracks were noted in the soil under the house which can be an indication of expansive soil (clay based). This makes it extremely important to get the water away from the structure and further evaluation may be desired.

Recommendation

Contact a qualified professional.

6.2.2 Foundation

PIERS/POSTS NOT STRAPPED



Attention Required

The post and piers are not strapped/braced. This may have been acceptable when the structure was built but it does not meet the current building standards. Adding metal straps to the piers and post may improve the overall stability and longevity of this home's foundation. Recommend consulting with a licensed contractor to make the appropriate seismic upgrades for added safety.

Recommendation

Contact a qualified professional.



6.2.3 Foundation

RODENT ACTIVITY

Rodent activity was noted in the crawlspace. Recommend further evaluation by a licensed pest company and correct as needed.

Recommendation

Contact a qualified professional.



Attention Required



6.4.1 Insulation / Ventilation

INSULATION LOOSE, MISSING, DAMAGED

One or more sections of under-floor and/or wall insulation in the crawl space were loose, missing and/or damaged. This may result in reduced energy efficiency. Recommend that a qualified person install or replace insulation as necessary.

Recommendation

Contact a qualified insulation contractor.



Attention Required



6.5.1 Moisture Intrusion

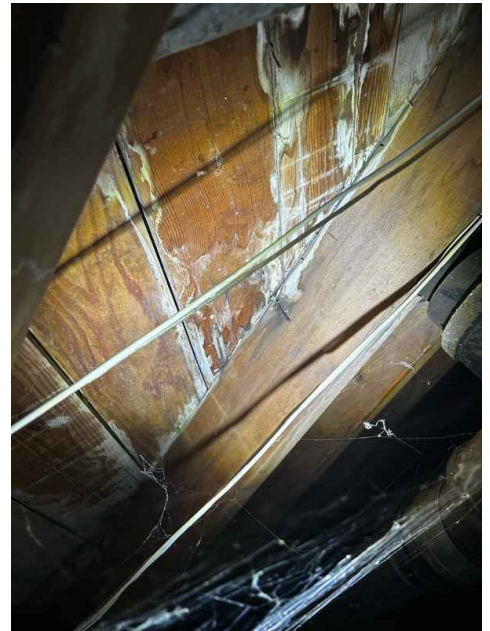
WATER STAINS NOTED - CRAWL

Safety Item/Defective

Stains were found at the subfloor and or framing. The stain(s) may be due to past leaks or other occurrences. Consult with the property owner and monitor the stained area(s) in the future. Testing for elevated moisture in a confined space is beyond the scope of this inspection as per the standards of practice and a specialist may be desired. The inspector is limited to only being able to evaluate conditions at time of inspection and in a non-invasive manner.

Recommendation

Contact a qualified professional.



6.5.2 Moisture Intrusion

CRACKED SOIL NOTED

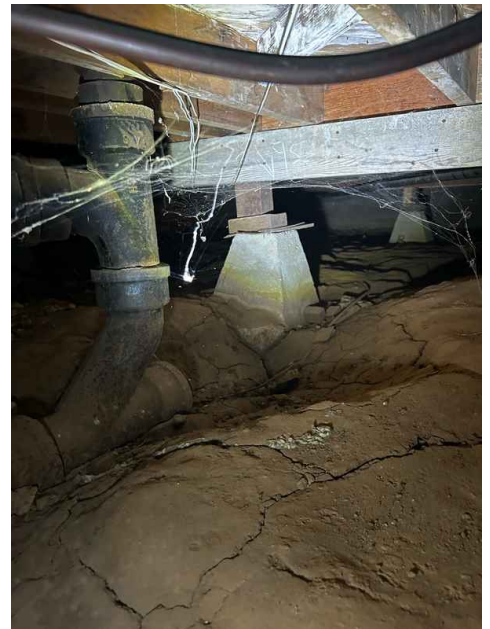


Attention Required

Cracks were noted in the soil under the house which can be an indication of expansive soil (clay based). This makes it extremely important to get the water away from the structure and further evaluation may be desired.

Recommendation

Contact a qualified professional.



7: ROOF

		IN	NI	NP	F
7.1	General	X			
7.2	Coverings				X
7.3	Flashings				X
7.4	Skylights, Chimneys & Other Roof Penetrations	X			
7.5	Roof Drainage Systems				X
7.6	Maintenance / Other	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Inspection Method

Fully Traversed

General: Roofing Material

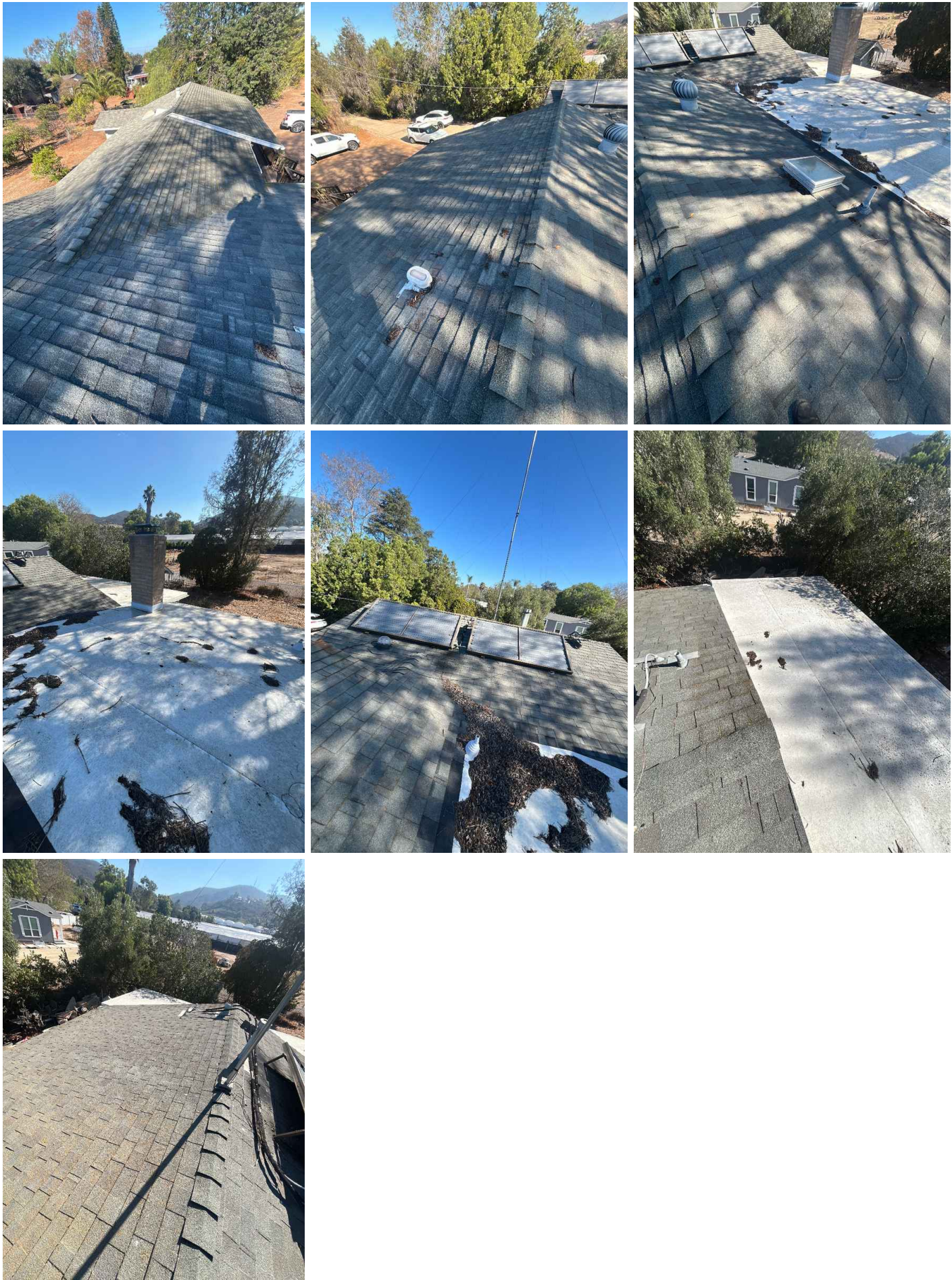
Fiberglass Composition Shingles,
EPDM (ethylene propylene diene
terpolymer)

General: Flashing Material

Metal

General: View of Roof

View of roof.



Limitations

General

ROOF LIMITATIONS

This is a general condition report on the roof condition and materials. The home inspector is a generalist and for a more detailed report, the client may wish to hire a qualified licensed roofing contractor for a roof certification and/or a leak-tight warranty. Skylight(s), flashings and roof(s) are not water tested for leaks. As part of your ongoing annual maintenance, a roof inspection is recommended.

Findings

7.2.1 Coverings

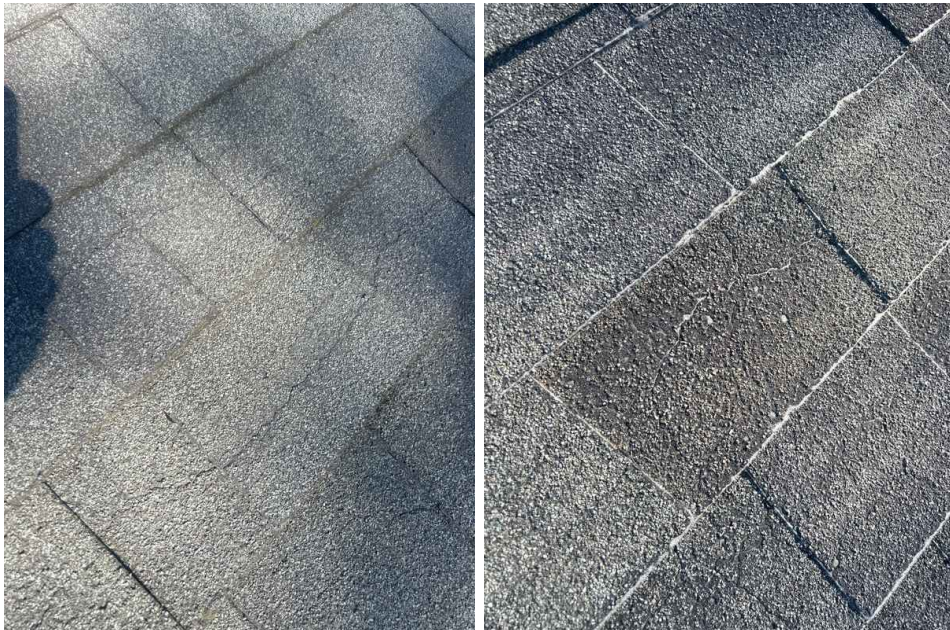


COMPOSITION ROOF SHINGLE CRAZING CRACKS

Composition roof shingles showing signs of crazing cracks. This will shorten the life expectancy of the roof. Monitoring for signs of future damage/deterioration is recommended.

Recommendation

Contact a qualified roofing professional.



7.2.2 Coverings

EXPOSED STAPLE / SCREW HEAD(S) AND/OR NAIL HEAD(S)



Nail / screw / staple heads were exposed at one or more shingles. Recommend applying an approved sealant over exposed nail heads now and as necessary in the future to prevent leaks.

Recommendation

Contact a qualified professional.



7.2.3 Coverings

LEAVES/DEBRIS ON ROOF

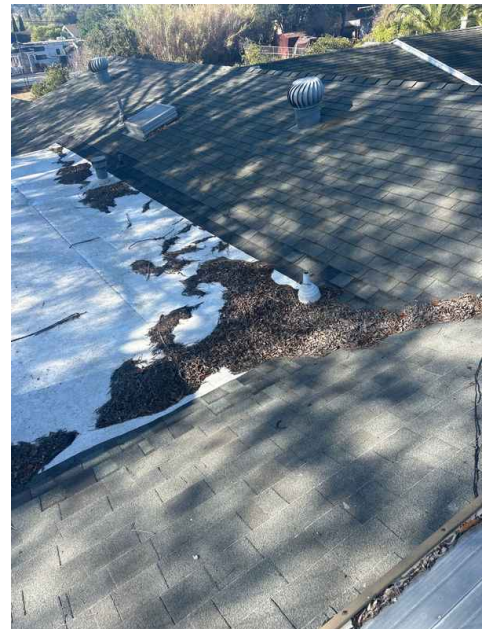
Excessive leaves and debris noted on the roof. Leaves and debris can hold unwanted moisture on the roof. We advise professional cleaning and further evaluation by a licensed roof contractor before the end of your contingency period.

Recommendation

Contact a qualified professional.



Attention Required



7.2.4 Coverings

MOSS GROWING ON ROOF

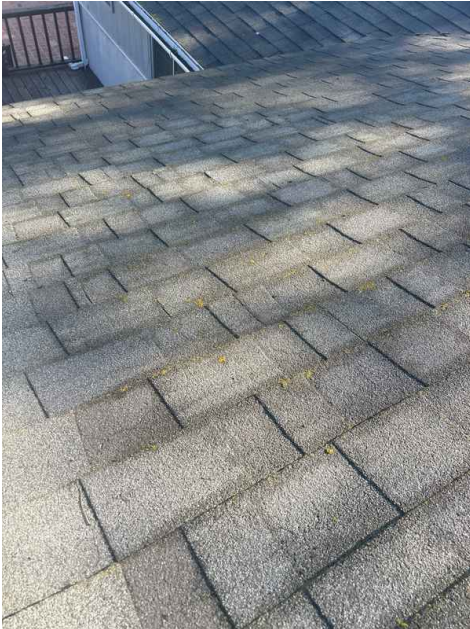
Moss growth was noted on the roof in areas. This condition can damage the material over time and can eventually lead to leaks. We recommend further evaluation by a licensed roof contractor to determine repairs necessary at this time.

Recommendation

Contact a qualified professional.



Attention Required



7.2.5 Coverings

PATCH AND REPAIR NOTED

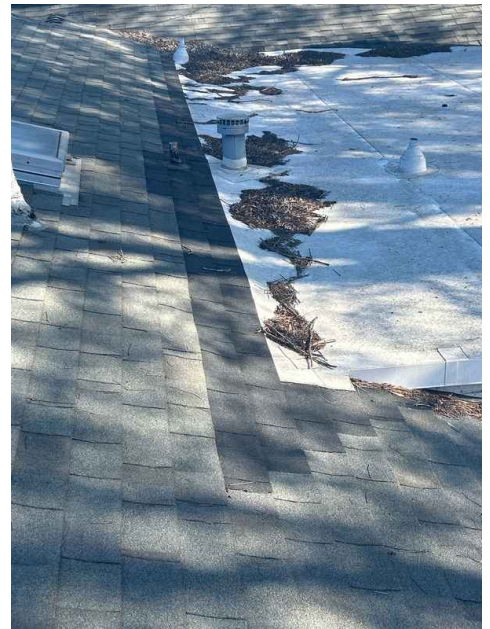
Patch and repair was noted. Inquire with seller and/or have further evaluated by a licensed roofing contractor to determine if any corrections are needed at this time.

Recommendation

Contact a qualified professional.



Attention Required



7.2.6 Coverings

WORN ROOF SHINGLES

Excessive granules have come off the roof shingles in some areas. This indicates that the roof is aged, and could be approaching the end of its useful life. We recommend having the roof evaluated by a licensed roof contractor to obtain an estimate of life remaining, and the potential cost to replace prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



Attention Required



7.3.1 Flashings

SEALANT CRACKED

Sealant around some of the roof flashings/ penetrations is cracked. We recommend having sealant applied where needed to help prevent roof leaks by a licensed roofer.

Recommendation

Contact a qualified professional.



Attention Required



7.5.1 Roof Drainage Systems

PARTIAL GUTTERS NOTED

Recommend adding full gutters for improved drainage.

Recommendation

Contact a qualified professional.



Attention Required

7.5.2 Roof Drainage Systems

GUTTER(S) AND/OR DOWNSPOUT(S) SECTIONS SEPARATED / DAMAGED / LOOSE



Attention Required

Gutters and/or downspouts at one or more areas were separated, buried, loose and/or substandard. Repairs are needed to ensure proper function and direct water away from the home. A qualified professional is recommended to repair gutters and/or downspouts as needed

Recommendation

Contact a qualified gutter contractor



7.5.3 Roof Drainage Systems

MISSING DOWNSPOUT

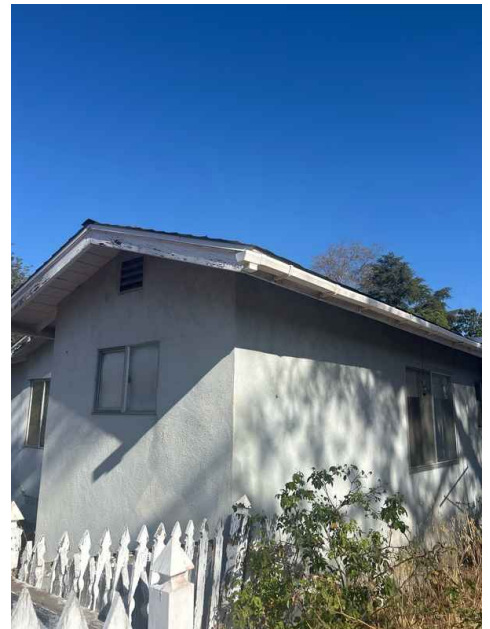
Missing downspout(s) noted. We recommend further evaluation by a gutter contractor and repair as needed to ensure proper function.

Recommendation

Contact a qualified gutter contractor



Attention Required



7.5.4 Roof Drainage Systems

END CAP(S) MISSING

End caps were missing in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required



8: ATTIC, INSULATION & VENTILATION

		IN	NI	NP	F
8.1	Access	X			
8.2	Structure, Framing & Sheathing	X			
8.3	Insulation, Ventilation, and Exhaust				X
8.4	Moisture Intrusion	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Access: Access Location(s)

Hallway

Access: How Viewed

Viewed From Hatch

Structure, Framing & Sheathing: Types

Rafters

Insulation, Ventilation, and Exhaust: Insulation Type

None Installed

Insulation, Ventilation, and Exhaust: Approx. Insulation Depth

N/A

Insulation, Ventilation, and Exhaust: Ventilation Type

Gable Vents, Whirlybird(s)

Limitations

Access

ATTIC LIMITATIONS

Areas that could not be traversed or viewed clearly due to lack of access, areas covered with insulation or obscured by limited height, areas or components obscured by stored items are beyond the scope of this inspection. Any comments made regarding these items are made as a courtesy only. The inspector does not determine the adequacy of the attic ventilation system. The inspector is not an engineer and does not determine the adequacy of roof structure components such as rafters, trusses or ceiling beams, or their spacing / sizing.

Insulation, Ventilation, and Exhaust

INSULATION/VENTILATION LIMITATIONS

The insulation and ventilation of the home was inspected and reported on with the above information. Only the visible areas of insulation and ventilation were inspected. Wall insulation type and value could not be verified. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings).

Findings

8.3.1 Insulation, Ventilation, and Exhaust

NO INSULATION INSTALLED

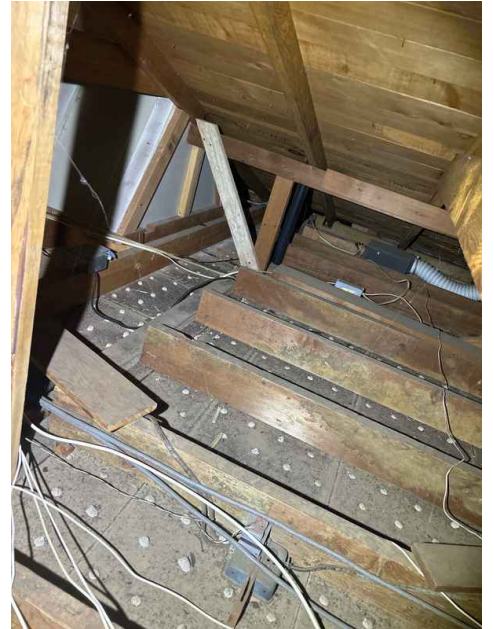


Attention Required

No insulation was installed in the attic. Recommend that a qualified contractor install insulation for better energy efficiency and per standard building practices.

Recommendation

Contact a qualified insulation contractor.



9: PLUMBING

		IN	NI	NP	F
9.1	Excluded Items		X		
9.2	Service		X		
9.3	Supply Lines / Hose Bibs				X
9.4	Drain, Waste, & Vent Systems				X
9.5	Water Heater(s)				X
9.6	Sinks / Fixtures				X
9.7	Bathtubs / Showers				X
9.8	Toilets				X
9.9	Laundry				X
9.10	Exhaust Fans / Ventilation	X			
9.11	Fuel Systems				X
9.12	Irrigation		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Water meter location

Not Found

Service: Water Service Type

Public

Service: Water Service Material

Unknown / Not Visible

Service: Water Shut-Off Location

Front

Service: Pressure Regulator
Present

Not visible

Service: Sewer Type

Public

Supply Lines / Hose Bibs:
Materials

Copper

Drain, Waste, & Vent Systems:
Waste and Vent Materials

ABS, Cast Iron

Drain, Waste, & Vent Systems:
Clean-out Location(s)

Crawl space

Water Heater(s): Estimated Mfg. Year

2009

Water Heater(s): Energy Source / Type

Tank

Water Heater(s): Capacity

40 Gallon

Water Heater(s): Location

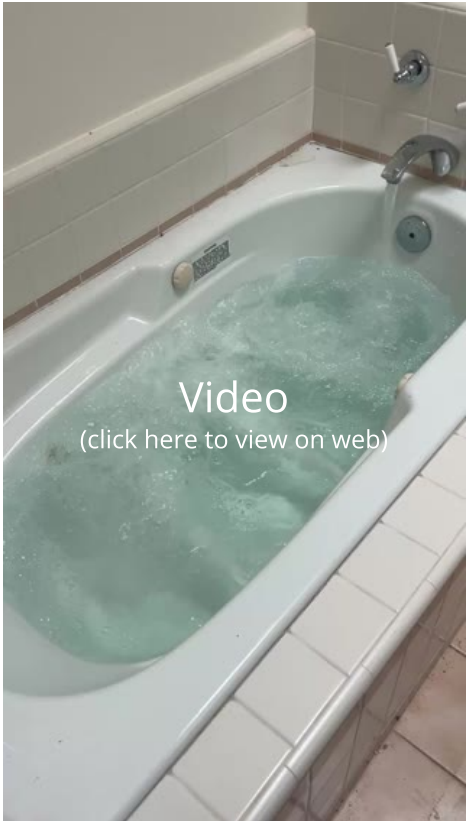
Garage

Water Heater(s): Thermal Image -
Water Heater Operational

Bathtubs / Showers: Jetted Tub
Appeared to be Functioning.

Thermal image of the water heater producing hot water.

The jetted tub appeared to be in working order.



Laundry: Information
120 Volts, 240 Volt Electric, Gas

Exhaust Fans / Ventilation: Type
Window, Exhaust fans

Fuel Systems: Fuel Service Type
Natural Gas

Fuel Systems: Main Gas Shut-off
Location
Gas Meter, Exterior Left Side



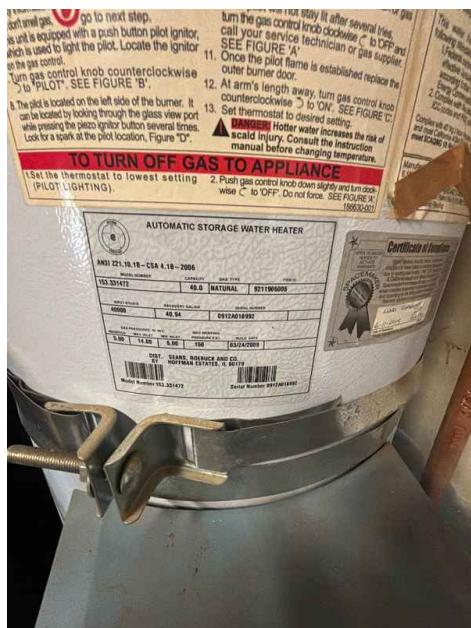
Service: Water Pressure

70-80 PSI

View of water pressure at the time of the inspection. 50 to 80 PSI is acceptable 60 to 75 PSI is ideal.



Water Heater(s): Equipment Photo



Fuel Systems: Fuel Supply Piping Type

Galvanized

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Irrigation: Irrigation System - Not Inspected

Note: This home appears to have a yard irrigation/sprinkler system in place, which is not part of this inspection's scope. Any comments touching on this system are included as a courtesy only and should not be treated as a comprehensive assessment. When running the system, it's worth confirming that spray isn't hitting the building exterior or collecting near the foundation — sprinkler heads may need adjustment, replacement, or in some cases disabling. It's also recommended that a licensed plumber confirm a proper backflow prevention device is in place, consistent with standard practice, to prevent the potable water supply from becoming cross-contaminated. Beyond these observations, a qualified irrigation specialist should be brought in to check the system for additional issues — such as leaks or malfunctioning heads — and make repairs as needed. Contact a qualified professional for further evaluation.

Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

The following items are not included in this inspection: irrigation systems; private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices; heated towel racks, saunas, steam generators, clothes washers, or clothes dryers. Any comments made regarding these items are mentioned as a courtesy only.

Note: The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated.

The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances. Wall coverings, rugs, and contents in drawers and cabinets were not moved and may have prevented a complete inspection.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection, but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Excluded Items

FIXTURE FLOW / CAPACITY NOT INSPECTED

The fixture(s) flow or capacity (determining if items are low flow based on today's standards or the real estate industry's definition of low flow) is beyond the scope of this inspection as per the industry standards.

Water Heater(s)

WATER HEATER LIMITATIONS

It's recommended that SDG&E be contacted to perform their complimentary safety check on all gas-fired appliances before the contingency period closes. This inspection does not evaluate or determine the adequacy or completeness of the following: water recirculation pumps, solar water heating systems, Energy Smart or energy-saving control features, and catch pan drain lines. Any references to these items in this report are offered only as a courtesy.

Additionally, no estimate is provided regarding the remaining service life of water heaters, and this inspection does not assess whether a water heater is properly sized for the home. Evaluations requiring a pilot light to be lit or a shut-off valve to be operated are not performed.

Water Heater(s)

RECIRCULATING PUMPS / EXPANSION TANKS NOT INSPECTED

Hot water recirculating pumps and or expansion tanks are outside the scope of a home inspection. Recommend asking seller about this and/ or have further evaluated by a licensed plumber to determine if any corrections are needed at this time.

Bathtubs / Showers

BATHTUB/SHOWER LIMITATIONS

Tub overflow drains are beyond the scope of this inspection, as set forth by the [Standards of Practice](#). Determining if shower pans and shower enclosures are leaking is beyond the scope of this inspection. Steam units are beyond the scope of this inspection. The inspection may be limited due to personal belongings.

Laundry

LAUNDRY LIMITATIONS

The inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. **Note:** Laundry appliances are beyond the scope of this inspection, as set forth by the [Standards of Practice](#).

Fuel Systems

GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumber contractor before the end of your contingency period to determine if any latent defects exist.

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Findings

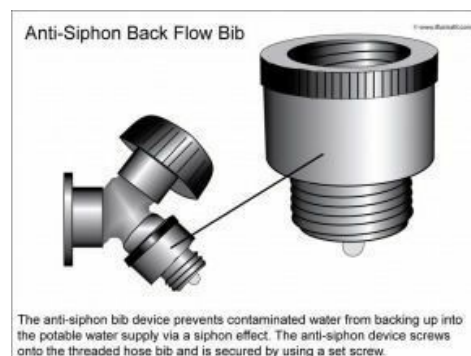
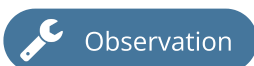
9.3.1 Supply Lines / Hose Bibs

HOSE BIB MISSING BACKFLOW PREVENTER

Backflow prevention devices were missing at one or more hose bibs. These devices reduce the likelihood of gray water entering the potable water supply. We recommend installing these devices where necessary.

Recommendation

Contact a handyman or DIY project



9.3.2 Supply Lines / Hose Bibs

GATE VALVE(S) NOTED

Gate valves were noted in one or more areas and they are prone to failure. Replacement is recommended.

Recommendation

Contact a qualified professional.

9.4.1 Drain, Waste, & Vent Systems

RECOMMEND WASTE LINE VIDEO SCOPE



Attention Required

We recommend that further inspection of the waste lines using a video scope device to determine if they need repair or replacement. Property owners are usually responsible for repairs to the side sewer and publicly owned lateral lines. Such repairs can be expensive.

Recommendation

Contact a qualified professional.

9.4.2 Drain, Waste, & Vent Systems

DRAIN LEAK IN CRAWLSPACE

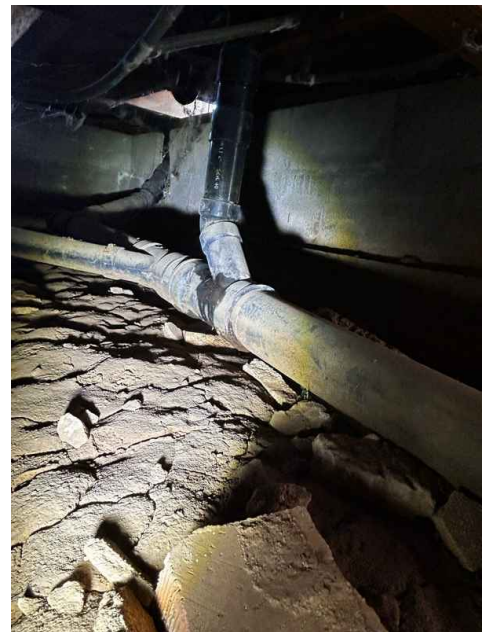


Attention Required

There appeared to be a leak from the drain line visible in the crawlspace. I recommend further evaluation by a licensed plumber before the end of your contingency period and repair as needed. If left uncorrected this can lead to wood damage, elevated moisture levels in the soil, the attraction of wood destroying organisms, organic growths and/or rodents.

Recommendation

Contact a qualified professional.



9.4.3 Drain, Waste, & Vent Systems

CRACKED CAST IRON

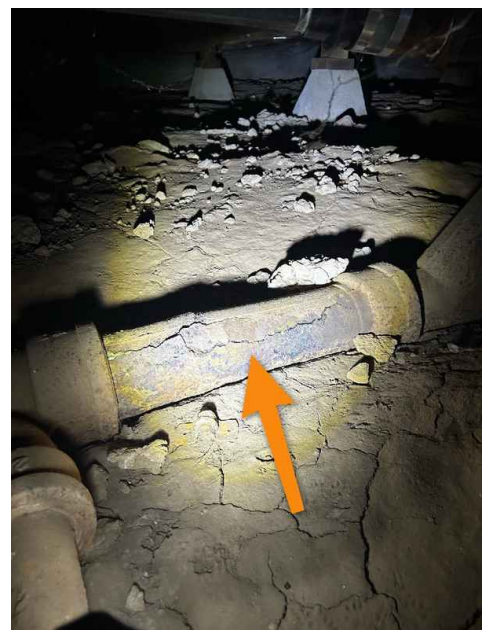


Attention Required

Cracks were noted in a cast iron drainpipe in the foundation crawlspace. Recommend further evaluation by a licensed plumber before the end of your contingency period and repair as needed to ensure proper function.

Recommendation

Contact a qualified professional.



9.5.1 Water Heater(s)



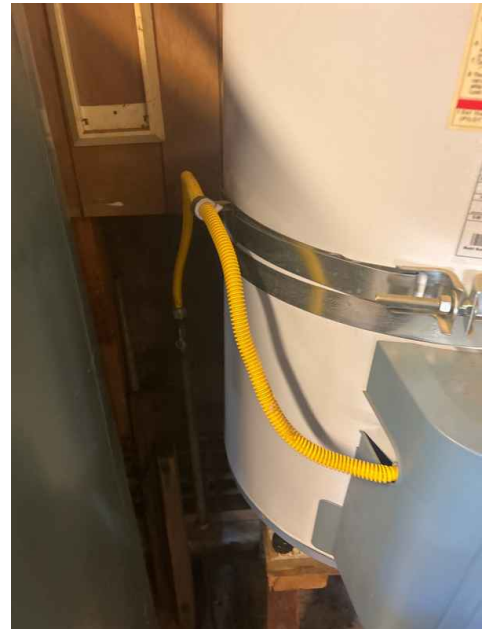
Attention Required

SEDIMENT TRAP MISSING

The gas line for the water heater is missing a sediment trap. Recommend further evaluation and repair by a licensed plumber.

Recommendation

Contact a qualified professional.



9.5.2 Water Heater(s)



Attention Required

NO CATCH PAN INSTALLED

No catch pan with a proper drain to the exterior was installed. Catch pans and drains prevent water damage to finished interior spaces or anywhere that can cause damage if or when the water heater leaks or is drained. If concerned, consult with a qualified contractor about installing these.

Recommendation

Contact a qualified plumbing contractor.

9.5.3 Water Heater(s)



Attention Required

LIFESPAN (8-12 YRS)

The water heater appeared to be nearing the end of its expected lifespan. Client should consider replacing the water heater and/or budgeting for replacement in the near future.

Recommendation

Contact a qualified plumbing contractor.

9.5.4 Water Heater(s)



Safety Item/Defective

TPR SLOPED UP

The TPR line was sloped up. We recommend corrections by a licensed plumbing contractor.

Recommendation

Contact a qualified plumbing contractor.



9.5.5 Water Heater(s)

WATER HEATER SHUT-OFF CORRODED/RUSTED

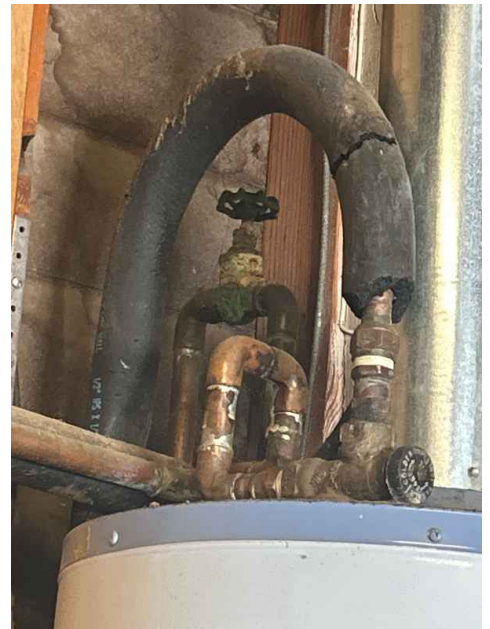
The cold water shut-off valve to the water heater is rusted and corroded, mainly due to build-up of hard water deposits. We advise replacing this valve to prevent future leaks

Recommendation

Contact a qualified professional.



Attention Required



9.5.6 Water Heater(s)

SOLAR EQUIPMENT BEYOND SCOPE

Solar water heating equipment is beyond the scope of the inspection. Recommend inquiring with the seller for additional information. Further evaluation may be desired by a qualified plumbing contractor.



Attention Required



9.6.1 Sinks / Fixtures



Attention Required

CORROSION / DAMAGE - ANGLE STOPS

Some of the angle stops, shut off valves or supply lines under the sinks or behind the toilets appear to be corroding, damaged, or have mineral deposits or rust. This is indicative of a previous leak that has sealed itself. We recommend replacement by a licensed plumbing contractor.

Recommendation

Contact a qualified professional.



9.6.2 Sinks / Fixtures



Attention Required

RUSTED SINK(S)

Rust noted at one or more sink. This is indicative of age, use and/or previous leaks. Recommend further evaluation by a licensed plumber before the end of your contingency period to determine repairs necessary at this time. Replacement of the sink may be needed.

Recommendation

Contact a qualified professional.



9.6.3 Sinks / Fixtures

CRACKED SINK

HALL BATHROOM

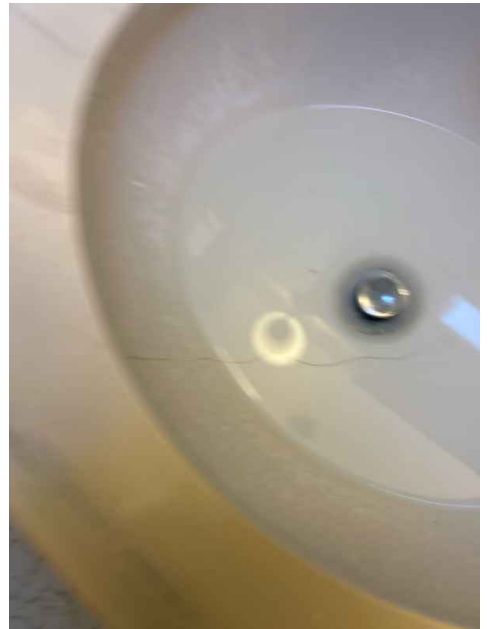
Cracking noted at one or more sink. Recommend further evaluation by a licensed plumber and repair/replace as needed.

Recommendation

Contact a qualified professional.



Attention Required



9.7.1 Bathtubs / Showers

VALVE(S) NOT PROPERLY OPERATIONAL

HALL BATHROOM

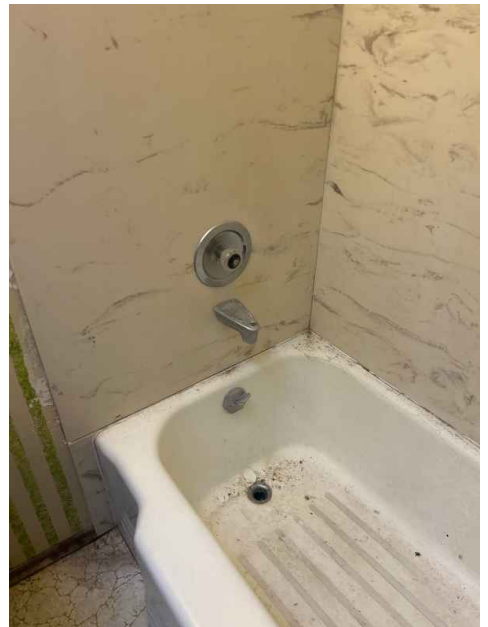
One or more valves were not properly operational. A qualified and licensed contractor is recommended to evaluate and estimate repairs.

Recommendation

Contact a qualified professional.



Safety Item/Defective



9.7.2 Bathtubs / Showers

CRACKED OR MISSING GROUT

Cracked grout noted at one or more areas of the shower/tub enclosure. This condition can allow water to leak behind the walls/floor. Recommend further evaluation by a licensed contractor and repair as needed. Determining if damage exist behind any wall, floor or ceiling surface is beyond the scope of a home inspection.

Recommendation

Contact a qualified professional.



Attention Required



9.8.1 Toilets

OLDER TOILET(S)

One or more older toilets were noted. Determining if the units are low flow is beyond the scope of this inspection.

Recommendation

Contact a qualified professional.



Attention Required

9.9.1 Laundry

CORROSION/RUST AT WATER SUPPLY

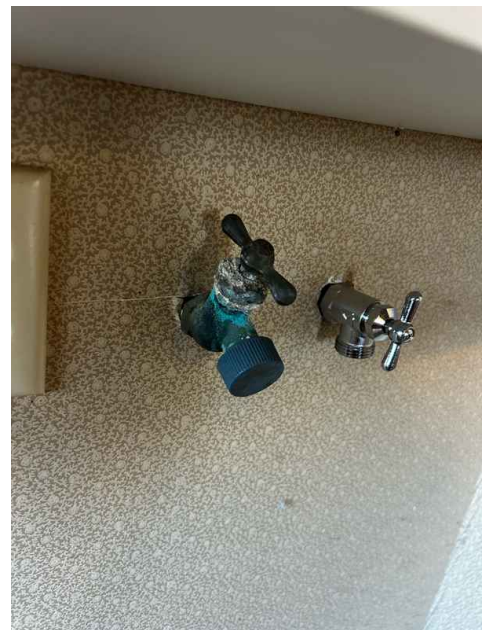
Corrosion or rust observed at the waterline supply in one more areas. Recommend replacement by a qualified contractor.

Recommendation

Contact a qualified professional.



Attention Required



9.11.1 Fuel Systems

UNPROTECTED GAS METER - BOLLARD RECOMMENDED



Safety Item/Defective

A gas meter was unprotected from vehicle(s). A bollard is recommended for improved safety.



10: ELECTRICAL

		IN	NI	NP	F
10.1	Excluded Items		X		
10.2	Service	X			
10.3	Electrical Panel(s)				X
10.4	Breakers & Panel Wiring				X
10.5	GFCI / AFCI Protection				X
10.6	Electrical Wiring				X
10.7	Outlets / Switches / Lighting / Fans				X
10.8	Smoke Detectors / CO Alarms / Door Bell				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Information

120-240 Voltage

Service: Entrance Conductor Material

Stranded Aluminum

Electrical Panel(s): Main Panel Location

Garage

Electrical Panel(s): Panel Capacity Not Labelled

Electrical Panel(s): Main disconnect rating 50 Amp

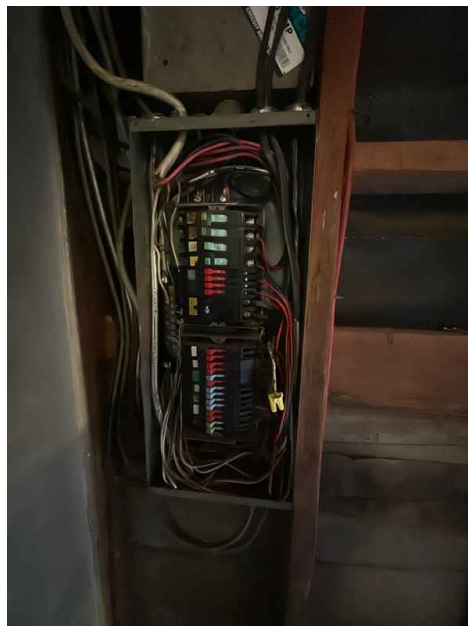
Electrical Panel(s): Sub Panel Location(s) N/A

Breakers & Panel Wiring: Over Protection Devices Breakers

GFCI / AFCI Protection: GFCI Reset Location(s) Several Locations

Electrical Wiring : Wiring Type Non Metallic Sheathed, Cloth covered

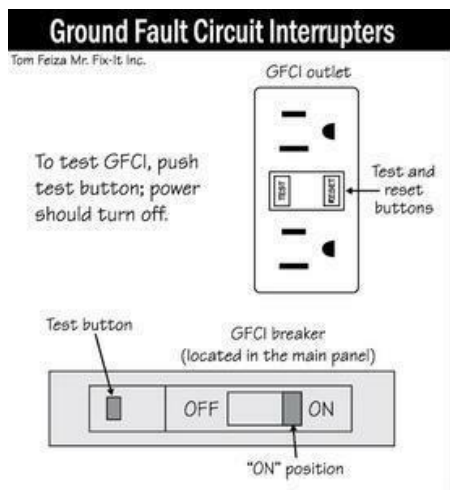
Electrical Panel(s): Panel Equipment Photographs



GFCI / AFCI Protection: GFCI protection present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

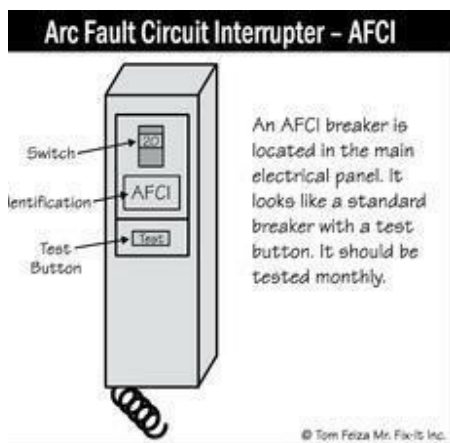


078

GFCI / AFCI Protection: AFCI protection present

No

An **Arc Fault Circuit Interrupter** (AFCI) is a [circuit breaker](#) that breaks the circuit when it detects an [electric arc](#) in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).



020

Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors in All Required Locations

No

Note: Smoke detectors are tested only for audibility and not tested using actual smoke.

Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) in All Required Locations

No

Note: Carbon Monoxide alarms are tested only for audibility and not tested using actual Carbon Monoxide.

Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Some parts of the electrical system are excluded from this inspection: inaccessible wiring, underground utilities and system, low-voltage lighting or lighting on timers or sensors, alarm systems, generators, intercom and audio systems. Any comments made regarding these items are as a courtesy only and further evaluation may be desired.

Breakers & Panel Wiring

LABELING ACCURACY NOT VERIFIED

Inspectors do not verify the accuracy of the labeling, but it appears to be typical. When the opportunity arises, we suggest verifying the labeling by manually operating the breakers.

Electrical Wiring

WIRING LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the end of your contingency period to determine if any latent defects exist.

Smoke Detectors / CO Alarms / Door Bell

DETERMINING IF DETECTORS HARDWIRED

Determining if the units are hardwired is beyond the scope of this inspections.

Findings

10.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM SYSTEMS



Observation

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.

10.3.1 Electrical Panel(s)

ZINSCO / SYLVANIA PANEL



Safety Item/Defective

This home has a Zinsco (or Zinsco-Sylvania) electrical panel. These panels were commonly installed in homes built between the 1950s and 1970s but have since become obsolete due to significant safety concerns. Zinsco panels are known to have the following issues:

- Breakers may fail to trip during an overcurrent or short circuit, creating a fire risk
- Bus bars may corrode or melt, compromising connections
- Some breakers may appear off when they are still conducting electricity
- Replacement parts are difficult to source, as the manufacturer is defunct

Recommendation: Due to the known safety hazards and lack of modern testing or certification, I strongly recommend that a licensed electrician evaluate the panel and discuss the need for complete panel replacement. Replacing the panel with a modern, code-compliant system will greatly improve electrical safety and insurability.

Recommendation

Contact a qualified electrical contractor.



10.3.2 Electrical Panel(s)

SCREWS MISSING



Attention Required

One or more screws are missing from one or more panel covers and should be replaced. Stock screws from the panel manufacturer should be used, or their equivalent.

Recommendation

Contact a qualified electrical contractor.



10.3.3 Electrical Panel(s)

MAIN CIRCUIT BREAKER UNDER 100 AMPS



Attention Required

The main circuit breaker is less than 100 AMPS which is the minimum required for modern houses. If you intend to use a lot of appliances or electronic equipment that will draw substantial electricity, you may wish to have the main panel upgraded by a licensed electrician.

Recommendation

Contact a qualified professional.

10.4.1 Breakers & Panel Wiring

BREAKERS NOT LABELED PROPERLY



Attention Required

One or more breakers were not labeled or not labeled specifically. Correction is recommended.

Recommendation

Contact a qualified professional.

10.5.1 GFCI / AFCI Protection

NOT GFCI WHERE REQUIRED



This house was missing GFCI receptacles in certain locations in the house where they were required. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, all kitchen counter top outlets, and at exterior, to GFCI protected outlets. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at GFCI Requirements.

Recommendation

Contact a qualified professional.

10.5.2 GFCI / AFCI Protection

GFCI TRIPPED AND WON'T RESET



REAR

A GFCI was tripped in one or more areas and would not reset. Currently there is no power at one or more outlets. Further evaluation is needed.

Recommendation

Contact a qualified electrical contractor.



10.6.1 Electrical Wiring

CLOTH COVERED



Cloth covered wiring was found at one or more locations. This wiring jacket on this type of wiring becomes brittle with time and when disturbed, can literally break apart by bending or pulling. The rubber sheathing can become brittle, crack, or fall off, which can cause arcing. Cloth jacketed wiring may also be an indication of knob and tube wiring concealed elsewhere as it was used during this time period as well. Recommend a qualified electrician evaluate all cloth covered wiring and repair.

Recommendation

Contact a qualified electrical contractor.

10.7.1 Outlets / Switches / Lighting / Fans

HOT AND GROUND REVERSED AT RECEPTACLE

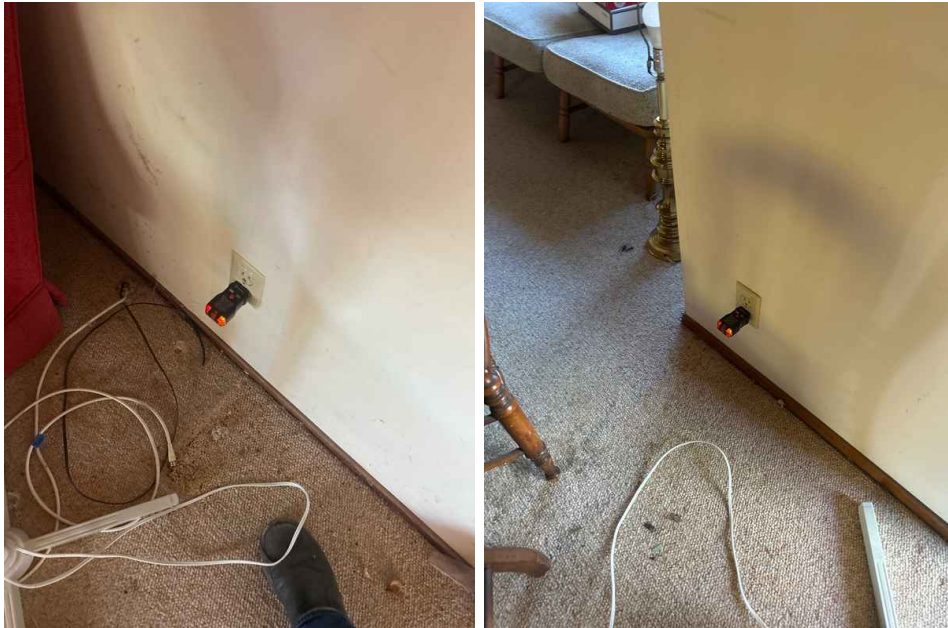


FAMILY ROOM

The hot and ground wires appeared to be wired in reverse at a receptacle outlet. This can be a safety hazard due to electrical shock and cause damage to devices and/or appliances. We recommend repairs be made by a qualified licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



10.7.2 Outlets / Switches / Lighting / Fans



Attention Required

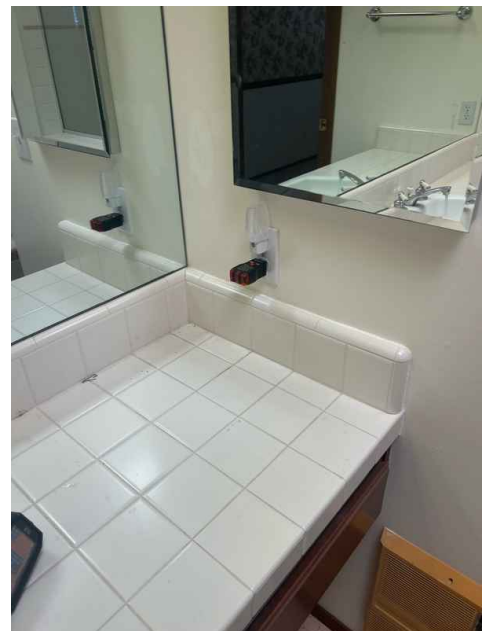
NO POWER OUTLET(S)

PRIMARY BATHROOM

One or more outlets were not operational. Recommend further evaluation and repair by a licensed electrical contractor.

Recommendation

Contact a qualified electrical contractor.



10.7.3 Outlets / Switches / Lighting / Fans



Attention Required

JUNCTION BOX COVERS MISSING

ATTIC

Missing junction box covers were noted in one or more areas. Correction is recommended for added safety.

Recommendation

Contact a qualified professional.



10.7.4 Outlets / Switches / Lighting / Fans

SPLICES NOT IN JUNCTION BOXES

ATTIC

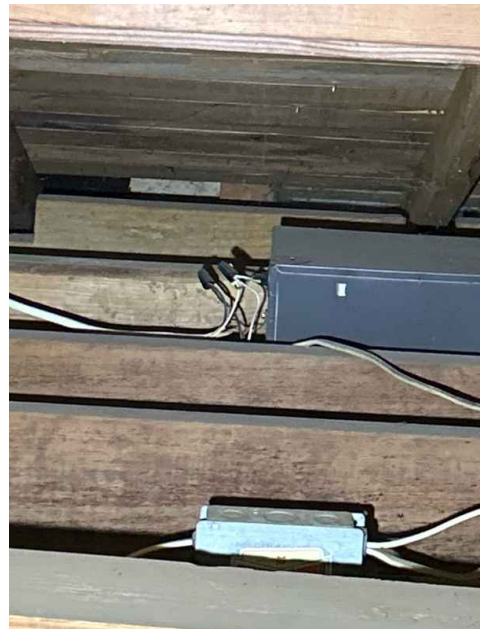
Open splices not in junction box were noted which is a safety hazard. Further evaluation is recommended by a licensed electrician.

Recommendation

Contact a qualified professional.



Attention Required



10.7.5 Outlets / Switches / Lighting / Fans

LIGHT COVER(S) MISSING

Light covers were missing in one or more areas. Recommend installing cover.

Recommendation

Contact a handyman or DIY project



Observation



10.7.6 Outlets / Switches / Lighting / Fans

LIGHTS NOT OPERATIONAL

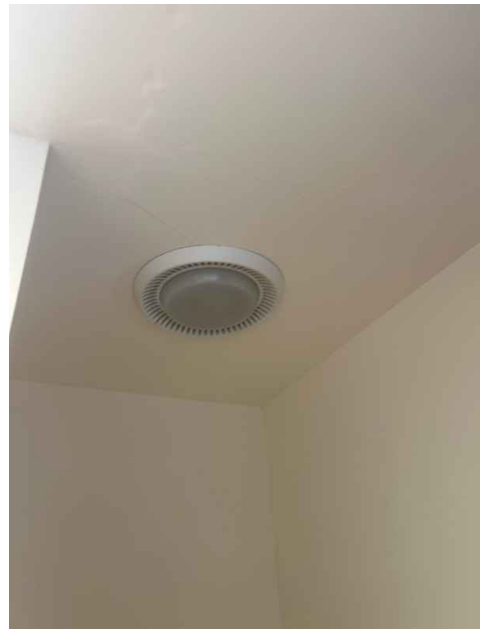
One or more lights were not operational. Recommend verifying proper function prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



Attention Required



10.7.7 Outlets / Switches / Lighting / Fans

2 PRONG OUTLET(S) NOTED

2-slot receptacles (outlets) rather than 3-slot (grounded receptacles) were noted. These do not have an equipment ground and are considered unsafe by today's standards. This is a safety concern and upgrading is highly recommended.

Recommendation

Contact a qualified professional.



Attention Required



10.8.1 Smoke Detectors / CO Alarms / Door Bell

SMOKE DETECTOR(S) MISSING



Smoke alarms were missing and/or not installed in one or more recommended locations. Smoke alarms should be replaced as necessary and installed per standard building practices (e.g. in each hallway leading to bedrooms, in each bedroom, and on each floor). We recommend installing photoelectric-type smoke detectors / alarms.

Note: Homes built prior to 1992 were not required to have smoke detectors installed in each bedroom, only hallways. Regardless, [calfire.ca.gov](https://www.calfire.ca.gov) recommends installing smoke detectors in each bedroom for increased safety. Click [here](#) for more information.

Recommendation

Contact a handyman or DIY project

10.8.2 Smoke Detectors / CO Alarms / Door Bell

UPDATING DETECTORS RECOMMENDED



We recommend updating the detectors to the newer style with an internal 10-year battery. Corrections are recommended for added safety.

Recommendation

Contact a handyman or DIY project



10.8.3 Smoke Detectors / CO Alarms / Door Bell

**CARBON MONOXIDE ALARM(S) MISSING**

Permanently-installed carbon monoxide alarms were missing in one or more areas. This is a potential safety hazard. We recommend installing approved CO alarms outside of each separate sleeping area in the immediate vicinity of the bedrooms, and on each level of the structure and in accordance with the manufacturer's recommendations.

Recommendation

Contact a handyman or DIY project

11: HVAC

		IN	NI	NP	F
11.1	General				X
11.2	Heating (Not Forced Air)				X
11.3	Air Conditioning		X	X	

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Heating (Not Forced Air): Type
Wall Mounted

Heating (Not Forced Air): Energy Source
Natural gas

Air Conditioning: Location
N/A

Air Conditioning: System Type
Through window / wall

Limitations

Air Conditioning
WINDOW UNIT(S)
One or more window units were noted. These units are beyond the scope of a home inspection.

Findings

11.1.1 General

NO PERMANENT HEAT SOURCE IN SOME LIVABLE ROOMS

 Attention Required

One or more habitable rooms in the home lacked a visible heat source. Habitable rooms typically include bedrooms, kitchens, and living or dining areas — this does not extend to hallways, closets, or bathrooms. Without a heat source (such as a register, radiator, baseboard unit, or wall heater), these spaces can become uncomfortable and are more prone to elevated moisture levels. Depending on the client's goals, it's recommended to consult a licensed heating contractor to explore options for adding or upgrading heating to meet current standard practices.

Recommendation
Contact a qualified HVAC professional.

11.2.1 Heating (Not Forced Air)

PILOT(S) AND OR GAS VALVE(S) OFF - UNABLE TO INSPECT

 Attention Required

Pilot(s) and or gas valves were off at the time of the inspection. Inspectors do not turn gas valves or light pilots for safety reasons. The unit was not inspected. Recommend having seller demonstrate proper function of wall heater and/or have further evaluated by a licensed HVAC contractor to determine if any corrections are needed at this time.

Recommendation
Contact a qualified professional.



11.2.2 Heating (Not Forced Air)

NEAR OR PAST INTENDED LIFESPAN



Attention Required

One or more units were near or past the end of its intended lifespan. Further evaluation may be desired.

Recommendation

Contact a qualified professional.

11.2.3 Heating (Not Forced Air)

ELECTRIC BATHROOM HEATER

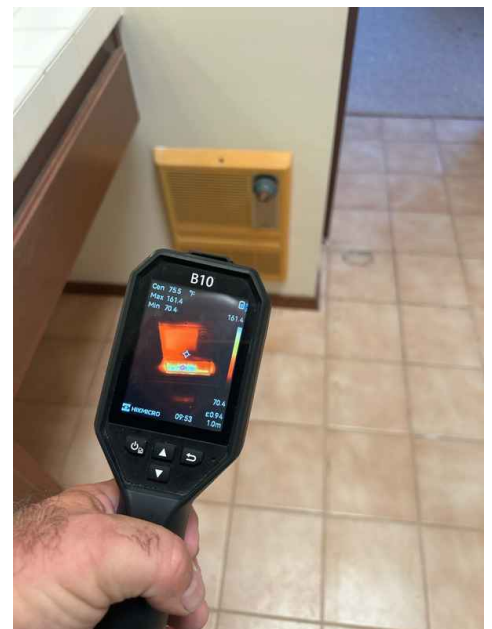


Safety Item/Defective

Electric heat wall units can pose a safety hazard near water and can also be a fire hazard. Most of these units are operating beyond their intended lifespan. Caution is recommended when using these heaters. Only the basic functions of these heaters are tested and further evaluation may be desired.

Recommendation

Contact a qualified professional.



11.2.4 Heating (Not Forced Air)

WALL FURNACE

FAMILY ROOM / HALL



Attention Required

The wall furnace appeared to function at the time of the inspection. Determining remaining life is beyond the scope of a home inspections. Further evaluation by a licensed HVAC contractor may be desired to determine expected life.

Recommendation

Contact a qualified professional.



12: INTERIOR, DOORS & WINDOWS

		IN	NI	NP	F
12.1	General	X			
12.2	Exterior Doors				X
12.3	Interior Doors				X
12.4	Windows				X
12.5	Ceiling				X
12.6	Walls				X
12.7	Floors				X
12.8	Countertops & Cabinets				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Windows: Type

Metal, Multi-pane, Single-pane,
Mixed

Limitations

General

WATER TIGHTNESS NOT TESTED

Determining if the doors /windows and or their assemblies are water tight is beyond the scope of this inspection. Home inspectors are looking for obvious and visual deficiencies / defects. There are companies that can water test with spray rigs if desired.

Findings

12.2.1 Exterior Doors

DEADBOLT KEYED INSIDE

SEVERAL AREAS

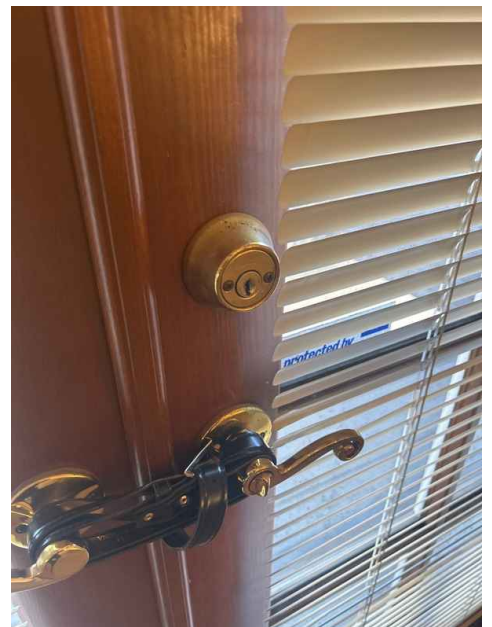
A key is necessary to open one or more doors from both sides which could pose a safety hazard for evacuation in the event of an emergency. A qualified professional is recommended for replacement of double keyed door hardware as needed.

Recommendation

Contact a qualified handyman.



Safety Item/Defective



12.2.2 Exterior Doors



Attention Required

THRESHOLD MISSING

The threshold was missing at one or more exterior doors. Recommend that a qualified person repair and/or replace threshold per standard building practices.

Recommendation

Contact a qualified general contractor.



12.2.3 Exterior Doors



Observation

RECOMMEND RE KEYING ALL EXTERIOR DOORS

We recommend re keying all the exterior doors for improved safety.

Recommendation

Contact a qualified professional.

12.3.1 Interior Doors



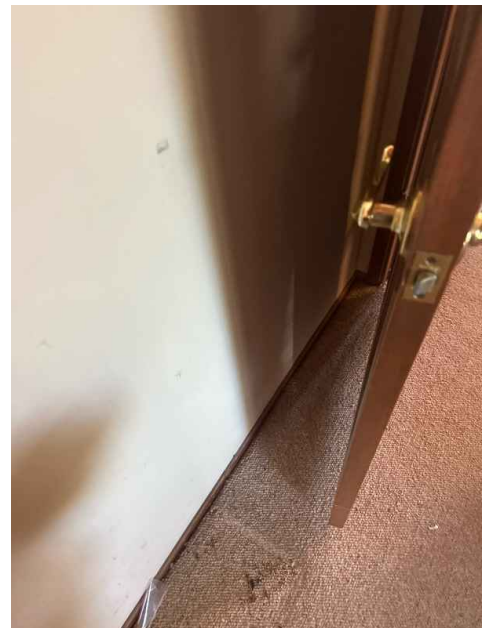
Attention Required

DOOR STOP(S) MISSING

Doorstops were missing at one or more areas. Correction is recommended.

Recommendation

Contact a handyman or DIY project



12.4.1 Windows



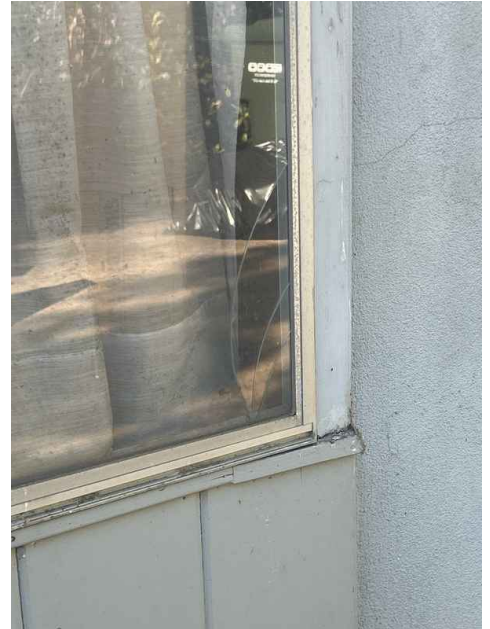
Safety Item/Defective

BROKEN / CRACKED / CHIPPED WINDOW(S)

Broken and or damaged glass was noted in one or more areas. Further evaluation is recommended by a licensed specialist.

Recommendation

Contact a qualified window repair/installation contractor.



12.4.2 Windows

UNIDENTIFIABLE BIOLOGICAL SUBSTANCE

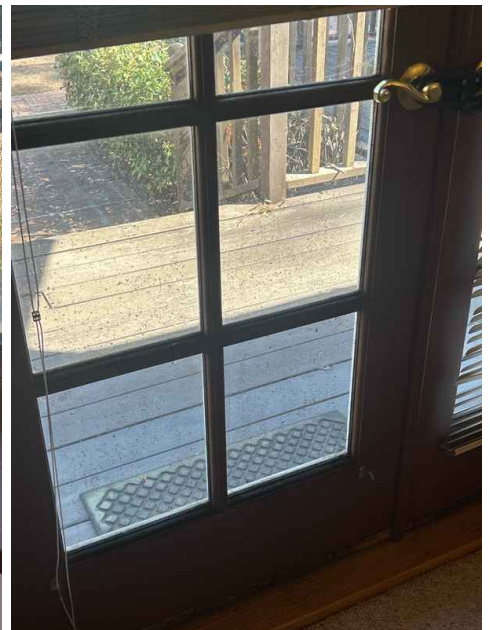


Safety Item/Defective

An unidentifiable biological substance is present and is a potential health concern (probably a mold, fungus or mildew). Further evaluation of the substance is recommended. Our company can provide this service if desired. Recommend repair by a qualified contractor.

Recommendation

Contact a qualified mold inspection professional.



12.5.1 Ceiling

EXTENSIVE SETTLEMENT CRACKS



Safety Item/Defective

The ceiling appears to have cracks in one or more areas. The cause can vary from typical settlement to major structural movement. We recommend further evaluation by a licensed structural engineer to determine the most likely cause and have repaired as needed.

Recommendation

Contact a qualified structural engineer.



12.5.2 Ceiling

SETTLEMENT CRACKS

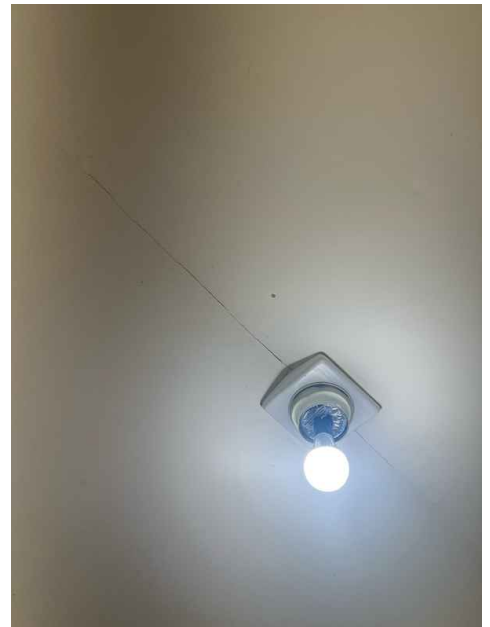


Attention Required

The ceiling had cracks in one or more areas. The cause can vary from typical settlement to structural movement. We recommend repair as necessary. Further evaluation may be desired.

Recommendation

Contact a qualified professional.



12.6.1 Walls

EXTENSIVE SETTLEMENT CRACKS



Safety Item/Defective

The wall has cracks in one or more areas. The cause can vary from typical settlement to major structural movement. We recommend further evaluation by a licensed structural engineer to determine the most likely cause and have repaired as needed.

Recommendation

Contact a qualified structural engineer.



12.7.1 Floors

DAMAGED CARPETING NOTED

Damaged carpeting was noted in one or more areas. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified flooring contractor



Attention Required



12.7.2 Floors

LOOSE CARPETING NOTED

Loose carpeting was noted in one or more areas. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified flooring contractor



Attention Required



12.8.1 Countertops & Cabinets

WATER DAMAGE BELOW SINK

PRIMARY BATHROOM

Water stains and/or previous moisture damage was found under the sinks in one or more areas. We recommend confirming that any past leaks have been repaired and that concealed areas are thoroughly dried. Further evaluation in the form of mold testing may be desired. Our company can provide this service if desired.

Recommendation

Contact a qualified general contractor.



Attention Required



13: APPLIANCES

		IN	NI	NP	F
13.1	General				X
13.2	Range/Oven/Cooktop	X			
13.3	Exhaust / Ventilation				X
13.4	Dishwasher				X
13.5	Garbage / Food Disposal				X
13.6	Microwave			X	
13.7	Refrigerator		X		
13.8	Washer/Dryer			X	

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Range / Oven / Cooktop
Energy Source / Supply
Electric

General: Exhaust / Ventilation
Type
Hood

Range/Oven/Cooktop: Thermal
Image of Oven Working
Thermal image of the oven working. This unit appeared functional.



Exhaust / Ventilation: Equipment Photo

Refrigerator: Fridge Conveys? N/A



Range/Oven/Cooktop: Thermal Image of Range Working
Infrared picture of range/cooktop in operation. This unit appeared operational.



Dishwasher: Dishwasher Funtional

The dishwasher turned on and appeared to complete a wash cycle at the time of the inspection. However, this is not a guarantee that this unit will not leak at some time in the future. We recommend purchasing a home warranty to cover the unit an possible damages that may result from a leak.



Refrigerator: Refrigerator(s) Not Inspected

Refrigerators and wine fridges are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). Fridges are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Washer/Dryer: Washer(s)/Dryer(s) Not Inspected

Washer(s) and dryer(s) are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). These items are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Limitations

General

APPLIANCE LIMITATIONS

Note: The scope of this inspection excludes the following appliances and features: outdoor grills, refrigerators, freezers, ice makers, warming drawers, griddles, broilers, timers and clocks built into appliances, coffee makers, trash compactors, instant hot water dispensers, water filtration systems, cooking functions, self-cleaning cycles, thermostat or temperature control accuracy, built-in lighting fixtures, central vacuum systems, and elevators or stair lifts. Where these items are mentioned in this report, such comments are provided as a courtesy only and do not constitute a full evaluation.

This inspection does not include an assessment of an appliance's remaining useful life, nor does it evaluate whether appliances are functioning properly. We do not record appliance makes, models, or serial numbers, and we do not check whether any appliance is subject to a manufacturer recall. Areas, components, or systems concealed or blocked by appliances are not accessible and fall outside the scope of this inspection. For further evaluation of any of these items, consult a qualified professional in the relevant field.

Dishwasher

DISHWASHER CYCLE LIMITATIONS

Determining the adequacy of the washing and drying functions of the dishwasher is not a part of this inspection.

Findings

13.1.1 General

OLD APPLIANCES



Some appliances may not have the same degree of efficiency as a newer model. Also you should not expect these appliances to last indefinitely.

Recommendation

Contact a qualified professional.

13.2.1 Range/Oven/Cooktop

NEAR END OF LIFESPAN



One or more appliances are nearing the end of their useful lives. Recommend budgeting for replacement and a home warranty is recommended.

Recommendation

Contact a qualified appliance repair professional.

13.3.1 Exhaust / Ventilation

LIGHT COVERS DAMAGED



Light covers were damaged in one or more areas. Correction is recommended.

Recommendation

Contact a qualified appliance repair professional.



13.4.1 Dishwasher

RUSTED RACKS



Rust or deterioration was noted at the racks inside of the dishwasher. This condition appeared to be due to age and use. Further rusting and deterioration may occur if not corrected. We recommend further evaluation by a qualified appliance repair technician to determine repairs possible at this time.

Recommendation

Contact a qualified professional.

13.4.2 Dishwasher

CONTROL PAD / KNOBS DAMAGED / UNREADABLE

Attention Required

The digital display, control pad and/or knobs on the dishwasher were damaged, deteriorated and/or unreadable. Recommend a qualified appliance repair person repair as necessary.

Recommendation

Contact a qualified appliance repair professional.



13.5.1 Garbage / Food Disposal

FROZEN - NOT OPERATIONAL

Attention Required

The garbage disposal appeared to be locked up or frozen. I recommend having this unit repaired or replaced by a qualified appliance professional.

Recommendation

Contact a qualified professional.



13.5.2 Garbage / Food Disposal

DAMAGED SPLASH GUARD

Attention Required

The splash guard was damaged and or missing. Correction is recommended.

Recommendation

Contact a handyman or DIY project



14: FIREPLACES & GAS APPLIANCES

		IN	NI	NP	F
14.1	Fireplaces, Stoves & Inserts	X			
14.2	Chimney(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Fireplaces, Stoves & Inserts: Type	Fireplaces, Stoves & Inserts: Gas	Chimney(s): Type
Wood Burning	Log Lighter	Masonry
	No	

Limitations

Fireplaces, Stoves & Inserts

FIREPLACE / STOVE / CHIMNEY / FLUE LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector, who is a generalist. The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety. We do not inspect the shape of fireplace or the design to determine if your fireplace has a proper air draw.

Findings

14.2.1 Chimney(s)

CHIMNEY CAP CRACKED



Attention Required

The crown/cap was cracked in one or more areas. Recommend repair of chimney mortar crown to ensure that the chimney is water tight.

Recommendation

Contact a qualified professional.



15: GARAGE / CARPORT

		IN	NI	NP	F
15.1	General	X			
15.2	Structure	X			
15.3	Occupant Door(s)				X
15.4	Vehicle Door(s)				X
15.5	Automatic Opener(s)			X	
15.6	Floor, Walls, Ceiling				X
15.7	Garage Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Structure Type

Attached Garage

General: Occupant Door

Wood

General: Vehicle Door

Tilt-up, Wood

General: Automatic Opener Safety Devices

N/A

General: Wall Type

Open framing

General: Ceiling Type

Open framing

General: Garage Ventilation

Present

Limitations

General

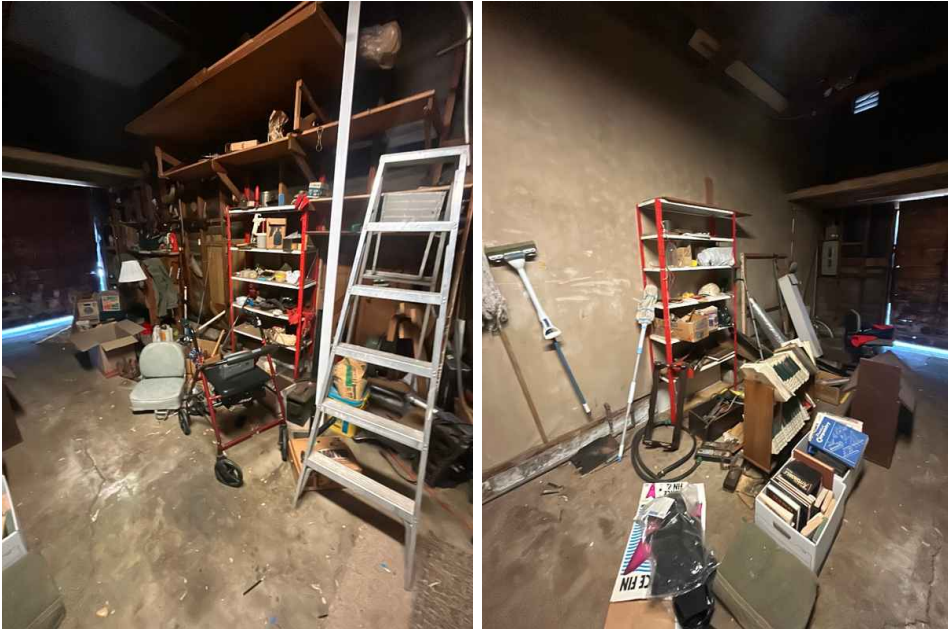
GARAGE LIMITATIONS

Determining adequacy of firewall ratings is beyond the scope of the inspection. Ventilation requirements vary by municipality.

General

OCCUPIED / PERSONAL BELONGINGS

Personal belongings were noted in one or more areas in the garage. The garage was not fully or properly visible and further evaluation may be desired.



Vehicle Door(s)

NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Findings

15.3.1 Occupant Door(s)

DOOR NOT FIRE RESISTANT

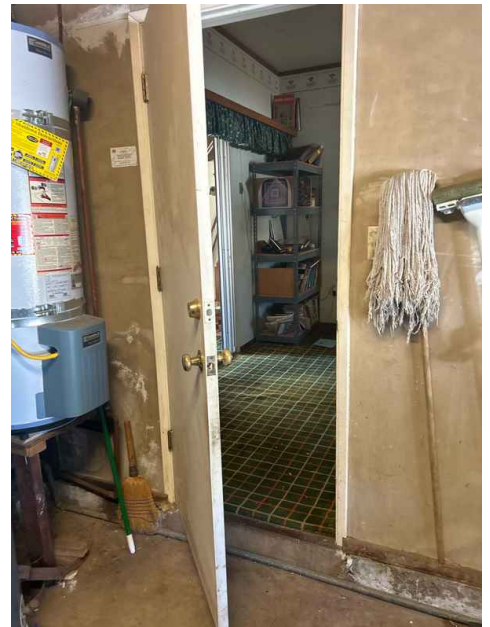
The door between the dwelling and garage did not appear to be fire resistant. This is a potential safety hazard. These doors are intended to prevent fire and/or fumes from spreading from the garage to the living space. Recommend replacement by a qualified contractor as per standard building practices.

Recommendation

Contact a qualified door repair/installation contractor.



Safety Item/Defective



15.4.1 Vehicle Door(s)

WOOD DOOR(S) NOTED

The original wood door(s) were noted which is unusually heavy based on today's standards. Upgrading the door may be desired for added safety.



Observation

Recommendation

Contact a qualified professional.

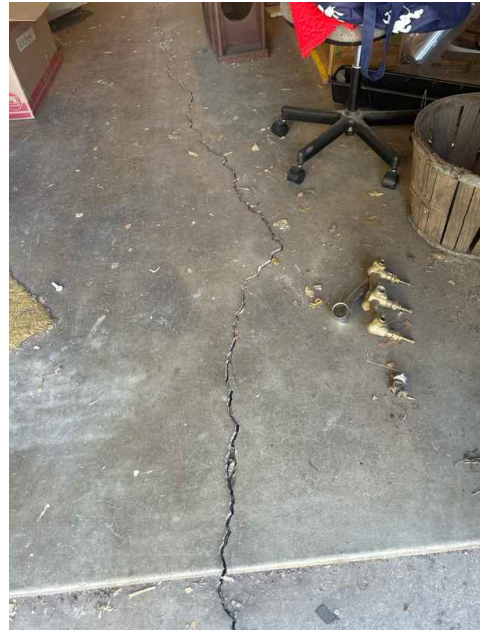
15.6.1 Floor, Walls, Ceiling

LARGE CRACKS

Large cracks and/or displacement was noted at the concrete slab. Uneven flooring also poses a trip hazard. Recommend further evaluation and repair as necessary by a qualified contractor.

Recommendation

Contact a qualified concrete contractor.

**Safety Item/Defective**

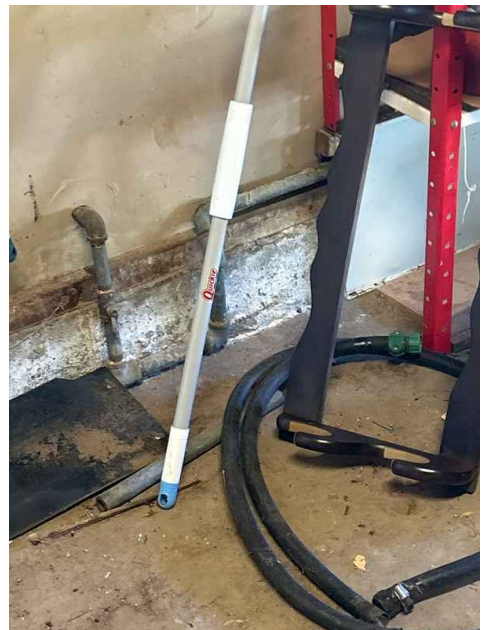
15.6.2 Floor, Walls, Ceiling

EFFLORESCENCE NOTED

Efflorescence was noted in one or more areas. Efflorescence is salt deposits left behind by water. It is beyond the scope of this inspection to determine if the water infiltration is active or ongoing. Further evaluation may be desired.

Recommendation

Contact a qualified professional.

**Attention Required**

15.6.3 Floor, Walls, Ceiling

STUCCO PAPER DAMAGED

The stucco paper was damaged in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.

**Attention Required**



15.7.1 Garage Ventilation

NO GARAGE VENTILATION



Attention Required

No garage ventilation was noted. Calculating the adequacy of the ventilation is beyond the scope of this inspection. Some cities are not requiring this in newer construction but we recommend adding ventilation for added safety.

Recommendation

Contact a qualified professional.

16: COMPLIMENTARY PICTURES

		IN	NI	NP	F
16.1	General	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Complementary Photos

These photos have been provided to define areas of the home as indicated in the report. These photos have been provided as a courtesy and are not intended to identify issues/defects.

