



# County of San Diego

## DEPARTMENT OF ENVIRONMENTAL HEALTH LAND AND WATER QUALITY DIVISION

P.O. BOX 129261, SAN DIEGO, CA 92112-9261  
(619) 338-2222 FAX (619) 338-2377  
1-800-253-8933

DATE: 11/26/05

PROJ. # LSTP 5638

### INSPECTION REPORT

☒ APPROVED

SEPTIC REPAIR  
INSPECTION TYPE

☐ DISAPPROVED

1000 Gallon septic tank connected to 120' leach line  
(Hi capacity infiltrator) - installed to serve  
temporary permitted medical trailer. System may  
be used as repair for main existing dwelling  
as needed, pump system must be installed under  
permit & inspection by this Department if used  
as repair.

CONT. WORKS

\$                      REINSPECTION FEE REQUIRED

SPECIALIST: Steve Minter

PHONE: 619-441-4448



San Diego Office  
5201 Ruffin Rd., Ste. C  
San Diego, CA 92123  
(858) 565-5173



East County Office  
200 E. Main St., 6<sup>th</sup> Flr  
El Cajon, CA 92020-3912  
(619) 441-4030



San Marcos Office  
338 Via Vera Cruz  
San Marcos, CA 92069  
(760) 471-0730

SITE ADDRESS: 131 RAMSOM HILL LN, CITY: RAMONA

OWNERS NAME: Z 81-484-32



NEWDOC

**DEH APN FILE TARGET SHEET**  
**ARCHIVE RECORD**  
Pre-KIVA & Existing APN Records

Document Name: LARC \_\_\_\_\_  
(LARC\_KIVA Per Num\_APN)

Document Type: Legacy Septic System Documents

APN(s) 281-484-32

Number of Pages: 7

Document Prepared by: MM

Document Preparation Date: 5-28-09

Office Source: El Cajon

45177

**COUNTY OF SAN DIEGO**  
**DEPARTMENT OF ENVIRONMENTAL HEALTH**  
**ENVIRONMENTAL HEALTH PERMIT**

P.O. BOX 129261, SAN DIEGO, CA 92112-9261 619-338-2222/1-800-253-9933 FAX 619-338-2377 www.sdcdeh.org

**SEPTIC TANK PERMIT**



**Gary Erbeck**  
**DIRECTOR, DEH**

APN #: 281-484-32-00

Location: 131 RANSOM HILL LN Ramona, CA 92065

Applicant: MACARTHUR RON&MARCIA C  
131 RANSOM HILL LN  
RAMONA CA 92065

Professional: WAPLES BACKHOE & SEPTIC  
760-789-5791

PERMIT: LSTP-5638  
TOTAL FEES: \$325.00  
DATE ISSUED: 27-OCT-2005

Scope Code: 6LE11

Septic Tank Volume: 1000

Disposal Type: Hi Capacity Infiltrator Size: 120' minimum

Water Source: existing

Additional Components:

Commercial/Residential: res

Gal/Day or # Bedrooms: 2

Layout Permit Number:

Legal Basis: existing legal sfd

Comments: This system will serve a temporary medical trailer being permitted at this time. The disposal system can be utilized via pump when the existing system fails for the main dwelling as this is the only area available for repair. The septic tank must be pumped and backfilled after the medical trailer is removed.

Date Inspection Requested: 11/26 Time: \_\_\_\_\_

Date Inspection Completed: 11/26/05

Specialist: *[Signature]*

Results: *approved*

EXPIRATION DATE: 26-OCT-2006

ANY CHANGES IN THE ABOVE DESIGN MAY VOID THE PERMIT

THIS PERMIT IS NOT TRANSFERABLE

This permit is provisional. The Director or designee of the Director may order that the Permit or any permit element be denied, suspended or revoked for violation of any relevant requirement established or provided by law.



DEPARTMENT OF ENVIRONMENTAL HEALTH  
SEPTIC REPAIR AUTHORIZATION

Name: MARSHA MACARTHUR A.P.N. 281-484-32

Site Address: 131 RANSOM HILL LANE, RAMONA

Mailing Address: \_\_\_\_\_

Check appropriate box(es):

Repair

Relocation

Addition

☒ New 1000 gallon septic tank.

☐ Existing tank to be pumped by a licensed septic tank pumper and backfilled.

☐ Minimum \_\_\_\_\_ feet leach line addition to existing system.

☐ ~~Existing system to be abandoned;~~ 120 feet of leach line required. (H/CAPACITY INFILTRATOR)

☐ Laundry sump. Dimensions: \_\_\_\_\_

☐ Pump system. Dimensions: \_\_\_\_\_

☐ Other/Special Specifications: \_\_\_\_\_

☐ \_\_\_\_\_ feet deep vertical seepage pit (overdrill required) with \_\_\_\_\_ feet cap.

☐ \_\_\_\_\_ feet horizontal seepage pit with \_\_\_\_\_ feet cap.

☒ Supply "as built" drawing.

COMMENTS: SEE KIVA COMMENTS

SPECIAL CONDITIONS:

☒ Permit issued for sewage disposal system repair purposes only. Because of site limitations, a non-standard repair has been installed that may limit the long-term performance.

☒ No building permits are to be approved that would increase the sewage demand on the septic system, occupancy of the structure, or encroach upon the sewage disposal system because of the limited sewage disposal area available.

☒ Future failure may require engineering evaluation, pumping to a higher elevation, or connection to public sewer because no additional area exists on this site for a standard repair.

Plummer  
Environmental Health Specialist

10/27/05  
Date

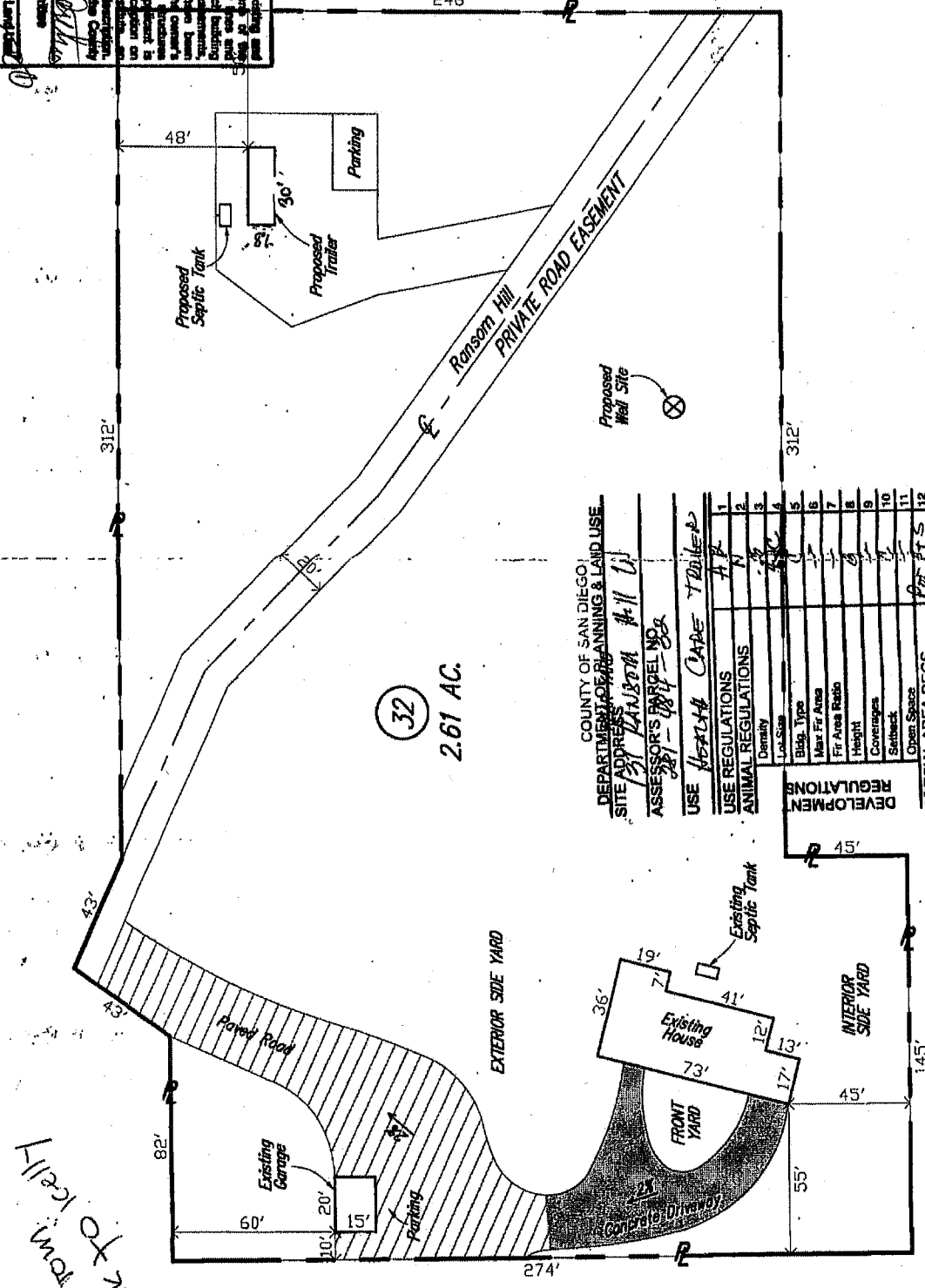
This plot plan shows all buildings, structures, and improvements proposed, and shows the correct dimensions of the property, the buildings, their setbacks from property lines and distances from one another. The proposed use of each building shown is true and correct. To my knowledge all easements, road plans and encumbrances to development have been accurately shown and labeled. I am aware that it is the owner's responsibility to locate the property lines and all encumbrances according to applicable County regulations. The applicant is responsible for providing an accurate boundary description on the plot plan. County approval does not constitute an endorsement or confirmation of the accuracy of the description. Applicant will defend, indemnify and hold harmless the County for any liability arising from an inaccurate description.

9-8-05  
 Signature of Owner or Permittee  
 Department of Planning and Land Use

32  
 2.61 AC.  
 246'



Ron MacArthur,  
 131 Ransom Hill Ln.  
 Ramona, CA 92065  
 APN# 281-484-32



COUNTY OF SAN DIEGO  
 DEPARTMENT OF PLANNING & LAND USE  
 SITE ADDRESS: 131 RANSOM HILL LN.  
 ASSESSOR'S PARCEL NO. 281-484-32  
 USE: RESIDENTIAL CAFE TRAILER

| 1               | 2                  | 3       | 4        | 5          | 6               | 7                | 8      | 9         | 10       | 11         | 12    |
|-----------------|--------------------|---------|----------|------------|-----------------|------------------|--------|-----------|----------|------------|-------|
| USE REGULATIONS | ANIMAL REGULATIONS | Density | Lot Size | Bldg. Type | Max. Floor Area | Floor Area Ratio | Height | Coverages | Setbacks | Open Space | Other |
| 4.2             | N                  | 1.0     | 1/4 AC.  | 1          | 10,000          | 1.0              | 12     | 100%      | 0        | 10%        | 100%  |

DEVELOPMENT REGULATIONS

SPECIAL AREA REGS. MURRAY/SECT. NO.

COUNTY PERSON DATE: 09-09-05  
 PLANNER DATE

FY 160 RV 25 IS 15 ES 35

Call town to Kelly