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Home Inspection Report

Prepared For:

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Property Address:

14029 Barlupi Cir

Sonora, CA 95370

Inspected on Thu, Feb 12 2026 at 9:00AM

Table of Contents

General	4
Site	4
Exterior	5
Garage	10
Roofing	12
Structure	14
Electrical	17
HVAC	20
Plumbing	22
Bathrooms	23
Kitchen	25
Laundry	27
Interior	28
End Of Inspection Checklist	30
Report Summary	31

Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property and assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is essential to read the entire report to obtain a full understanding of the scope, limitations, and exclusions of the inspection.

In addition to the checklist items of the report, there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational, and comments with the orange icon are also displayed on the summary. Please read them all.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing the end of useful life. Operational maintenance recommended. Replacement anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action, and any associated cost.

General

Property Type:	Single Family
Stories:	Two
Approximate Age:	39 years
Age Based On:	Listing
Bedrooms/Baths:	3/2.5
Furnished:	Partially
Occupied:	No
Weather:	Sunny
Temperature:	45°
Soil Condition:	Damp
Utilities On During Inspection:	Electric Service, Gas Service, Water Service
People Present:	Listing Agent

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Sloped Away From Structure, Sloped Toward Structure Condition: Satisfactory
Vegetation:	Generally Maintained Condition: Satisfactory
Retaining Walls:	Not Present
Driveway:	Concrete Condition: Satisfactory
Walkways:	Concrete
Steps/Stoops:	Concrete, Wood
Patios/Decks:	Concrete, Wood Condition: Satisfactory

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	T1-11 Condition: Satisfactory
Exterior Trim Material:	Wood Condition: Satisfactory
Windows:	Aluminum
Entry Doors:	Hinge , Slider Condition: Satisfactory
Decks:	Wood Condition: Satisfactory
Railings:	Wood



Comment 1:

Hairline cracks were noted at areas of the concrete stemwall around the structure. These are considered normal stress cracks and no deflection was noted. This is not considered a structural issue.



Figure 1-1

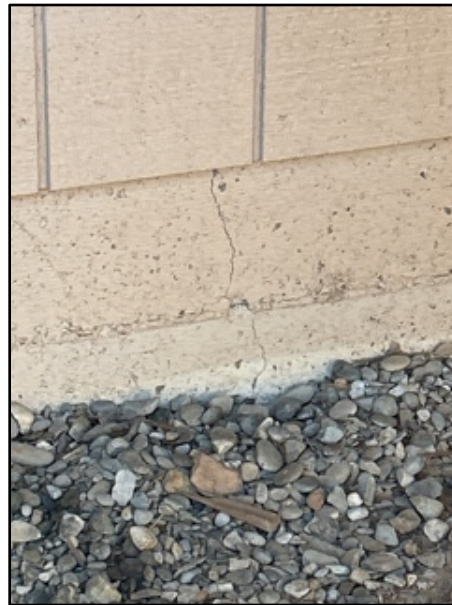


Figure 1-2

(Exterior continued)



Comment 2:

Wood deterioration was noted at the stair stringer at the rear steps to the crawlspace. Recommend repairing or replacing all affected materials as needed.



Figure 2-1



Comment 3:

A white substance was noted under the deck at the back of the house. This could be a wood destroying organism. One repair could be scraping and treating the wood with a wood preserver. However, this should be reviewed by a licensed pest inspector and their report should be considered.

(Exterior continued)



Figure 3-1



Figure 3-2



Figure 3-3

(Exterior continued)



Comment 4:

Nails were used at the joist hangers at the decks instead of screws. No evidence of separation was present at the time of inspection, however



Figure 4-1



Comment 5:

All stairs with more than two steps should have a graspable handrail installed.



Figure 5-1

(Exterior continued)



Comment 6:

Noted that deck railing does not meet current building requirements.

However, this is pre-existing, non-conforming and may or may not need to be updated if there is a permit pulled on the property. This may not be a code in this county, this is information only.

This would include a deck rail height of 42 inches and picket spacing no more than 4 inches apart.



Figure 6-1



Comment 7:

Wood deterioration was noted at areas of the front deck. Recommend repairing or replacing all affected materials as needed.

(Exterior continued)



Figure 7-1



Figure 7-2

Garage

Garage Type:	Attached
	Condition: Satisfactory
Garage Size:	2 Car
Door Opener:	Belt Drive
Opener Safety Feature:	Light Beam, Force Sensitive



Comment 8:

There is evidence of mice or other varmints accessing the garage at one point. A proper pest control company should be consulted to determine the extent of any rodents.

(Garage continued)

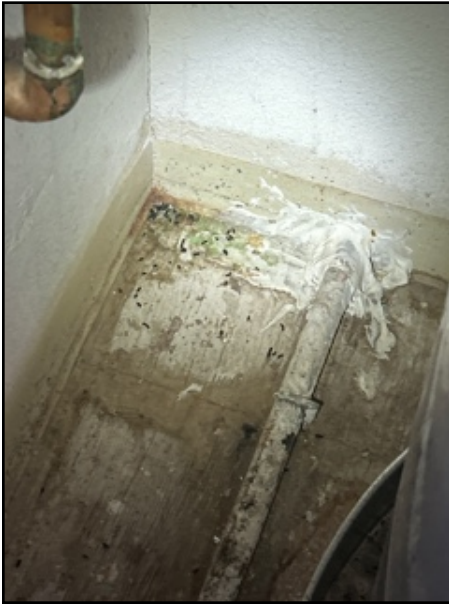


Figure 8-1



Comment 9:

Garage floor cracking was noted, this is common for the age of the house as reinforcement was not required in the slab. This is not considered structural to the foundation of the house.




Figure 9-1

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Walked Entire Roof
Roof Design:	Gable
Roof Covering:	Composition
	Condition: Satisfactory
Approximate Roof Age:	Less Than 5 Years
Ventilation Present:	Roof, Soffit, Gable Ends
Vent Stacks:	Plastic
	Condition: Satisfactory
Chimney :	Wood Frame
	Condition: Satisfactory
Sky Lights:	Yes
	Condition: Satisfactory
Flashings:	Metal
Soffit and Fascia:	Wood
	Condition: Satisfactory
Gutters & Downspouts:	Metal
	Condition: Satisfactory

 Comment 10:
Wood deterioration was noted at the trim at the top of the chimney crown.
Recommend repairing or replacing all affected materials as needed.

(Roofing continued)



Figure 10-1



Comment 11:

One damaged shingle was noted above the garage. Recommend repairs to prevent moisture intrusion at the roof sheathing

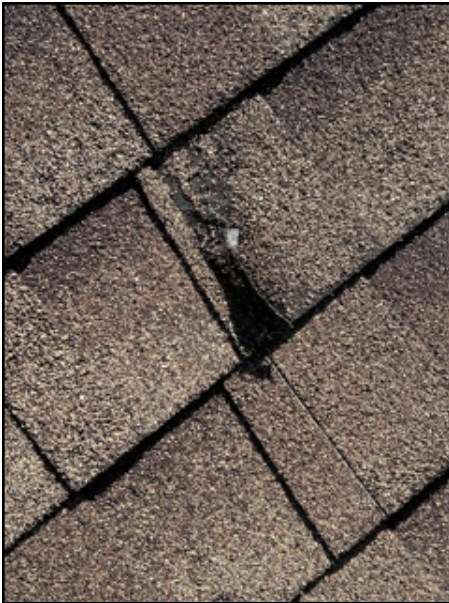


Figure 11-1

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Crawl Space, Post & Pier
Foundation Material:	Poured Concrete, Wood
Signs of Water Penetration:	Dampness, Efflorescence
Prior Waterproofing:	Perimeter Drain
	Condition: Further Evaluation Required
Floor Structure:	Wood Frame
Subflooring:	Plywood
Wall Structure:	Wood Frame

Attic

Attic Entry:	Hallway
Roof Framing Type:	Wood Trusses
Insulation:	Blown In Cellulose, Fiberglass Batts

Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:	Inside
Underfloor Insulation:	Fiberglass Batts
Ventilation Present:	Yes
	Condition: Satisfactory
Moisture Condition:	Dry

(Crawlspace continued)



Comment 12:

An exposed electrical termination was noted behind the downstairs room. This was not live at the time of inspection.



Figure 12-1



Comment 13:

Damp soil was noted at areas of the crawlspace and appears to be accessing from the front of the structure, mainly beneath the front deck. Recommend having the site drainage reviewed by proper trades.

(Crawlspace continued)



Figure 13-1



Figure 13-2



Figure 13-3



Figure 13-4

(Crawlspace continued)



Figure 13-5

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Meter Box
Service Panel Location:	Garage
Service Panel Manufacturer:	Murray
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Service Panel Ground:	Unknown Not Visable
Branch Circuit Wiring:	Stranded Copper, Stranded Aluminum, Conventional Copper
Overcurrent Protection:	Breakers
	Condition: Satisfactory
GFCI/AFCI Breakers:	Not Present

(Electrical continued)

Smoke Detectors In Living Area : Yes
Condition: Satisfactory

Smoke Detectors Located In Each Bedroom: Not Present

Carbon Monoxide Detector One Per Level: Yes
Condition: Satisfactory



Comment 14:

Noted that the house is equipped with a whole house generator. This is outside the scope of the general home inspection and was not ran or tested by the inspector.



Figure 14-1



Comment 15:

The fan at the primary bedroom appeared to be out of balance. Recommend adjustments as needed.

(Electrical continued)



Figure 15-1


 Comment 16:
Whole house vacuums are considered outside the scope of a general home inspection and was not tested.



Figure 16-1

HVAC

HVAC System Type: Central Split System

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Basement
Type of Equipment:	Forced Air
Manufacturer:	Lennox
	Condition: Satisfactory
Heating Fuel:	LP Gas
	Condition: Satisfactory
Approximate Age:	18 Years
Filter Type:	Disposable
	Condition: Satisfactory
Output Temperature:	100°
Type of Distribution:	Flexible Ducting

VERY IMPORTANT

Furnaces over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor. If this system is in this age range it is highly suggested to have it reviewed by a licensed HVAC contractor for efficiency and functionality.

(HVAC continued)

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Further Evaluation Required
Condenser Make:	Lennox
Condenser Approximate Age:	18 Years
Condensate Drainage:	To Exterior
	Condition: Satisfactory



Comment 17:

Inspector was unable to inspect the AC unit due to the ambient temperature being below 65 degrees. The inspector offers no warranty on the condition of the unit itself.

VERY IMPORTANT

Air conditioners over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor. If this system is in this age range it is highly suggested to have it reviewed by a licensed HVAC contractor for efficiency and functionality.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper
Location of Main Water Shutoff:	At Meter
Sewer System:	Septic System
Waste Pipe Material:	PVC, ABS Plastic
Sump Pump:	Not Present
Location of Fuel Shutoff:	At Meter
Water Pressure At Exterior Spicket	50 psi
:	Condition: Satisfactory

Water Heater

Location:	Garage
Manufacturer:	State Select
	Condition: Satisfactory
Fuel:	LP Gas
Capacity:	50 gal
Year Water Heater Was Built:	2017
Temp & Pressure Relief Valve:	Present With Blow Off Leg
Fuel Disconnect:	In Same Room
Seismic Straps Installed:	Yes
Hot Water Temp At Kitchen Sink:	120°
Water Heater Drip Pan Installed:	Yes
	Condition: Satisfactory

(Water Heater continued)

**Comment 18:**

Minimal ventilation was noted at the gas water heater closet. Recommend adding this to ensure proper combustion and drafting for the unit.



Figure 18-1

Bathrooms

Bathroom #1

Location:	Primary
Bath Tub:	Recessed, Recirculating
Shower:	Stall
Sink(s):	Double Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
Tub Surround:	Fiberglass
Floor:	Tile, Carpet
Ventilation Type:	Ventilator, Window
GFCI Protection:	Outlets

(Bathroom #1 continued)



Comment 19:

An active leak was noted at the right sink drain. Recommend repairs by a licensed plumber.



Figure 19-1



Comment 20:

The recirculating tub was tested and was fully functional at the time of inspection.



Figure 20-1

(Bathrooms continued)

Bathroom #2

Location:	Hallway
Bath Tub:	Recessed
Shower:	In Tub
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Shower Walls:	Tile
Tub Surround:	Porcelain
Floor:	Vinyl
Ventilation Type:	Ventilator, Window
GFCI Protection:	Not visible

Half Bath

Location:	Hallway
Sink(s):	Single Vanity
Toilet:	Standard Tank
Floor:	Vinyl
Ventilation Type:	Window
	Condition: Satisfactory
GFCI Protection:	Outlets

Kitchen

Cabinets:	Wood
	Condition: Satisfactory
Countertops:	Tile
	Condition: Satisfactory
Sink:	Double
	Condition: Satisfactory
GFI Present:	Yes
	Condition: Satisfactory

(Kitchen continued)


 **Comment 21:**
An active leak was noted at the kitchen sink drain. Recommend repairs by a licensed plumber.



Figure 21-1

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Oven:	Kenmore Condition: Further Evaluation Required
Range:	General Electric Condition: Satisfactory
Range Hood:	Downdraft Condition: Satisfactory
Refrigerator:	Kenmore
Dishwasher:	Kenmore Condition: Satisfactory
Microwave:	Kenmore

(Appliances continued)

Disposal:

Badger

Condition: Satisfactory



Comment 22:

The oven was displaying an error code at the time of inspection and could not be reset. Recommend further review by proper trades.



Figure 22-1

Laundry

Built In Cabinets:	Yes
Laundry Sink:	Yes
Dryer Venting:	To Exterior
GFCI Protection:	Not Present
Dryer Hook Up Type:	Electric

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Carpet, Wood, Vinyl
Walls:	Textured Over Drywall
Window Types:	Single Hung, Sliders, Fixed
Entry Door Types:	Sliding, Hinged
	Condition: Satisfactory
Front Door Material:	Wood
Interior Door Materials:	Wood
Fireplace:	Manufactured, Wood Burning



Comment 23:

The door to the primary bedroom was noted to swing over a step. This may be considered a tripping hazard.

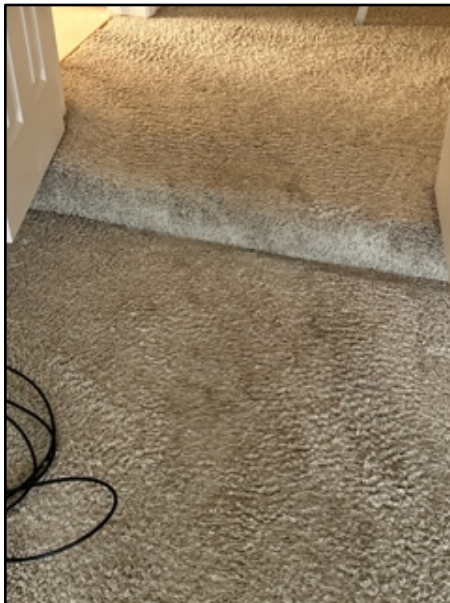


Figure 23-1

(Interior continued)



Comment 24:

Multiple drywall tape joint cracks were noted throughout the structure. These cracks are not considered settling or structural cracks as they run parallel to the structure.



Figure 24-1

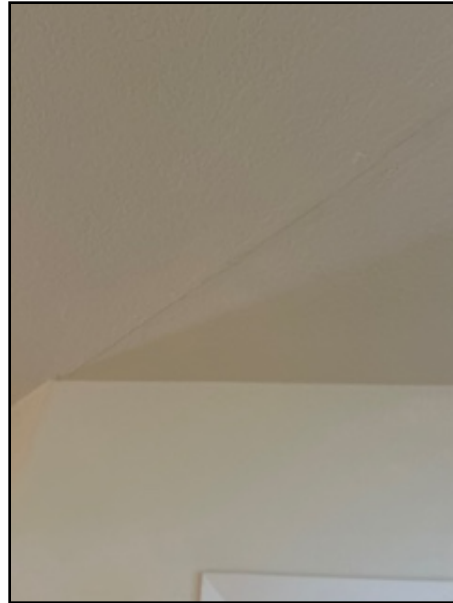


Figure 24-2

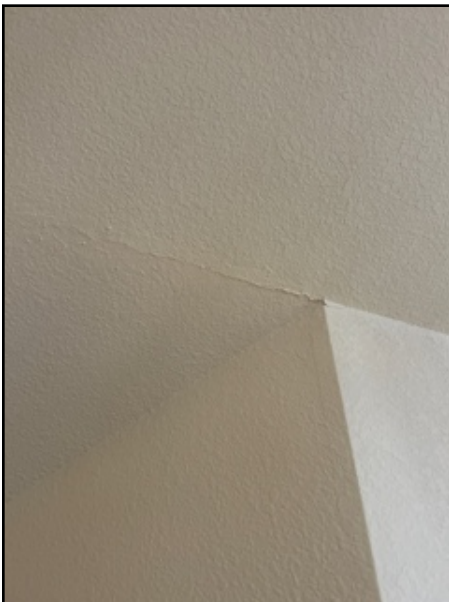


Figure 24-3



Figure 24-4

(Interior continued)



Comment 25:

Moisture staining was noted at the ceiling above the fireplace. No active moisture was present at the time of inspection.



Figure 25-1

End Of Inspection Checklist

Is The Oven Off: Yes
Is The HVAC Set Back To Its Temp: Heat 59°
Condition: Satisfactory
Are All Doors Locked: Yes
All Windows Closed And Latched: Yes
Double Checked All Appliances Are Yes
In The Same Order As When We
Arrived:

Report Summary

Exterior

- 1) Comment 1: Hairline cracks were noted at areas of the concrete stemwall around the structure. These are considered normal stress cracks and no deflection was noted. This is not considered a structural issue.
- 2) Comment 2: Wood deterioration was noted at the stair stringer at the rear steps to the crawlspace. Recommend repairing or replacing all affected materials as needed.
- 3) Comment 3: A white substance was noted under the deck at the back of the house. This could be a wood destroying organism. One repair could be scraping and treating the wood with a wood preserver. However, this should be reviewed by a licensed pest inspector and their report should be considered.
- 4) Comment 4: Nails were used at the joist hangers at the decks instead of screws. No evidence of separation was present at the time of inspection, however
- 5) Comment 5: All stairs with more than two steps should have a graspable handrail installed.
- 6) Comment 7: Wood deterioration was noted at areas of the front deck. Recommend repairing or replacing all affected materials as needed.

Garage

- 7) Comment 8: There is evidence of mice or other varmints accessing the garage at one point. A proper pest control company should be consulted to determine the extent of any rodents.
- 8) Comment 9: Garage floor cracking was noted, this is common for the age of the house as reinforcement was not required in the slab. This is not considered structural to the foundation of the house.

Roofing

- 9) Comment 10: Wood deterioration was noted at the trim at the top of the chimney crown. Recommend repairing or replacing all affected materials as needed.
- 10) Comment 11: One damaged shingle was noted above the garage. Recommend repairs to prevent moisture intrusion at the roof sheathing

(Report Summary continued)

Structure: Crawlspace

11) Comment 12: An exposed electrical termination was noted behind the downstairs room. This was not live at the time of inspection.

12) Comment 13: Damp soil was noted at areas of the crawlspace and appears to be accessing from the front of the structure, mainly beneath the front deck. Recommend having the site drainage reviewed by proper trades.

Electrical

13) Comment 15: The fan at the primary bedroom appeared to be out of balance. Recommend adjustments as needed.

Plumbing: Water Heater

14) Comment 18: Minimal ventilation was noted at the gas water heater closet. Recommend adding this to ensure proper combustion and drafting for the unit.

Bathrooms: Bathroom #1

15) Comment 19: An active leak was noted at the right sink drain. Recommend repairs by a licensed plumber.

Kitchen

16) Comment 21: An active leak was noted at the kitchen sink drain. Recommend repairs by a licensed plumber.

Kitchen: Appliances

17) Comment 22: The oven was displaying an error code at the time of inspection and could not be reset. Recommend further review by proper trades.

Interior

18) Comment 23: The door to the primary bedroom was noted to swing over a step. This may be considered a tripping hazard.

19) Comment 24: Multiple drywall tape joint cracks were noted throughout the structure. These cracks are not considered settling or structural cracks as they run parallel to the structure.

20) Comment 25: Moisture staining was noted at the ceiling above the fireplace. No active moisture was present at the time of inspection.

Thank you for reviewing this report , we ask that if you were happy with this inspection and the service Core inspection services preformed to please inform your Realtor. If for any reason you have a question regarding this report please contact us @
coreinspect1@gmail.com