



AZTEC PROPERTY INSPECTIONS

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PROPERTY INSPECTION REPORT

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04/21/2025



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TABLE OF CONTENTS

1: General Information / Overview	6
2: Inspection / Property Details	9
3: Misc. Concerns / Comments	10
4: Lots, Grounds & Exterior	11
5: Foundation	16
6: Roof	18
7: Plumbing	24
8: Electrical	37
9: HVAC	45
10: Interior, Doors & Windows	51
11: Appliances	57
12: Fireplaces & Gas Appliances	62
13: Garage / Carport	64
14: Complimentary Pictures	68

SUMMARY

The Summary version is not the entire report and should not be considered exclusive. The Summary listed items are considered by the inspector as inoperative, not operating properly or as intended, health and/or safety concerns, warranting further investigation by a specialist, or warranting continued observation by others. Not all findings listed in the full report are listed in the Summary. **Client is advised to read the entire full report.**

- ⊖ 3.1.1 Misc. Concerns / Comments - Misc. Concerns / Comments: 20+ Years Note
- ⊖ 4.2.1 Lots, Grounds & Exterior - Drainage or Grading: Poor Drainage / Low Areas
- 🔧 4.2.2 Lots, Grounds & Exterior - Drainage or Grading: Planter Not Separated From Structure
- ⊖ 4.4.1 Lots, Grounds & Exterior - Exterior Walls / Trim: Paint Deterioration Noted
- ⊖ 4.5.1 Lots, Grounds & Exterior - Vegetation: Vegetation Contact / Clearance
- ⚠️ 4.6.1 Lots, Grounds & Exterior - Retaining Wall(s): Walk Off Hazard(s) Noted
- ⚠️ 4.7.1 Lots, Grounds & Exterior - Patio Cover(s) / Trellis(es): Support Framing Bowed / Warped
- ⚠️ 4.7.2 Lots, Grounds & Exterior - Patio Cover(s) / Trellis(es): Termite Inspection Recommended - Damaged Wood
- ⚠️ 4.8.1 Lots, Grounds & Exterior - Decks / Balconies / Stairs: Railing(s) Missing
- ⊖ 5.1.1 Foundation - Foundation: Limited View of Foundation
- ⊖ 6.2.1 Roof - Coverings: Nearing End Of Life Span
- ⊖ 6.2.2 Roof - Coverings: Tree / Vegetation Near
- ⊖ 6.3.1 Roof - Flashings: Mastic Covered Flashing
- ⊖ 6.3.2 Roof - Flashings: Improper Flashing
- ⊖ 6.3.3 Roof - Flashings: Seal Vent Pipes
- ⚠️ 6.4.1 Roof - Skylights, Chimneys & Other Roof Penetrations: Skylight(s) Dry Stains
- ⊖ 6.5.1 Roof - Roof Drainage Systems: Debris in Gutter(s) and/or Downspout(s)
- ⊖ 6.5.2 Roof - Roof Drainage Systems: Damaged Gutter(s)
- 🔧 7.1.1 Plumbing - Excluded Items: Advise Installing Leak Detectors
- ⊖ 7.2.1 Plumbing - Service: Main Not Found
- ⊖ 7.2.2 Plumbing - Service: Pressure Regulator Not Found
- ⊖ 7.2.3 Plumbing - Service: Standing Water Noted (Possible Leak)
- ⊖ 7.3.1 Plumbing - Supply Lines / Hose Bibs: Re Pipe Noted
- ⊖ 7.3.2 Plumbing - Supply Lines / Hose Bibs: Unable To Remove Garden Hose
- ⊖ 7.4.1 Plumbing - Drain, Waste, & Vent Systems: Cast Iron Waste Lines Present - Advise Scope
- ⊖ 7.4.2 Plumbing - Drain, Waste, & Vent Systems: Plumbing Noted at Exterior
- ⚠️ 7.5.1 Plumbing - Water Heater(s): Vent - Transite (Asbestos) And Metal
- ⊖ 7.6.1 Plumbing - Sinks / Fixtures: Stress Cracks Noted
- ⊖ 7.7.1 Plumbing - Bathtubs / Showers: Drained Slowly / Clogged - Bathtub

- ⊖ 7.7.2 Plumbing - Bathtubs / Showers: Tub Spout Drips / Does Not Shut Off
- ⊖ 7.7.3 Plumbing - Bathtubs / Showers: Shower Head Connection Leaks
- ⊖ 7.7.4 Plumbing - Bathtubs / Showers: Cracked Grout
- ⊖ 7.7.5 Plumbing - Bathtubs / Showers: Corrosion On Tub/Shower Faucet
- ⊖ 7.9.1 Plumbing - Laundry: No Catch Pan
- ⊖ 7.9.2 Plumbing - Laundry: Dryer Vent Needs Cleaning
- ⊖ 7.10.1 Plumbing - Exhaust Fans / Ventilation: Missing Bathroom Powered Ventilation
- ⊖ 7.11.1 Plumbing - Fuel Systems: Shut Off Tool
- 🔧 8.1.1 Electrical - Excluded Items: Cable / Satellite / Telephone / Inter Communication / Alarm Systems
- ⊖ 8.4.1 Electrical - Breakers & Panel Wiring: Breakers Not Labeled Properly
- ⚠ 8.4.2 Electrical - Breakers & Panel Wiring: Double Tapped Breaker(s)
- ⚠ 8.4.3 Electrical - Breakers & Panel Wiring: Double Tap Neutral
- ⚠ 8.5.1 Electrical - GFCI / AFCI Protection: GFCI Reading Open Ground
- ⊖ 8.5.2 Electrical - GFCI / AFCI Protection: Recommend GFCI Upgrade
- ⊖ 8.6.1 Electrical - Electrical Wiring : Cloth Covered
- ⚠ 8.6.2 Electrical - Electrical Wiring : Exposed Wiring Not In Conduit
- ⊖ 8.6.3 Electrical - Electrical Wiring : Discolored Copper Noted
- ⚠ 8.8.1 Electrical - Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors Missing at Bedroom(s)
- ⊖ 9.1.1 HVAC - General: Service Heating System
- ⊖ 9.2.1 HVAC - Heating (Forced Air): Near Or At Lifespan (Forced Air)
- ⊖ 9.4.1 HVAC - Ducts and Registers: Ducts - Under Slab
- ⊖ 9.5.1 HVAC - Filter(s) & Thermostat(s): Filter Dirty
- ⚠ 10.2.1 Interior, Doors & Windows - Exterior Doors: Keyed Deadbolt Inside
- 🔧 10.2.2 Interior, Doors & Windows - Exterior Doors: Recommend Re Keying All Exterior Doors
- ⊖ 10.4.1 Interior, Doors & Windows - Windows: Tempered Glass Not Verified
- ⚠ 10.4.2 Interior, Doors & Windows - Windows: Broken / Cracked / Chipped Window(s)
- ⊖ 10.4.3 Interior, Doors & Windows - Windows: Crank Handles Missing
- ⊖ 10.4.4 Interior, Doors & Windows - Windows: Crank(s) Not Operational
- ⊖ 10.5.1 Interior, Doors & Windows - Ceiling: Water Stains (Dry)
- ⚠ 10.6.1 Interior, Doors & Windows - Walls: Elevated Moisture Noted
- ⊖ 10.8.1 Interior, Doors & Windows - Countertops & Cabinets: Wear Noted
- 🔧 11.1.1 Appliances - General: Unknown Age(s)
- 🔧 11.1.2 Appliances - General: Old Appliances
- ⊖ 11.4.1 Appliances - Dishwasher: Air Gap / High Loop Not Installed
- ⊖ 11.5.1 Appliances - Garbage / Food Disposal: Hardwired Electrical
- ⊖ 12.1.1 Fireplaces & Gas Appliances - Fireplaces, Stoves & Inserts: Creosote Build Up Noted
- 🔧 12.2.1 Fireplaces & Gas Appliances - Chimney(s): Liner Not Inspected
- ⚠ 12.2.2 Fireplaces & Gas Appliances - Chimney(s): No Spark Screen and/or Rain Cap
- 🔧 13.4.1 Garage / Carport - Floor, Walls, Ceiling: Floors / Walls Obscured
- ⊖ 13.4.2 Garage / Carport - Floor, Walls, Ceiling: Homeowner Shelving
- ⚠ 13.4.3 Garage / Carport - Floor, Walls, Ceiling: Fire Wall Gaps, Holes, Damage

- ⊖ 13.4.4 Garage / Carport - Floor, Walls, Ceiling: Evidence of Water Intrusion
- ⊖ 13.4.5 Garage / Carport - Floor, Walls, Ceiling: Below Exterior Grade

1: GENERAL INFORMATION / OVERVIEW

Information

General: Overview



A property inspection is a non-invasive, visual examination of the accessible areas of the property, designed to identify areas of concern within specific systems or components defined by the CREIA and/or InterNACHI [Standards of Practice](#), that are both observed and deemed material by the inspector at the exact date and time of inspection. Any and all recommendations for repair, replacement, evaluation, and maintenance issues found, should be evaluated by the appropriate trades contractors within the clients inspection contingency window or prior to closing, which is contract applicable, in order to obtain proper dollar amount estimates on the cost of said repairs and also because these evaluations could uncover more potential issues than able to be noted from a purely visual inspection of the property. Specialized inspections may reveal issues that our general inspection does not cover. This inspection will not cover any HOA items will not reveal every concern or issue that exists, but only those material defects that were observable on the day of the inspection. This inspection is intended to assist in evaluation of the overall condition of the dwelling only. This inspection is not a prediction of future conditions and conditions with the property are subject to change the moment we leave the premises.

The inspector's job is to point out an issue and to give a course of action, which is why we always include a recommendation after the issue. We also write "one or more" comments for your protection. Since we are the generalist, if you have a specialist come out then we recommend they inspect all of the specific items and not just the one we identify in the report.

General: Notes

Note: Read the [Standards of Practice](#) set forth by the [California Real Estate Inspectors Association](#) for an insight into the scope of the inspection.

Note: The inspection represents the condition of the visually inspected areas of the property on the date of the inspection. Regular maintenance will be required in several areas. Identifying these areas is beyond the scope of this inspection. Component conditions may change between the date of the inspection and the title transfer date. A thorough walk-through prior to title transfer helps protect against unexpected surprises, and is recommended. **The purchase of a home/building warranty is recommended.**

Note: California has seasonable rains which occur at the end and the beginning of each calendar year. Occasionally, the rainfall is exceptionally high. This is called an El Nino year. In recent years Southern California has been going through a drought. During drought periods many conditions visible following rains do not appear. The duty of a home inspector is to disclose visible conditions. If a condition is not visible it cannot be reported.

Notice to Third Parties: This report is copyright protected. This report is the exclusive property of Aztec Property Inspections and the Client(s) listed above and is not transferable to any third parties or subsequent buyers. Our Inspection and this report have been performed with a written contract agreement that limits its scope and usefulness. Unauthorized recipients are therefore advised not to rely upon this report, but rather to retain the services of an appropriately qualified property inspector of their choice to provide them with their own inspection and report. Liability under this report is limited to the party identified on the cover page of this report.

Note: [For the purpose of this report, all directional references \(left, right, front, rear\) are based on when facing the front of the structure as depicted in the cover image above.](#)

Note: The client is advised that a mold inspection / testing is recommended by a qualified specialist. This is especially important if any evidence of past or current water leaks (plumbing, roof, intrusion or otherwise) are reported by the inspector or if issues have been disclosed.

HOA Note: HOA (Home Owner's Association) areas and items located in HOA areas are beyond the scope of this inspection and this typically only applies to condo and townhouses. It is unknown what items if any may be a part of an HOA and note that if any item isn't expressly marked as inspected then it is believed to be an HOA item. Inquire with the seller and/or the HOA for more information. If and HOA items were reported on then they were mentioned as a courtesy and were not fully inspected nor were all the HOA items inspected.

General: About Thermal Imaging

Note: A Thermal Imaging camera may be used as a means of evaluating certain suspect issues or systems. Any anomalies found are always verified by other means such as a moisture meter. Moisture must be present for infrared thermography to locate its existence. During dry times a leak may still be present but undetectable if materials have no moisture present. **Thermal Imaging is not X-ray vision, cannot see through walls and cannot detect mold.**

General: Comment Key and Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any findings / comments that are listed under "**Attention Required**" or "**Safety Item/Defective**" by the inspector suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of an item, component or unit should be considered before you purchase the property.

Inspected (IN) = The item, component or system was visually inspected and if no other comments were made, then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = The item, component or system was not inspected and no representations made of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = The item, component or system is not in this home or building.

Finding (F) = The item, component or system was inspected and a concern, observation and/or deficiency was found and falls under one of the categories below.

Note = The item or discovery indicated is considered cosmetic, nuisance or is "For Your Information". The items, although should be repaired, are not considered to be in need of immediate repair. Any items or recommendations in this category should not be considered as an enforceable repair or responsibility of the sellers, but designed only to provide you with specific information about the property.

Observation = The item, component, or system while perhaps functioning as intended is in need of **minor** repair, service, or maintenance; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; or considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **homeowner or handyman** and are considered to be routine homeowner maintenance (DIY) or recommended upgrades.

Attention Required = The item, component, or system while perhaps functioning as intended is in need **repair or service**; is showing signs of wear or deterioration that could result in an adverse condition at some point in the future; considerations should be made in upgrading the item, component, or system to enhance the function, efficiency and / or safety. Items falling into this category can frequently be addressed by a **handyman or qualified licensed contractor** and are not considered routine maintenance (DIY) items. All "**Attention Required**" items should be evaluated before the close of the contingency period.

Safety Item = The item, component or system poses a **safety concern** to occupants in or around the home. Some listed concerns will be considered acceptable for the time period of construction but pose a current risk. Items may vary in severity, and require attention from either a **homeowner/handyman** (for example, replacing smoke detector batteries or installing CO detectors), **or a qualified licensed professional**.

-OR-

Defective = The item, component or system is **not functioning** as intended, and requires further evaluation and/or repair by a **specialized, qualified, licensed contractor**. Damage to the structure may occur if left unaddressed. All "**Defective**" items are considered high-priority, and should be evaluated before the close of the contingency period. Items, components, or units that can be repaired to satisfactory condition may not need replacement.

2: INSPECTION / PROPERTY DETAILS

Information

General: In Attendance Listing Agent, Tenant, Inspector	General: Building Type Single Family	General: Occupancy Furnished, Occupied
General: Utilities All Utilities On	General: Temperature 60-70 F	General: Weather Conditions Partly Cloudy

3: MISC. CONCERNS / COMMENTS

Information

Misc. Concerns / Comments: Occupied and/or Furnished

Areas of the property were obscured or access was obstructed by furniture and/or stored items. The inspector does not move furnishings, personal belongings, carpets or appliances. Any areas not readily accessible are excluded from the inspection. Be aware that hidden damage or problems may be present and special attention should be taken when conducting the final walk through.

Misc. Concerns / Comments: Lead and/or Asbestos Note

Structures that are built before the mid 1980's may contain lead and / or asbestos. Lead is a chemical element found in paint and in some plumbing components. Currently the EPA does not recognize newer coats of paint as encapsulating older coats of lead based paint. Building materials such as insulation, siding, and/or floor and ceiling tiles commonly contain asbestos. Laws were passed in 1978 to prohibit manufacturing of lead and asbestos but stocks piles or already produced materials containing these substances remained and were allowed to be sold. Lead and asbestos are both known health hazards. Evaluating for the presence of lead and/or asbestos is beyond the scope of this inspection as per of inspection standards. Any mention of these materials in this report is made as a courtesy; and further evaluation is needed.

Misc. Concerns / Comments: Ocean Proximity Corrosion

Rust and corrosion is possible at several areas. This is consistent with homes close to the ocean. Continuing maintenance will be needed to protect items that may be affected by the ocean air.

Findings

3.1.1 Misc. Concerns / Comments



Attention Required

20+ YEARS NOTE

NOTE: This home is more than 20 years old: The client must understand that any original components in the house are very likely worn. Home inspectors do not predict the life remaining of any component. Original items that may be nearing the end of their useful life, and may require maintenance or replacement in the near future include the roof and/or the roof underlayment, window rollers/glides, appliances, garage doors, and plumbing components, pool equipment, and surface, tile shower enclosures. It is important that you understand this, also the residence that you are buying happens to be older than 15 years, and not conform to many current codes. A home inspection is "non-invasive" and essentially visual and, intended to alert consumers on "material defects" that exist at the time of an inspection, defects that could significantly affect the value of a property or pose a threat to health and safety. A property inspection is not technically exhaustive, and is not intended to be, and will not reveal every defect and deficiency. Some defects may be latent, and/or become apparent at a later point in time, which is why inspections have been sensibly characterized as snapshots in time. And it is essential that consumers understand this and, thereby, have reasonable expectations.

Recommendation

Contact a qualified professional.

4: LOTS, GROUNDS & EXTERIOR

		IN	NI	NP	F
4.1	Driveways, Sidewalks, Patios	X			
4.2	Drainage or Grading				X
4.3	Fences / Gates				X
4.4	Exterior Walls / Trim				X
4.5	Vegetation				X
4.6	Retaining Wall(s)				X
4.7	Patio Cover(s) / Trellis(es)				X
4.8	Decks / Balconies / Stairs				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Exterior Walls / Trim:

Construction Material

Wood Frame, Poured concrete

Exterior Walls / Trim: Wall

Covering Material

Wood

Limitations

Driveways, Sidewalks, Patios

GROUND LIMITATIONS

The following items are beyond the scope of this inspection as per the CREIA standards. Any comments related to these items were mentioned as a courtesy and may have not been inspected in their entirety.

Detached buildings, outhouses, sheds, or other structures; retaining walls, fences, gates; subsurface drain systems, catch basins, concealed sump pumps; swimming pools, spas, pool safety equipment, saunas; weather-proof decking, water tightness or water-proof coating or membranes of decks or stairs; landscaping, tree roots, soil and soil erosion; irrigation systems, ponds, water features, fountains; sport courts, recreation equipment, playgrounds; seawalls, docks; retractable awnings; areas with less than 3 feet of vertical clearance below the exterior structures.

Fences / Gates

VEGETATION - NOT FULLY VISIBLE

Significant vegetation was noted in one or more areas. The fencing was not fully visible.

Exterior Walls / Trim

EXTERIOR LIMITATIONS

Readily accessible/visible areas of the exterior were inspected, which excludes areas that were obscured by vegetation, stored items, areas concealed by coverings, siding or trim, and areas that may be difficult to observe due to height.

Exterior Walls / Trim

DARK PAINT COLOR

Trim and or eaves were dark colored which makes it difficult to view properly. Not fully visible.

Findings

4.2.1 Drainage or Grading

POOR DRAINAGE / LOW AREAS

Low/neutral areas were observed at the grading which will cause water to pond during rain or extended irrigation. Standing water can be detrimental to the integrity of the foundation of the house. It is important to prevent or minimize standing water around the house. Recommend further evaluation by a qualified grading contractor to determine corrections needed.

Recommendation

Contact a qualified professional.

4.2.2 Drainage or Grading

PLANTER NOT SEPARATED FROM STRUCTURE

Planters in one or more areas do not appear to have the proper clearance (2") from the house. Correction is recommended.

Recommendation

Recommend monitoring.



4.4.1 Exterior Walls / Trim

PAINT DETERIORATION NOTED

SEVERAL AREAS



Paint was flaking and/or deteriorated in one or more areas. Touch up paint is recommended

Recommendation

Contact a qualified professional.



4.5.1 Vegetation

VEGETATION CONTACT / CLEARANCE

Vegetation was in contact with and/or too close to the structure's exterior. This is a conducive condition for wood destroying organisms. Recommend pruning or removing vegetation as necessary so there is at least a one foot gap between all vegetation and the structure's exterior.

Recommendation

Contact a handyman or DIY project



Attention Required



4.6.1 Retaining Wall(s)

WALK OFF HAZARD(S) NOTED

A walk off or drop off hazard was noted in one or more areas. Recommend installing guardrails for added safety. A qualified professional is recommended for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



Safety Item/Defective



4.7.1 Patio Cover(s) / Trellis(es)

SUPPORT FRAMING BOWED / WARPED

The support framing for the patio cover was bowed and/or warped. Recommend further evaluation and needed repairs be made by a qualified licensed contractor.

Recommendation

Contact a qualified general contractor.



Safety Item/Defective



4.7.2 Patio Cover(s) / Trellis(es)

TERMITE INSPECTION RECOMMENDED - DAMAGED WOOD

SEVERAL AREAS

Damaged wood (could be from many different causes) was noted in one or more areas and a termite inspection is recommended.

Recommendation

Contact a qualified pest control specialist.



Safety Item/Defective



4.8.1 Decks / Balconies / Stairs

RAILING(S) MISSING

Handrail(s) and/or guardrail(s) were missing in one more areas (required when more than 3 stairs). This is a safety concern. A qualified professional is recommended for further evaluation and/or repairs.



Safety Item/Defective

Recommendation

Contact a qualified general contractor.



5: FOUNDATION

		IN	NI	NP	F
5.1	Foundation				X
5.2	Seismic Re-Inforcement		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Foundation: Foundation Type

Concrete Slab on Grade

Foundation: Foundation / Stem Wall Material

Slab on grade, Concrete

Foundation: Footing Material

Concrete slab

Seismic Re-Inforcement: Anchor

Bolts / Hold Downs

Not visible

Limitations

Foundation

FOUNDATION LIMITATIONS

The inspector performs a visual inspection of accessible components or systems of the foundation. Items excluded from this inspection include below-grade foundation walls and footings; foundations, exterior surfaces or components obscured by vegetation, stored items or debris. This may limit a full evaluation. Regarding foundations, some amount of cracking is normal in concrete slabs and foundation walls due to shrinkage and drying. Note that the inspector does not determine the adequacy of seismic reinforcement. This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or civil engineer should be consulted.

Foundation

ADDITION NOTE

An addition was noted in one or more areas and it is unknown if this area was permitted / inspected. The type of construction and or quality of construction could not viewed or verified. Inquire with the seller and or building department for more information.

Seismic Re-Inforcement

FOUNDATION LIKELY BOLTED

The home is likely bolted to the foundation. However, drywall was in place at the time of the inspection. Bolts could not be viewed because of this. Confirmation by a licensed foundation contractor is recommended.

Findings

5.1.1 Foundation

**LIMITED VIEW OF FOUNDATION**

Due to floor coverings, vegetation, siding or other obstructions, not all areas of the foundation were visible. Our review of the home's foundation is limited. You may wish to have this further explored by a licensed foundation contractor and/or a licensed structural engineer to determine if any latent defects exist.

Recommendation

Contact a qualified professional.

6: ROOF

		IN	NI	NP	F
6.1	General	X			
6.2	Coverings				X
6.3	Flashings				X
6.4	Skylights, Chimneys & Other Roof Penetrations				X
6.5	Roof Drainage Systems				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Inspection Method

Walked roof

General: Roofing Material

Fiberglass Composition Shingles

General: Flashing Material

Partially Visible, Metal, Mastic Covered

General: View of Roof

View of roof.



Limitations

General

ROOF LIMITATIONS

This is a general condition report on the roof condition and materials. The home inspector is a generalist and for a more detailed report, the client may wish to hire a qualified licensed roofing contractor for a roof certification and/or a leak-tight warranty. Skylight(s), flashings and roof(s) are not water tested for leaks. As part of your ongoing annual maintenance, a roof inspection is recommended.

Coverings

ROOF INSPECTION LIMITATIONS

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Flashings

FLASHING LIMITED VIEW

The inspection of the roof penetrations was limited to what could be seen from the inspector's vantage points. We cannot guarantee that all the roof penetrations are in good condition. We highly recommend contacting a licensed roof contractor for further evaluation.

Roof Drainage Systems

GUTTER / DOWNSPOUT ADEQUACY BEYOND SCOPE

Gutter and/or downspout adequacy or calculating adequacy is beyond the scope of this inspection. Further evaluation may be desired.

Findings

6.2.1 Coverings

NEARING END OF LIFE SPAN

The roof appears to be nearing the end of its useful life. Further evaluation by a licensed roofing contractor is recommended to see how much life to expect from the roof.

Recommendation

Contact a qualified professional.



6.2.2 Coverings

TREE / VEGETATION NEAR

Trees and or vegetation was noted close to the roof. Recommend ongoing maintenance to keep the vegetation and or trees 10 feet away from the roof.

Recommendation

Contact a qualified landscaping contractor



Attention Required



6.3.1 Flashings

MASTIC COVERED FLASHING

The flashing at one or more areas is mastic covered. This may be an indication of a past problem and will require ongoing maintenance. Inquire with the seller for more information and/or have further evaluated by a licensed roofing contractor to determine if any corrections are needed at this time.

Recommendation

Contact a qualified professional.



Attention Required

6.3.2 Flashings

IMPROPER FLASHING

Improper flashing installation was noted in areas of the roof. Recommend further evaluation by a licensed roof contractor and repair as needed to ensure proper function. If not corrected this can allow moisture intrusion.

Recommendation

Contact a qualified professional.



Attention Required





6.3.3 Flashings

SEAL VENT PIPES

Recommend sealing vent pipes to help prevent moisture intrusion. Recommend repair by a licensed contractor.

Recommendation

Contact a qualified professional.



Attention Required



6.4.1 Skylights, Chimneys & Other Roof Penetrations



Safety Item/Defective

SKYLIGHT(S) DRY STAINS

Dry water stains were found around one or more skylights. It is unknown if these stains are due to an active leak. If available, inquire with the seller in this regard. It's possible these stains are from a previous leak that has since been addressed. Consideration should be given to having a qualified roofer further evaluate and determine if repairs are needed at this time.

Recommendation

Contact a qualified roofing professional.



6.5.1 Roof Drainage Systems

DEBRIS IN GUTTER(S) AND/OR DOWNSPOUT(S)



Attention Required

Leaves, pine needles, gravel or debris has accumulated in one or more gutters and/or downspouts. To prevent accumulation of water from overflowing gutters; cleaning is recommended. A qualified handyperson is recommended for gutter cleaning.

Recommendation

Contact a handyman or DIY project



6.5.2 Roof Drainage Systems

DAMAGED GUTTER(S)

Damaged gutters were noted in one or more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required



7: PLUMBING

		IN	NI	NP	F
7.1	Excluded Items		X		X
7.2	Service				X
7.3	Supply Lines / Hose Bibs				X
7.4	Drain, Waste, & Vent Systems				X
7.5	Water Heater(s)				X
7.6	Sinks / Fixtures				X
7.7	Bathtubs / Showers				X
7.8	Toilets	X			
7.9	Laundry				X
7.10	Exhaust Fans / Ventilation				X
7.11	Fuel Systems				X
7.12	Irrigation		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Water meter location

By street



Service: Water Service Type

Public

Service: Water Service Material

Copper

Service: Water Shut-Off Location

Not Found

Service: Pressure Regulator

Present
No, Not visible

Service: Sewer Type

Public

Supply Lines / Hose Bibs: Materials

Copper, Not Fully Visible

Drain, Waste, & Vent Systems: Waste and Vent Materials

ABS, Not fully evaluated, Cast
Iron

Drain, Waste, & Vent Systems: Clean-out Location(s)

Exterior



Water Heater(s): Equipment Photo

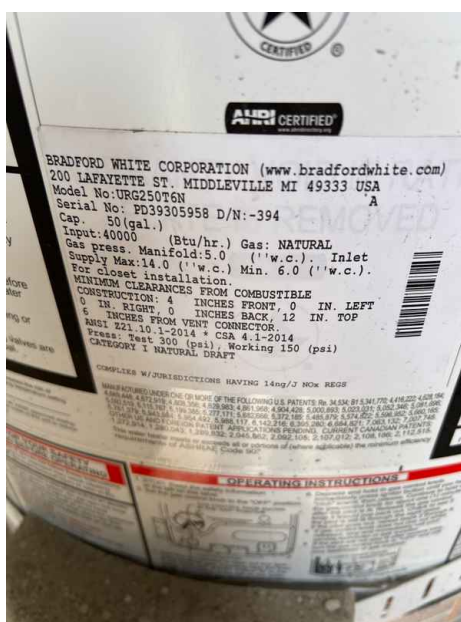


Water Heater(s): Estimated Mfg. Year

2017

Water Heater(s): Energy Source / Type

Tank, Natural gas



Water Heater(s): Capacity 50 Gallon

Water Heater(s): Location Exterior closet

Water Heater(s): Thermal Image - Water Heater Operational

Thermal image of the water heater producing hot water.



Laundry: Information
240 Volt Electric, Gas

Exhaust Fans / Ventilation: Type
Window

Fuel Systems: Equipment Photo



Fuel Systems: Fuel Service Type
Natural Gas

**Fuel Systems: Main Gas Shut-off
Location**
Exterior Left Side

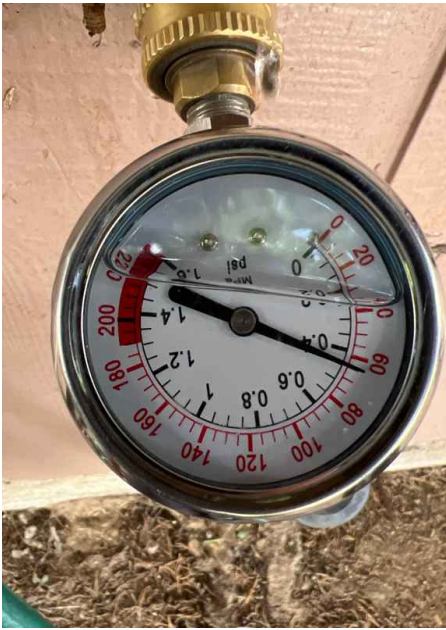
Excluded Items: Irrigation / Sprinklers - Not Inspected

Note: This property appeared to have a yard irrigation (sprinkler) system and is excluded from this inspection. Comments in this report related to this system are made as a courtesy only and are not meant to be a substitute for a full evaluation. When this system is operated, recommend verifying that water is not directed at building exteriors, or directed so water accumulates around building foundations. Sprinkler heads may need to be adjusted, replaced or disabled. Consider having a qualified plumber verify that a backflow prevention device is installed per standard building practices to prevent cross-contamination of potable water. We recommend that a qualified specialist evaluate the irrigation system for other defects (e.g. leaks, damaged or malfunctioning sprinkler heads) and repair if necessary.

Service: Water Pressure

60-70 PSI

View of water pressure at the time of the inspection. 50 to 80 PSI is acceptable 60 to 75 PSI is ideal.



Fuel Systems: Fuel Supply Piping Type

Steel

Manufacturers of yellow corrugated stainless steel tubing believe that yellow corrugated stainless steel tubing is safer if properly bonded and grounded as required by the manufacturers installation instructions. **Proper bonding and grounding of this product can only be determined by a licensed electrical contractor.**

Limitations

Excluded Items

PLUMBING SYSTEM LIMITATIONS

The following items are not included in this inspection: irrigation systems; private/shared wells and related equipment; private sewage disposal systems; hot tubs or spas; main, side and lateral sewer lines; gray water systems; pressure boosting systems; trap primers; incinerating or composting toilets; fire suppression systems; water softeners, conditioners or filtering systems; plumbing components concealed within the foundation or building structure, or in inaccessible areas such as below tubs; underground utilities and systems; overflow drains for tubs and sinks; backflow prevention devices; heated towel racks, saunas, steam generators, clothes washers, or clothes dryers. Any comments made regarding these items are mentioned as a courtesy only.

Note: The inspector does not operate water supply or shut-off valves due to the possibility of valves leaking or breaking when operated.

The inspector does not test for lead in the water supply, the water pipes or solder, does not determine if plumbing and fuel lines are adequately sized, and does not determine the existence or condition of underground or above-ground fuel tanks. The inspector does not determine if shower pans or tub and shower enclosures are water tight, or determine the completeness or operability of any gas piping to laundry appliances. Wall coverings, rugs, and contents in drawers and cabinets were not moved and may have prevented a complete inspection.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain lines, for example, cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection, but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Excluded Items

FIXTURE FLOW / CAPACITY NOT INSPECTED

The fixture(s) flow or capacity (determining if items are low flow based on today's standards or the real estate industry's definition of low flow) is beyond the scope of this inspection as per the industry standards.

Drain, Waste, & Vent Systems

PUBLIC/PRIVATE SEWER

Determining if a home is on Public or a Private sewer system is outside the scope of this inspection. Recommend asking the sellers checking city/county records or have this further evaluated by a licensed plumber.

Water Heater(s)

WATER HEATER LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. Evaluation of and determining the adequacy or completeness of the following items are not included in this inspection: water recirculation pumps; solar water heating systems; Energy Smart or energy saver controls; catch pan drains. Any comments made regarding these items are as a courtesy only. Note that the inspector does not provide an estimate of remaining life on water heaters, does not determine if water heaters are appropriately sized, or perform any evaluations that require a pilot light to be lit or a shut-off valve to be operated.

Water Heater(s)

RECIRCULATING PUMPS / EXPANSION TANKS NOT INSPECTED

Hot water recirculating pumps and or expansion tanks are outside the scope of a home inspection. Recommend asking seller about this and/ or have further evaluated by a licensed plumber to determine if any corrections are needed at this time.



Bathtubs / Showers

BATHTUB/SHOWER LIMITATIONS

Tub overflow drains are beyond the scope of this inspection, as set forth by the [Standards of Practice](#). Determining if shower pans and shower enclosures are leaking is beyond the scope of this inspection. Steam units are beyond the scope of this inspection. The inspection may be limited due to personal belongings.

Laundry

LAUNDRY LIMITATIONS

The inspector does not determine the adequacy of washing machine drain lines, washing machine catch pan drain lines, or clothes dryer exhaust ducts. **Note:** Laundry appliances are beyond the scope of this inspection, as set forth by the [Standards of Practice](#).

Fuel Systems

GAS SUPPLY AND DISTRIBUTION LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork, buried lines or other obstructions, it was not possible to observe the entire gas supply and distribution system throughout this entire home. Damage to the piping can be present in a non-visible location. You may wish to have the gas supply and distribution system further explored by a licensed plumber contractor before the end of your contingency period to determine if any latent defects exist.

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Findings

7.1.1 Excluded Items



ADVISE INSTALLING LEAK DETECTORS

Advise installing leak detectors anywhere water intrusion could occur. I.e. kitchen, bathroom, laundry area, water heater area, HVAC area. This product can be purchased and/or can help avoid potential water damage in the future.

Recommendation

Contact a qualified professional.

7.2.1 Service



MAIN NOT FOUND

The inspector was unable to locate a main water shut off other than the utility street meter box. A readily accessible water shut off should be located near the building in case water needs to be shut off quickly. It is recommended that the seller or a plumbing contractor verify the location of this water shut off, or that a licensed plumbing contractor install a water shut off at a readily accessible location if necessary.

Recommendation

Contact a qualified plumbing contractor.

7.2.2 Service



PRESSURE REGULATOR NOT FOUND

A pressure regulator was not found. If no pressure regulator is installed, a pressure surge in the water supply could adversely affect your plumbing system, and even lead to a leak. We recommend further evaluation by a licensed plumber before the end of your contingency period to determine repairs necessary at this time.

Recommendation

Contact a qualified professional.

7.2.3 Service



STANDING WATER NOTED (POSSIBLE LEAK)

Standing water was noted at the time of the inspection (street utility box). Unable to determine if this is from a leak, sprinklers and or from rain. Further evaluation is needed.

Recommendation

Contact a qualified plumbing contractor.



7.3.1 Supply Lines / Hose Bibs



Attention Required

RE PIPE NOTED

There is evidence that part of the plumbing distribution system was re piped (newer supply lines). We recommend asking seller about this and/or have further evaluated by a licensed plumber to determine if any corrections are needed at this time.

Recommendation

Contact a qualified plumbing contractor.



7.3.2 Supply Lines / Hose Bibs



Attention Required

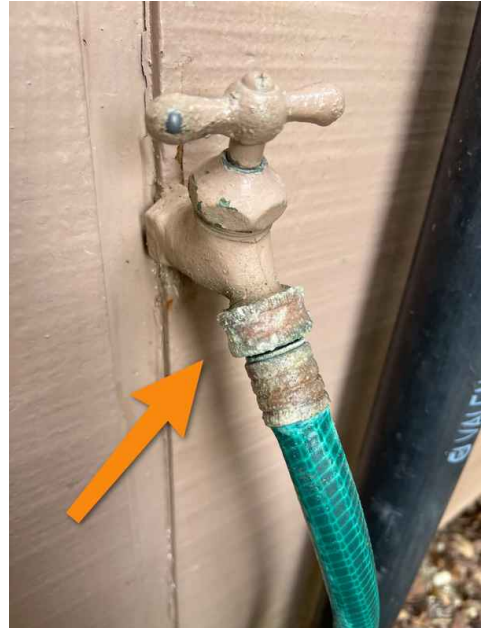
UNABLE TO REMOVE GARDEN HOSE

FRONT EXTERIOR

Unable to remove garden hose connection at the hose bib in one or more areas. Recommend correcting and advise repair by a qualified professional.

Recommendation

Contact a qualified professional.



7.4.1 Drain, Waste, & Vent Systems



Attention Required

CAST IRON WASTE LINES PRESENT - ADVISE SCOPE

Cast iron waste lines rust from the inside out and generally last 50-70 years before needing to be replaced. However, any cast iron waste lines in a home over 35 years of age has an increased risk of failure due to aging. We recommend having a qualified licensed professional come out to scope (run a camera in the waste lines) and to perform a visual inspection. This is especially important to determine the condition of the main drain line between the house and the street. Only the visible portions of the waste system were inspected.

Recommendation

Contact a qualified professional.

7.4.2 Drain, Waste, & Vent Systems



Attention Required

PLUMBING NOTED AT EXTERIOR

Plumbing was routed on the exterior of the walls. This is unconventional and not original construction. Inquire with the seller to see what was done and why or further evaluation by a qualified plumbing contractor.

Recommendation

Contact a qualified professional.



7.5.1 Water Heater(s)

VENT - TRANSITE (ASBESTOS) AND METAL

Safety Item/Defective

Transite - Metal flue noted. This change in diameter can affect the drafting. Recommend further evaluation by a licensed plumber and repair as needed.

Recommendation

Contact a qualified plumbing contractor.



7.6.1 Sinks / Fixtures

STRESS CRACKS NOTED

HALL BATHROOM #2

Stress cracks noted in one more areas. Correction is recommended.

Recommendation

Contact a qualified professional.



Attention Required

7.7.1 Bathtubs / Showers

DRAINED SLOWLY / CLOGGED - BATHTUB

HALL BATHROOM #2



Attention Required

The bathtub drained slowly or was clogged. Recommend clearing the drain and/or that a qualified plumber repair if necessary.

Recommendation

Contact a qualified plumbing contractor.



7.7.2 Bathtubs / Showers

TUB SPOUT DRIPS / DOES NOT SHUT OFF



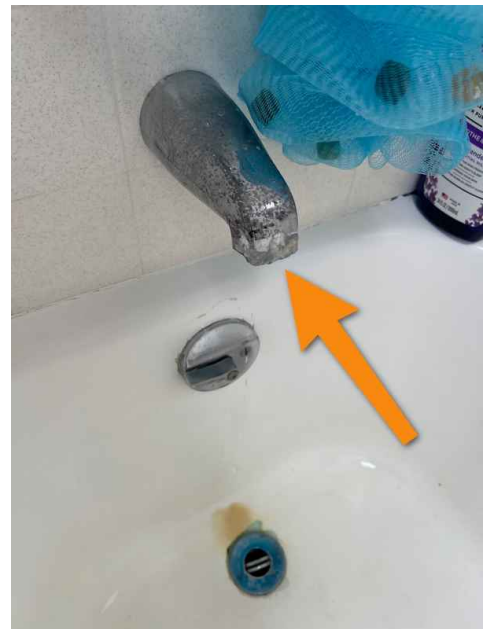
Attention Required

HALL BATHROOM #2

The bathtub faucet dripped or continued to run water when it was turned off. Recommend that a qualified plumber repair as necessary.

Recommendation

Contact a qualified plumbing contractor.



7.7.3 Bathtubs / Showers

SHOWER HEAD CONNECTION LEAKS



Attention Required

HALL BATHROOM #1

The shower head was noted leaking at a connection. Corrections are recommended.

Recommendation

Contact a qualified professional.



7.7.4 Bathtubs / Showers

CRACKED GROUT

HALL BATHROOM #2

Cracked grout noted. This condition can lead to moisture related issues behind the shower surface. Recommend further evaluation by a licensed plumber and repair as needed. Determining if damage exist behind any floor or wall is beyond the scope of a home inspection.

Recommendation

Contact a qualified professional.



Attention Required



7.7.5 Bathtubs / Showers

CORROSION ON TUB/SHOWER FAUCET

HALL BATHROOM #2

Corrosion observed at the tub and/or shower faucet in one or more areas. Advise correcting and maintenance by a qualified professional as needed.

Recommendation

Contact a qualified professional.



Attention Required



7.9.1 Laundry

NO CATCH PAN

Attention Required

A clothes washer was or can be installed over a finished space or in an area where leaking can cause damage, and no catch pan or drain was installed. Catch pans and drains prevent water damage to finished interior spaces below if or when the washing machine leaks, overflows or is drained. If concerned, consult with a qualified contractor about installing a catch pan. Note that installing a drain line for a catch pan routed to the outdoors may not be feasible. As an alternative, a water alarm can be installed in the catch pan.

Recommendation

Contact a qualified professional.



7.9.2 Laundry

DRYER VENT NEEDS CLEANING



Attention Required

The dryer exhaust duct appeared to be in the need of cleaning. This condition may reduce air flow which could become a fire hazard. Recommend cleaning this duct now and as necessary in the future.

Recommendation

Contact a qualified professional.



7.10.1 Exhaust Fans / Ventilation

MISSING BATHROOM POWERED VENTILATION



Attention Required

ALL REQUIRED LOCATIONS

A powered vent fan has not been installed at one or more bathrooms. We recommend adding a powered fan for improved ventilation.

Recommendation

Contact a qualified professional.

7.11.1 Fuel Systems

SHUT OFF TOOL



Attention Required

There is no wrench at the gas shut-off valve to facilitate an emergency shut-off, and inasmuch as such tools are relatively inexpensive we recommend that you buy one and leave it in-place on the valve.

Recommendation

Contact a qualified professional.



8: ELECTRICAL

		IN	NI	NP	F
8.1	Excluded Items		X		
8.2	Service		X		
8.3	Electrical Panel(s)	X			
8.4	Breakers & Panel Wiring				X
8.5	GFCI / AFCI Protection				X
8.6	Electrical Wiring				X
8.7	Outlets / Switches / Lighting / Fans				X
8.8	Smoke Detectors / CO Alarms / Door Bell				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Service: Information

Below ground

Service: Entrance Conductor Material

Unknown / Not Visible

Electrical Panel(s): Main Panel Location

Exterior

Electrical Panel(s): Panel Capacity

150 AMP

Electrical Panel(s): Main disconnect rating

150 AMP

Electrical Panel(s): Sub Panel

Location(s)

N/A



Breakers & Panel Wiring: Over Protection Devices

Breakers

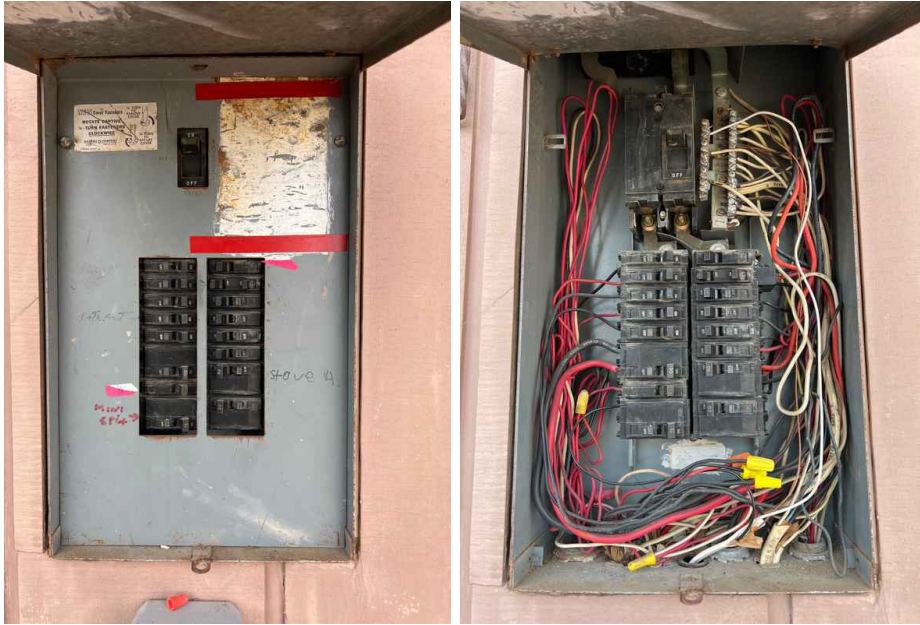
GFCI / AFCI Protection: GFCI Reset Location(s)

Kitchen

Electrical Wiring : Wiring Type

Non Metallic Sheathed, Not Fully Visible, Cloth covered

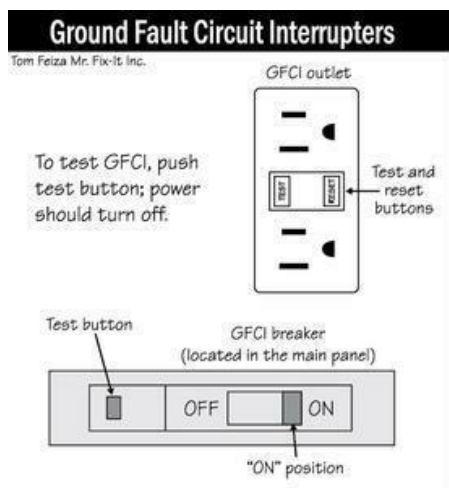
Electrical Panel(s): Panel Equipment Photographs



GFCI / AFCI Protection: GFCI protection present

Yes

A **Ground Fault Circuit Interrupter** (GFCI) - Is an ultra sensitive receptacle outlet and/or breaker designed to shut off all electric current. Used in bathrooms, kitchens, exterior waterproof outlets, garage outlets, and "wet areas" to prevent electrical shock. Has a small reset / test button on the receptacle and/or breaker.

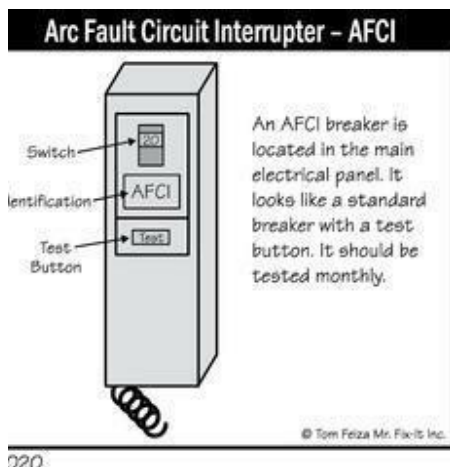


078

GFCI / AFCI Protection: AFCI protection present

No

An **Arc Fault Circuit Interrupter** (AFCI) is a **circuit breaker** that breaks the circuit when it detects an **electric arc** in the circuit it protects to prevent electrical fires. An AFCI selectively distinguishes between a harmless arc (incidental to normal operation of switches, plugs, and brushed motors), and a potentially dangerous arc (that can occur, for example, in a lamp cord which has a broken conductor).

**Smoke Detectors / CO Alarms / Door Bell: Smoke Detectors in All Required Locations**

Yes

Note: Smoke detectors are tested only for audibility and not tested using actual smoke.

Smoke Detectors / CO Alarms / Door Bell: Carbon Monoxide Alarm(s) in All Required Locations

Yes

Note: Carbon Monoxide alarms are tested only for audibility and not tested using actual Carbon Monoxide.

Limitations

Excluded Items

ELECTRICAL SYSTEM LIMITATIONS

Some parts of the electrical system are excluded from this inspection: inaccessible wiring, underground utilities and system, low-voltage lighting or lighting on timers or sensors, alarm systems, generators, intercom and audio systems. Any comments made regarding these items are as a courtesy only and further evaluation may be desired.

Excluded Items

ELECTRIC BATHROOM HEATERS

Electric heat wall units in close proximity of water is not a good idea. Caution is recommended when using these units.



Breakers & Panel Wiring

LABELING ACCURACY NOT VERIFIED

Inspectors do not verify the accuracy of the labeling, but it appears to be typical. When the opportunity arises, we suggest verifying the labeling by manually operating the breakers.

Electrical Wiring

WIRING LIMITATIONS

Please note: due to wall coverings, insulation, HVAC ductwork or other obstructions, it was not possible to observe the branch circuit wiring throughout this entire home. Damage to the insulation or wiring itself can be present in a non-visible location. You should consider having the branch circuit wiring further explored by a licensed electrical contractor before the end of your contingency period to determine if any latent defects exist.

Outlets / Switches / Lighting / Fans

ONE OR MORE NOT ACCESSIBLE

One more outlets were not accessible and not inspected. Further evaluation may be desired.

Smoke Detectors / CO Alarms / Door Bell

DETERMINING IF DETECTORS HARDWIRED

Determining if the units are hardwired is beyond the scope of this inspections.

Findings

8.1.1 Excluded Items

CABLE / SATELLITE / TELEPHONE / INTER COMMUNICATION / ALARM SYSTEMS

Observation

Note: If present, cable, satellite, telephone, inter communication and alarm systems are not inspected. Evaluating these systems are beyond the scope of a property inspection. Their condition is unknown, and they are excluded from this inspection. Recommend that a qualified specialist review these systems and make repairs if necessary.

Recommendation

Contact a qualified professional.

8.4.1 Breakers & Panel Wiring

BREAKERS NOT LABELED PROPERLY

Attention Required

One or more breakers were not labeled or not labeled specifically. Correction is recommended.

Recommendation

Contact a qualified professional.



8.4.2 Breakers & Panel Wiring

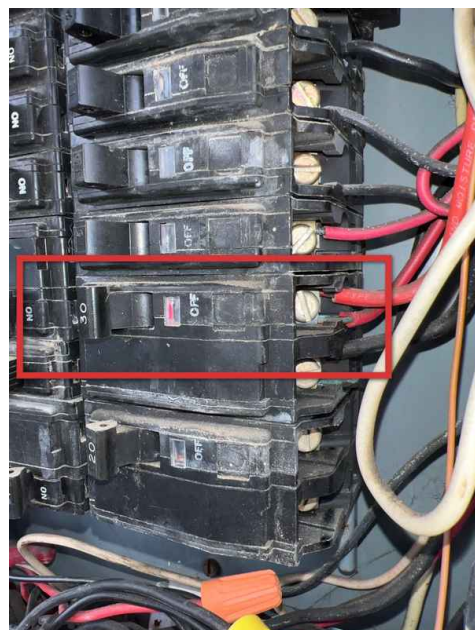
DOUBLE TAPPED BREAKER(S)

Safety Item/Defective

Breakers at one or more areas were double tapped/double lugged. This means that two wires have been placed under the same screw on a circuit breaker. This is a safety hazard due to potential arcing, sparks or fire due to loose wire connections. A qualified electrician is recommended to make repairs as needed.

Recommendation

Contact a qualified electrical contractor.



8.4.3 Breakers & Panel Wiring

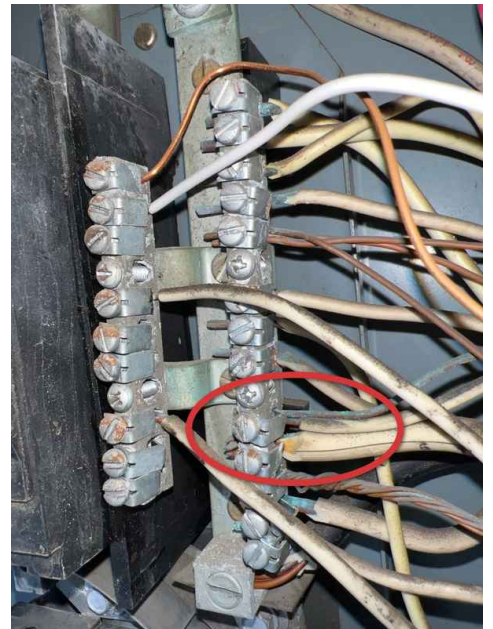
DOUBLE TAP NEUTRAL

Safety Item/Defective

Doubled tapped neutral wires were noted on the same lug at the neutral bus bar. There should only be one wire on each lug. A licensed electrician is recommended to further evaluate and correct as needed.

Recommendation

Contact a qualified electrical contractor.



8.5.1 GFCI / AFCI Protection

GFCI READING OPEN GROUND

HALL BATHROOM #1, HALL BATHROOM #2

One or more GFCI outlets were reading open ground. Recommend further evaluation by a licensed electrician and correct as needed.

Recommendation

Contact a qualified electrical contractor.



Safety Item/Defective



8.5.2 GFCI / AFCI Protection

RECOMMEND GFCI UPGRADE



Attention Required

This house was built prior to the requirement for the installation of GFCI receptacles in certain locations in the house. The locations where GFCI receptacles are required has increased, but it is not required to retrofit older homes unless a remodel takes place. For safety, it is advisable to upgrade all receptacles within 6 feet of a plumbing fixture, in garage, all kitchen counter top outlets, and at exterior, to GFCI protected outlets. A complete list of GFCI installation requirements and the dates that they were first required can be viewed at [GFCI Requirements](#)

Recommendation

Contact a qualified professional.

8.6.1 Electrical Wiring

CLOTH COVERED

⚠ Attention Required

Cloth covered wiring was found at one or more locations. This wiring jacket on this type of wiring becomes brittle with time and when disturbed, can literally break apart by bending or pulling. The rubber sheathing can become brittle, crack, or fall off, which can cause arcing. Recommend a qualified electrician evaluate all cloth covered wiring and repair.

Recommendation

Contact a qualified electrical contractor.

8.6.2 Electrical Wiring

EXPOSED WIRING NOT IN CONDUIT

⚠ Safety Item/Defective

GARAGE

Exposed wiring was noted at one or more wall or ceiling surfaces that could easily be damaged. This is a safety concern if used below 7 feet. Exposed wire is normally installed in conduit for protection. A qualified electrician is recommended to install conduit as needed.

Recommendation

Contact a qualified electrical contractor.



8.6.3 Electrical Wiring

DISCOLORED COPPER NOTED

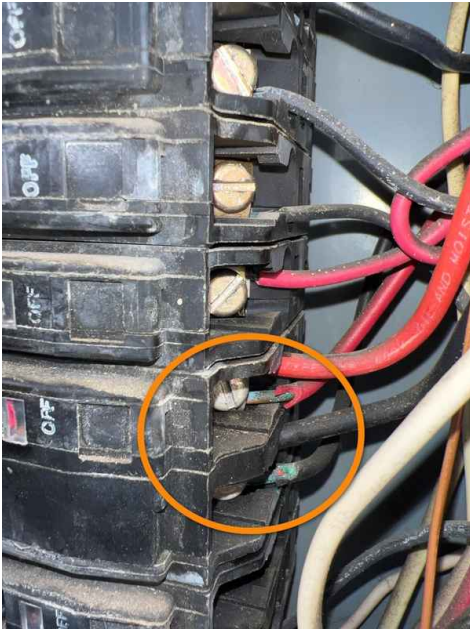
⚠ Attention Required

EXTERIOR

Discolored copper was noted in one or more panels. The reason for this is unknown and further valuation may be desired.

Recommendation

Contact a qualified electrical contractor.



8.8.1 Smoke Detectors / CO Alarms / Door Bell



Safety Item/Defective

SMOKE DETECTORS MISSING AT BEDROOM(S)

BEDROOM #2

We recommend installing additional smoke detectors in all bedrooms to comply with current fire and safety standards and regulations.

Recommendation

Contact a handyman or DIY project



9: HVAC

		IN	NI	NP	F
9.1	General				X
9.2	Heating (Forced Air)				X
9.3	Air Conditioning				X
9.4	Ducts and Registers				X
9.5	Filter(s) & Thermostat(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: No Air Conditioning Provided

Several Areas

Note: Some areas of the structure are not provided with air conditioning.

Heating (Forced Air): Location

Exterior closet, Bedroom

Air Conditioning: Estimated Year Mfg.

2020

Air Conditioning: Location

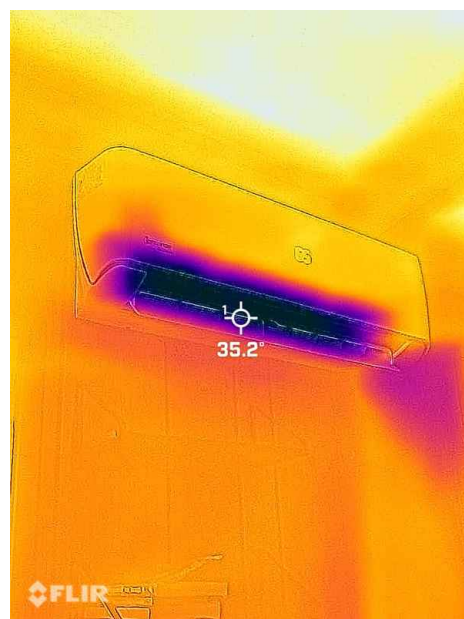
Exterior, Elevated Pad

Air Conditioning: System Type

Ductless / Mini split

Air Conditioning: Appears Functional

AC unit appears functional.



Heating (Forced Air): Equipment Photos



Heating (Forced Air): Energy source

Natural gas, Heat Pump

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Heating (Forced Air): Estimated Year Mfg.

2012, 2020



Heating (Forced Air): Appears Functional

Heat system appears to be in working order.



Heating (Forced Air): Replaced HVAC

The heating unit installed in this home is not original. The unit appeared functional at the time of inspection. However, we recommend asking the sellers for documentation showing that the unit was installed by a licensed HVAC contractor per the manufacturers installation requirements. The documents cannot be produced I recommend this unity further explored by a licensed HVAC contractor for safety.



Air Conditioning: Equipment Photos



Filter(s) & Thermostat(s): Thermostat and Air Filter(s) Disclaimer

Thermostats are not checked for calibration or timed functions. Only the basic functions are tested. The adequacy of the air filter and or air filter size is beyond the scope of this inspection.

Limitations

General

HVAC LIMITATIONS

This inspection excludes estimate the remaining life of heating or cooling components, determine system suitability, or test certain aspects of the system or guarantee the integrity of furnace heat exchangers or the absence of clogs or leaks in condensation pans and drain lines. In buildings with furnishings, the presence of a heat source may not be verified in all "live-able" rooms. Testing air conditioners in colder seasons might provide inaccurate results due to system pressures.

Heating (Forced Air)

GAS APPLIANCES - SAFETY INSPECTION RECOMMENDED

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period.

Air Conditioning

WINDOW UNIT(S)

BEDROOM #1

One or more window units were noted. These units are beyond the scope of a home inspection.



Ducts and Registers

HVAC DUCTING LIMITATIONS

Please note: due to wall or floor coverings, insulation, roof framing or other obstructions, it was not possible to observe the entire HVAC distribution system throughout this entire home. Damage to the ducting can be present in a non-visible location. You may wish to have the HVAC distribution system further explored by a licensed HVAC contractor before the end of your contingency period to determine if any latent defects exist.

Findings

9.1.1 General



SERVICE HEATING SYSTEM

The forced air system hasn't been serviced in over a year or has an unknown service date. We recommend asking the owner for the last service date. If it's over a year or unknown, advise getting an HVAC contractor to inspect, clean, and make necessary repairs. Future annual servicing is recommended for safety, and inform the contractor about any noted repairs.

Recommendation

Contact a qualified HVAC professional.

9.2.1 Heating (Forced Air)



NEAR OR AT LIFESPAN (FORCED AIR)

The estimated useful life for most forced air furnace(s) is typically 15-20 years, but they often exceed this in Southern California's mild climate. This furnace seems to be nearing or past its lifespan, making replacement or major repairs imminent. Consider budgeting for replacement and schedule an evaluation within the contingency period. A home warranty is also advisable.

Recommendation

Recommend monitoring.

9.4.1 Ducts and Registers



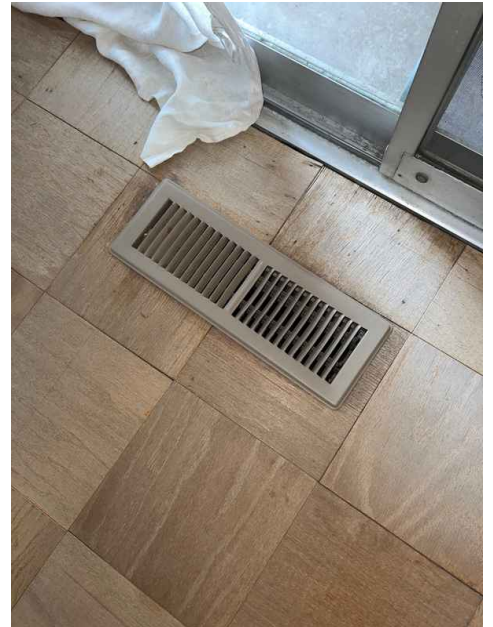
Attention Required

DUCTS - UNDER SLAB

Some or all of the ducts are located under the slab. This can expose the ducts to a high level of moisture, and can cause the ducts to rust or even accumulate water. This condition can be conducive to bacterial or organic growth. We therefore recommend that you have the ducts video-scoped to determine their condition. Failed or damaged ducts may need to be re-routed through the attic or walls which can be a major repair. We recommend having the ducts inspected prior to the end of your contingency period.

Recommendation

Contact a qualified professional.



9.5.1 Filter(s) & Thermostat(s)



Attention Required

FILTER DIRTY

EXTERIOR

The heating and/or cooling system's air filters were found dirty at one or more locations. To ensure efficiency, they should be cleaned and appropriately sized. Recommend addressing this by cleaning, repairing, or replacing the filters as necessary.

Recommendation

Recommended DIY Project



10: INTERIOR, DOORS & WINDOWS

		IN	NI	NP	F
10.1	General	X			
10.2	Exterior Doors				X
10.3	Interior Doors	X			
10.4	Windows				X
10.5	Ceiling				X
10.6	Walls				X
10.7	Floors	X			
10.8	Countertops & Cabinets				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Windows: Type

Jalousie / Louvered, Metal

Limitations

General

WATER TIGHTNESS NOT TESTED

Determining if the doors /windows and or their assemblies are water tight is beyond the scope of this inspection. Home inspectors are looking for obvious and visual deficiencies / defects. There are companies that can water test with spray rigs if desired.

General

INTERIOR LIMITATIONS

National standards of practice state that the inspector is not required to: A) Move any personal items or other obstructions such as but not limited to: throw rugs, carpeting, wall coverings, furniture, ceiling tiles, window coverings, equipment, plants, debris, water, dirt, or anything else that might restrict the visual inspection. B) Address normal wear and tear items, such as: dents, blemishes, dings, scuffs, nail-pops, hairline cracks or minor damage to walls, floors and ceilings.

General

INSULATION NOT DETERMINED

Determining the insulation value and/or the lack of insulation inside walls / ceilings is beyond the scope of this inspection. Further evaluation may be desired.

Exterior Doors

SINGLE PANE WINDOWS

Single pane windows were noted at one or more doors. These windows are not energy efficient and replacement should be considered.

Windows

OBSCURED/BLOCKED

One or more windows were blocked and obscured by stored items. The inspector was unable to operate or fully evaluate the window(s) as a result.

Windows

SINGLE PANE WINDOWS

Single pane windows were noted. These windows are not energy efficient and replacement should be considered.

Countertops & Cabinets

OBSCURED BY STORED ITEMS

The countertops and/or areas below sink(s) were obscured by stored items and couldn't be fully evaluated.

Findings

10.2.1 Exterior Doors

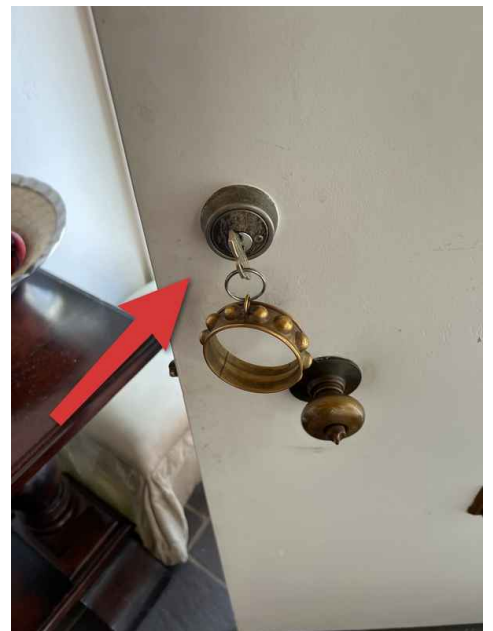
KEYED DEADBOLT INSIDE

FRONT EXTERIOR

A key is necessary to open one or more doors from the inside, which could pose a safety hazard for evacuation in the event of an emergency. A qualified professional is recommended for replacement of hardware as needed.

Recommendation

Contact a qualified handyman.

**Safety Item/Defective**

10.2.2 Exterior Doors

RECOMMEND RE KEYING ALL EXTERIOR DOORS

We recommend re keying all the exterior doors for improved safety.

**Observation**

Recommendation

Contact a qualified professional.

10.4.1 Windows

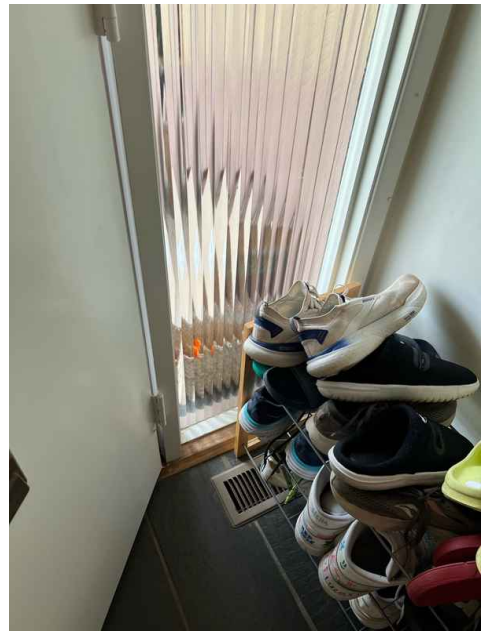
**TEMPERED GLASS NOT VERIFIED**

Tempered glass could not be verified at one or more windows (this is sometimes difficult to view).

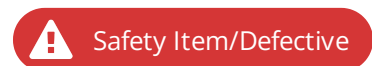
Recommend confirming that the glass is tempered. If not then upgrades are recommended for added safety.

Recommendation

Contact a qualified professional.



10.4.2 Windows

**BROKEN / CRACKED / CHIPPED WINDOW(S)**

HALL BATHROOM #1

Broken and or damaged glass was noted in one or more areas. Further evaluation is recommended by a licensed specialist.

Recommendation

Contact a qualified window repair/installation contractor.



10.4.3 Windows

CRANK HANDLES MISSING

HALL BATHROOM #2

One or more crank handles for windows were loosely secured, damaged and/or missing. Recommend that a qualified person replace handle covers as necessary.

Recommendation

Contact a qualified handyman.



Attention Required



10.4.4 Windows

CRANK(S) NOT OPERATIONAL

HALL BATHROOM #1

Window cranks were not properly operational in one or more areas. Recommend repair by a qualified window contractor.

Recommendation

Contact a qualified professional.



Attention Required



10.5.1 Ceiling

WATER STAINS (DRY)

Attention Required

Stains were found at the ceilings in one or more locations. The stains appeared dry when tested by the infrared camera and/or moisture meter. It is unknown if the issue causing the stains has been resolved. Inquire with the seller, and further evaluation by a qualified contractor may be desired.

Recommendation

Contact a qualified professional.



10.6.1 Walls

ELEVATED MOISTURE NOTED

HALL BATHROOM #1, KITCHEN



Safety Item/Defective

Elevated moisture levels (beyond what is typical) were found in one or more areas. This appears to be due to an active plumbing leak and/or moisture intrusion issue. Hidden damage and or mold like substances are possible (areas not accessible to the inspector). A qualified professional is needed for further evaluation and/or repairs.

Recommendation

Contact a qualified professional.



10.8.1 Countertops & Cabinets

WEAR NOTED

SEVERAL AREAS

Wear and or deterioration was noted in one or more areas. Correction may be desired.

Recommendation

Contact a qualified professional.



11: APPLIANCES

		IN	NI	NP	F
11.1	General	X			
11.2	Range/Oven/Cooktop	X			
11.3	Exhaust / Ventilation	X			
11.4	Dishwasher				X
11.5	Garbage / Food Disposal				X
11.6	Microwave		X		
11.7	Refrigerator		X		
11.8	Washer/Dryer		X		

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Range / Oven / Cooktop
Energy Source / Supply
 Electric

General: Exhaust / Ventilation
Type
 Hood, Vented / Ducted

Range/Oven/Cooktop: Equipment
Photo



Exhaust / Ventilation: Equipment
Photo



Dishwasher: Equipment



Garbage / Food Disposal: Equipment
Photo



Refrigerator: Fridge Conveys?

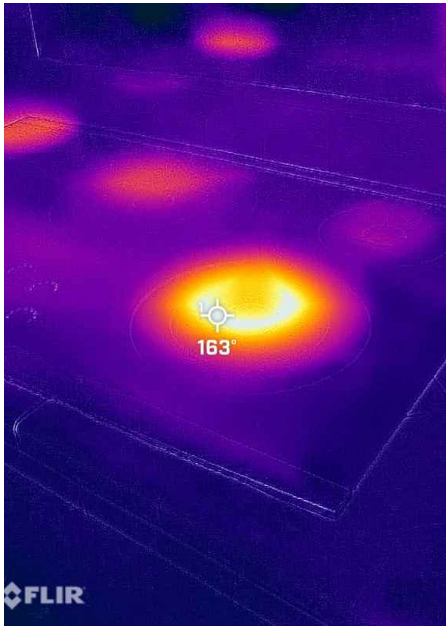
Unknown

Refrigerator: Fridge Water Supply Connection

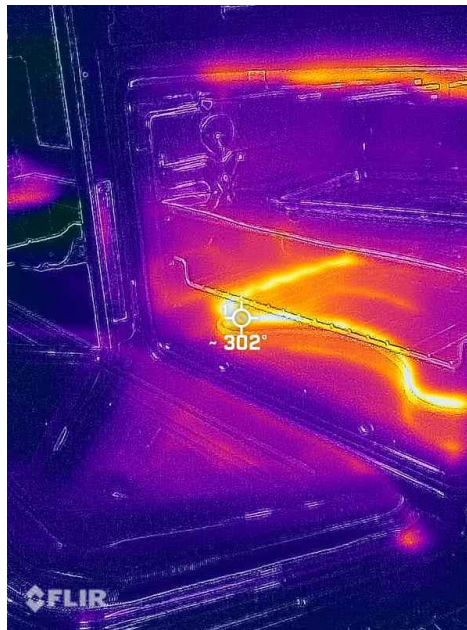
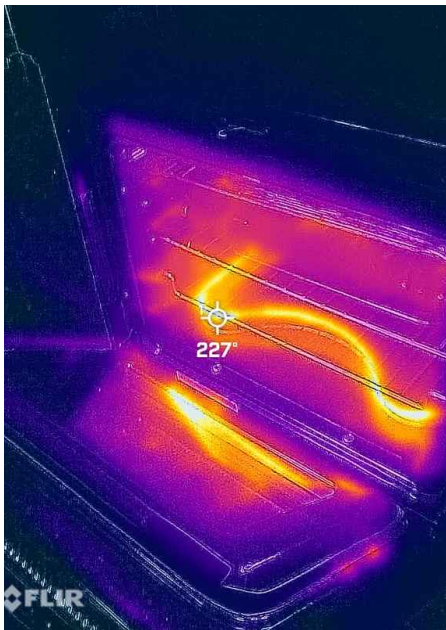
Yes

Range/Oven/Cooktop: Thermal Image of Range Working

Infrared picture of range/cooktop in operation. This unit appeared operational.

**Range/Oven/Cooktop: Thermal Image of Oven Working**

Thermal image of the oven working. This unit appeared functional.

**Refrigerator: Refrigerator(s) Not Inspected**

Refrigerators and wine fridges are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). Fridges are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Washer/Dryer: Washer(s)/Dryer(s) Not Inspected

Washer(s) and dryer(s) are beyond the scope of this inspection as per the Standards of Practice set forth by CREIA (California Real Estate Inspection Association). These items are not moved and typically the outlet and or water lines are not visible to the inspector. It is unknown what appliances convey. Inquire with the seller for more information and a home warranty is highly recommended.

Limitations

General

APPLIANCE LIMITATIONS

The following items are not included in this inspection: appliances such as outdoor barbecues, refrigerators, freezers, ice makers, warming ovens, griddles, broilers, appliance timers, clocks, coffee makers, trash compactors, hot water dispensers, water filters, cook functions, self-cleaning operations, thermostat or temperature control accuracy, lights, central vacuum systems, elevators and stair lifts. Any comments made regarding these items are as a courtesy only. We do not provide an estimate of the remaining life of appliances and does not determine the adequacy of operation of appliances. We do not note models or serial numbers, appliance manufacturers and does not determine if appliances are subject to recalls. Items, areas and components behind and obscured by appliances are inaccessible and not included in the inspection.

Dishwasher

DISHWASHER CYCLE LIMITATIONS

Determining the adequacy of the washing and drying functions of the dishwasher is not a part of this inspection.

Microwave

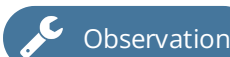
PORTABLE UNIT - NOT INSPECTED

A portable unit was noted, which is beyond the scope of this inspection. It is unknown if this appliance coveys with the property.

Findings

11.1.1 General

UNKNOWN AGE(S)



Observation

The inspector was unable to determine the age of one or more appliances. Further research (internet searches of model/serial numbers) may be desired to determine the age of the units and to determine if they are beyond their intended life spans.



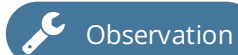
11.1.2 General

OLD APPLIANCES

Some appliances may not have the same degree of efficiency as a newer model. Also you should not expect these appliances to last indefinitely.

Recommendation

Contact a qualified professional.



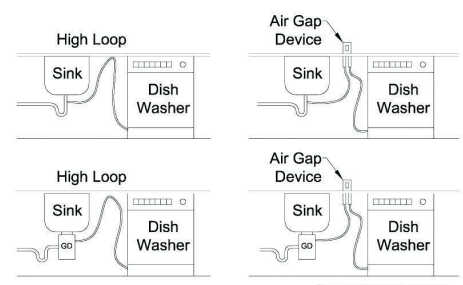
11.4.1 Dishwasher

AIR GAP / HIGH LOOP NOT INSTALLED

No air gap or high loop was visible for the dishwasher drain. An air gap is a device that makes the drain line non-continuous or the drain line is looped high up under the countertop, and prevents wastewater backflow from entering the dishwasher, and possibly flooding out of the dishwasher if/when a siphon occurs. Some newer dishwashers have this device built in. Recommend determining if an air gap device is built in to this brand and model of dishwasher (e.g. review installation instructions). If not, or if this cannot be determined, then recommend that a qualified contractor install an air gap or a high loop per standard building practices.

Recommendation

Contact a qualified appliance repair professional.



11.5.1 Garbage / Food Disposal

HARDWIRED ELECTRICAL

The unit was improperly wired (hardwired) based on today's standards. This does not consistent with the current building practices. Upgrades are recommended for added safety.

Recommendation

Contact a qualified electrical contractor.

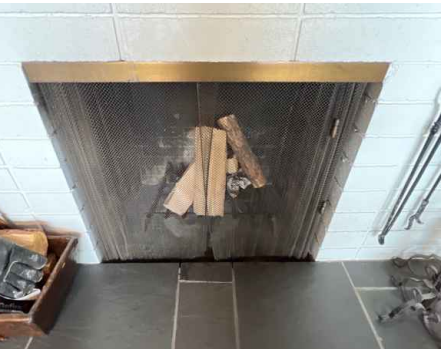
12: FIREPLACES & GAS APPLIANCES

		IN	NI	NP	F
12.1	Fireplaces, Stoves & Inserts				X
12.2	Chimney(s)				X

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Fireplaces, Stoves & Inserts:
Equipment Photos



Fireplaces, Stoves & Inserts: Type **Fireplaces, Stoves & Inserts: Gas**
Wood Burning Log Lighter
No

Chimney(s): Equipment Photos



Chimney(s): Type
Masonry

Limitations

Fireplaces, Stoves & Inserts
FIREPLACE / STOVE / CHIMNEY / FLUE LIMITATIONS

The local utility company (SDG&E) is recommended for a complimentary safety inspection of all gas-fired appliances prior to the close of the contingency period. The following items are not included in this inspection: coal stoves, gas logs, chimney flues (except where visible). Any comments made regarding these items are as a courtesy only. Note that the inspector does not determine the adequacy of drafting or sizing in fireplace and stove flues, and also does not determine if prefabricated or zero-clearance fireplaces are installed in accordance with the manufacturer's specifications. The inspector does not perform any evaluations that require a pilot light to be lit, and does not light fires. The inspector provides a basic visual examination of a chimney and any associated wood burning device. The National Fire Protection Association has stated that an in-depth Level 2 chimney inspection should be part of every sale or transfer of property with a wood-burning device. Such an inspection may reveal defects that are not apparent to the home inspector, who is a generalist. The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety. We do not inspect the shape of fireplace or the design to determine if your fireplace has a proper air draw.

Findings

12.1.1 Fireplaces, Stoves & Inserts

CREOSOTE BUILD UP NOTED



Attention Required

Creosote build up was noted which could be combustible. Recommend cleaning, inspections and repairs as necessary by a qualified licensed chimney contractor.

Recommendation

Contact a qualified professional.



12.2.1 Chimney(s)

LINER NOT INSPECTED



Observation

The liner was not fully inspected by our company. It is recommended to have a qualified chimney sweep clean and inspect for safety.

Recommendation

Contact a qualified professional.

12.2.2 Chimney(s)

NO SPARK SCREEN AND/OR RAIN CAP



Safety Item/Defective

To prevent fireplace embers from leaving the chimney, a spark screen or rain cap is needed at one or more chimney flues. A spark screen will also prevent pests and debris from entering the chimney. A rain cap is essential in preventing corrosion, damage and/or rust in the flue and firebox. A qualified professional is recommended to install a spark screen and/or rain cap where needed.

Recommendation

Contact a qualified chimney contractor.



13: GARAGE / CARPORT

		IN	NI	NP	F
13.1	General	X			
13.2	Vehicle Door(s)	X			
13.3	Automatic Opener(s)	X			
13.4	Floor, Walls, Ceiling				X
13.5	Garage Ventilation	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

General: Structure Type

Attached Garage

General: Occupant Door

N/A

General: Vehicle Door

Roll-up, Metal

General: Automatic Opener
Safety Devices

Pressure sensitive, Electronic eye

General: Wall Type

Finished

General: Ceiling Type

Open framing

General: Garage Ventilation

Present

Automatic Opener(s): Backup Battery Recommended

An opener with a battery back up is highly recommended for improved fire safety in the case of a power outage.

Limitations

General

GARAGE LIMITATIONS

Determining adequacy of firewall ratings is beyond the scope of the inspection. Ventilation requirements vary by municipality.

General

OCCUPIED / PERSONAL BELONGINGS

Personal belongings where noted in one or more areas in the garage. The garage was not fully or properly visible and further evaluation may be desired.

Vehicle Door(s)

NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.

Automatic Opener(s)

GARAGE VEHICLE DOOR OPENER NOTICE

Determining if the spring tension and or balancing is adequate is beyond the scope of this inspection. Only the basic operation was tested. The vehicle door is by far the largest and heaviest moving item in a house and should be used carefully. Regular maintenance is very important.



Floor, Walls, Ceiling

NOT FULLY ACCESSIBLE

One or more areas were not fully accessible. Further evaluation may be desired.

Findings

13.4.1 Floor, Walls, Ceiling

FLOORS / WALLS OBSCURED



Floor and / or wall areas were obscured by stored items and couldn't be fully evaluated.

13.4.2 Floor, Walls, Ceiling

HOMEOWNER SHELVING

Shelving was installed which could pose a safety hazard due to collapse. Recommend removing shelving, or repair/modification as necessary by a qualified person.

Recommendation

Contact a qualified handyman.



13.4.3 Floor, Walls, Ceiling

FIRE WALL GAPS, HOLES, DAMAGE



Gaps, holes or openings were present at the attached garage walls or ceilings. Walls and ceilings between the garage and house are required to provide limited fire resistance rating to prevent the spread of fire between the garage and house. Recommend that a qualified contractor repair as per standard building practices.

Recommendation

Contact a qualified drywall contractor.



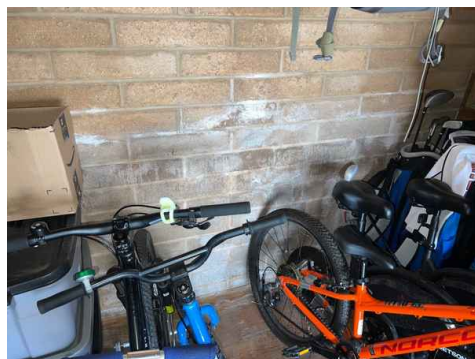
13.4.4 Floor, Walls, Ceiling

EVIDENCE OF WATER INTRUSION

Evidence of moisture intrusion noted in the garage. It is unknown if the intrusion is an active problem. Recommend further evaluation and repairs be made by a qualified licensed contractor.

Recommendation

Contact a qualified professional.



13.4.5 Floor, Walls, Ceiling

BELOW EXTERIOR GRADE

The garage floor level and or walls were below the exterior grade level in one or more areas. Proper waterproofing could not be confirmed. Water intrusion and damage are possible. We recommend further evaluation by a qualified contractor.



Recommendation

Contact a qualified professional.



14: COMPLIMENTARY PICTURES

		IN	NI	NP	F
14.1	General	X			
14.2	Interior	X			
14.3	Exterior	X			

IN = Inspected NI = Not Inspected NP = Not Present F = Finding

Information

Interior: Kitchen



Interior: Living Room



Interior: Family Room



Interior: Bedroom #1



Interior: Bedroom #2



Interior: Bedroom #3



Interior: Hall Bathroom #1



Interior: Hall Bathroom #2**Interior: Laundry Room/Area****Interior: Garage****Exterior: Exterior Pictures****General: Complementary Photos**

These photos have been provided to define areas of the home as indicated in the report. These photos have been provided as a courtesy and are not intended to identify issues/defects.